



ALTITUDE ASPIRE TERRANORA

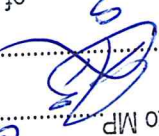
AMENDED LANDSCAPE MASTERPLAN

NEWLAND DEVELOPERS PTY LTD

Issued under the Environmental Planning and Assessment Act 1973

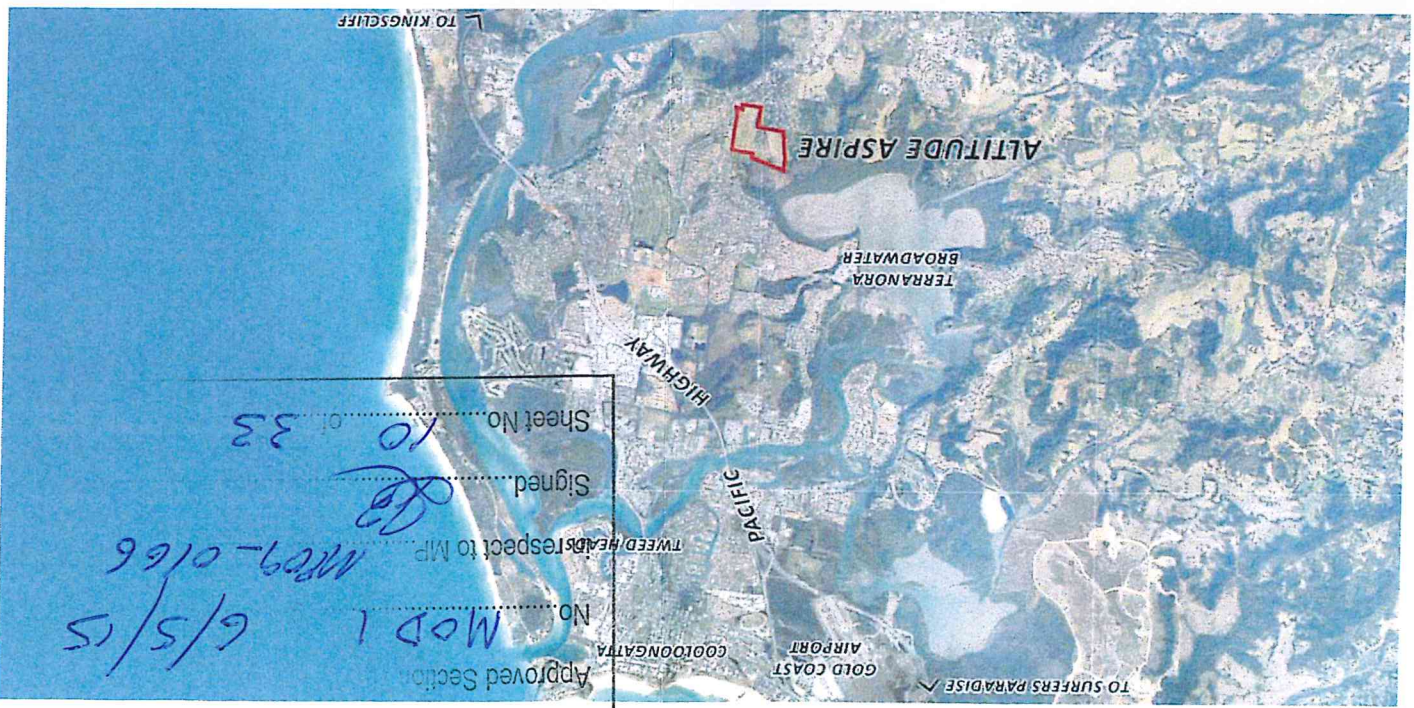
NSW GOVERNMENT
Planning

Approved Section 75W Modification Application
No. MOD 1 granted on the 6/5/15
in respect to MP 09-0166

Signed 
Sheet No. 9 of 83

100906 | 11 FEB 15 | DA09 ✓

A UNIT 6 | LEVEL 2 | 4 KYABRA STREET FORTITUDE VALLEY Q 4006 T 07 3216 0606 F 07 3216 0608 W FORMULA.COM.AU



NEIGHBOURHOOD PLAYGROUND PARK.

The proposed neighbourhood park is located on the elevated western side of the development entry. The park grades steeply from the west down to the road and this series of terraced pockets interconnected by a meandering accessible pathway. The design intent is that all grassed areas will not exceed 1:6 grade for ease of maintenance and where grades do exceed 1:6 garden beds will be installed with low maintenance native planting palettes. Views can be experienced from sections of the park and the elevated position has been embraced capturing the favourable climatic influences. The children's playground will endeavour to integrate elements of natural play in the form of climbing rocks, tree stumps, and mounding with structured formalised play elements and interactive sculpture. A picnic shelter will be located at the most elevated section of the park overlooking the playground and park to the distant north-eastern valley.

DRAINAGE CORRIDOR.

A major feature of the site is the central gully that will be used for the conveyance of storm water from the southern boundary of the site to Broadwater Parkway to the north. While these elements provide a vital stormwater treatment and detention function they will be constructed in a way to take on a relatively natural form and revegetated to become a shaded rainforest gully and habitat for local fauna. Pedestrian access will be provided along the length of the gully providing various viewing and passive recreational experiences. The revegetated drainage corridor will be the focal point of the amphitheatre type landform with views available from the adjacent park shelter, viewing deck and adjacent communal recreation centre. All required maintenance paths and safety fencing will be integrated into the design in a way that it is complementary to the natural landscape character.

