

Notice of Modification

Section 75W of the *Environmental Planning and Assessment Act 1979*

As delegate for the Minister for Planning and Infrastructure under delegation dated 14 September 2011, I hereby modify the concept plan (MP 10_0127) referred to in Schedule 1, subject to the Conditions in Schedule 2.


Dan Keary
Director
Industry, Key Sites and Social Projects

Sydney 15th APRIL 2014

SCHEDULE 1

Concept approval (MP 10_0127), granted by the then Minister for Planning on 24 October 2011 for the Jacfin Ropes Creek Project, Ropes Creek in the Blacktown local government area.

SCHEDULE 2

This concept approval is modified by:

1. Replacing the description of 'Land' in Schedule 1 as follows:

Land Lot 121 DP 1175762 and Part Lot 15 DP 1157491 (see Appendix 1)

2. Replacing the following definition of 'Project' in the definitions list in Schedule 2 as follows:

Project The development as described in the EA, as modified by MP 10_0127 MOD 1

3. Deleting the definitions of 'RTA' and 'Temporary Access Road' in the definitions list in Schedule 2.

4. Inserting the following new definitions in alphabetical order in the definitions list in Schedule 2 as follows:

Concept Plan Concept plan for the proposed Jacfin Ropes Creek Project, a distribution park of warehouses, distribution centres, and associated infrastructure, depicted generally in Appendix 1, and described in the environmental assessment in support of the concept plan application for the proposal, titled *Lot 5 DP 262213, Ropes Creek Industrial Estate: Concept Plan and Concurrent Project Application for Employment Lands and Stage 1 Industrial Development*, prepared by JBA Urban Planning Consultants, and dated November 2010, as modified by MP 10_0127 MOD 1.

MP 10_0127 MOD 1 The modification application lodged on 7 December 2012, accompanying Environmental Assessment (dated 6 December 2012) and Response to Submissions letter (dated 22 March 2013), prepared by JBA Urban Planning Consultants Pty Ltd

5. Replacing all references to 'RTA' with 'RMS' in the concept approval.
6. Deleting Condition 4 in Schedule 2 and inserting the words 'Deleted'.
7. Deleting Condition 6 in Schedule 2 and inserting the words 'Deleted'.
8. Deleting Condition 10 in Schedule 2 and inserting the words 'Deleted'.
9. Deleting Condition 11 in Schedule 2 and inserting the words 'Deleted'.
10. Replacing Condition 13 in Schedule 2 with the following:

Consistency of Future Development

13. The Proponent shall ensure that all development on site is carried out generally in accordance with the:
 - (a) concept plan as modified by Conditions 1 to 8 and MP 10_0127 MOD 1;
 - (b) Site Development Guidelines;
 - (c) statement of commitments (see Appendix 3); and
 - (d) conditions of this approval.
11. Replacing Appendices 1, 2 and 3 as follows:

APPENDIX 1 INDICATIVE LAYOUT OF THE CONCEPT PLAN



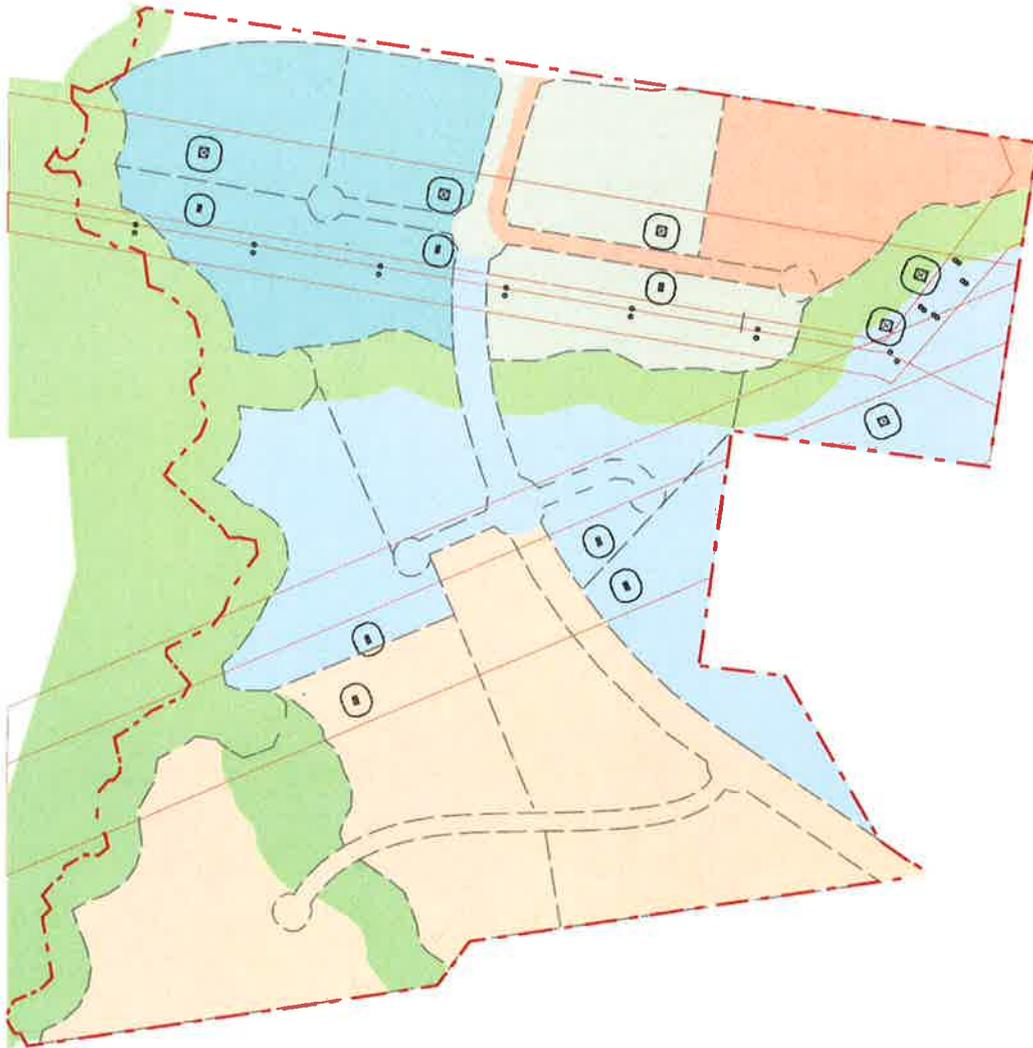
Temporary access route before access route available from EPLR (to be removed once access is available from EPLR)

