

EASTLAKES TOWN CENTRE - NORTH SITE

EVANS AVENUE EASTLAKES

LANDSCAPE DOCUMENTATION

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DRAWING LIST

Drawing Number	Drawing Title
L-000	COVER SHEET
L-001	LEGEND & LANDSCAPE SCHEDULE
L-002	LEGEND & LANDSCAPE SCHEDULE
L-050	SPECIFICATION SHEET 1
L-051	SPECIFICATION SHEET 2
L-200	GENERAL ARRANGEMENT - PUBLIC DOMAIN
L-210	GENERAL ARRANGEMENT - PODIUM
L-220	GENERAL ARRANGEMENT - BUILDING 1B ROOFTOP
L-300	LEVELS AND DRAINAGE - PUBLIC DOMAIN
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L-800	DETAILS - GROUND FLOOR SHEET 1
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L-802	DETAILS - GROUND FLOOR SHEET 3
L-804	DETAILS - POOL
L-805	DETAILS - POOL DECK SHEET 1
L-806	DETAILS - POOL DECK SHEET 2


Drawing Number	Drawing Title
L-810	DETAILS - PODIUM SHEET 1
L-811	DETAILS - PODIUM SHEET 2
L-812	DETAILS - PODIUM SHEET 3
L-820	SEATING SHEET 1
L-830	STAIRS

SHEETS NO LONGER IN USE

L-803	DETAILS - WATERFEATURES
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L-808	DETAILS - BBQ
L-822	FURNITURE AND FIXTURES SHEET 2
L-824	FURNITURE AND FIXTURES SHEET 3

D	20.07.2020	FOR TENDER	AR	MC
C	29.11.2018	FOR APPROVAL	AR	MC
B	06.04.2018	85% TENDER	AR	MC
A	09.02.2018	FOR REVIEW	AR	MC

Rev	Date	Description	Drawn	Checked
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Client



CrownGroup

Project

EASTLAKES TOWN CENTRE - NORTH SITE

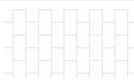
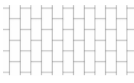





Drawing Title

COVER SHEET

Drawing Status				
FOR REVIEW				
Scale:	@A1	Plot Date	20/07/2020 4:07:38 PM	
Project No.	1602	Drawing No.	L-000	Revision
				D

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CODE	SYMBOL	ITEM	DIMENSION	COLOUR + FINISH	SUPPLIER	SHOP DRAWINGS	SAMPLES	NOTES
PAVING								
AF1		Architectural finish (Ground floor Retail)	-	-	-	-	-	Refer to architectural documentaton for details
P1a		Concrete Paving (Pedestrian Only)	600mm x 300mm x 40mm	PPX1470:120D	Pebblecrete (02) 9604 3100	-	Required	Subbase to engineers detail
P1b		Concrete Paving (Pedestrian + Vehicular)	600mm x 300mm x 60mm	PPX1470:120D	Pebblecrete (02) 9604 3100	-	Required	Subbase to engineers detail
P2		Concrete Paving - Feature	600mm x 100mm x 40mm	PPX1868:35DSB	Pebblecrete (02) 9604 3100	-	Required	
P4		Porcelain Tile Paver - On Pedestal (Podium)	600mm x 300mm x 14mm	Colour: X Beton Dot 30 Finish: Natural	Paving: Rocks On (02) 8303 0100 Pedestals: Elmich (02) 9648 2073	-	Paving: Required	
P5		Pool Tile	20mm x 20mm	Tile:VTC 20.09 GRIP Grout:Off white grout mix to match tile colour	Bisazza Australia (02) 9838 9233		Tile: Required Grout: Required	
PL		Pit Lid For Chiller	4050mm x 2250mm	Infill Pit Lid.	Iplex (1300 047 539)	Required		Infill paving alignment to follow adjacent pavement. Set lids to match surrounding pavement to avoid ponding. Service lifting points to be carefully integrated
T1		Tactile Indicators Product Code: STI-SSS	-	Stainless Steel	Sydney Tactile Installations. (04) 3339 9945	-	-	Contractor to ensure compliance with AS1428.4
WALLS, FENCES AND GATES								
F1		1.8m Flat Bar Fence + Security Gate (Ground Floor Western Boundary)	1.8m (H). Vertical flat bar steel 70mm x 10mm. Max 100mm spacings	Colour: AC1 - Refer to L-001	-	Required	Required	Refer to detail
F2		Frameless Glass Pool Fence	1200mm (H)	-	-	Required	Required	
SW		Insitu Concrete Seating Wall (Podium)	450mm (h) x 500mm (w)	Class 2. Honed finish to achieve minimal aggregate exposure to all exposed surfaces	-	Required	Required	Refer to Detail
W1		Blockwork Wall (Ground floor - On Structure)	1800mm (h) x 200mm (w)	Colour: AC1 - Refer to L-001 Finish: Rendered Painted	-	-	-	Refer to Detail
W2		Blockwork Wall (Podium)	200mm (w)	Colour : AC1 - Refer to L-001 Finish : Redered and Painted	-		Required	Refer to Detail
W3		Stone Clad Wall	Wall: 200mm (w) Cladding: 20mm Thick	Wall: Concrete Cladding: Belmondo - Sandblast	Cladding: STS STONE (02) 9387 6616		Required	Refer to Detail
STAIRS AND HANDRAILS								
STAIR 20		Pool Stairs	150mm Riser 300mm Tread	Paved risers and treads to match P4	N/A	Required	Required	Refer to detail
HR1		Handrail to stair 20	Max 1m high	316 Stainless Steel		Required	Required	Refer to detail


ARCHITECTURAL COLOUR FINISHES		
LANDSCAPE CODE	ARCH ELEMENT	COLOUR SPECIFICATION
AC1	Building Base + Podium Boundary Wall	Dulux 'Terrible Billy'
AC2	Building Fin 'Front'	Dulux 'Cinnamon Sand'

*ALL COLOUR SPECIFICATION TO MATCH ARCHITECT FINISH TO BE CONFIRMED WITH ARCHITECT PRIOR TO FABRICATION/APPLICATION

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EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

LEGEND & LANDSCAPE SCHEDULE

Drawing Status

FOR TENDER

Scale:	@A1	Plot Date	20/07/2020 4:07:50 PM
Project No.	1602	Revision	E

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FURNITURE AND FIXTURES								
BB		Evans Avenue Removable Bollard (B5-F FLAT)	115mm(dia) x 810mm(h) above ground	Stainless 316 No.4 Finish (brushed)	Street Furniture Australia 1300 027 799			Removable in-ground. Install to manufacturer's specifications
OS		Outdoor Pool Shower (Z281DM) One-handle build-in mixer	As per manufacturer's details	316 Stainless Steel	Vola (04) 402 372 480	Required		Install to manufacturer's specifications
PT		Poolside Table (FS-ST02)	As Supplied	Colour: White	Cosh Living (02) 9317 3011			
PT1		Planter Pot - 900 Tall U Bowl (ZDU 909090)	900mm Height 900mm Width	Colour: White	Quatro Design (02) 6672 1190		Required	
PT2		Planter Pot - 700 Medium U Bowl (ZDU707070)	700mm Height 700mm Width	Colour: White	Quatro Design (02) 6672 1190		Required	
PT3		Planter Pot - 700 Low U Bowl (ZDU707050)	500mm Height 700mm Width	Colour: White	Quatro Design (02) 6672 1190		Required	
S1		Sun Lounger (FS-FELO)	As Supplied	Colour: White	Cosh Living (02) 9317 3011			
S2		Bean Bag Chair (COAST Isla Chair)	As Supplied	Colour: Heritage Granite	Cosh Living (02 9317 3011)			
S3		Bar Stool (HEE Bar Stool)	As Supplied	Colour: Black	HAY (02 9538 0855)			
S4		Lounge Chair (HEE Lounge Chair)	As Supplied	Colour: Black	HAY (02 9538 0855)			
S5		Dining Chair (HEE Dining Chair)	650mm(H)	Colour: Black	HAY (02 9538 0855)			
SB		Evans Avenue Bin (Civic Bin 240L)	728mm(W) x 1353mm (H) x 850mm(D)	Colour AC1 Refer to L-001	Urban Fountains & Furniture (07) 3382 7372	Required		
SL		I-Swim Portable Swim Lift	640mm(W) x 1245mm (L) x 1510mm(H)	-	Mobility Engineering (02) 9482 4572			Install to manufacturer's specifications
SR		Evans Avenue Bike Rack	Refer to council detail. Reduced length to suit location 340mm(L)	316 Stainless Steel		Required		
SS		Evans Avenue Bench Seat (VESEA-56-01-90)	1800mm(W) x 835mm (H) x 600mm(D)	Frame: AC1 Refer to L-001 Timber: Australian hardwood - Blackbutt	Mos Urban (02) 9186 3459			Subsurface fixed. Min 100mm cut-in paving around leg supports. Install compressible filler joint at abutment. Footing and fixing detail to manufacturer's specification.
T1		High Table (NEU Table High/ Round Anthracite)	950mm (H)	Colour: Black	HAY (02 9538 0855)			
T2		Dining Table	3400mm(L)	Frame: Lava Table top: Ceramic 6mm - quartz (64 - CEQ)	Cosh Living (02) 9317 3011			
T3		Low Table (Montego Outdoor Coffee Table)	900mm x 900mm x 360mm (H)	Colour : Charcoal	Coco Republic (1300 000 220)			
SOFTWORKS								
-		Proposed Tree						Refer to details. Refer to planting schedules for quantity
-		New Planting						Refer to details. Refer to planting schedules for quantity
-		Existing Tree - To be retained						
-		Existing Tree - To be removed						Existing trees number correlate to Arborist report. Refer to Arborist report for TPZ.
-		New Lawn - Sir Walter Buffalo						
Soil Type A		Lightweight Benedict Smartmix #4 (or equivalent)			Benedict Industries (02) 9986 3500			Refer to details
Soil Type B		Lightweight subsoil Benedict Smartmix #5 (or equivalent)			Benedict Industries (02) 9986 3500			Refer to details
Organic Mulch		ANL "Forest Blend" or equivalent			ANL 131458			
LIGHTING								
BL1		Brick Light	-	-				Refer to Electrical engineer's drawings & specification
DL1		Down Light	-	-				Refer to Electrical engineer's drawings & specification
IL1		Floor Light	-	-				Refer to Electrical engineer's drawings & specification
L1		Street Light	-	-				Refer to Electrical engineer's drawings & specification
UL1		Up Light	-	-				Refer to Electrical engineer's drawings & specification
WL1		Wall Light	-	-				Refer to Electrical engineer's drawings & specification
WL2		Wall Light	-	-				Refer to Electrical engineer's drawings & specification
DRAINAGE AND SERVICES								
Irrigation		Subsurface Drip Irrigation	-	-	-			Contractor must supply and install irrigation to all planting areas. Refer to Irrigation designer's documentation for information
HC		Hose Cocks	-	-	-			
GD		Grated Drain	Refer to Hydraulic Engineer's specification					
EW		Existing Services - Water	-	-	-			
ET		Existing Services - Telstra	-	-	-			
ES		Existing Services - Sewer	-	-	-			
EG		Existing Services - Gas	-	-	-			
EE		Existing Services - Electrical	-	-	-			
PP		Existing Power Pole	-	-	-			
EGD		Existing Grated Drain	-	-	-			

D 20.07.2020 FOR TENDER AR MC
C 29.11.2018 FOR APPROVAL AR MC
B 06.04.2018 85% TENDER AR MC
A 01.03.2018 FOR REVIEW AR MC

Rev Date Description Drawn Checked

turf
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Client
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Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
LEGEND & LANDSCAPE SCHEDULE

Drawing Status
FOR TENDER

Scale: @A1 Plot Date 20/07/2020 4:08:03 PM

Project No. Drawing No. Revision

1602 L-002 D

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LANDSCAPE SPECIFICATION

1. PRELIMINARIES

1.01. General

The following general conditions should be considered prior to the commencement of landscape works. Commencement of work by The Contractor shall be deemed as proof of The Contractor’s acceptance of the following conditions and existing condition of site. The landscape plans should be read in conjunction with the survey, architectural plans, engineering plans, service plans, hydraulic plans, and all other relevant documentation prepared by others for the development. All specification information provided below is supplementary to all relevant codes and Australian Standards.