COMMUNITY RECREATION CENTRE.

A communal recreation centre is proposed east of the development entry overlooking the creekline and surrounding open space. The centre will include tennis court, lap swimming pool, BBQ shelter, playground, and function and meeting rooms for residents. A public access spine is situated between the tennis court and the recreation centre connecting the entry road to the creek gully parkland. The landscape elements such as gabion stone and precast concrete walls with a relatively natural landscape palette of palms, small trees and native grasses.

RESIDENTIAL STREETSCAPE.

Legibility of the street network throughout the site will be enhanced through a clear selection of street trees that will complement the hierarchy of the streets. Trees will be selected from a palette of local endemic and native species and are intended to provide a long term series of shaded boulevards within the development. Trees will be located according to council guidelines and spaced according to the appropriate species selection. Transitional road treatments will be utilised at key intersections to enhance legibility and will consist of coloured exposed aggregate.

INTRODUCTION.

Form Landscape Architects have been engaged by Newland Developers Pty Ltd to prepare a Landscape Masterplan and Landscape Design Intent report for the Altitude Aspire residential subdivision located at Terranora in the Tweed Shire.

The original Landscape Master Plan dated 1 December 2010 has been amended to address the amended Subdivision Layout, the Tweed Development Control Code 2008, Section B24 Area E Urban Release Development Code and issues raised by Tweed Shire Council, State Agencies and members of the public in their submissions lodged during the public exhibition stage.

- The landscape design philosophy for the project is encompassed in the following key statements:
- To generate an integrated built and landscape environment that embraces the surrounding endemic landscape character;
- To develop a landscape character that reinforces a unique and memorable landscape experience and identity;
- To provide a choice of passive and active recreational opportunities throughout the developments open spaces and parks;
- To complement the built environment structure and its details;
- To integrate the water management landforms throughout the site into the landscape design to provide a seamless natural landscape aesthetic;
- To create an aesthetically pleasing, engaging, and safe environment for the resident population.

THE ENTRY PRECINCT.

The entry precinct is located centrally to the northern boundary of the site framed by parkland to the west, a community recreation centre to the east and wetlands to the north. The approach to the development entry along Broadwater Parkway from the east provides a strong visual connection into the revegetated drainage corridor with treatments to the road edge to give the perception of crossing a bridge over the reinstated dry creekline. From the west a tree lined boulevard will be provided flanked along the development boundary with a dense vegetation buffer on a steep bank. The experience on this approach will be predominantly natural with views promoted over the adjoining wetland and adjoining landscape.

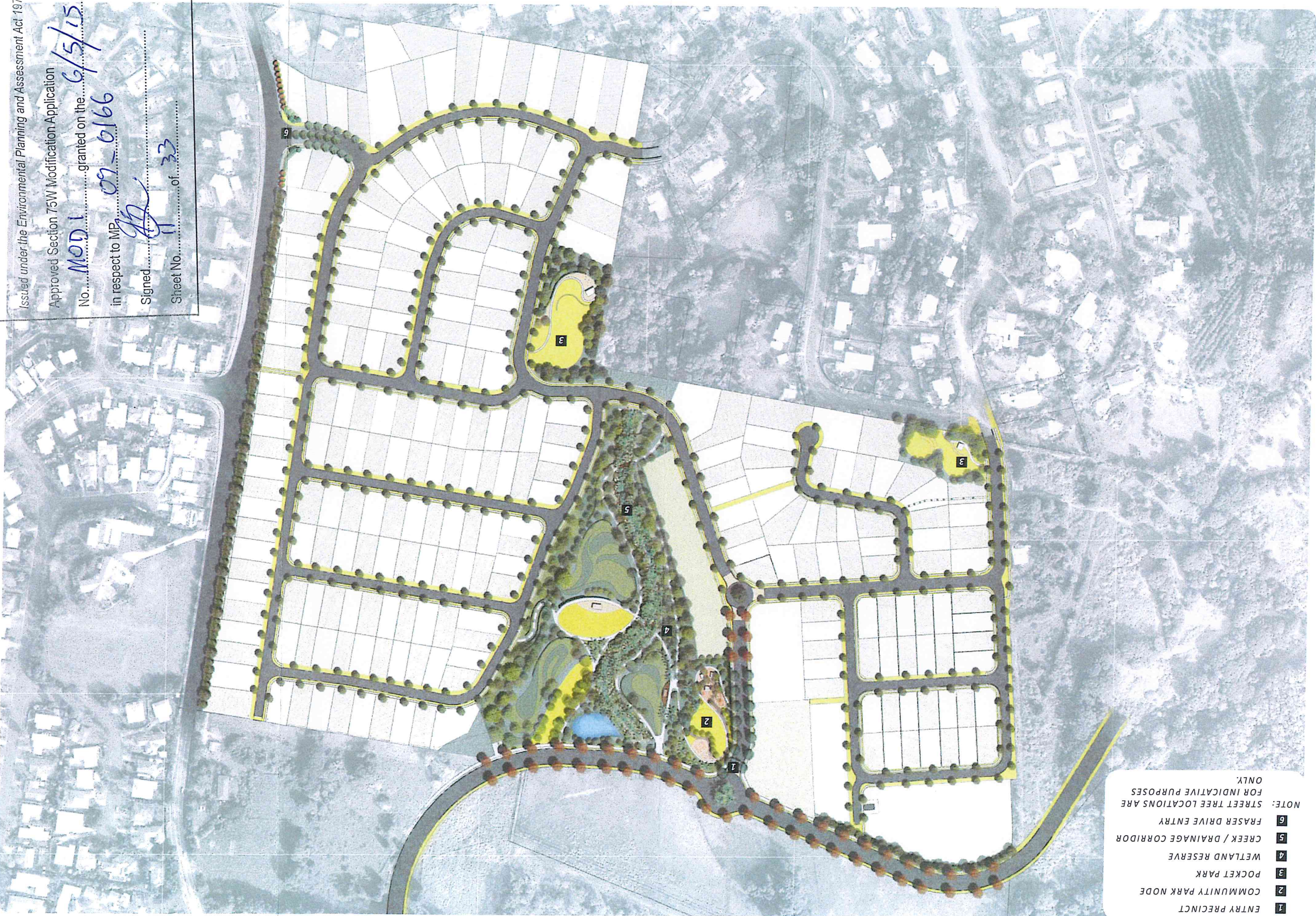
At the roundabout to the site a series of stone gabion and precast concrete blades will frame the entry road into the site. The textures will be combined to create a balance between contemporary and natural elements complementary to the architecture of the communal recreation centre. Elevated development signage will introduce the development branding and identity and a Hoop Pine boulevard will define a split road entrance reinforced by transitional pavement treatments.

