

- 1/ PROVIDE GAS HOT WATER UNIT.
- 2/ PROVIDE COLORBOND "WATERPOINT
SUNLINE" 5000 Ltr OVAL RAINWATER
TANK WITH MAINS WATER BACKUP
AND PUMP.

NOTES:
CONNECTION OF THE RAINWATER HARVESTING
SYSTEM REQUIREMENTS.

- * INSTALLATION OF A DUAL CHECK
VALVE WATER METER
 - * STRUCTURAL CONCRETE SLAB UNDER
RAINWATER TANK AND PUMP
 - * TWO (2) DOWNPIPES FROM ROOF
CATCHMENT AREA POSITIONED WITHIN 2
METRES OF TANK LOCATION.
 - * SINGLE WATER INLET POINT PLUMBED
TO RAINWATER APPLICATIONS
- INCLUDING:
- TWO (2) EXTERNAL GARDEN TAPS
 - TWO (2) TOILET SUITES {THREE (3) for
Two Storey Dwellings}
 - COLD WATER WASHING MACHINE TAP.
 - MAINS WATER FEED POINT TO TANK
LOCATION (ON EXTERNAL WALL OF
HOUSE).
 - STORMWATER DISCHARGE DRAINAGE
POINTS (2) FOR TANK OVERFLOW AND
FIRST FLUSH APPLICATION.
 - WEATHERPROOF SINGLE POWERPOINT
TO PUMP LOCATION

EXCAVATION NOTES:

BUILDER TO EXCAVATE APPROX. 1000mm ON 82.400 AHD &
SPREAD FILL OVER REMAINING BUILDING AREA TO LEVEL.

EXCAVATIONS TO START MIN 1200mm FROM EDGE OF
BUILDING & TO BE BATTERED BACK AT 45° MIN. AND ARE NOT
TO EXTEND BEYOND TITLE BOUNDARY. (UNLESS NOTED
OTHERWISE)

IF REQUIRED BUILDER TO PROVIDE DRIVEWAY ACCESS CUT AT
MAX. GRADIENT OF 1:5

NOTE: IF CONCRETE DRIVEWAY IS NOT PROVIDED IT IS THE
OWNERS RESPONSIBILITY TO PROVIDE A GRADED DRAIN
ACROSS GARAGE OPENINGS WHERE REQUIRED TO AVOID
PONDING.

NOTE: EXCAVATION BATTERS ENCR OACH WITHIN 600mm OF
ADJOINING PROPERTY BOUNDARY LINES

S.W.D. NOTES:

STORMWATER DRAIN AND DOWN PIPE LAYOUT SHOWN IS
INDICATIVE ONLY
PROVIDE 90MM DIA U.P.V.C. STORMWATER DRAINS WITH MIN
1:100 FALL CONNECTED TO LEGAL POINT OF DISCHARGE
PROVIDE 100MM DIA 'SEWER' QUALITY U.P.V.C. DRAINS TO
UNDERSIDE OF GARAGE CONCRETE SLAB.
PROVIDE 300MM GROUND COVER TO ALL DRAINS.
GRADE SOIL AWAY FROM PERIMETER OF BUILDING TO AVOID
PONDING.

APPROX. CENTRELINE OF
DRIVEWAY BY OWNER.
MAX GRADIENT = 1:5

EROSION & SEDIMENT CONTROL
TO PERIMETER OF SITE AS PER
TSC REQUIREMENTS

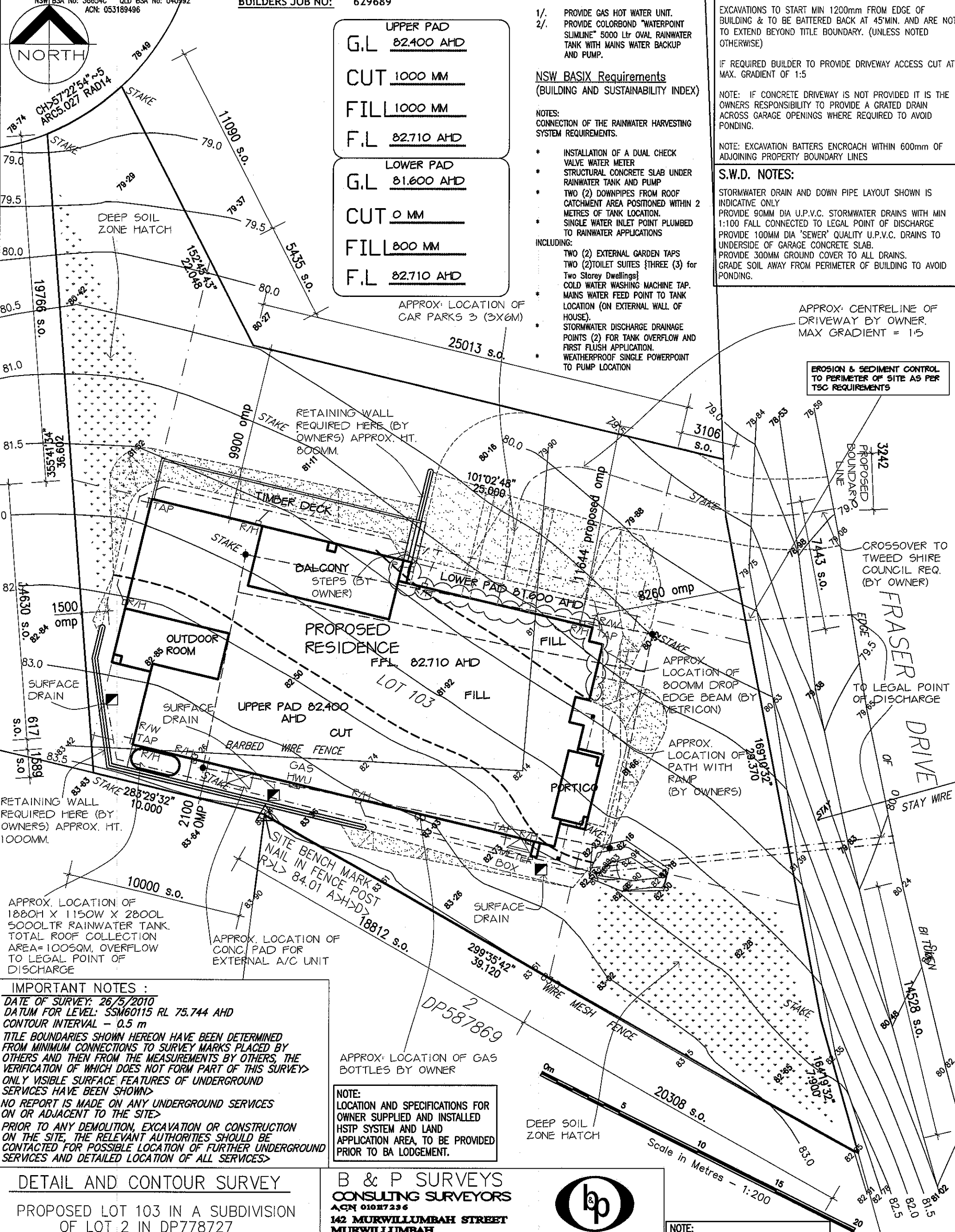
CROSSOVER TO
TWEED SHIRE
COUNCIL REQ.
(BY OWNER)

FRASER
DRIVE

TO LEGAL POINT
OF DISCHARGE

STAY WIRE

BI TUMEN
14528 S.O.



IMPORTANT NOTES :

DATE OF SURVEY: 26/5/2010
DATUM FOR LEVEL: SSN60115 RL 75.744 AHD
CONTOUR INTERVAL - 0.5 m
TITLE BOUNDARIES SHOWN HEREON HAVE BEEN DETERMINED
FROM MINIMUM CONNECTIONS TO SURVEY MARKS PLACED BY
OTHERS AND THEN FROM THE MEASUREMENTS BY OTHERS, THE
VERIFICATION OF WHICH DOES NOT FORM PART OF THIS SURVEY
ONLY VISIBLE SURFACE FEATURES OF UNDERGROUND
SERVICES HAVE BEEN SHOWN
NO REPORT IS MADE ON ANY UNDERGROUND SERVICES
ON OR ADJACENT TO THE SITE
PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION
ON THE SITE, THE RELEVANT AUTHORITIES SHOULD BE
CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND
SERVICES AND DETAILED LOCATION OF ALL SERVICES

APPROX. LOCATION OF GAS
BOTTLES BY OWNER

NOTE:
LOCATION AND SPECIFICATIONS FOR
OWNER SUPPLIED AND INSTALLED
HSTP SYSTEM AND LAND
APPLICATION AREA, TO BE PROVIDED
PRIOR TO BA LODGEMENT.