1.02. Workmanship & expertise

The Contractor must be conversant with all current best practice methods relevant to their profession and work being undertaken. The Contractor (and subconsultants) must be appropriately experienced with all aspects of the work being undertaken. All planting, establishment and maintenance work must be carried out by qualified arborist / horticulturist with minimum three years' experience in similar work. It is a requirement that the site foreman / leading hand will have the minimum certificate qualification equivalent to a NSW TAFE Course, with a minimum five years demonstrable experience in similar landscape projects.

1.03. Check / Hold Points

The Contractor must provide minimum 5 working days' notice for the Client's representative to inspect the works for compliance with the design documents. At a minimum, inspections are to occur at the following check / hold points:

- Ground preparation
- Set out (hardworks & softworks)
- Approve in-situ samples, as required
- Nursery inspection of plant specimens
- Installation of advanced trees (or larger)
- Prior to practical completion
- During defects period
- At handover

1.04. Initial preparation

The Contractor must arrange site meeting with the Client's representative (Landscape Architect) prior to commencement, confirm design intent, review documentation and confirm construction methodology. No work shall be carried out until all underground services have been identified and accurately located and pegged by Contractor. The Contractor is to ensure all appropriate safety provisions are made, including but not limited to traffic control and appropriate PPE for all staff.

Location of material stockpiles must be agreed with Client's Representative prior to commencement of work on site.

1.05. Protection of existing adjacent elements

The Contractor must ensure all adjacent pavements, urban elements, planting, etc. are adequately protected prior to commencement of works.

1.06. Protection of existing trees

All existing trees to be retained must be protected in accordance with AS4970 - Protection of Trees on Development Sites. Do not store or otherwise place bulk materials and harmful materials under of near trees within the tree protection zone. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refuelling, site office and sheds must not occur within the drip line of any existing trees, or within 5m of any existing trees where the drip line radius is less than 5m. Do not place spoil from excavations against tree trunks, even for short periods. Prevent wind-blown materials such as cement from harming trees and plants. Particular care must be given to root protection; excavation around existing trees must be undertaken by hand methods, unless otherwise approved by the Client's representative. Machine excavation is to be undertaken no closer than 2m from the trunk of existing trees, or until a root with diameter greater than 30mm is encountered. Hand methods should be used around tree roots greater than 30mm. Soil within 2m of existing trunks should be lightly cultivated (using hand methods). Soil levels should not exceed 100mm greater than existing.

1.07. Existing tree removal

When removing trees, take care not to damage any adjacent existing structures, services or trees to be retained. Where trees to be removed are located in future planting areas as shown on the Planting Plan(s), fully remove the trees and their parts including the root system. Where this is not possible, the roots of all removed trees must be poisoned and left in the ground in order to not disturb roots of the adjacent trees to be retained.

1.08. Erosion & pollution control

The Contractor must take all proper precautions to prevent the erosion of soil from the subject site. The Contractor must install erosion and sediment control barriers as required by Council, and ensure they are maintained throughout construction. An Erosion control plan that reflects the soil type and erosion characteristics of the site must be prepared for approval by the Client prior to commencement of works.

2. SOIL WORKS

2.01. Materials

Soil Types

Refer to the Landscape Schedule for specified soil types for all planting areas.

2.02. Installation

Testing

All testing is to be conducted in accordance with AS1289 Method of testing soils for engineering purposes. Site soil shall be given a pH test prior to modifying to ensure conditions are appropriate for planting. Tests shall be taken in several areas where planting is proposed, and the pH shall be adjusted accordingly with sulphur or lime to suit. A soil test must be undertaken by SESL Australia (or approved equal) for all commercial, industrial, and multi-unit residential sites. The successful contractor shall implement the recommendations of this test.

Subgrade requirements

Refer to the landscape details for required subgrade levels and cultivation depths. Ensure a thorough breakup of the subgrade into a coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to the installation of specified topsoil. The Contractor must arrange for Client’s Representative (Landscape Architect) to inspect the preparation of sub grade prior to of top soil / wearing courses.

Drainage

Install surface and subsurface drainage where required and as detailed on the drawings. Drain subsurface drains to outlets provided, with a minimum fall of 1:100 to outlets and / or service pits. The Contractor must ensure all areas drain satisfactorily.

Achieving finished levels

Growing media placed as fill in lawn areas, mass planting beds, and tree pits shall be lightly compacted in maximum 75mm layers so as to minimise degree of future settlement. No work shall be carried out on mass planting beds whilst soil is still wet, to avoid compaction of these areas. If future settlement occurs Contractor is to allow for additional fill material to achieve design finished levels. Thickening of mulch layer to achieve design finished levels is not acceptable.

3. PLANTING

3.01. Materials

Specimen Quality & Size

All plants must be grown well, healthy, not soft or forced, nor rootbound and weed free. The Contractor must undertake a thorough inspection of all plants at the time of delivery and after they have been unloaded off the delivery vehicle to identify damaged or defective plants. When damaged stock is found the Installation Contractor must immediately notify the Client's representative and the Supplier of the damage, and record the time, date and nature of the damage including photographic evidence. At this stage the Supplier will be liable for replacement of defective stock. The Supplier may choose to have the specimens returned immediately or await a determination by the Client's representative. All tree stock must be in accordance with AS 2303 "Tree Stock for Landscape Use".

Species

Plants must be true to species or cultivar as named. Plant substitution is not acceptable unless approved by Client's representative (Landscape Architect).

Stakes & Ties

Staking of plants is generally not acceptable. All plant stems must be robust enough to support their own weight. In the event that staking is deemed acceptable, min 3 stakes and ties must be provided. Stakes shall be unpainted hardwood, straight, free of knots, and pointed at one end. They shall be 2200x50mmx50mm hardwood, or similar approved. Ties shall be 50mm wide hessian webbing material.

Fertilisers

Fertilisers must be slow release fertilisers suitable for the proposed planting types. For native plants, specifically Proteaceae family plants (including Grevillea, Banksia, Hakea spp.), low phosphorus fertilisers shall be used.

Mulch

Refer to details for specified mulch material

3.02. Installation

Setting Out

All planting set out shall be in accordance with the drawings by a suitably qualified horticulturalist. Any conflicts with services must be identified by the Contractor, and adjustment to the location must be approved by the Client’s representative (Landscape Architect).

Planting

Planting holes shall be dug to the depth as illustrated in details provided. Base of planting hole shall be loosened to a depth of 150mm and a surface dressing of an approved slow release fertiliser added to hole to manufacturer's recommendations and worked into loosened soil. Contractor shall ensure that a 'pond' is not dug into clay sub grade material and that planting holes are free draining. Should Contractor not be satisfied with quality of existing soil into which plants are to be installed then contractor must immediately the advise Client's representative and await further instructions.

All plant material shall be planted as soon after delivery as possible. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. For all tree species, trim potted root balls by 10% off perimeter prior to planting to remove circling roots and encourage lateral root development.

All plants shall be thoroughly watered immediately prior to planting. Set plant in the centre of hole and backfill with growing media as specified. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting. On completion of planting works the base of each stem shall finish flush with the soil surface level.

Mulching

Mulch shall be spread evenly across all planting beds to the depth specified in the drawings. Mulch must be installed clear of all plant stems / trunks as detailed. There shall be no mixing of soil and mulch material.

Turfing

Moisten soil prior to the turf being laid. Contractor must lay turf in stretcher bond pattern with neatly butted joints, and true to grade to finish flush with adjacent surfaces. All new and existing Turf areas shall receive an application of lawn starter fertiliser, at the supplier's recommended rates. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation. Keep turf moist until roots have taken and sods/rolls cannot be lifted. Keep all traffic off turf until this has occurred. Maintain watering for duration of contract, and specifically follow establishment guidelines available from certified turf supplier.

4. HARDSCAPE WORKS

4.01. General

The Contractor shall undertake the set out and installation of all hardscape works as detailed on the drawings, or where not detailed, to manufacturers specification. The Client’s representative (Landscape Architect) must be notified of any deviation from the drawings, and written approval provided prior to installation by The Contractor. All workmanship shall be of the highest standard. For all paving works refer to typical details provided, and applicable Australian Standards. The Contractor must provide samples of all paving materials prior to construction. All finished surfaces shall be free-draining and evenly graded between levels points. All service pit lids must be infilled with paving to match the surrounding surface treatment, unless otherwise specified. Australian Standards shall be adhered to in relation to all concrete, masonry, and metal work. Some details are typical and may vary on site.

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Drawing Title

SPECIFICATION SHEET 1

Drawing Status

FOR TENDER

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1602	L-050	C	

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1. IRRIGATION

1.01. General (performance specification)

New irrigation systems to planting areas shall be a commercial grade irrigation system conforming to all Australian Standards, including AS3500 & the Electrical Safety Act 2002, Workplace Health & Safety Act 1995, & the latest Sydney Water Code.

An automated subsurface drip irrigation system equal to Rain Bird® XFS Sub-Surface Copper-Colored Dripline with Copper Shield™ Technology (as available from Rain Bird Australia Pty Ltd - 1800 724 624) is to be installed to all gardens, planters, and lawn areas in accordance with the approved irrigation design.

This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry standards and to maximise the efficient usage of water.

The installer is required to obtain all approvals necessary for the completion of works in accordance with laws of Australia, laws of the State, Council by-laws and ordinances.

Drawings

The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon engagement.

Design Requirements

- The irrigation system shall be installed prior to all planting works.
- It shall incorporate a suitable backflow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting.
- The irrigation application rate shall not exceed the infiltration rate of the soil or create run-off.
- The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be from local hose cock / Quick-Coupling Valve (QCV) where available.
- Quick-Coupling Valves (QCV) must be located inside lockable valve boxes, concealed from view within garden areas, and distributed to ensure ability for watering all garden areas with a 20m hose. Contractor must provide sample valve box and QCV for review and approval prior to installation.
- All irrigation piping must be installed below finished soil levels to the depth specified by manufacturer. Covering piping with mulch only is not acceptable.
- Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than 5%.

Services Coordination

- Coordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and penetration through slabs and planter walls for water and power provisions.
- Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision, and water supply.

Testing and Defects

Upon completion of installation, the system shall be tested, including:

- Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over a determined length of time.
- Dripper Pressure Test: Measurement at flushing valves is taken and the pressure gauged to make sure it conforms to the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not exceed 300Kpa.
- All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance period, then these faults shall be immediately rectified.

Warranty

A minimum 12 month warranty shall be included to cover labour and all parts.