INTRODUCTION

LANDSCAPE MASTERPLAN

100906 | 11 FEB 15 | DA09 | NORTH
PROJECT ALTITUDE ASPIRE | TERRANORA | LANDSCAPE MASTERPLAN | CLIENT NEWLAND DEVELOPERS PTY LTD

- NOTE: STREET TREE LOCATIONS ARE FOR INDICATIVE PURPOSES ONLY.
- 1 ENTRY PRECINCT
 - 2 COMMUNITY PARK NODE
 - 3 POCKET PARK
 - 4 WETLAND RESERVE
 - 5 CREEK / DRAINAGE CORRIDOR
 - 6 FRASER DRIVE ENTRY



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- WETLAND
- ENTRY PRECINCTS
- REVEGETATION ZONE
- DRAINAGE CHANNEL
- POCKET PARKS
- COMMUNITY PARK NODE
- BIO-RETENTION

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- Park Paths
- Concrete Paths
- Bluestone Gabion Retaining Walls
- Transitional Road Treatment
- Major Roads
- Primary Boulevard
- Secondary Spine Road
- Tertiary Streets

COMPLYING AREA
TOTAL PARK AREA



COMPLIANCE AREAS

100906 | 11 FEB 15 | DA09 | NORTH | SCALE 1:3000 @ A3

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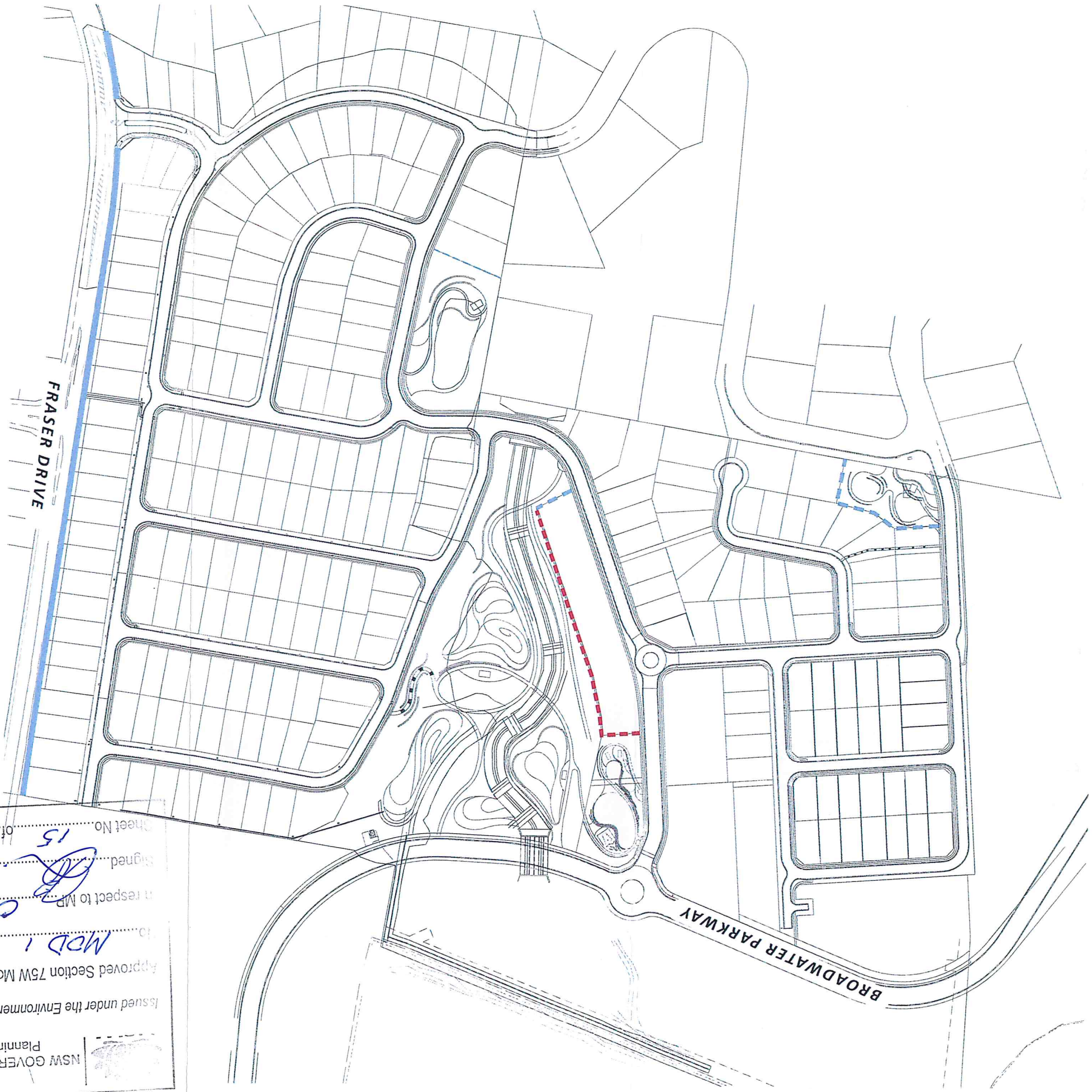
ALUMINIUM & TIMBER FENCE
TIMBER SCREEN FEATURE FENCE
TIMBER PALING FENCE