DETAIL AND CONTOUR SURVEY

PROPOSED LOT 103 IN A SUBDIVISION
OF LOT 2 IN DP778727

FRASER DRIVE - TERRANORA

Parish of TERRANORA County of ROUS

P: \TWEED\15263\topo\100526\18266D.pro

B & P SURVEYS CONSULTING SURVEYORS

ACN 01017236
142 MURWILLUMBAH STREET
MURWILLUMBAH
NSW 2484
T: (02) 66721924
F: (02) 66722618
E: info@bnp.com.au
O: 02 66721924
S: 02 66722618
P: 02 66722618



A QUALITY ASSURED COMPANY

MEMBER
SURVEYORS AUSTRALIA

T: 02 66721924
F: 02 66722618
P: 02 66722618

NOTE:
DUE TO HEIGHT & LOCATION OF
RETAINING WALL, BOUNDARY
RELAXATION MAY BE REQUIRED.

ISSUE DATE: 17.08.10

SITE COVER: 32.47 %

PAGE 1 OF 10

SCALE	Level DATUM	F.Bk	L.Bk	Drawn	Chk'd
1 : 200	A>H>D>	(1)	-	BDR	BDR

REF. No.	DATE	DRAWING No./Size	Sheet	Of	Rev.
T15263	27.5.10	18266 D	-	-	-

DESIGN: **ASPIRE 28**

FACADE: **VOGUE** CEILING: **21 R**

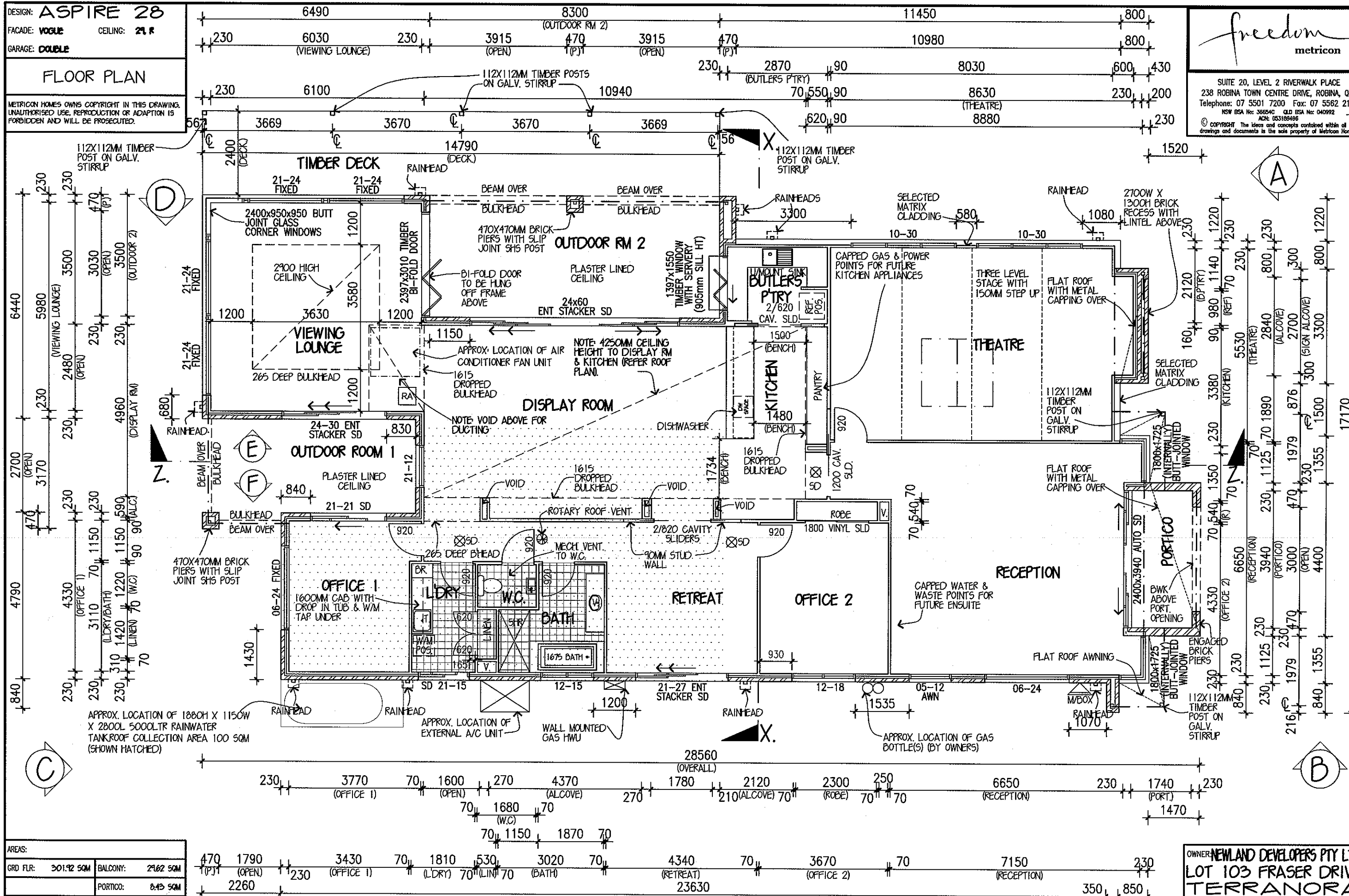
GARAGE: **DOUBLE**

FLOOR PLAN

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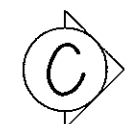


AREAS:	
GRD FLR:	301.92 SQM
BALCONY:	29.62 SQM
PORTICO:	8.43 SQM
OUTDOOR RM:	17.53 SQM
TIMBER DECK:	35.49 SQM
SUBTOTAL:	392.99 SQM
TOTAL:	324.91 SQM

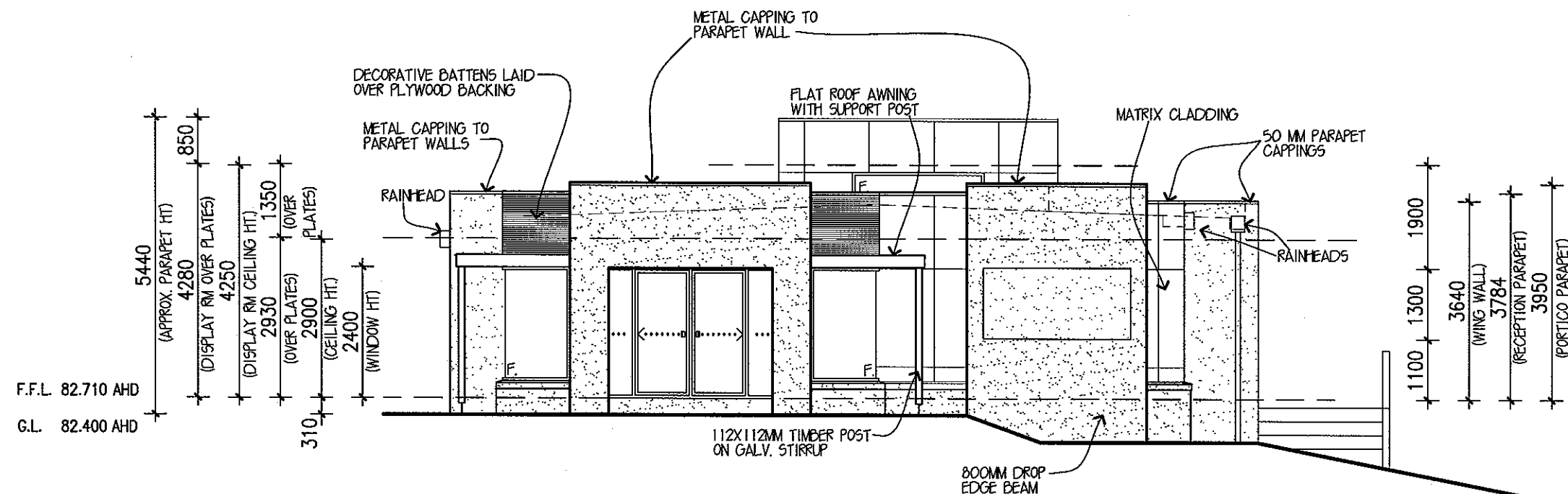
FLOOR PLAN 1:100

- NOTE: PROVIDE FULLY DUCTED REVERSE CYCLE AIR-CONDITIONING SYSTEM
- NOTE: PROVIDE HOUSE MUSIC PACKAGE
- NOTE: PROVIDE "HOME NETWORK" SECURITY SYSTEM TO HOUSE
- NOTE: REFER TO PAGE 1 (SITE PLAN) & PAGE 6 (SECTION) FOR NSW BASIX REQUIREMENTS
- NOTE: 2340mm HIGH INTERNAL DOORS THROUGHOUT (EXCLUDING ALL ROBE, LINEN & BROOM DOORS)