2. Maintenance

2.01. General

- Maintenance shall mean the care and maintenance of contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent.
- Before commencement of the maintenance period an indicative program for the period should be provided for review by the building manager. The program should identify dates for fertilisation, pipe/fitting inspection, general reports(every 3 months) and water quality reports(every 3 months).
- The maintenance period shall be 12 months beginning from the approved completion of the specified construction work (Practical Completion).
-
- Prior to requesting practical completion, The Contractor shall make good / repair any damaged areas, including but not limited to existing turf, planting, pavements, kerb and gutter, signage, buildings, services. All must be returned to a condition equivalent to that prior to commencement of works. Contractor shall leave areas over which Contractor has worked in a tidy condition and to satisfaction of Client's representative. Contractor shall be responsible for removal from site of all unwanted material and debris resulting from this work.
- A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Timing of maintenance works shall be spread regularly over maintenance period. Duties shall include, but not be limited to:
 - maintenance of all paving, retaining and hardscape elements;
 - watering of planting/turf areas and irrigation maintenance;
 - removal of any weed growth or litter/debris;
 - replacing failed plants (at no additional cost to the Client unless due to vandalism or some other reason beyond the Contractors control, at discretion of Client's representative);
 - make good areas of soil subsistence or erosion;
 - topping up of mulch;
 - spraying of plants as necessary to combat insects or disease;
 - fertilising with approved fertilisers at correct rates;
 - mowing lawns & trimming edges as required to maintain neat finish;
 - adjusting ties to stakes;
 - pruning in accordance with Australian Standard 4373 "Pruning of Amenity Trees".
- The Landscape Contractor must keep and supply a logbook to the building manager of all maintenance activity at the commencement of the maintenance period and then after each visit outlining details of activities done and observations made during the visit as evidence of works undertaken.
- On completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the Superintendent or Client's representative (Landscape Architect), the responsibility will be signed over to the Client.

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A	06.04.2018	85% TENDER	AR	MC

Rev	Date	Description	Drawn	Checked
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Client



CrownGroup

Project

EASTLAKES TOWN CENTRE - NORTH SITE

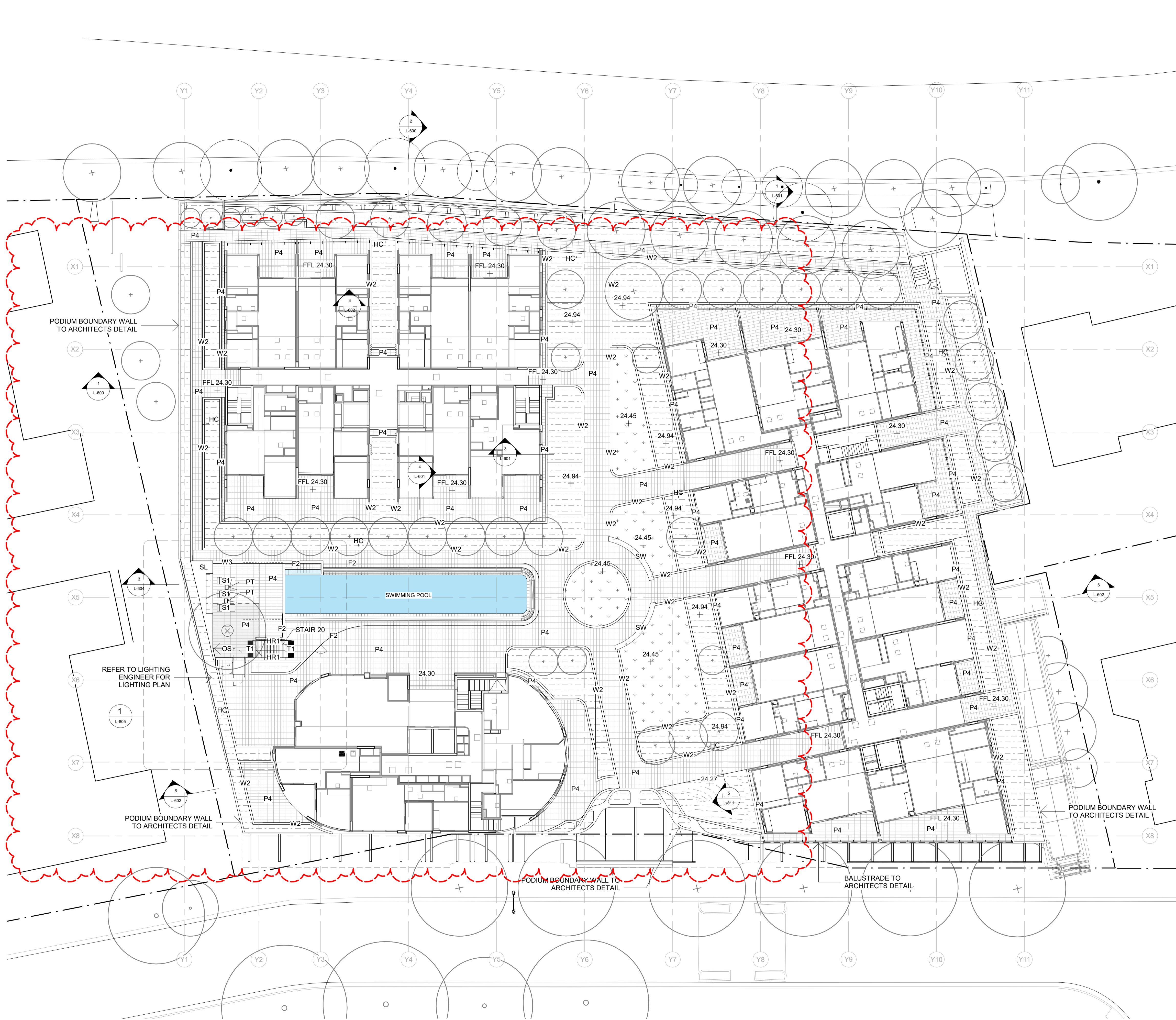
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SPECIFICATION SHEET 2

Drawing Status		
FOR TENDER		
Scale:	@A1	Plot Date 20/07/2020 4:08:20 PM
Project No.	Drawing No.	Revision
1602	L-051	C

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M	20.07.2020	FOR TENDER	AR	MC
L	29.06.2020	FOR COORDINATION	AR	MH
K	29.04.2020	FOR APPROVAL	AR	MH
J	09.04.2020	FOR REVIEW	AR	MH
I	09.03.2020	FOR APPROVAL	AR	MC
H	29.11.2018	FOR APPROVAL	AR	MC
G	03.04.2018	FOR COORDINATION	AR	MC
F	19.02.2018	FOR REVIEW	AR	MC
E	09.02.2018	FOR REVIEW	AR	MC
D	22.01.2018	FOR REVIEW	AR	MC
C	01.12.2017	FOR COORDINATION	AR	MC
B	29.08.2017	FOR REVIEW	AR	MC
A	18.08.2017	FOR REVIEW	AR	MC

Rev Date Description Drawn Checked

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Project

EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

GENERAL ARRANGEMENT - PODIUM

Drawing Status

FOR TENDER

Scale: 1 : 200 @A1 Plot Date: 20/07/2020 4:10:20 PM

Project No. Drawing No. Revision

1602 L-210 M

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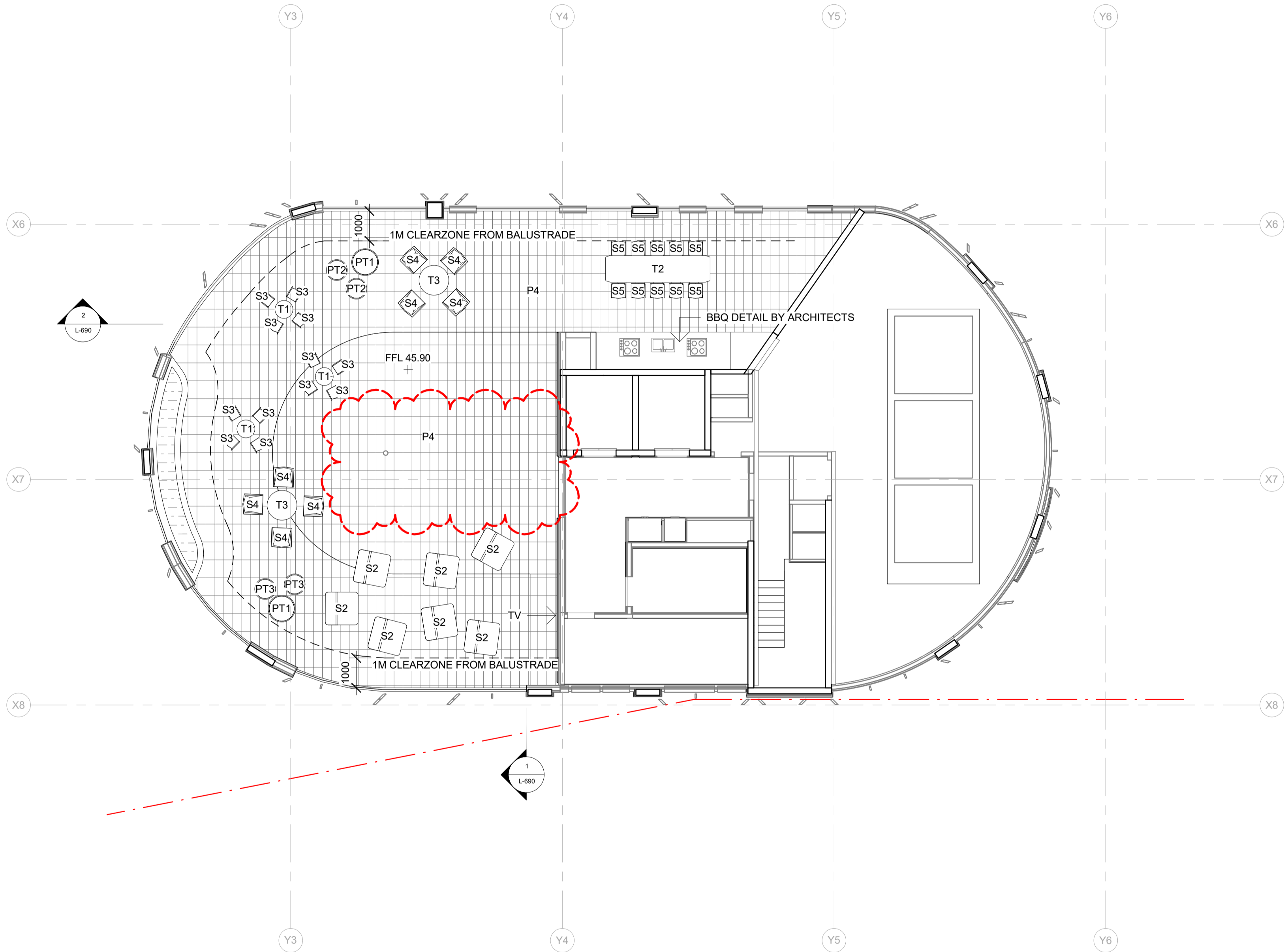
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A	09.02.2018	FOR REVIEW	AR	MC

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Project

EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

GENERAL ARRANGEMENT - BUILDING 1B ROOFTOP

Drawing Status

FOR TENDER

Scale:	1 : 100 @A1	Plot Date	20/07/2020 4:10:29 PM
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Project No.	Drawing No.	Revision
1602	L-220	D