0m 25m 100m 200m
10m 50m **CP010 Concept Plan**

Key	
	Site Boundary
	E2 Environmental Conservation Zone
	Existing Trees/Vegetation
	Existing Pylons with 15m Setback Zone
	Transmission Line Easements
	Defendable Space
	Potential Service Centre Location (Subject to Road and E2 Alignment)
	Indicative Lot Boundary
	Developable Area Outside Easements
	Stage 1 Project Application Buildings
	20m Building Line Setback to Regional Road
	Indicative Building Footprint
	Regional Road One: 40m Reserve
	Local Road One: 21.5m Reserve - this road has been removed and is no longer shown on the map
	Local Road Two: 21.5m Reserve
	Local Road Three: 21.5m Reserve
	Local Road Four: 21.5m Reserve
	Local Road Five: 21.5m Reserve
	Local Road Six: 21.5m Reserve
	Indicative Internal Road Access
	Temporary Access Road
	Roundabout
	Erskine Park Link Road
	Transgrid Aquired Land



APPENDIX 2 STAGING PLAN



Key		CP011 Staging Plan	
	Site Boundary		Stage 1
	E2 Environmental Conservation Zone		Stage 2
	Existing Pylons with 15m Setback Zone		Stage 3
	Indicative Lot Boundary		Stage 4
	Line of Easement		Stage 5

**APPENDIX 3
STATEMENT OF COMMITMENTS**

Subject	No.	Commitments	Timing
Construction Management	1.	A Construction and Environmental Management Plan will be prepared for each project by the appointed building contractor and will be submitted to the Principal Certifying Authority for sign off. The CEMP will address the following issues: - Site Management; - Air Quality; - Noise and Vibration Management; - Soil and Water Management; - Construction Traffic Management; - Waste and Hazardous Materials Management; and - Protection of E2 zoned land	Prior to works commencing.
	2.	The construction noise mitigation measures recommended by the Acoustic Consultant will be incorporated into the Construction and Environmental Management Plans for each project.	Prior to works commencing.
Geotech	3.	Future Project Applications within the Precinct will demonstrate compliance with the recommendations of the Geotechnical Assessment in relation to: ▪ Bulk Earthworks; ▪ Structural Design; ▪ Ground Water Management; ▪ Acid Sulphate Soils; and ▪ Soil Salinity.	Details to be provided with the relevant Project Application(s).
Stormwater Management	4.	Future Project Applications will demonstrate compliance with the targets in the Stormwater Masterplan and Trunk Drainage Strategy prepared by Brown Consulting Engineers.	Details to be provided with the relevant Project Application(s).
	5.	Future Project Applications will demonstrate that: ▪ the project water quality targets will be met; and ▪ stormwater flow rates will be equal to less than the current existing flow rates.	Details to be provided with the relevant Project Application(s).
Waste Management	6.	An Operational Waste Management Plan will be prepared for each of the warehouse buildings on the site.	Prior to the occupation of each warehouse.
Hazardous Materials	7.	Should storage of hazardous materials be required by the occupants of either warehouse building, a hazardous materials assessment will be prepared.	Prior to the occupation of the relevant warehouse, if applicable
Bushfire Protection	8.	Future Project Applications within the Precinct will demonstrate compliance with the recommendations of the Bushfire Consultant, in relation to: ▪ Access to the bushfire prone vegetation in the E2 Environmental Conservation corridor; ▪ Building setbacks; ▪ Building construction requirements; ▪ Landscape Maintenance; and ▪ Emergency Planning.	Details to be provided with the relevant Project Application(s).
Signage and Lighting	9.	Future applications will provide detail on signage and lighting.	Details to be provided with the relevant Project Application(s).
Noise	10.	Acoustic Assessments will be submitted with future project applications for each warehouse building detailing acoustic mitigation measures where required.	Details to be provided with the relevant Project Application(s).
Biodiversity	11.	A Hollow-bearing Tree Protocol prepared by a suitably qualified ecologist and will be implemented.	Prior to the removal of any trees within the Employment Precinct

Subject	No.	Commitments	Timing
Indigenous Heritage	12.	An Aboriginal Heritage Management Plan will be prepared for the precinct, including both developable land and E2 zones. The SHMP will include a proposal for test excavation in areas identified as having moderate to high potential for archaeological deposits at locations that will be disturbed by proposed earthworks of the development as well as the area of sandstone outcropping in the north west corner of the property, or Aboriginal Heritage Impact Assessments will be submitted with future Project Applications.	Prior to the lodgement of any Project Application beyond Stage 1.
	13.	Indigenous community consultation will continue in accordance with the document 'Aboriginal cultural heritage consultation requirements for proponents 2010' produced by DECCW.	Ongoing
Crossings Over E2 Zones	14.	Any crossing over the E2 zone will be constructed in accordance with the design requirements of the NSW Office for Water.	Details to be provided prior to the issue of any construction certificate application.