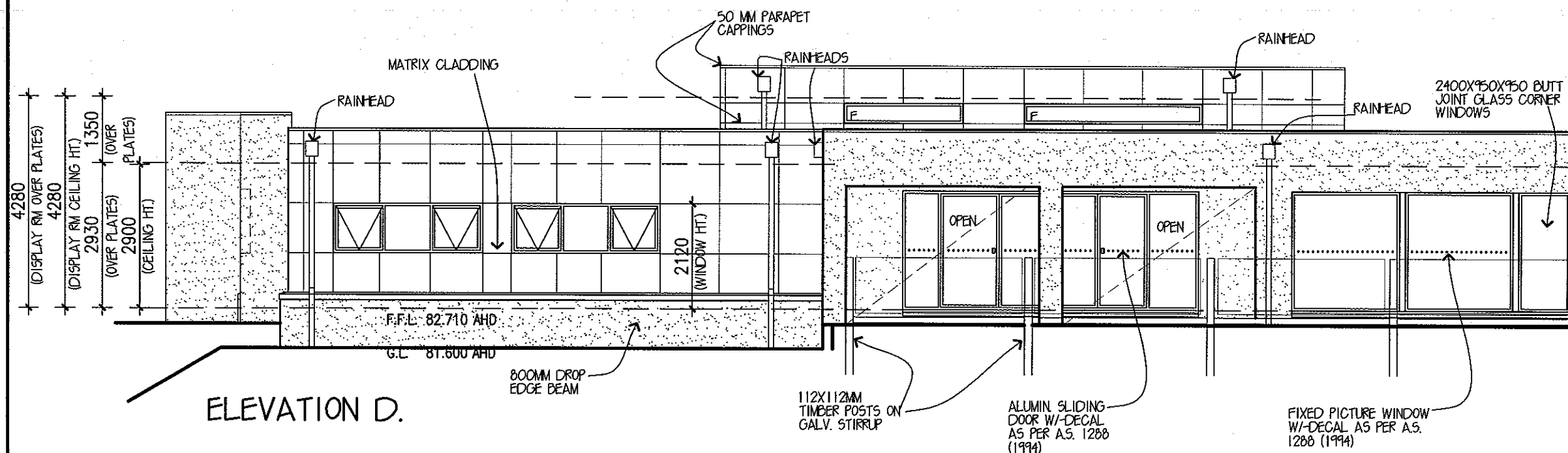
OWNER: NEWLAND DEVELOPERS PTY LTD	
LOT 103 FRASER DRIVE TERRANORA	
JOB NO: 629689	DATE: 17.08.10
F.C. DATE:	MST VER: AUGUST, 2009
PERMIT No:	DWS: N4
DRAWN: MME	CHKD: NWL
SHEET: 2 of 10	



VARIATIONS(V), RE-PREPS(R), AMENDMENTS(A):								DESIGN: ASPIRE 28			OWNER: NEWLAND DEVELOPERS PTY LTD			
No:	Date:	Drawn:	Chkd:	No:	Date:	Drawn:	Chkd:	FACADE: VOGUE	CEILING: 29 R		LOT 103 FRASER DRIVE			
STC	17.08.10	MME	NWL					GARAGE: DOUBLE			TERRANORA			
								ROOF PLAN			JOB NO: 629689		DATE: 17.08.10	
										F.C.DATE:		MST VER: AUGUST. 2009		
										PERMIT No:		DWS: N4		
-				-						METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTION IS FORBIDDEN AND WILL BE PROSECUTED.		DRAWN: MME		CHKD: NWL
CONT'D ON SHEET NO. 4										SUITE 20, LEVEL 2 RIVERWALK PLACE 238 ROBINA TOWN CENTRE DRIVE, ROBINA, QLD Telephone: 07 5501 7200 Fax: 07 5562 2194 NSW BSA No: 36654C QLD BSA No: 040992 ACN: 053189486 © COPYRIGHT The ideas and concepts contained within all drawings and documents is the sole property of Metricon Homes				



ELEVATION A.



ELEVATION D.

ELEVATIONS 1:100

VARIATIONS(V), RE-PREPS(R), AMENDMENTS(A):

... CONT'D FROM SHEET NO. 3

No.	Date:	Drawn:	Chkd:	No.	Date:	Drawn:	Chkd:
-				-			
-				-			
-				-			
-				-			

DESIGN: **ASPIRE 28**

FACADE: **VOGUE** CEILING: **29 R**

GARAGE: **DOUBLE**

ELEVATIONS

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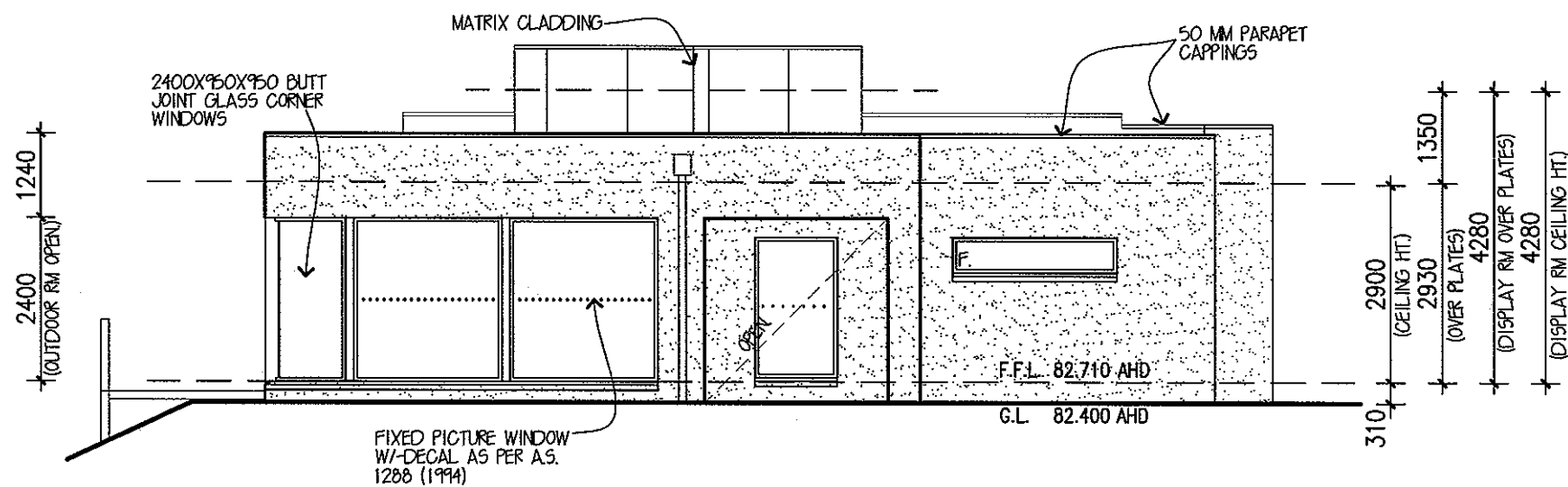
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LOT 103 FRASER DRIVE
TERRANORA

JOB NO: **629689** DATE: **17.08.10**

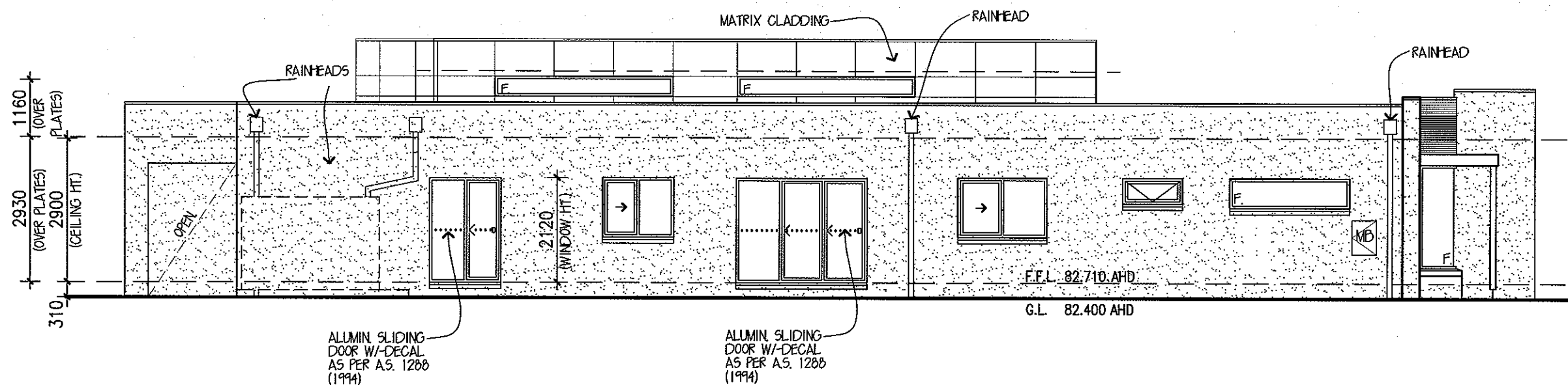
F.C. DATE: MST VER: **AUGUST. 2009**

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DRAWN: **MME** CHKD: **NWL** SHEET: **4 of 10**



ELEVATION C.