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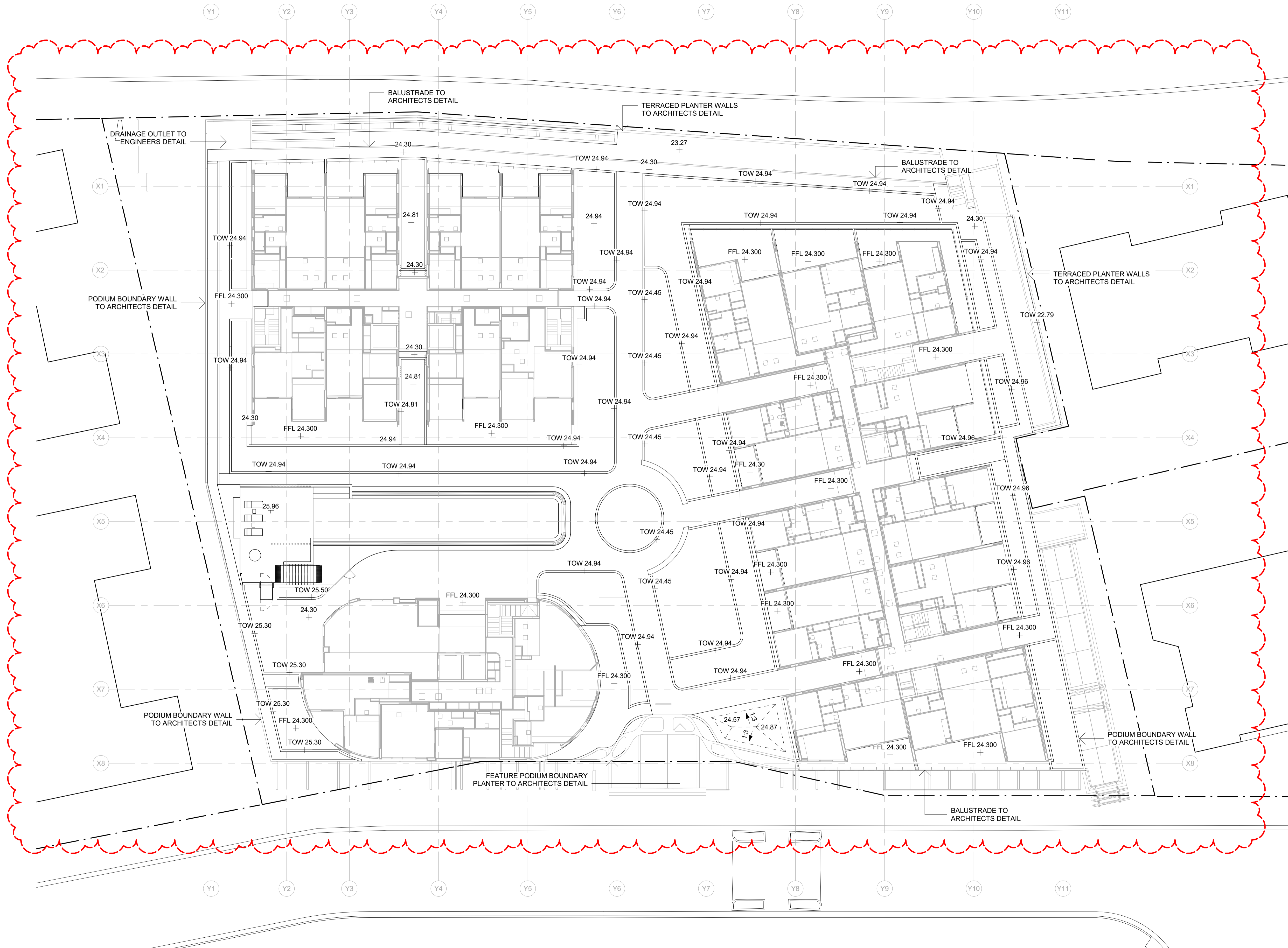
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Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
LEVELS AND DRAINAGE - PODIUM

Drawing Status

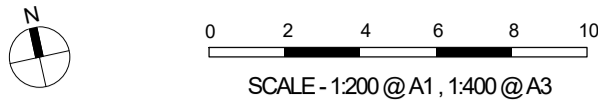
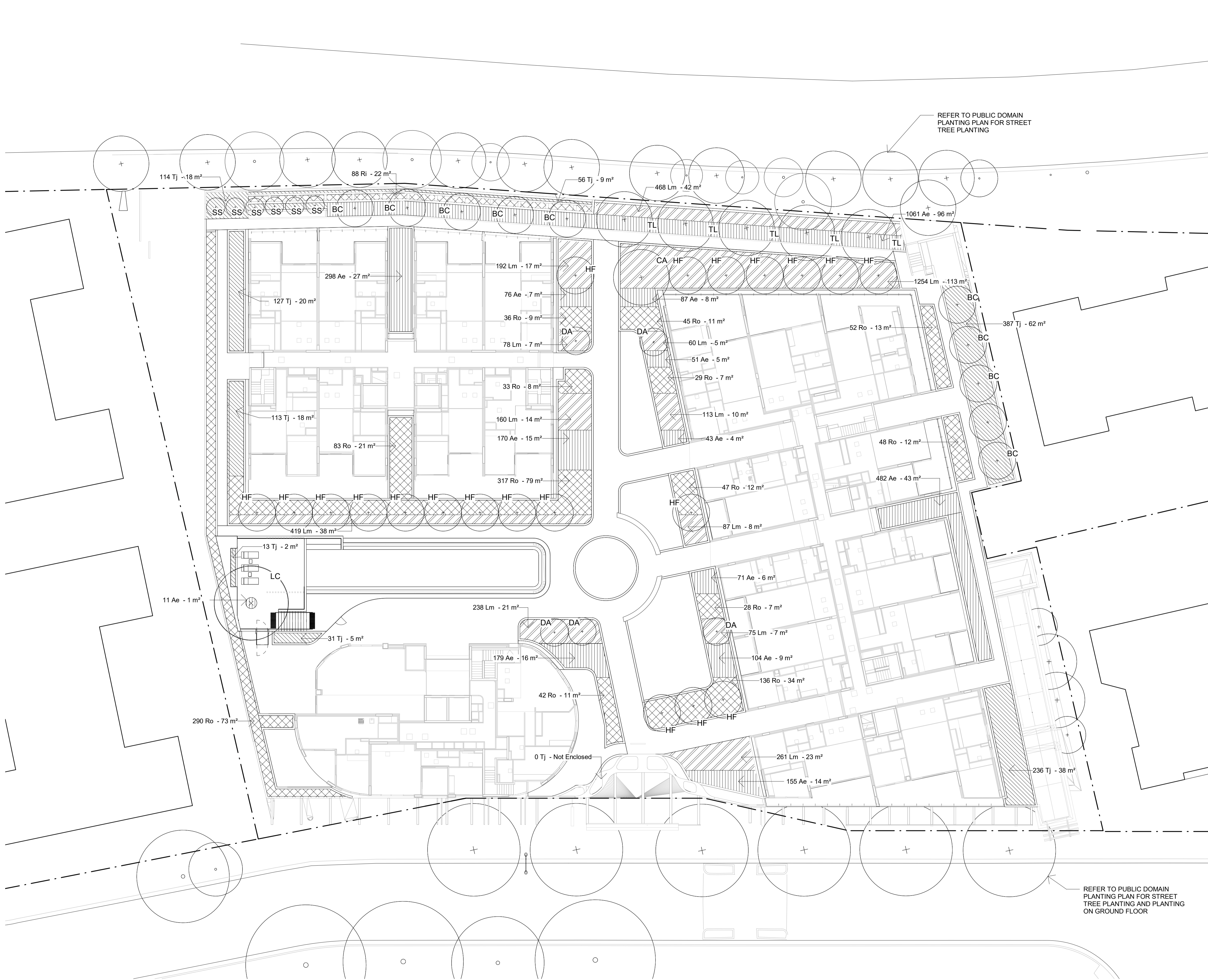
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C	08.07.2020	FOR TENDER	AR	MC
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Project

EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

PLANTING PLAN - PODIUM

Drawing Status	
FOR TENDER	
Scale:	1 : 200 @A1
Plot Date	20/07/2020 4:13:25 PM
Project No.	1602
Drawing No.	L-510
Revision	D

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Client



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Project

EASTLAKES TOWN CENTRE -
NORTH SITE

Drawing Title

PLANTING PLAN - BUILDING
1B ROOFTOP

Drawing Status

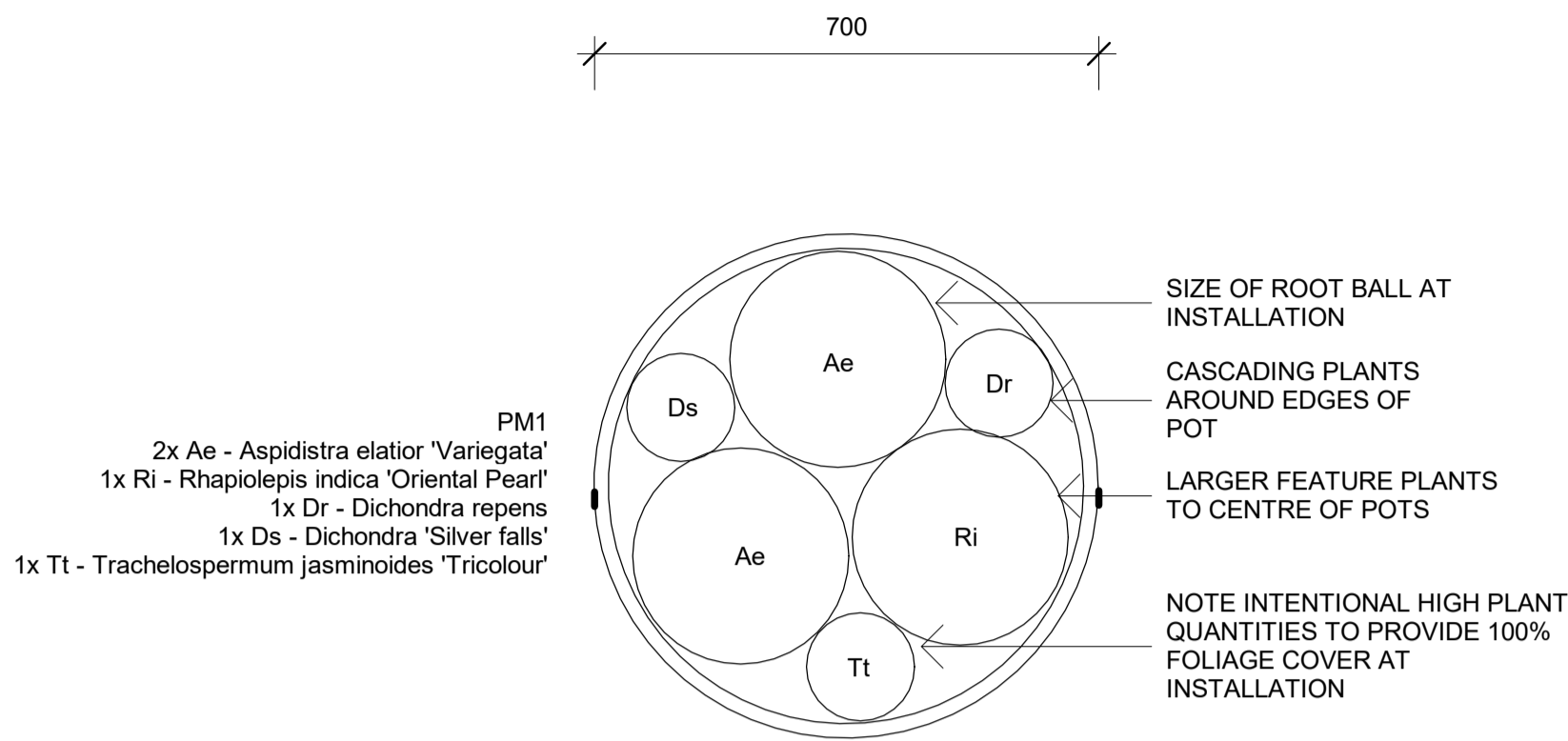
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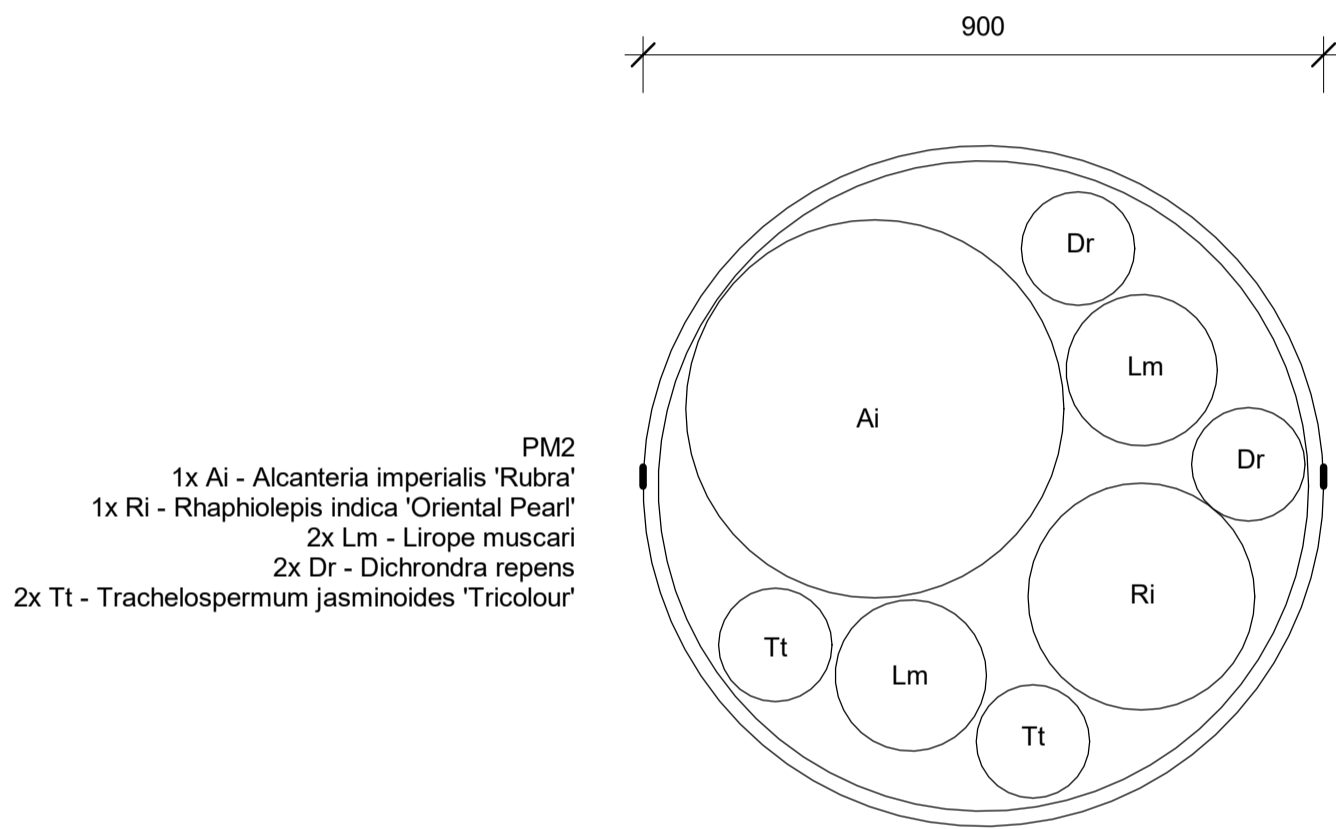
Project No.	Drawing No.	Revision
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1602 L-520 D