FENCE TYPES

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FORM LANDSCAPE ARCHITECTS | 7



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ALUMINIUM AND TIMBER FENCE



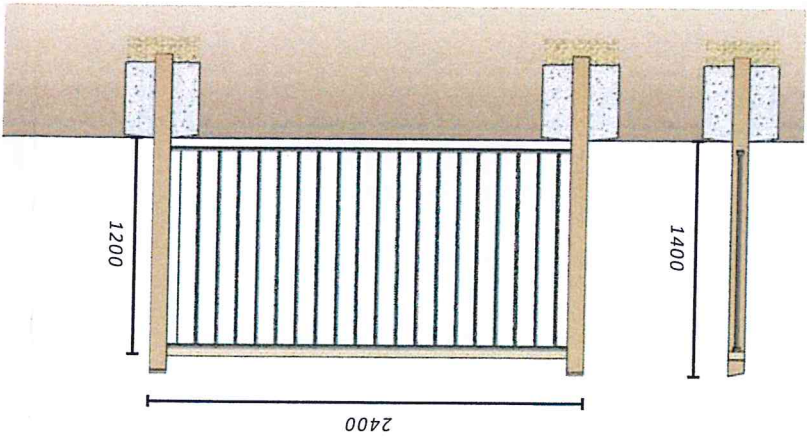
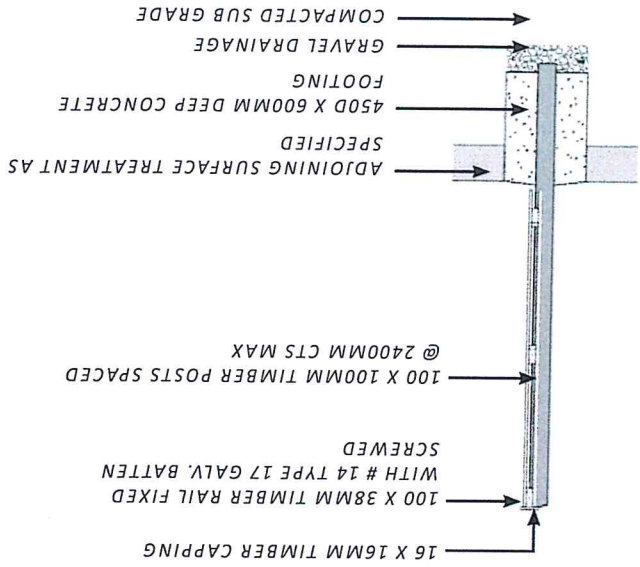
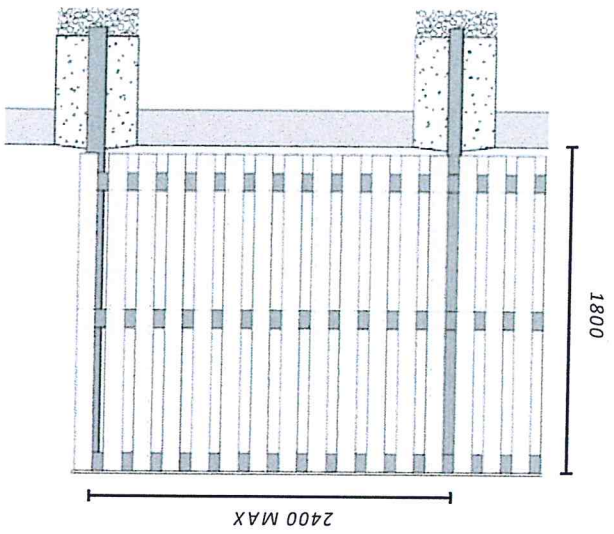
TIMBER SCREEN FENCE