ELEVATION B.

ELEVATIONS 1:100

DESIGN: **ASPIRE 28**

FACADE: **VOGUE** CEILING: **29 R**

GARAGE: **DOUBLE**

ELEVATIONS

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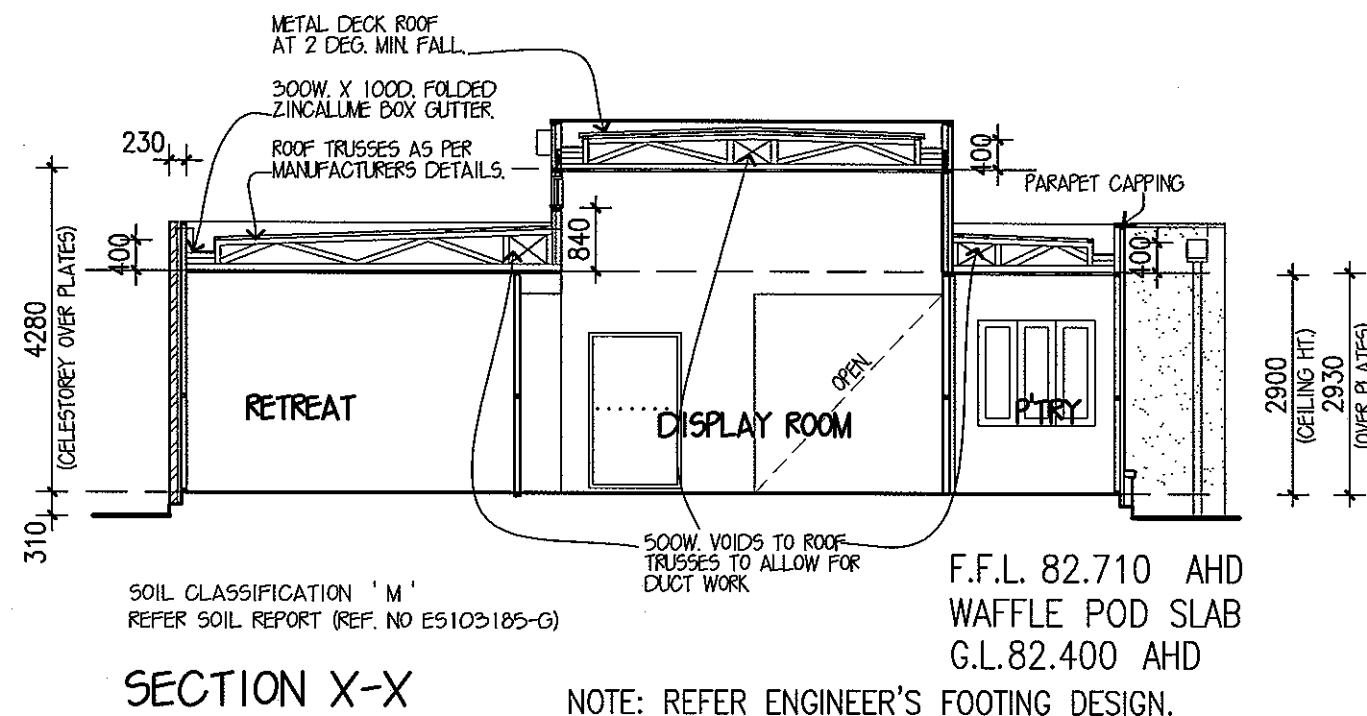
OWNER: **NEULAND DEVELOPERS PTY LTD**
LOT 103 FRASER DRIVE
TERRANORA

JOB NO: **629689** DATE: **17.08.10**

F.C. DATE: MST VER: **AUGUST. 2009**

PERMIT No: DWS: **N4**

DRAWN: **MME** CHKD: **NWL** SHEET: **5 of 10**



NSW BASIX Requirements (BUILDING AND SUSTAINABILITY INDEX)

- 1/. PROVIDE GAS HOT WATER UNIT.
- 2/. PROVIDE COLORBOND "WATERPOINT SLIMLINE" 5000 Ltr OVAL RAINWATER TANK WITH MAINS WATER BACKUP AND PUMP.

NSW BASIX Requirements (BUILDING AND SUSTAINABILITY INDEX)

NOTES:
CONNECTION OF THE RAINWATER HARVESTING SYSTEM REQUIREMENTS.

- * INSTALLATION OF A DUAL CHECK VALVE WATER METER
 - * STRUCTURAL CONCRETE SLAB UNDER RAINWATER TANK AND PUMP
 - * TWO (2) DOWNPIPES FROM ROOF CATCHMENT AREA POSITIONED WITHIN 2 METRES OF TANK LOCATION.
 - * SINGLE WATER INLET POINT PLUMBED TO RAINWATER APPLICATIONS
- INCLUDING:
- TWO (2) EXTERNAL GARDEN TAPS
 - TWO (2) TOILET SUITES {THREE (3) for Two Storey Dwellings}
 - COLD WATER WASHING MACHINE TAP.
 - MAINS WATER FEED POINT TO TANK LOCATION (ON EXTERNAL WALL OF HOUSE).
 - * STORMWATER DISCHARGE DRAINAGE POINTS (2) FOR TANK OVERFLOW AND FIRST FLUSH APPLICATION.
 - * WEATHERPROOF SINGLE POWERPOINT TO PUMP LOCATION

SECTION 1:100

STANDARD NOTES

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.

ROOF CLADDING

- AS SPECIFIED ON ADJACENT SECTION.
- ROOF WATER
- SELECT COLORBOND FASCIA & GUTTER
- SELECT COLORBOND (RAINHEADS WHERE NOTED)/ DOWNPIPES TO BE CONNECTED TO U/G DRAINAGE

SOFFIT DETAIL

- 45MM F.C. SHEET.
- 600MM WIDE FROM FACE OF BRICK FOR BRICK VENEER CLAD AREAS UNO.
- 760MM WIDE FROM STUD FRAME FOR LIGHTWEIGHT CLAD AREAS. (DISREGARD PACKING/CLADDING) UNO.
- ALL OTHER AREAS TO BE ZERO FROM FACE OF BRICK UNO.

FRAMING - GENERAL

- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH A.S. 1684 - 1999 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS STRUCTURAL COMPUTATIONS.

ROOF FRAMING

- PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS, PITCH AS SHOWN ON ADJACENT SECTION.
- SPACED & FIXED AT 600MM MAX. CRS.
- GIRDER TRUSSES TO BE PLACED DIRECTLY OVER EXTERNAL WALL STUDS OR APPROVED LINTEL.

WALL FRAMING - SELECTION

- EXTERNAL STUD WALLS TO BE 70MM THICK
- INTERNAL STUD WALLS TO BE 70MM THICK UNLESS NOTED OTHERWISE @ 600MM CRS.
- ALL WINDOW HEADS TO BE 2120MM MIN ABOVE F.F.L. UNO.

LINTEL SIZES TO ENGINEERS DESIGN

WALL FRAMING - BRACING ETC.

- WALL BRACING, FIXINGS, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQUIREMENTS TO BE AS PER ENGINEERS DETAIL.

INTERNAL WALL/CEILING CLADDING - GENERAL

- WALLS TO BE 10MM PLASTERBOARD.
- CEILINGS 'DIRECT FIX' 10MM UNISPAN PLASTERBOARD.
- EXTERNAL CEILING CLADDING - OUTDOOR ROOMS & PORTICOS
- CEILINGS 'DIRECT FIX' 10MM UNISPAN PLASTERBOARD UNO.
- F.C. SHEETING TO BE PROVIDED FOR 'FLAT ROOF' TYPE PORTICOS

EXTERNAL WALL CLADDING

- BRICK COURSEING TO BE SETOUT TO ACHIEVE 2120 ABOVE F.F.L. FOR ALL WINDOW HEADS UNO.
- PROVIDE F.C. SHEET INFILLS ABOVE SIDE & REAR ELEVATION WINDOWS & DOORS WHERE INDICATED BY HATCHING, TO WALLS WITH SELECTED FACE BRICK.
- PROVIDE BLUEBOARD INFILLS ABOVE SIDE & REAR ELEVATION WINDOWS & DOORS WHERE INDICATED BY HATCHING, TO WALLS WITH SELECTED RENDERED FINISH.
- USE F.F.L. FOR DATUM OF WALL BRICK COURSES
- A.J. - DENOTES BRICKWORK ARTICULATION JOINT. REFER TO ENGINEERS SLAB DESIGN &/OR B.C.A. 3.3.1.8, FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS.
- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50MM MIN LAP TO ALL JOINTS WITH CONTINUOUS SILICON SEAL BETWEEN &) 30MM MIN VERTICAL OVERHANG.
- PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- WHEN RENDERED FINISH IS APPLIED THE RENDERER IS TO ENSURE WINDOW & DOOR OVERFLOW DRAINAGE HOLES ARE KEPT FREE OF RENDER & ARE NOT BLOCKED