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1 PM1 - PLANTING MIX 1 POT DETAIL PLAN
1 : 10



2 PM2 - PLANTING MIX 2 POT DETAIL PLAN
1 : 10

WATER FEATURE POTS
REMOVED FROM DESIGN

PROPOSED PLANTING SCHEDULE							
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT AT INSTALL	MATURE HEIGHT	CENTRES	POT SIZE	QUANTITY
TREE SPECIES							
BC	Backhousia citriodora	Lemon myrtle	3m	5m	As Shown	400L	12
CA	Cupaniopsis anacardioides	Tuckeroo	4-5m	10m	As Shown	400L	1
DA	Diploglottis australis	Native tamarind	6m	8m	As Shown	400L	5
EE	Elaeocarpus eumundi	Eumundi Quandong	3m	10m	As Shown	200L	13
HF	Hymenosporum flavum	Native Frangipani	3m	8m	As Shown	400L	23
LC	Lophostemon confertus	Brush Box	5m-8m	18m	As Shown	1000L	1
PA	Plantanus acerifolia	London Plane	3m	15-20m	As Shown	400L	6
SA	Syzygium australe 'Pinnacle'	Lilly Pilly	2m	3m	As Shown	100L	26
SS	Syzygium australe 'Aussie southern'	Lilly Pilly			As Shown	100L	6
TL	Tristaniopsis laurina	Kanooka Gum	4-5m	10m	As Shown	400L	7

SHRUBS, GROUNDCOVERS AND CLIMBERS								
CODE	SPECIES	COMMON NAME	HEIGHT AT INSTALL	MATURE HEIGHT	CENTRES(mm)	POT SIZE	QUANTITY	TOTAL AREA
Ae	Aspidistra elatior 'Variegata'	Cast-iron-plant	300mm	600mm	300	200mm	2788	251 m ²
Dc	Dianella caerulea 'Little Jess'	'Little Jess' Dianella	300mm	500mm	400	200mm	225	36 m ²
Lh	Lomandra hystrix	Green matt-rush	300mm	1m	500	200mm	509	127 m ²
Lm	Lirope muscari	Lillyturf	300mm	500mm	300	200mm	3404	306 m ²
PM1	2x Ae - Aspidistra elatior 'Variegata' 1x Ri - Rhipiolepis indica 'Oriental Pearl' 1x Dr - Dichondra repens 1x Ds - Dichondra 'Silver falls' 1x Tt - Trachelospermum jasminoides 'Tricolour'		-	-	Refer to detail plan	Ae: 200mm Ri: 300mm Dr: 150mm Ds: 150mm Tt: 150mm		1 m ²
PM2	1x Ai - Alcantaria imperialis 'Rubra' 1x Ri - Rhipiolepis indica 'Oriental Pearl' 2x Lm - Lirope muscari 2x Dr - Dichondra repens 2x Tt - Trachelospermum jasminoides 'Tricolour'		-	-	Refer to detail plan	Ai : 500mm Ri : 300mm Lm : 200mm Dr: 150mm Tt: 150mm		1 m ²
Ri	Rhipiolepis indica	Indian Hawthorn	600mm	2m	500	300mm	88	22 m ²
Ro	Rhipiolepis indica 'Oriental Pearl'	Oriental pearl indian hawthorn	600mm	1m	500	300mm	1187	297 m ²
Tj	Trachelospermum jasminoides	Star Jasmine	300mm	2m	400	200mm	1332	213 m ²
Tt	Trachelospermum jasminoides 'Tricolor'	Chinese Star Jasmine variegated	300mm	400mm	300	200mm	306	27 m ²
							9837	1282 m ²

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CrownGroup

Project

EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

PLANTING SCHEDULES

Drawing Status

FOR TENDER

Scale:	1 : 10 @A1	Plot Date	20/07/2020 4:13:55 PM
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Project No.	Drawing No.	Revision
1602	L-530	D

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LEGEND
SOIL DEPTHS

A	- 1700mm - 149m ²
B	- 1450mm - 35m ²
C	- 1095mm - 118m ²
D	- 850mm - 428m ²
E	- 750mm - 73m ²
F	- 730mm - 188m ²
G	- 600mm - 85m ²
H	- 415mm - 260m ²
I	- 300mm - 38m ²
J	- 150mm - 9m ²

NOTE: SOIL DEPTH VARIATION IS A RESULT OF VARIATION IN PLANTER HEIGHT AND VARIATION OF STRUCTURAL SLAB SET DOWN

F	20.07.2020	FOR TENDER	AR	MC
E	02.07.2020	FOR INFORMATION	AR	MH
D	29.11.2018	FOR APPROVAL	AR	MC
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B	22.01.2018	FOR REVIEW	AR	MC
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Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
SOIL DEPTH PLAN - PODIUM

Drawing Status

FOR TENDER

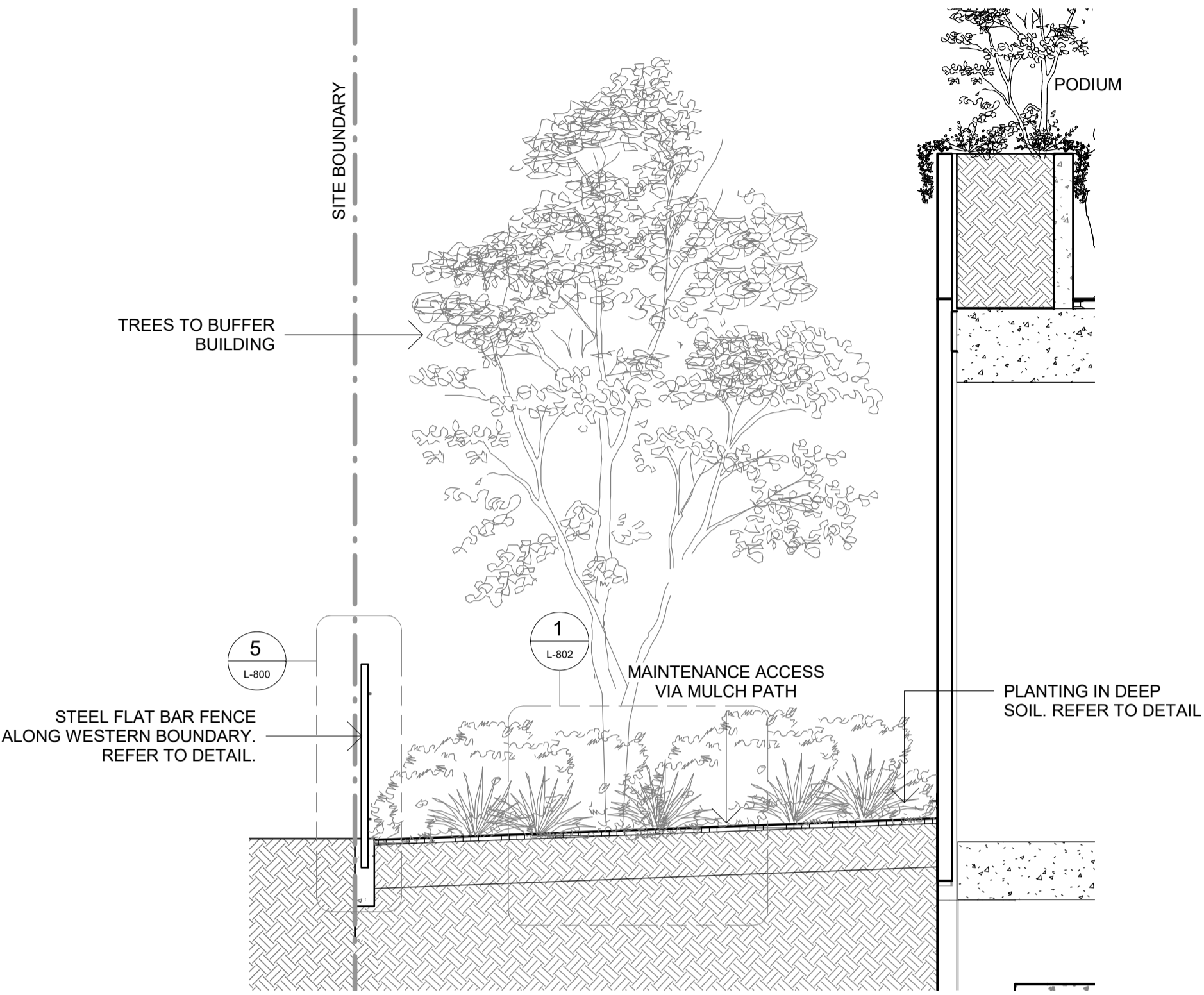
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Project No.	Drawing No.	Revision
1602	L-560	F