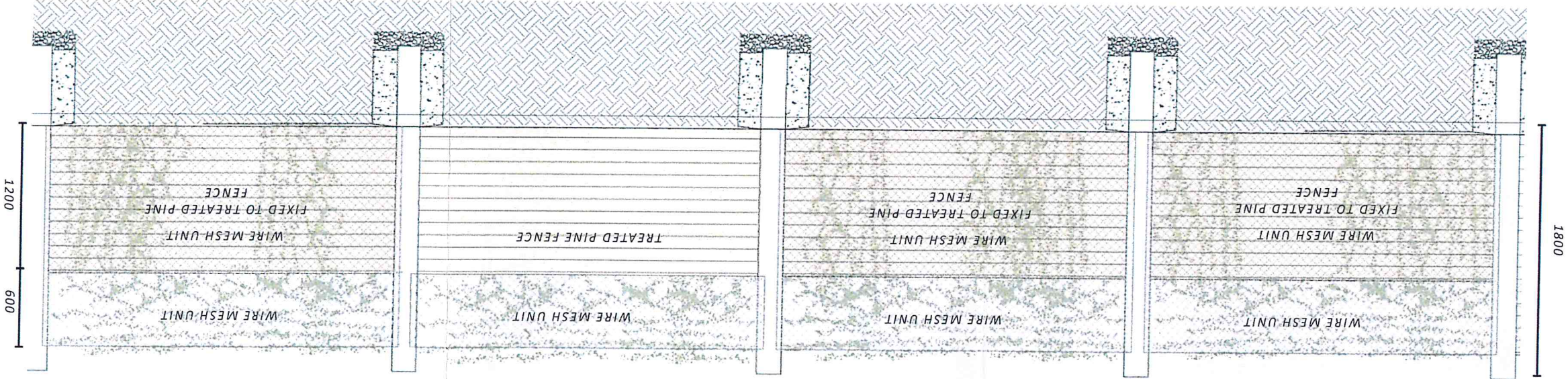
TIMBER PALING FENCE

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END POSTS: 100X 100 HWD
TOP RAIL: 100 X 50 HWD
BLACK POWDERCOAT ALUMINIUM POOL FENCE
PANEL SIZE: 2400MM
PANEL HEIGHT: 1200MM
TUBE SIZE: 19MM D VERTICAL TUBE
FIX TO POSTS AS PER MANUFACTURERS RECOMMENDATIONS