STANDARD NOTES (CONT)

BRICK PIERS/COLUMNS

- PROVIDE BALCONY/PORTICO &/OR ROOF SUPPORT WITH ENCASED SLIP-JOINT SHS POSTS (FULL LENGTH UNO.) CHEMSET TO CONCRETE FOOTING TO ENGINEERS DETAIL
- HEADER COURSE TO TOP OF ALL BRICK PIERS LOWER THAN SOFFIT LINE
- USE 330MM BELOW F.F.L. FOR DATUM OF PIER BRICK COURSES

SLIP-JOINT SHS POSTS

- FOR DETAIL OF SLIP-JOINT SHS POSTS NOMINATED ON FLOORPLANS REFER TO DETAIL SHEET 4 - (POST TYPES) IN L1001 DETAIL SHEETS 009 DETAIL SHEET 4 - POST TYPES

CONCRETE SLAB ON GROUND

- CONCRETE SLAB TO ENGINEERS DETAIL.
- 86MM STEPDOWN FROM F.F.L. HOUSE SLAB TO F.F.L. GARAGE SLAB

TERMITE PROTECTION

- PROVIDE TERMITE BARRIER DEEMED TO SATISFY A.S. 3660.1-2000

STEPS & STAIRS

- ALL STEPS MUST COMPLY WITH B.C.A. 3.9.1.

BALUSTRADES

- ALL BALUSTRADES MUST COMPLY WITH B.C.A. 3.9.2.

WET AREAS

- WATERPROOFING OF WET AREAS TO COMPLY WITH A.S. 3870 &/OR B.C.A. 3.8.1.
- WALL LINING TO WET AREAS TO BE 6MM VILLABOARD. CEILINGS 'DIRECT FIX' 10MM UNISPAN PLASTERBOARD.

GLAZING

- WINDOW HEAD HEIGHT DIMENSION GENERALLY TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE
- ALL WINDOW HEADS TO FINISH FLUSH WITH SOFFIT LINING UNO.
- WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS UNO.
- ALUMIN. SLIDING WINDOWS & DOORS TO SIDE & REAR ELEVATIONS UNO.
- ALL GLAZING TO COMPLY WITH A.S. 1288-1994 GLASS IN BUILDINGS, & WITH A.S. 4055-1992 FOR WINDLOADING.

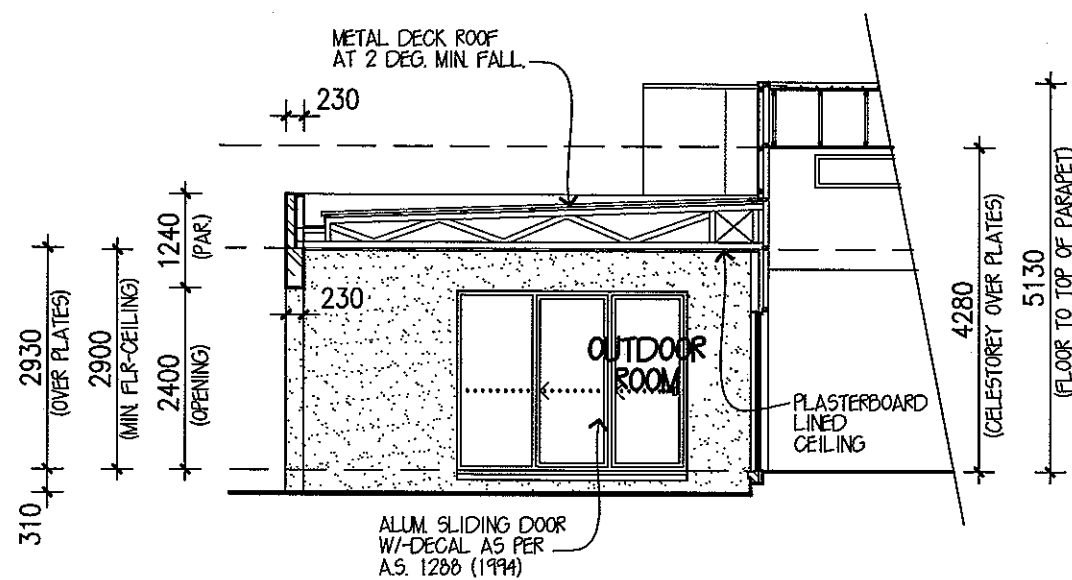
ENERGY EFFICIENCY NOTES

- PROVIDE BULK CEILING INSULATION RATING R2.5 TO CEILING AREA.
- PROVIDE DOUBLE SIDED 'WALL-WRAP' RATING R1.0 TO EXTERNAL STUD WALLS.
- PROVIDE WEATHER STRIPPING TO ENTRY & LAUNDRY DOORS.

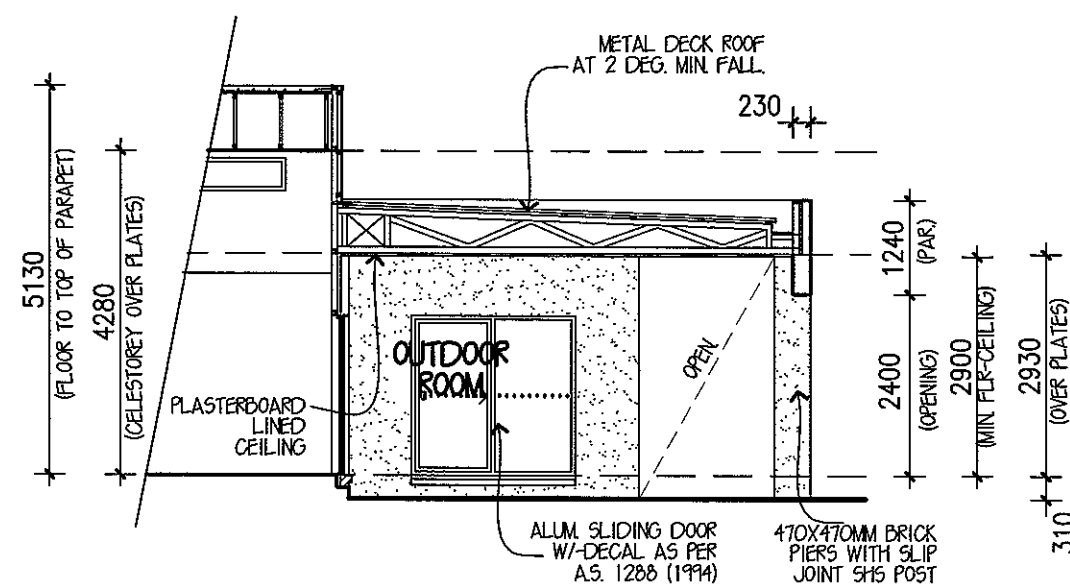
MISCELLANEOUS

- ALL HWUS TO BE GAS UNO.
- FLUES FOR ALL HEATERS (WHERE APPLICABLE) ARE TO BE INSTALLED TO MANUFACTURERS SPECIFICATION
- ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH B.C.A.3.8.3.