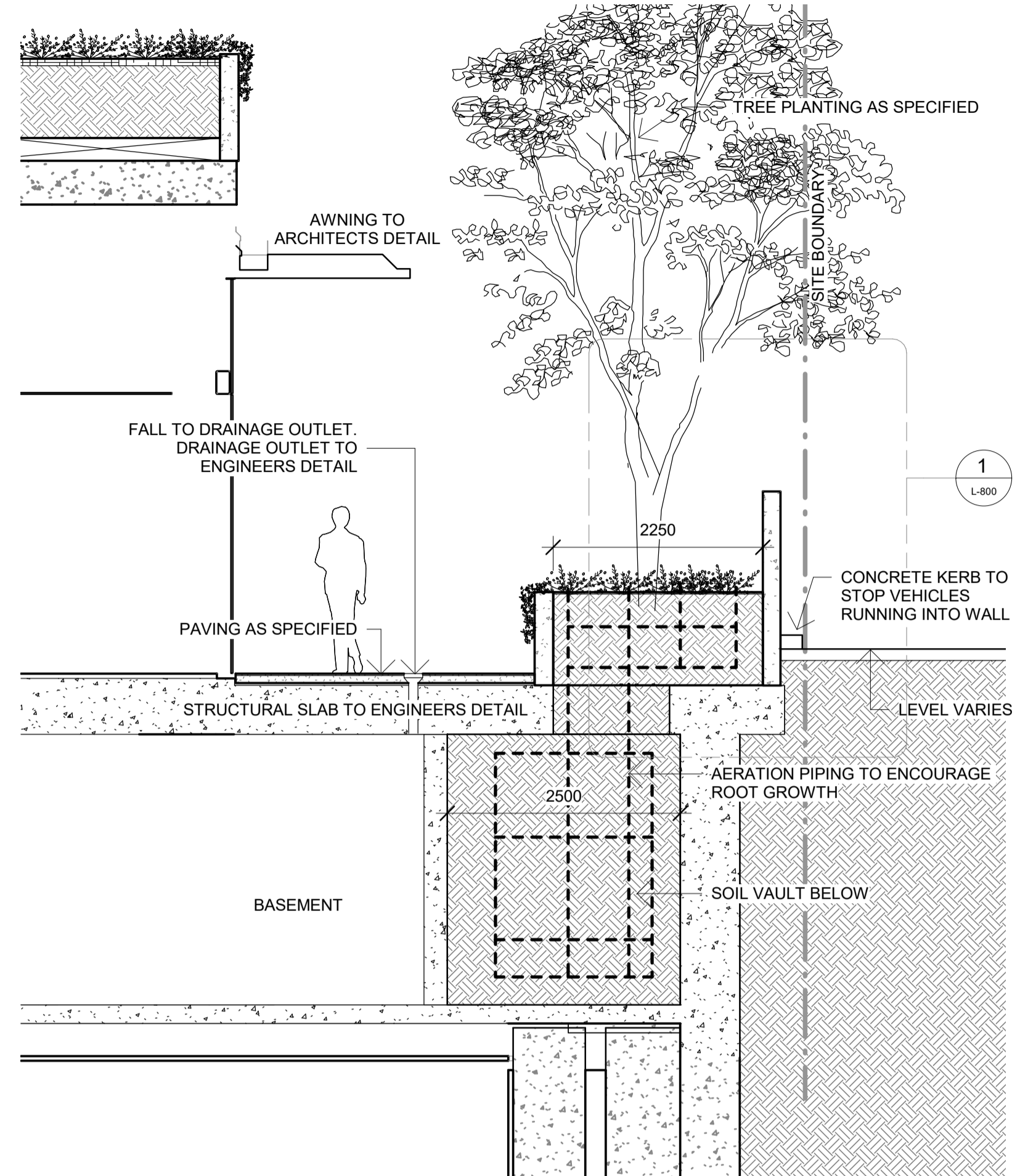
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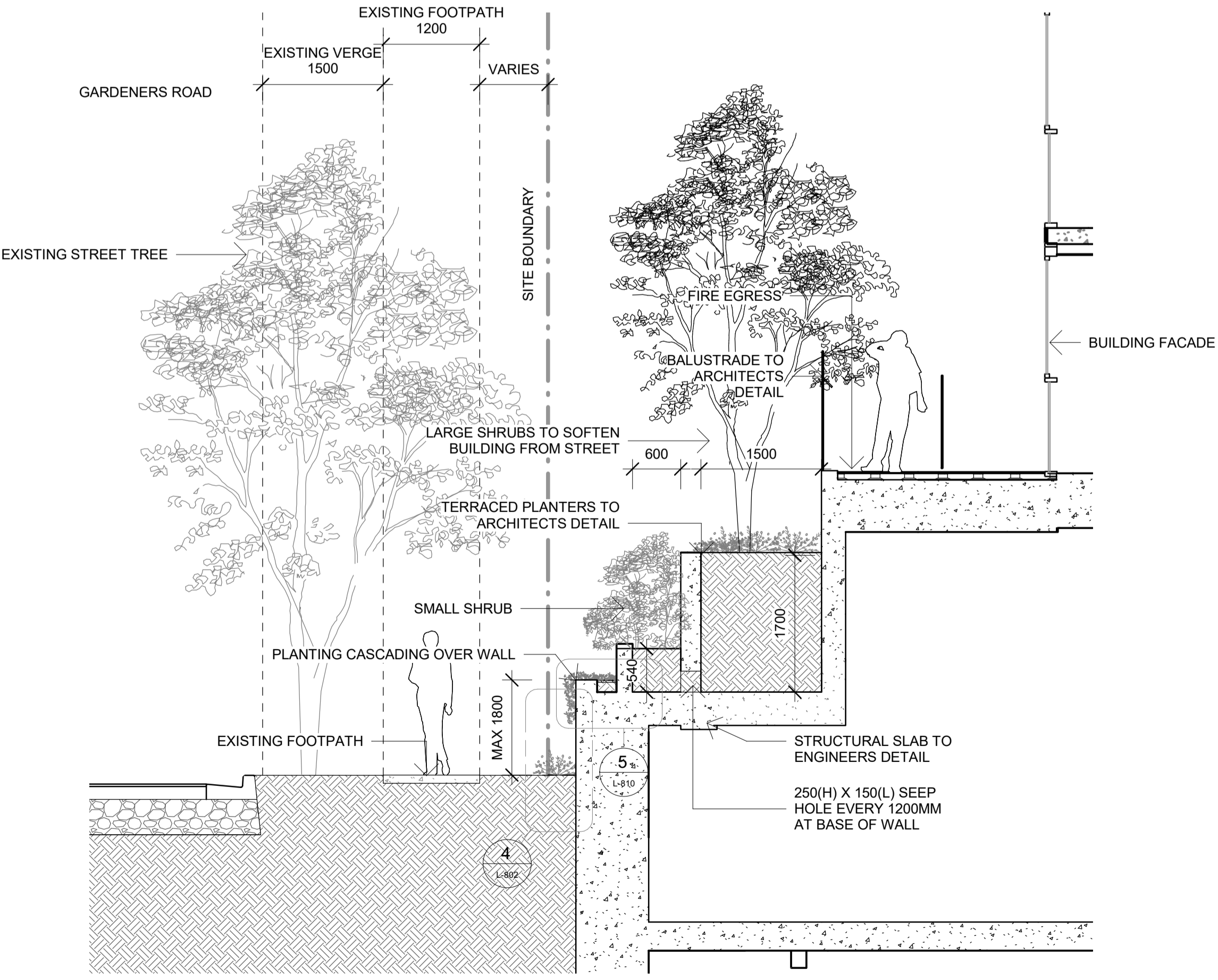
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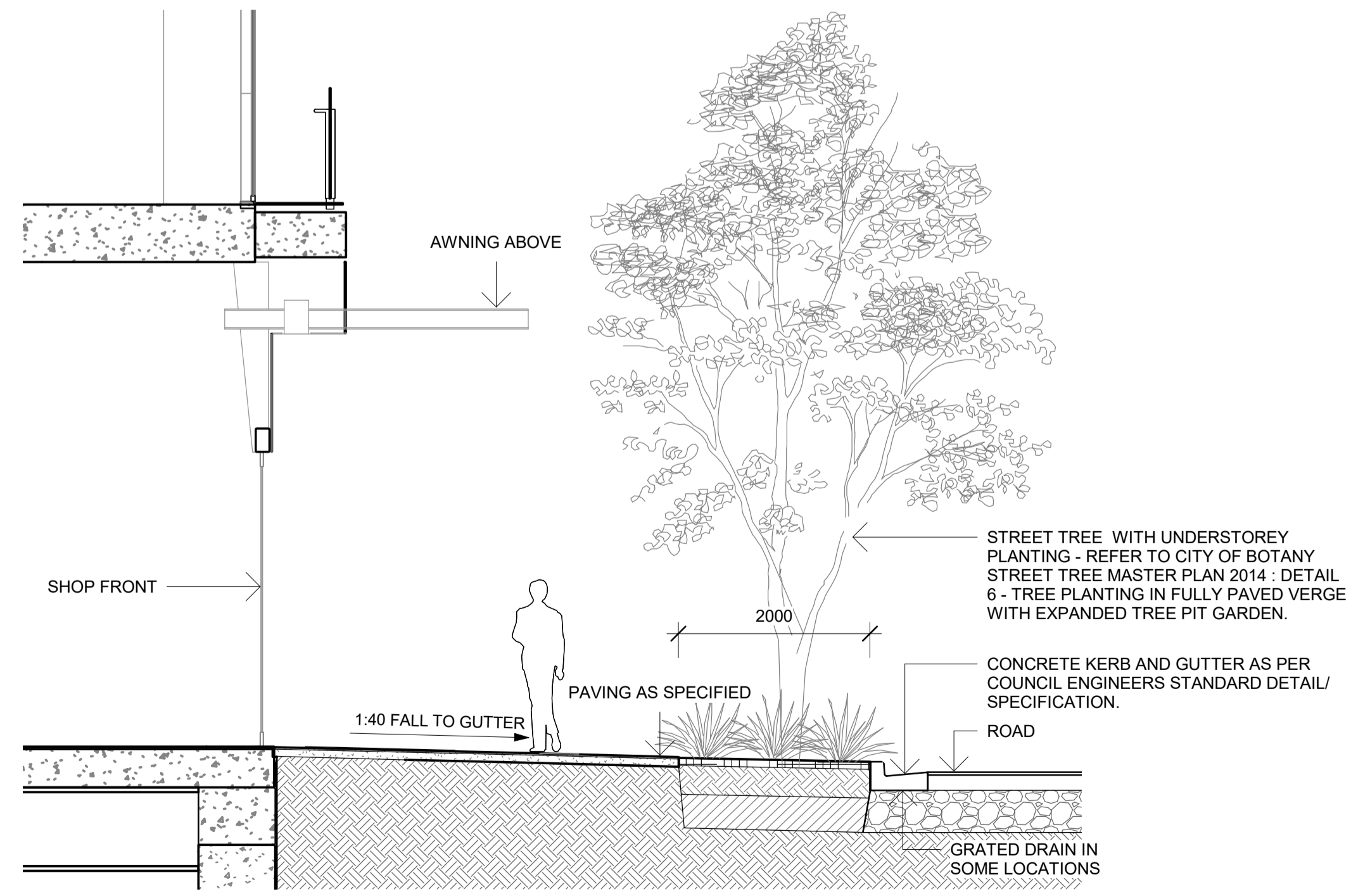
1 WESTERN BOUNDARY LANDSCAPE AREA
1 : 50



3 EASTERN LANEWAY SOIL VAULT
1 : 50



2 GARDENERS ROAD BOUNDARY PLANTERS
1 : 50



4 EVANS AVENUE SECTION
1 : 50

D	20.07.2020	FOR TENDER	AR	MC
C	29.11.2018	FOR APPROVAL	AR	MC
B	06.04.2018	85% TENDER	AR	MC
A	18.08.2017	FOR REVIEW	AR	MC