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COMMUNITY PARK NODE



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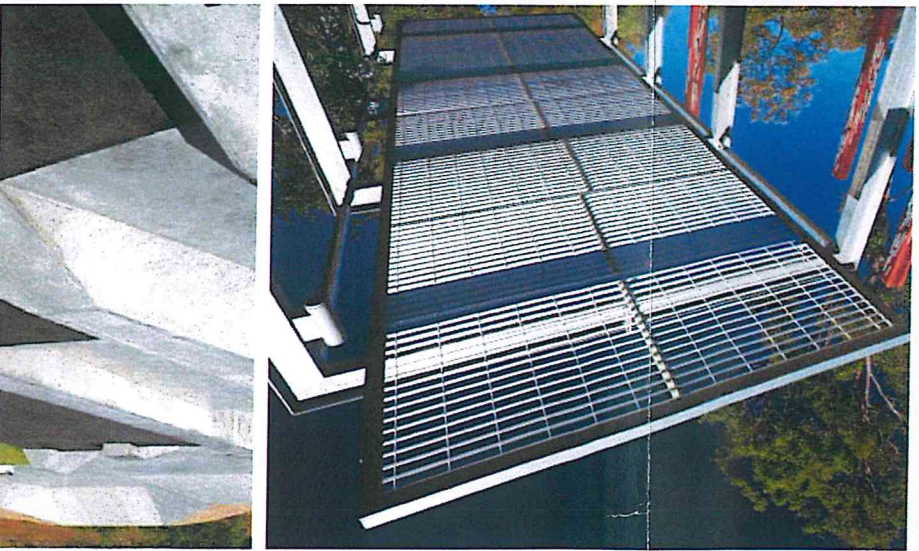
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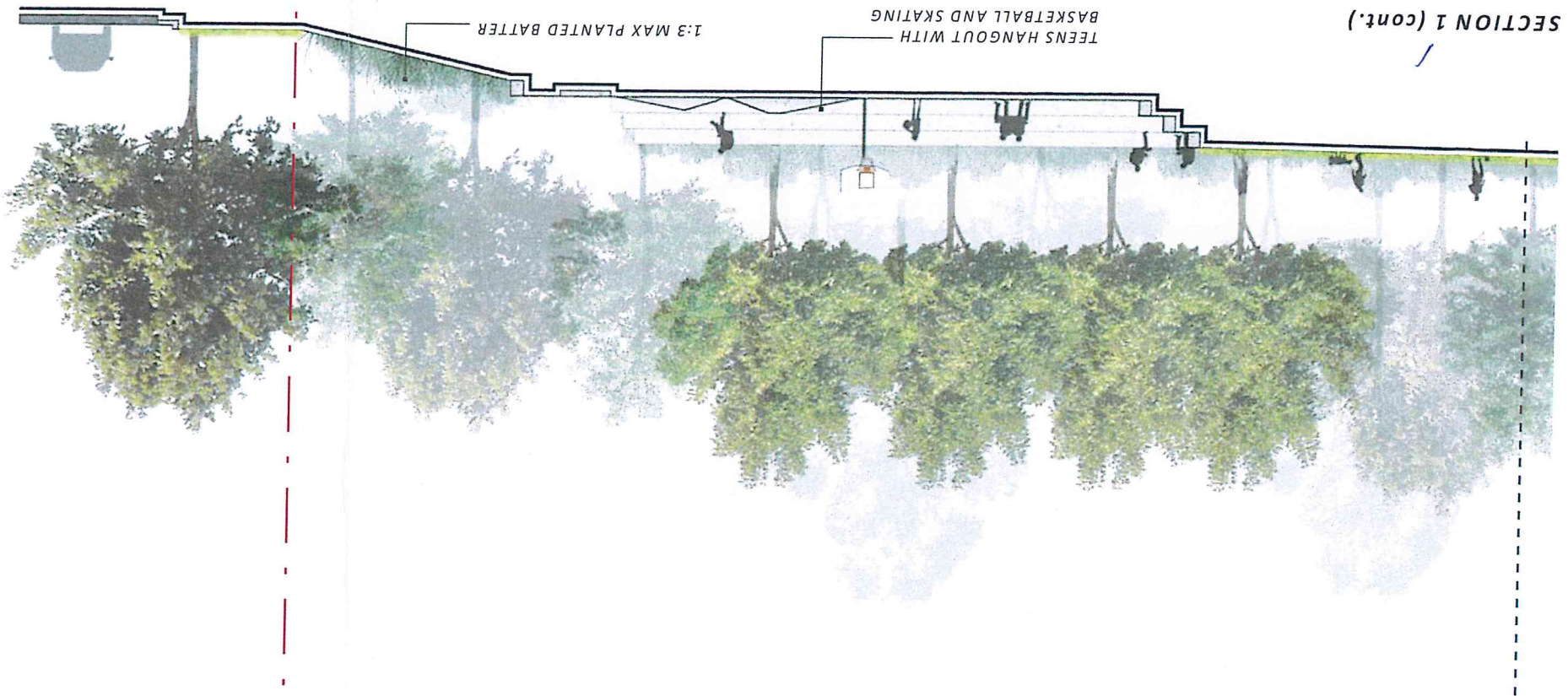
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- 1 PICNIC SHELTERS AND BBQ AREA OVERLOOKING PARK
- 2 BOLLARDS TO PARK PERIMETER
- 3 VIEWS INTO PARK AND PLAYGROUND FROM ELEVATED FOOTPATH FOR IMPROVED CPTD
- 4 TOILET FACILITIES
- 5 1500 WIDE CONCRETE FOOTPATH
- 6 MAIN PARK ENTRY NODE
- 7 TERRACE SEATING OVERLOOKING KICK AND THROW PARK
- 8 INFORMAL ENTRY
- 9 VIEWS INTO OPEN PARK FROM STREET
- 10 TERRACE SEATING WALL OVERLOOKING COURT AND SKATE SPACE