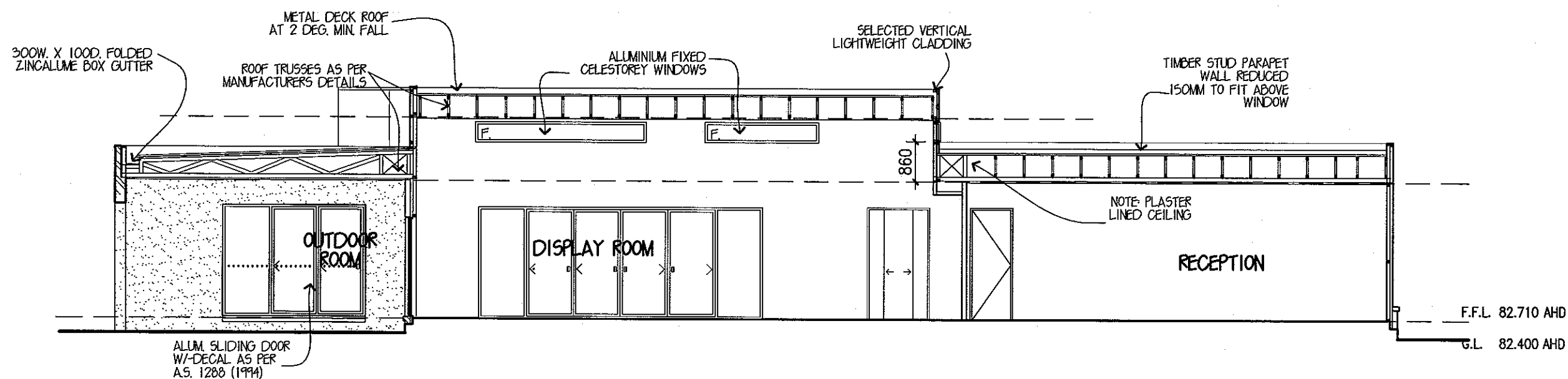
DESIGN: ASPIRE 28		OWNER: NEULAND DEVELOPERS PTY LTD	
FACADE: VOGUE CEILING: 21 R		LOT 103 FRASER DRIVE TERRANORA	
GARAGE: DOUBLE	SUITE 20, LEVEL 2 RIVERWALK PLACE 238 ROBINA TOWN CENTRE DRIVE, ROBINA, QLD Telephone: 07 5501 7200 Fax: 07 5562 2194 NSW BSA No: 36654C QLD BSA No: 040992 ACN: 053189496		JOB NO: 629689 DATE: 17.08.10
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ELEVATION E



ELEVATION F



SECTION Z-Z

SECTION 1:100

DESIGN: **LATITUDE 32**
 FACADE: **MODERN** CEILING: **25, R**
 GARAGE: **DOUBLE**

SECTION

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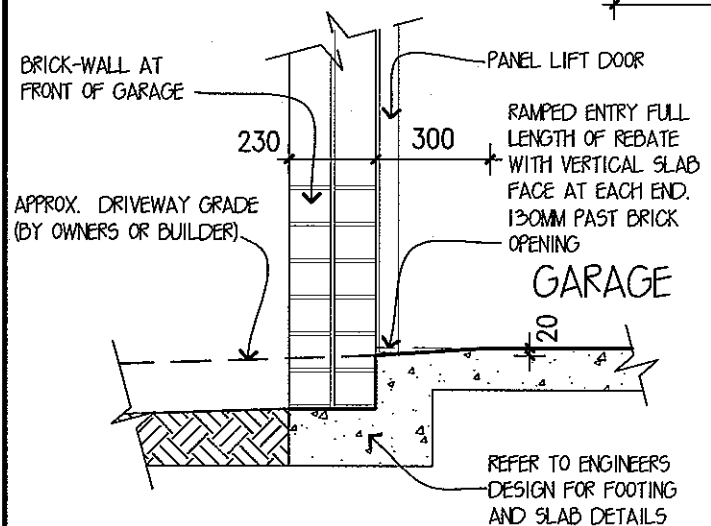
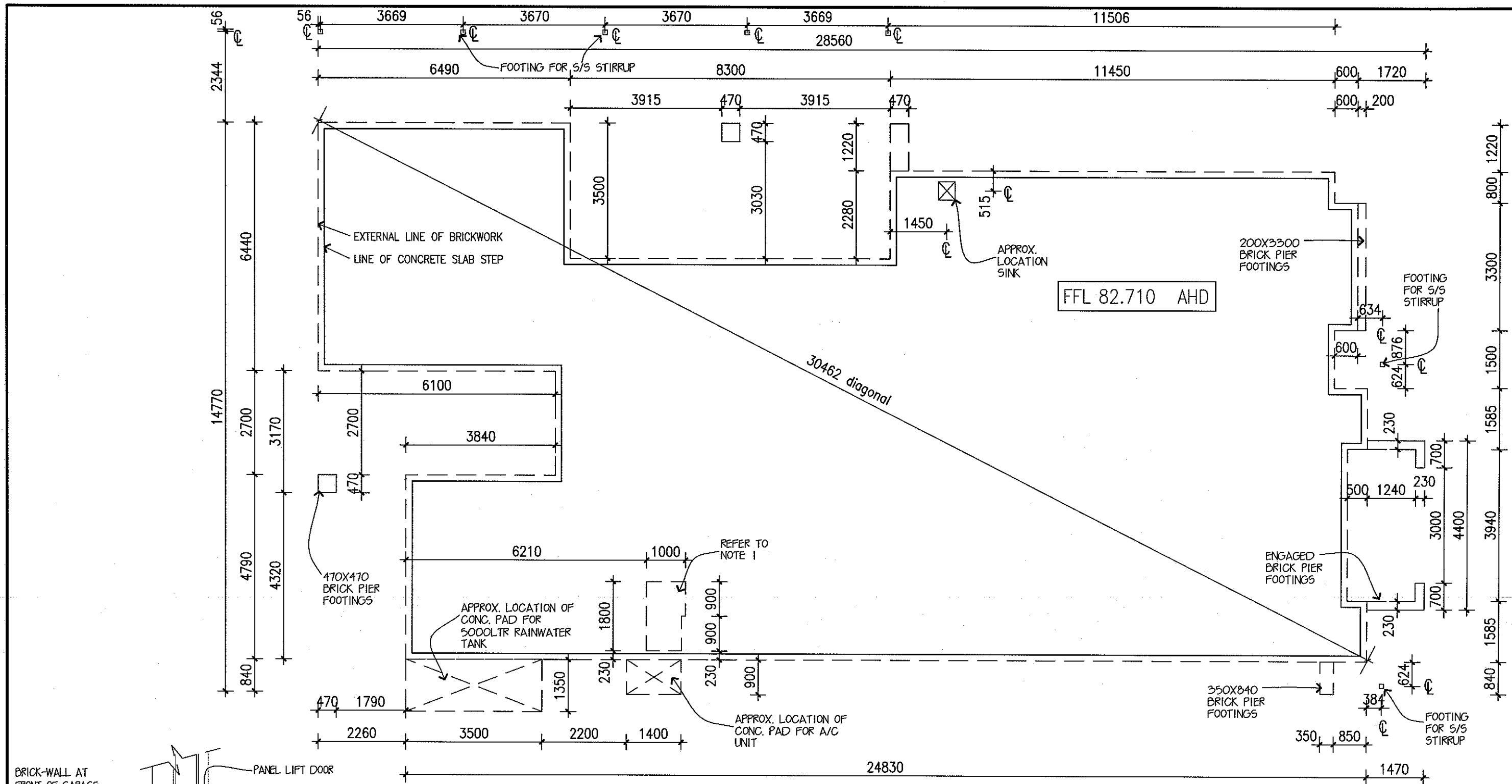
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JOB NO: 629689 DATE: 17.08.10

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GARAGE DOOR REBATE/END DETAIL
SCALE 1:20

NOTE:

- 1/. WET AREA SETDOWN TO BE IN LINE WITH FACE OF FRAMING AND EXTEND 100mm PAST SHOWER SCREEN. (TYPICAL)
- 2/. PROVIDE TERMITE BARRIER AS PER A.S. 3660.1-2000
- 3/. CONCRETE PAD FOOTINGS FOR ISOLATED PIERS TO FINISH FLUSH WITH THE BUILDING PAD. UNLESS NOTED OTHERWISE.
- 4/. SLIP COUPLINGS ARE REQUIRED FOR ALL "H", "P" AND "E" SOIL CLASS SITES. REFER TO ENGINEERS SPECIFICATIONS FOR FURTHER INFORMATION.

SLAB PLAN 1:100

DESIGN: **ASPIRE 28**

FACADE: **VOGUE**

CEILING: **29 R**

GARAGE: **DOUBLE**

SLAB PLAN

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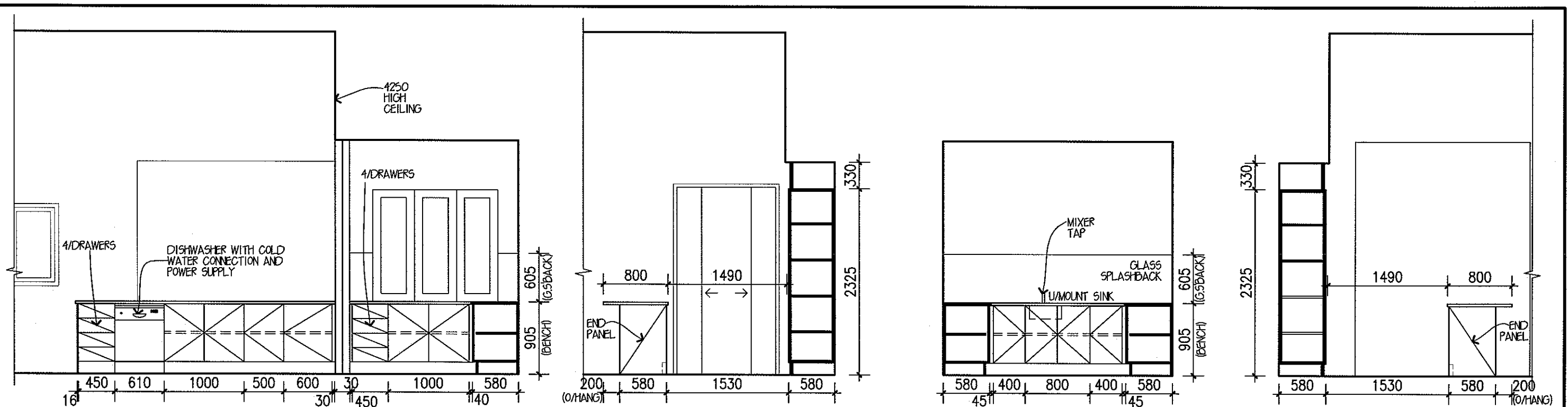
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JOB NO: **629689** DATE: **17.08.10**