Rev Date Description Drawn Checked

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Client

CrownGroup

Project

EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

SECTIONS - GROUND FLOOR

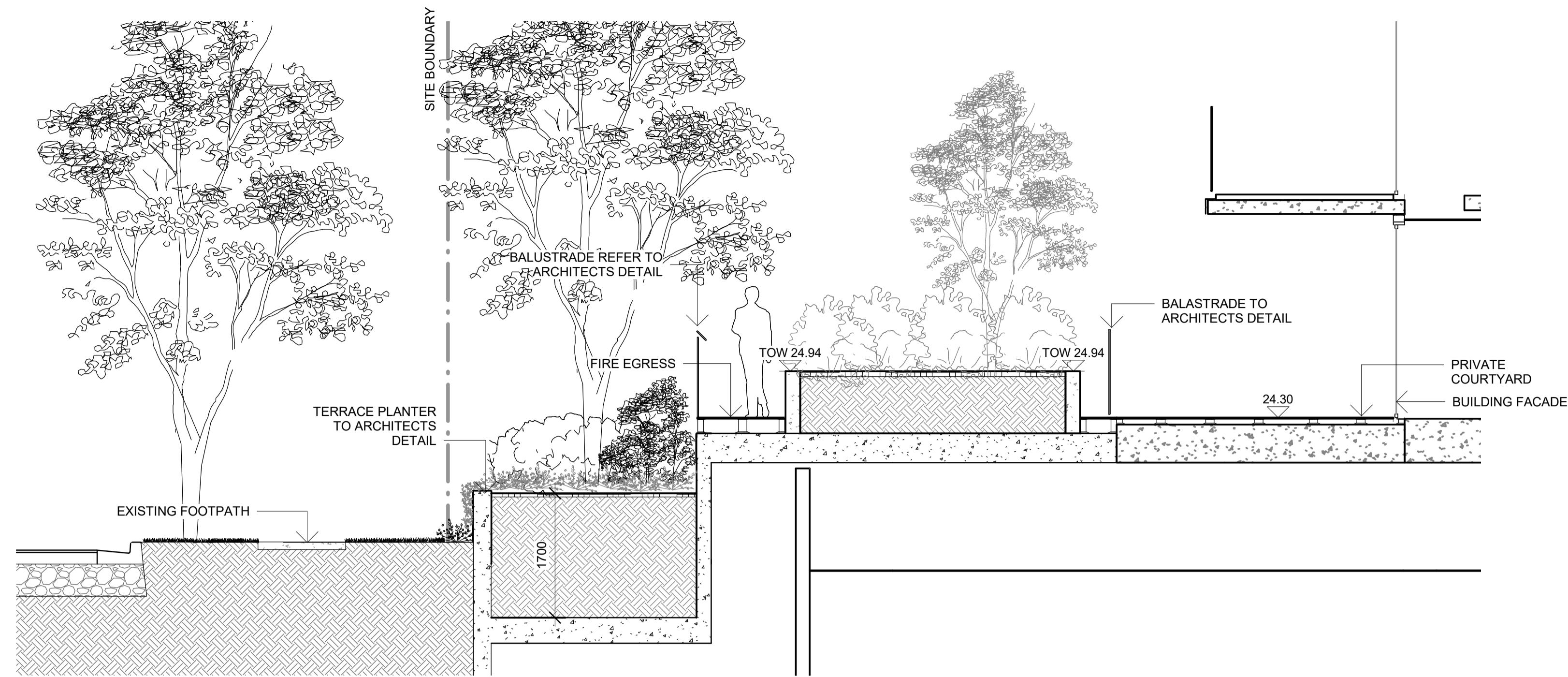
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FOR TENDER

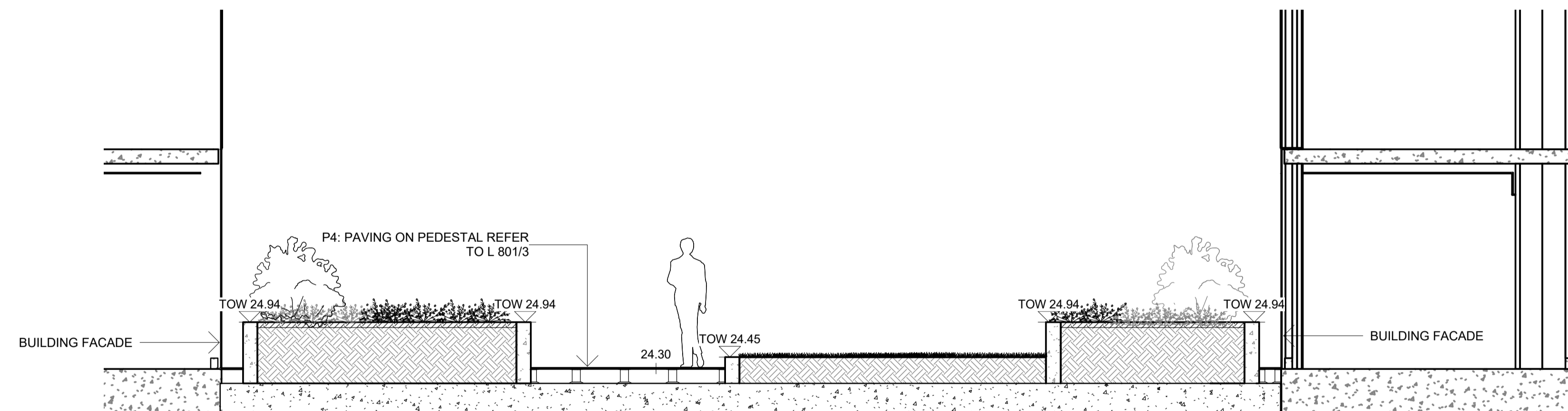
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Project No.	1602	Drawing No.	L-600
Revision			D

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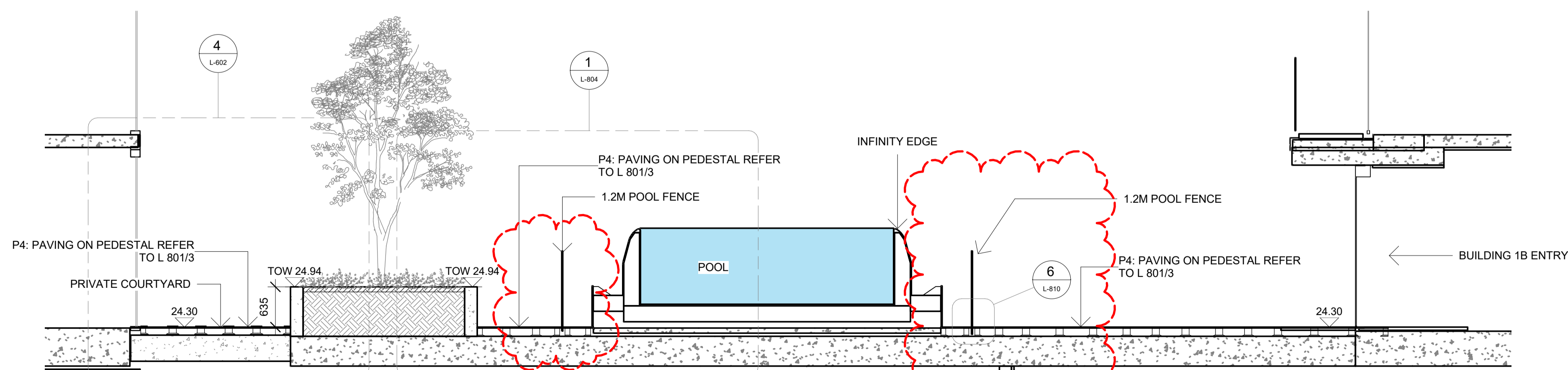
C:\Users\stadi\Documents\1602_Eastlakes North site - 2017_detailed_sydney@turfdesign.com.nst



1 NORTH EDGE OF PODIUM
1 : 50



3 CENTRAL PODIUM
1 : 50



4 POOL SECTION
1 : 50

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E	29.04.2020	FOR APPROVAL	AR	MH
D	29.11.2018	FOR APPROVAL	AR	MC
C	06.04.2018	85% TENDER	AR	MC
B	09.02.2018	FOR REVIEW	AR	MC
A	18.08.2017	FOR REVIEW	AR	MC

Rev	Date	Description	Drawn	Checked
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Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
SECTIONS - PODIUM SHEET 1

Drawing Status
FOR TENDER

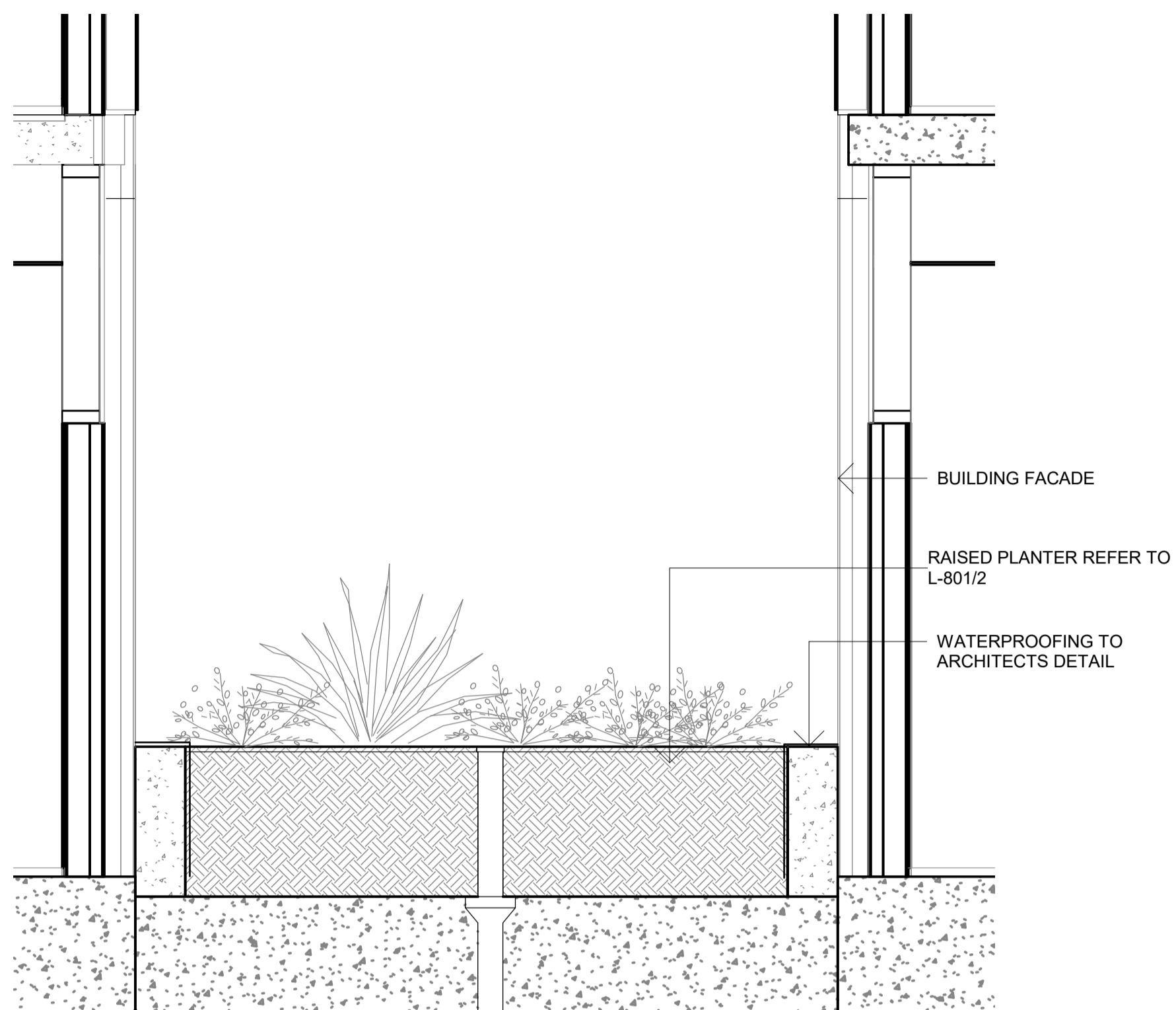
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Project No.	Drawing No.	Revision
1602	L-601	F