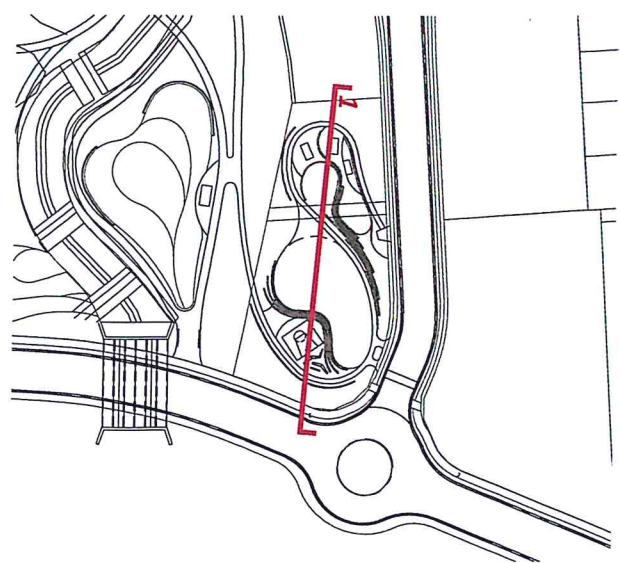
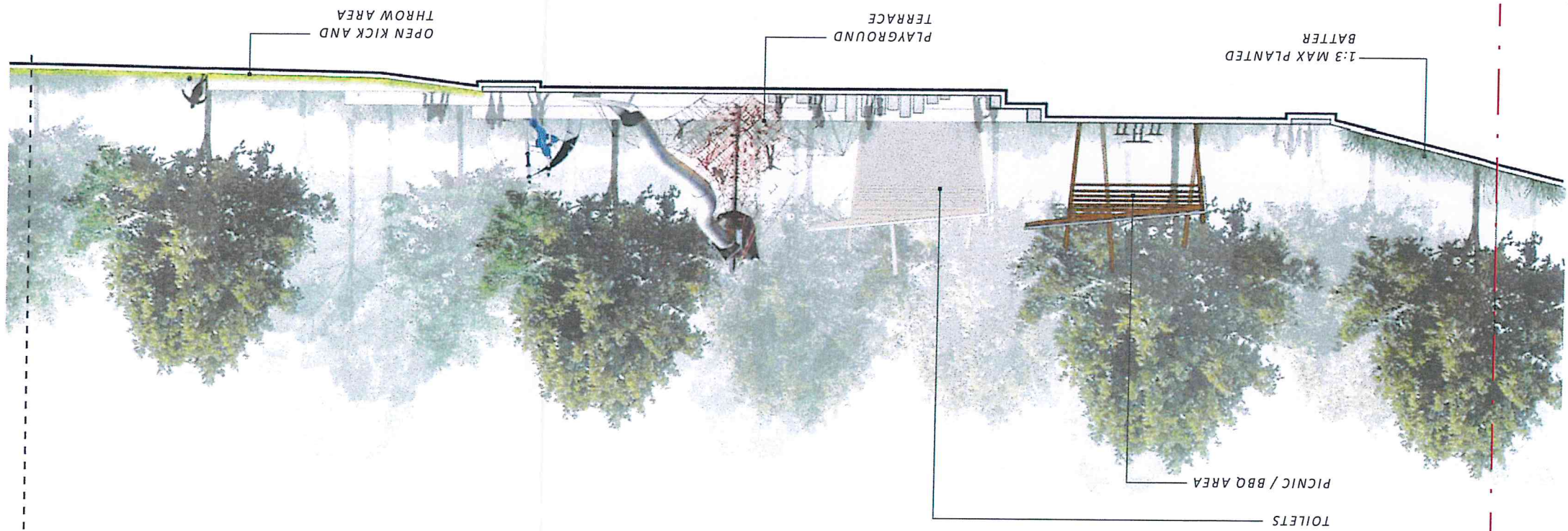
- 11 LARGE CORNER SHADE TREES AS FEATURE OF ENTRY
- 12 SCULPTURAL SKATE / PARKOUR WALLS AND RAILS
- 13 TEEN PLAYGROUND
- 14 PATHWAY CONNECTION TO STORM WATER DRAINAGE RESERVE
- 15 RETAINING WALL TO ACHIEVE LEVEL AND USABLE PARK POCKETS
- 16 TODDLER / JUNIOR PLAYGROUND
- 17 400MM HIGH TERRACE WALLS BETWEEN LEVELS
- 18 JUNIOR PLAYGROUND
- 19 SHADE TREE PLANTING
- 20 HALF BASKETBALL COURT / HANDBALL
- 21 STREETSIDE CARPARKING ACCOMMODATED IN ROAD WIDTH



SECTION 1 (cont.)