F.C. DATE: **MST VER: AUGUST, 2009**

PERMIT No: **DWS: N4**

DRAWN: **MME** CHKED: **NWL** SHEET: **8 of 10**

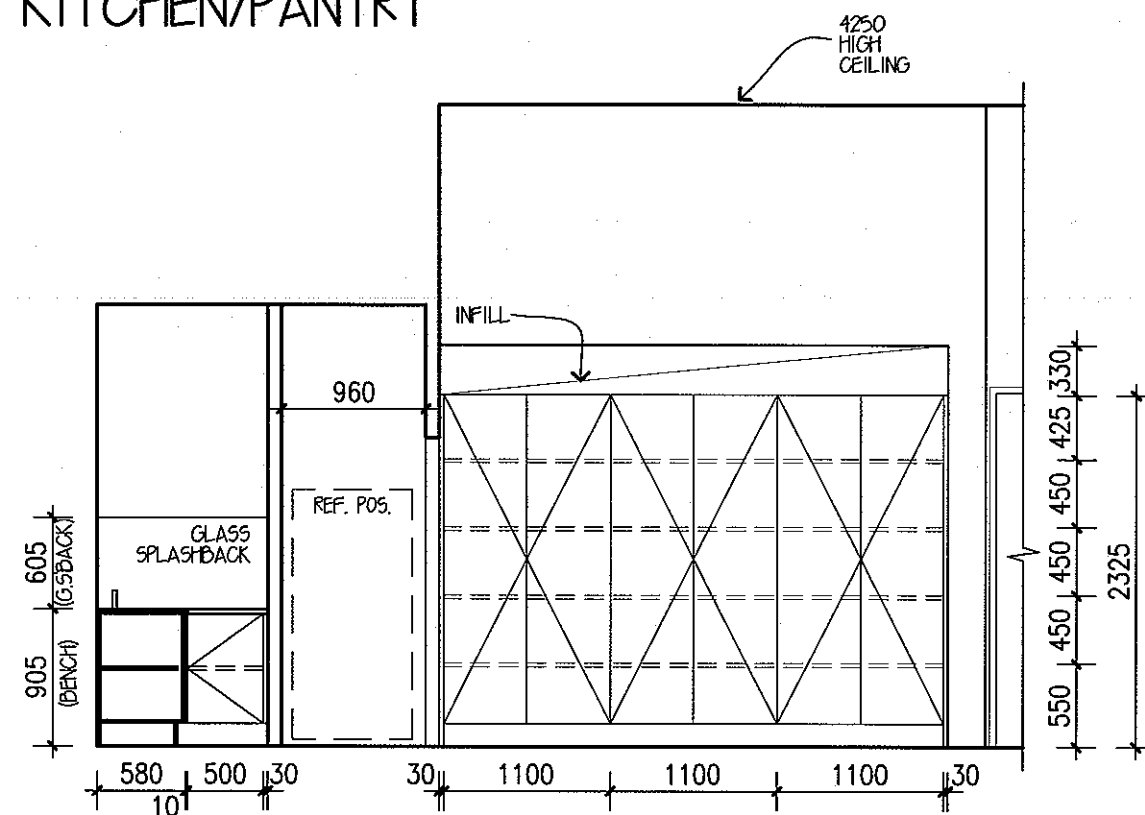


ELEVATION A
KITCHEN/PANTRY

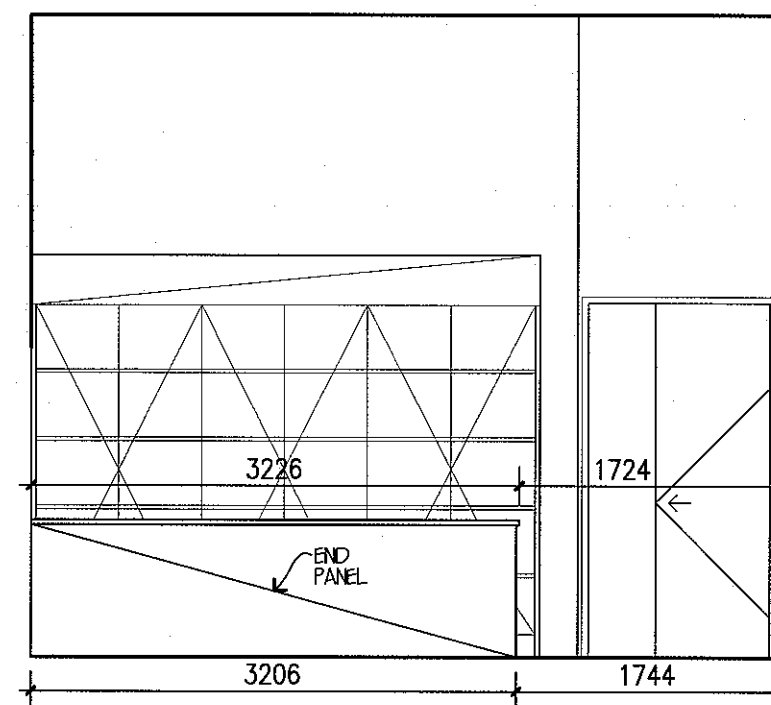
ELEVATION B

ELEVATION B
THUR PANTRY

ELEVATION D



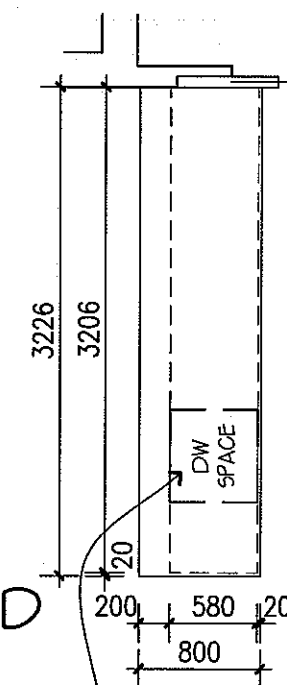
ELEVATION C
KITCHEN/PANTRY



ELEVATION C
(ISLAND BENCH)

KITCHEN ISLAND
BENCH DETAIL

NOTE:
PROVIDE CAESARSTONE BENCH
TOP TO KITCHEN WITH 20mm
EDGE.



DISHWASHER WITH COLD
WATER CONNECTION AND
POWER SUPPLY

DESIGN: **ASPIRE 28**
FACADE: **VOGUE** CEILING: **21 R**
GARAGE: **DOUBLE**

INTERNAL ELEVATIONS

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SUITE 20, LEVEL 2 RIVERWALK PLACE
238 ROBINA TOWN CENTRE DRIVE, ROBINA, QLD
Telephone: 07 5501 7200 Fax: 07 5562 2194
NSW BSA No: 38654C QLD BSA No: 040992
ACN: 053189496
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LOT 103 FRASER DRIVE
TERRANORA

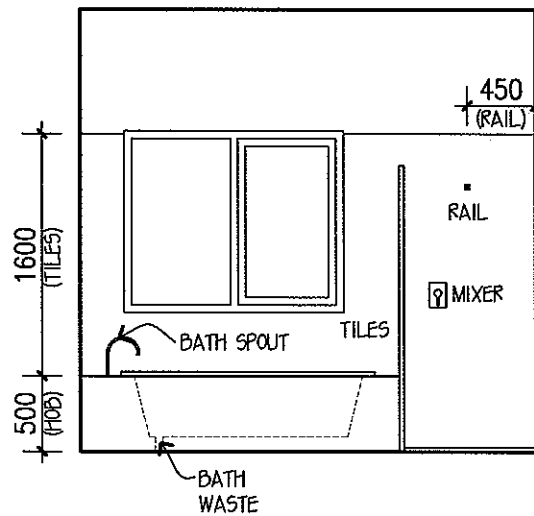
JOB NO: **629689** DATE: **17.08.10**

F.C.DATE: MST VER: **AUGUST. 2009**

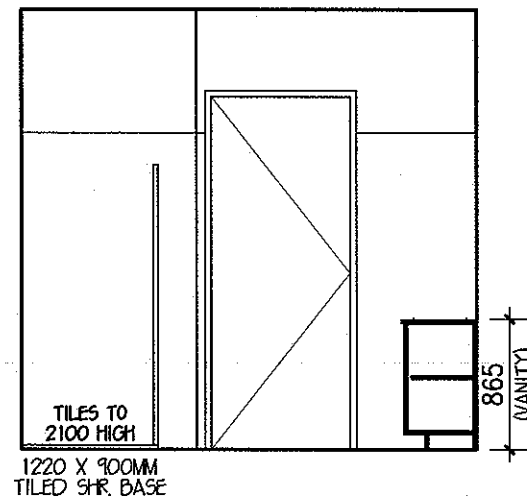
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DRAWN: **MME** CHKED: **NWL** SHEET: **9 of 10**

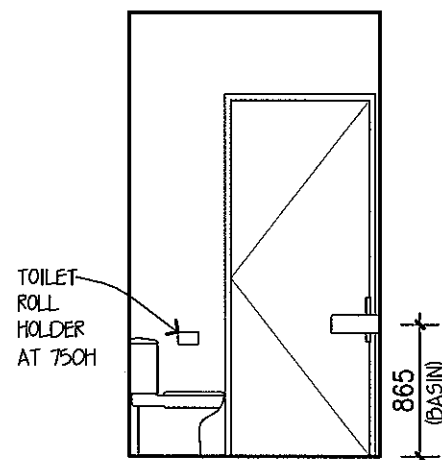
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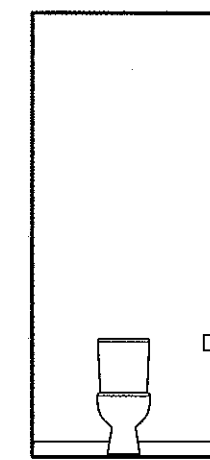
ELEVATION D
BATH



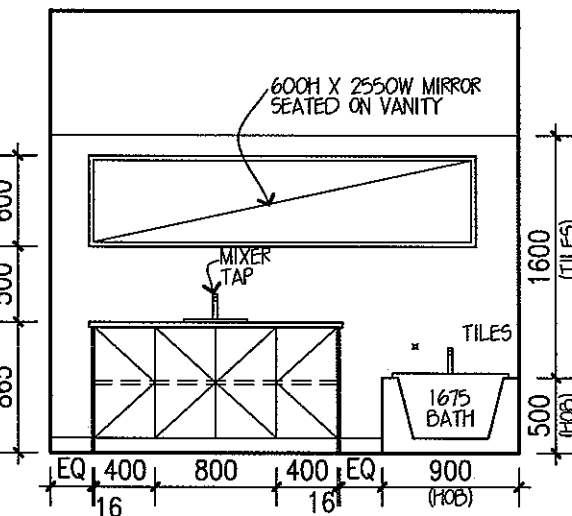
ELEVATION B
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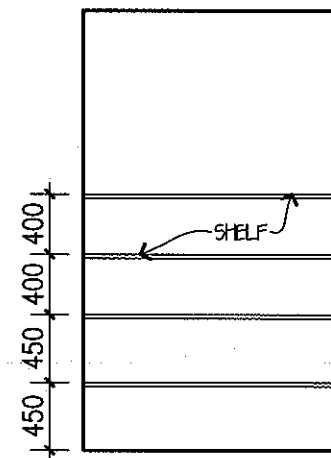
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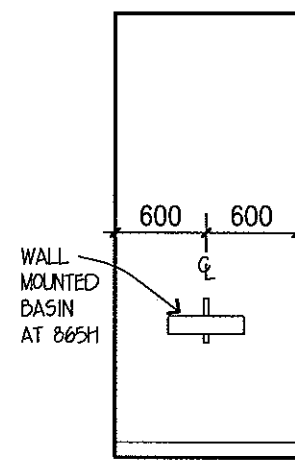
ELEVATION A



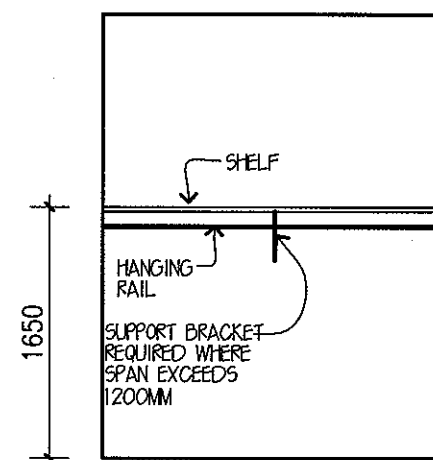
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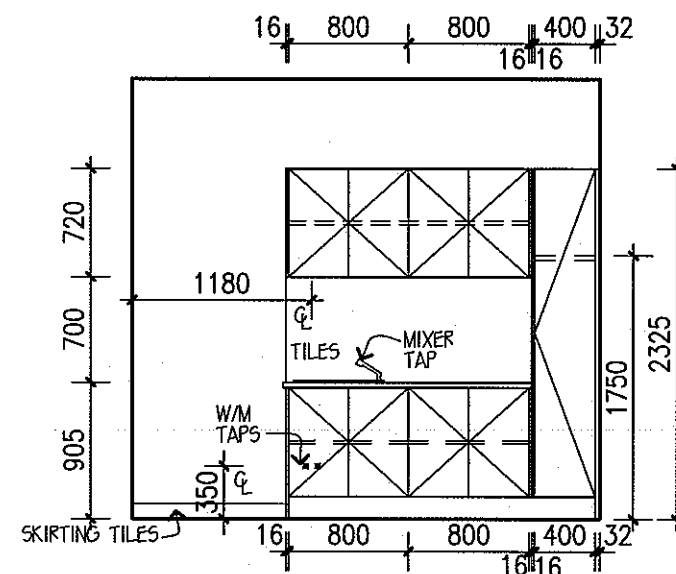
ELEVATION C
LINEN



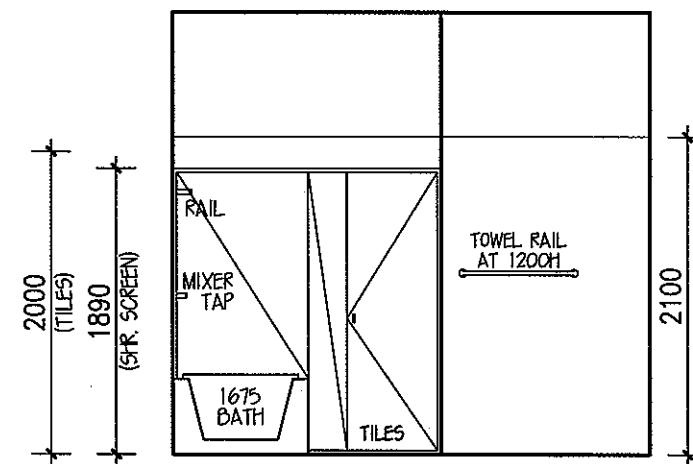
ELEVATION C



OFFICE 2
ROBE



ELEVATION A
LAUNDRY



ELEVATION A

NOTE:
PROVIDE CAESARSTONE
BENCH TOP TO VANITIES
WITH 20mm EDGE.

NOTE:
PROVIDE CAESARSTONE BENCH
TOP TO LAUNDRY WITH 20mm
EDGE.

NOTES:

- TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
- RANGEHOOD IF APPLICABLE TO BE INSTALLED MIN. OF 650MM ABOVE ELECTRIC ELEMENTS OR TOP OF THE GAS BURNER.
- OUTER EDGE OF SHOWER FRAMING TO BE LOCATED TO EDGE OF TILE. WATERPROOFER TO ALLOW FOR THIS WHEN LOCATING FLOOR ANGLE.
- MIRRORS THAT HAVE A TILED SURROUND ARE TO BE INSTALLED ON A 12MM THICK BACKING BOARD. THE MIRROR IS TO OVERLAP THE TILES BY 20MM.
- WALL TILE HEIGHTS ARE APPROXIMATE ONLY & MAY VARY ON SITE DUE TO SELECTED TILE SIZES.
- SEE 'WET AREA GENERIC DETAIL SHEET WAG.D.001' FOR POSITION OF TAPS, SHOWER ROSE, HANDRAILS ETC.
- VANITY HEIGHTS ARE APPROX' ONLY. NO ALLOWANCE HAS BEEN MADE FOR FLOOR BEDDING ON UPPER FLOOR WET AREAS.
- ALL PANTRY & ROBE SHELVING TO BE CONSTRUCTED FROM PARTICLEBOARD UNLESS NOTED OTHERWISE.

DESIGN: **ASPIRE 28**

FACADE: **VOGUE** CEILING: **21 R**

GARAGE: **DOUBLE**

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INTERNALS 1:50