SECTION 1



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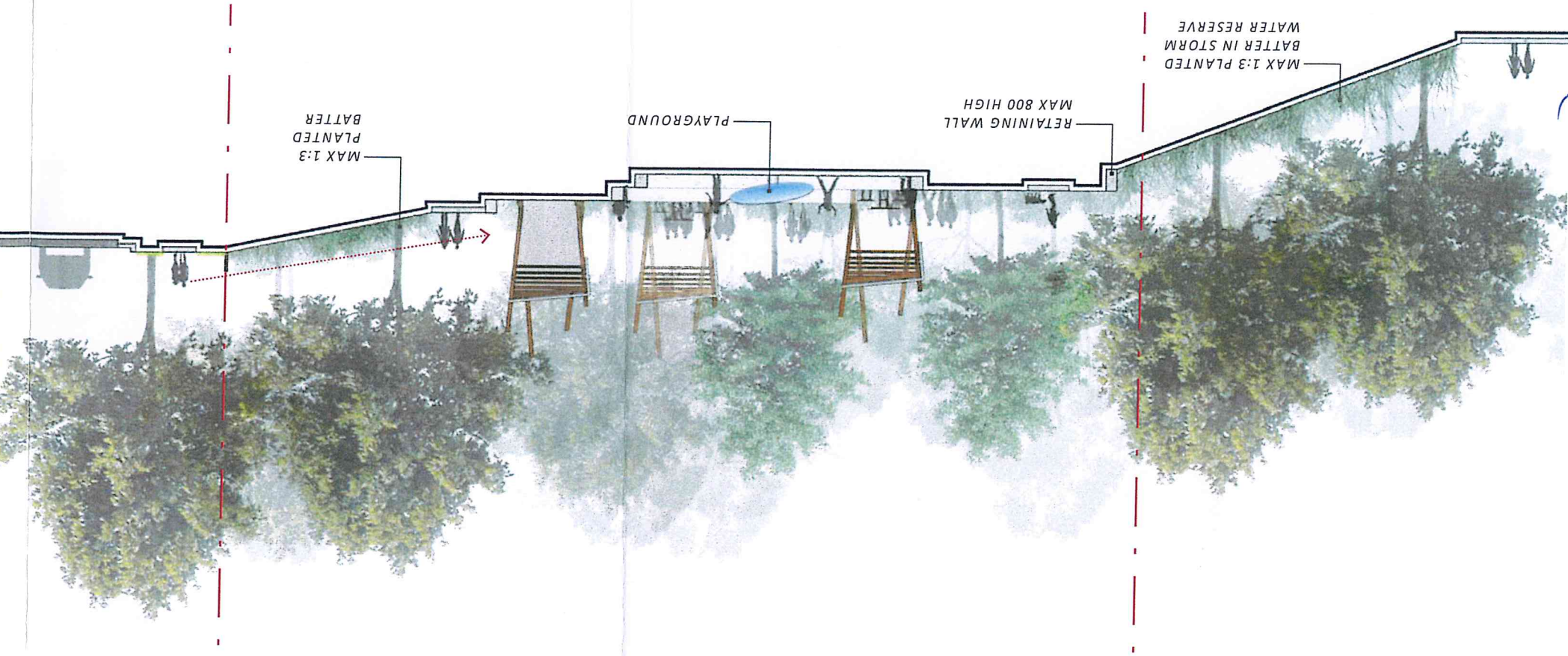
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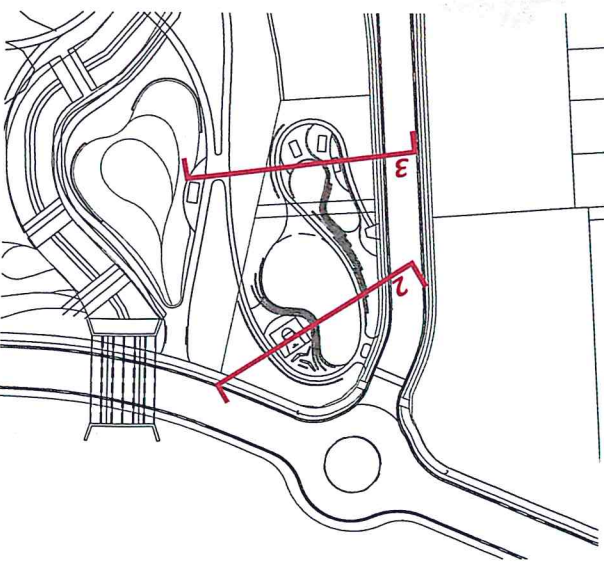
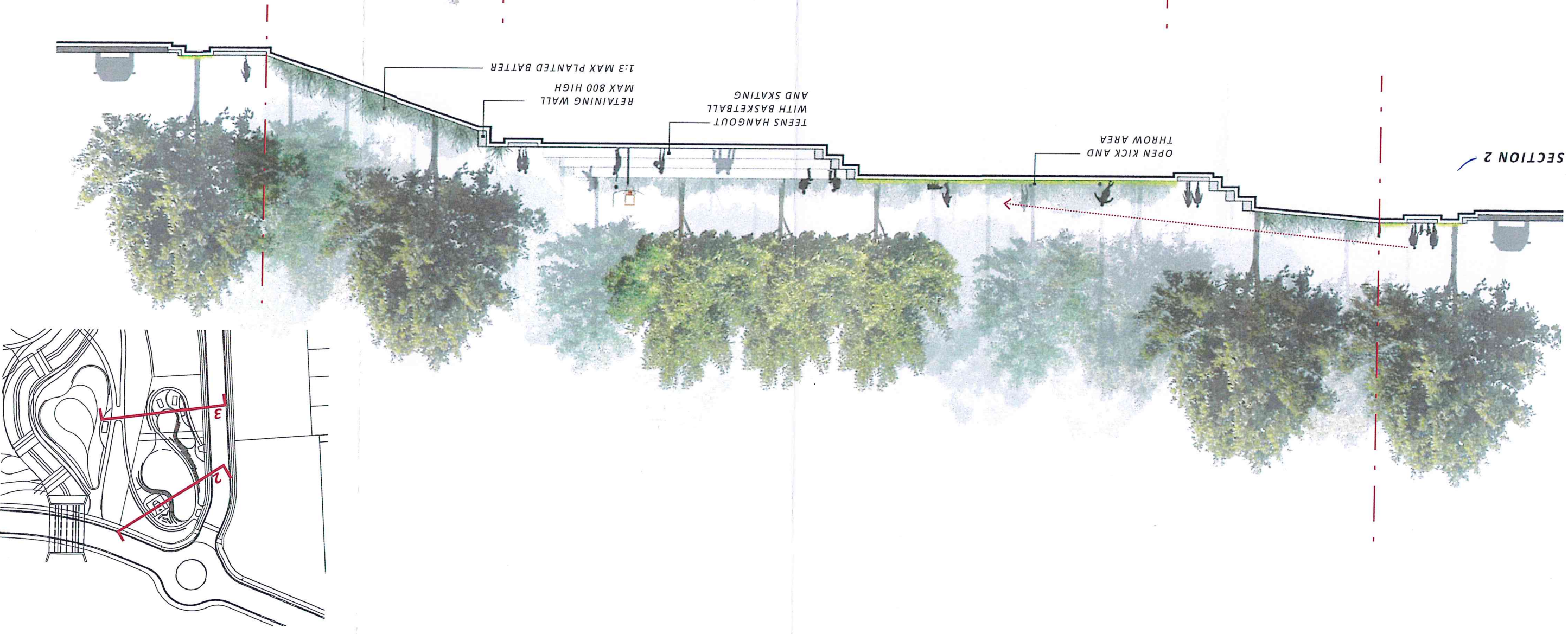
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SECTION 3



SECTION 2



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