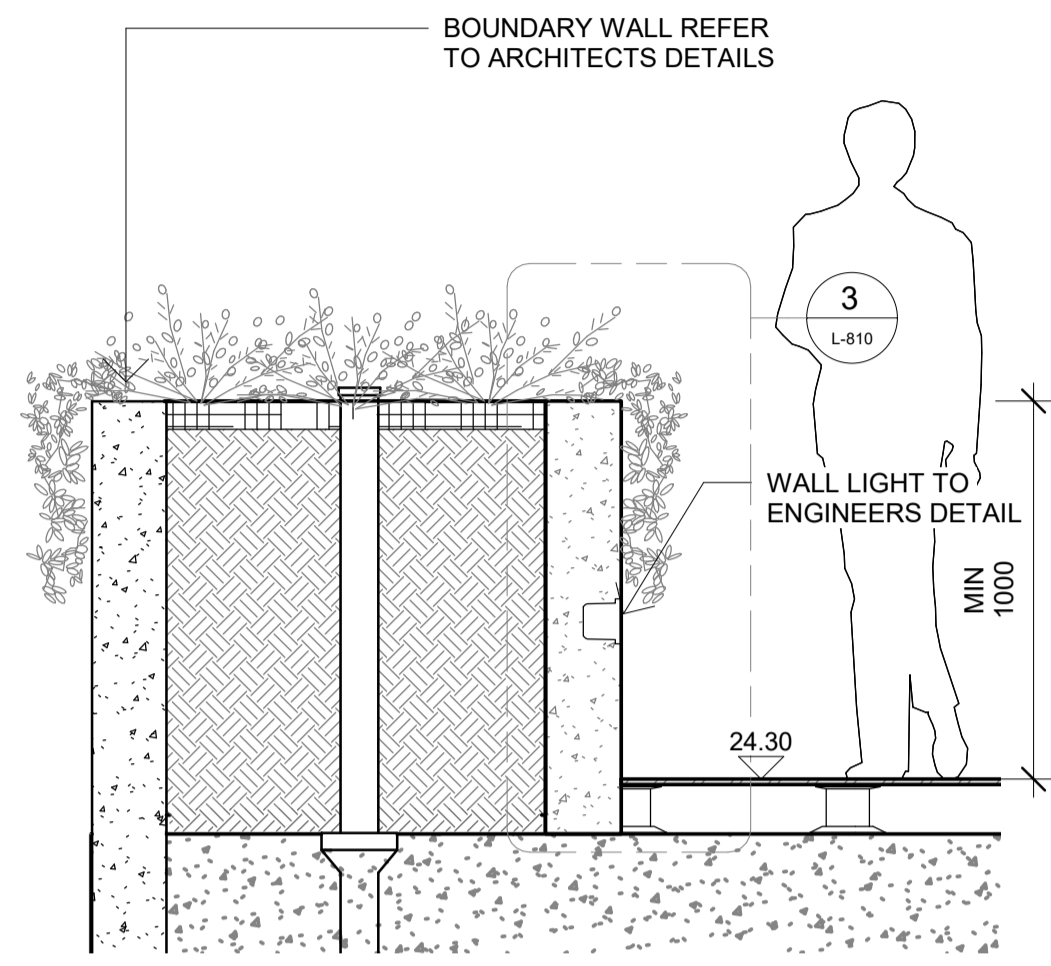
DRAFT NOT FOR CONSTRUCTION

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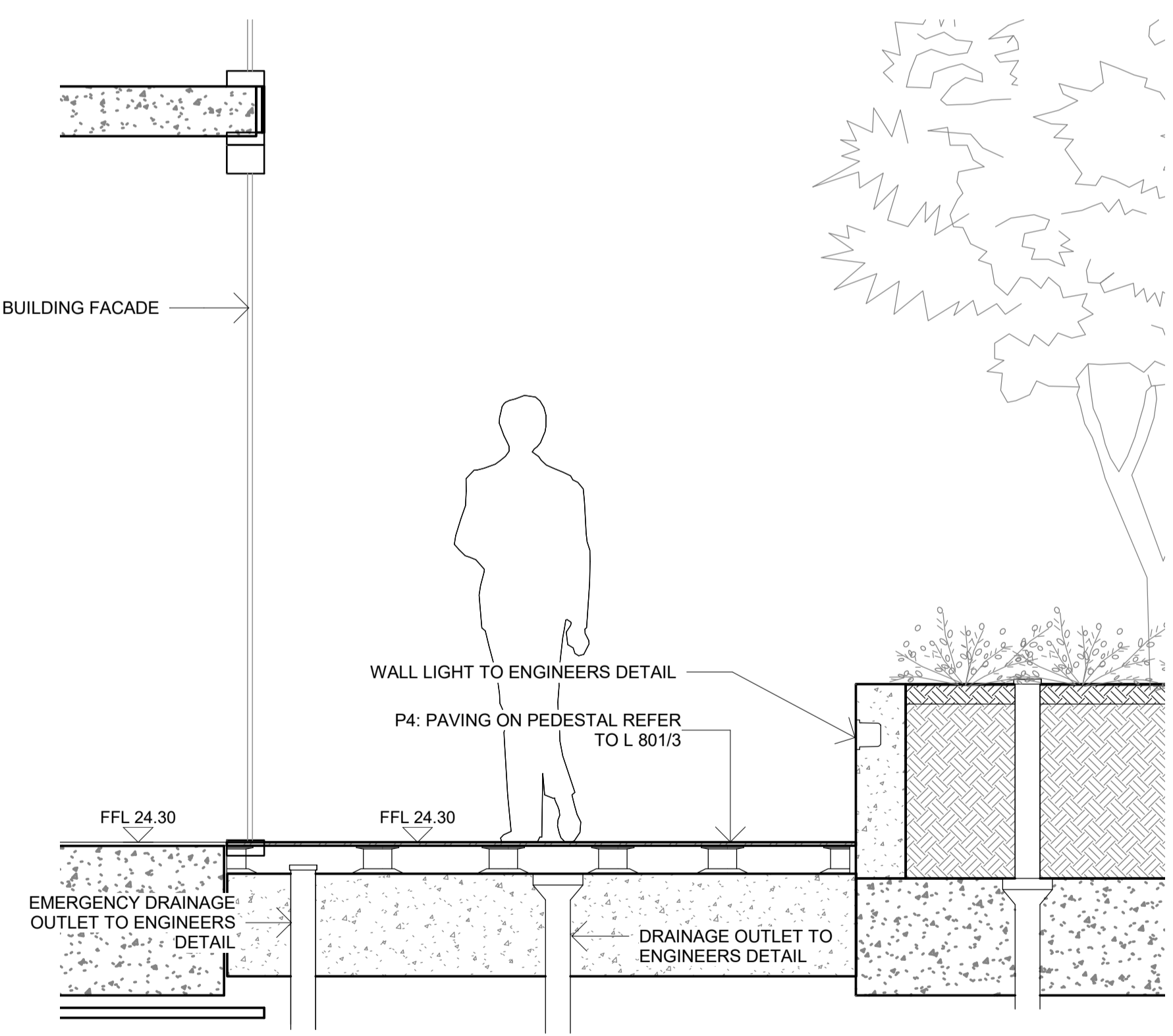
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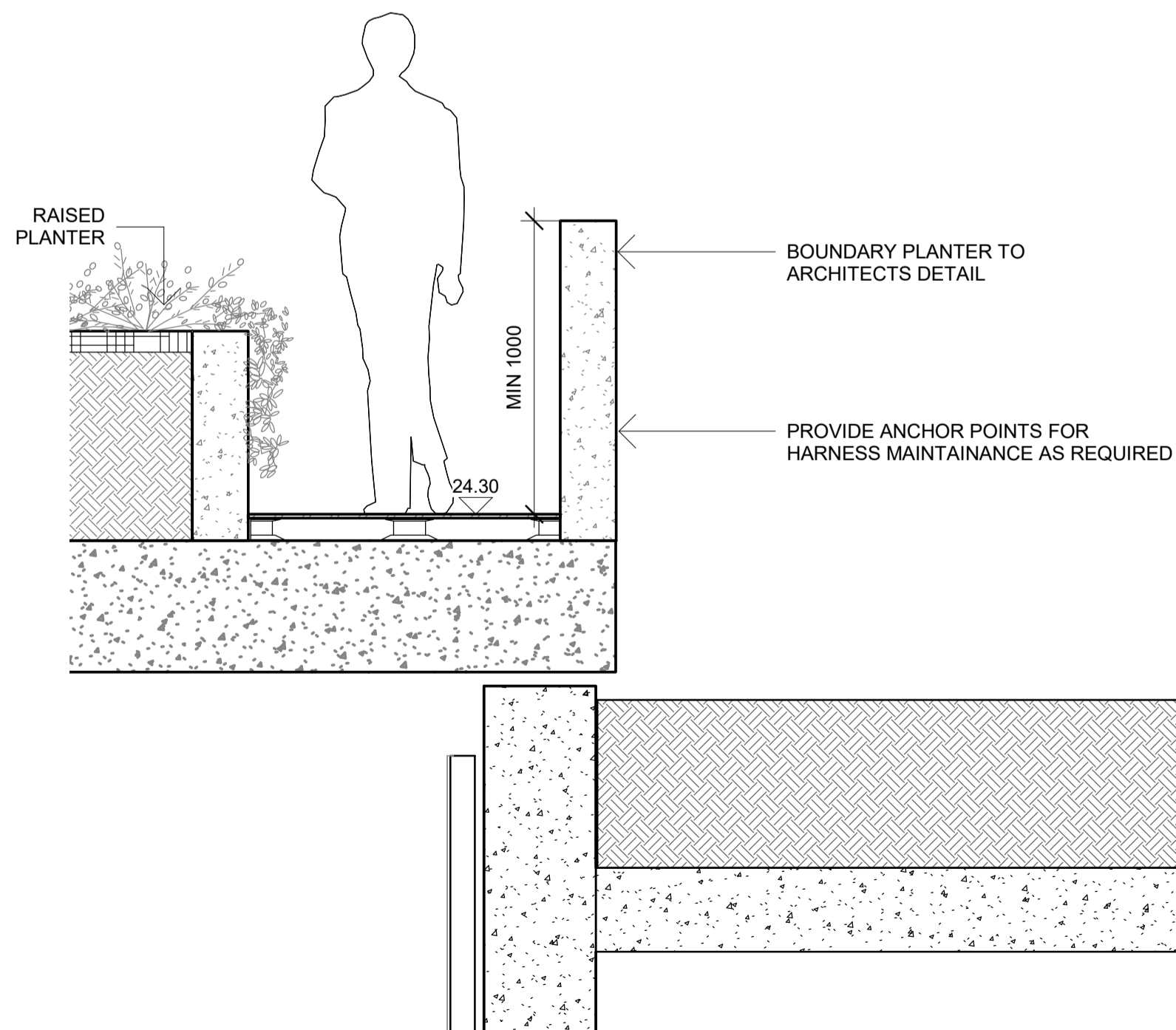
3 PLANTER BETWEEN BUILDINGS
1 : 20



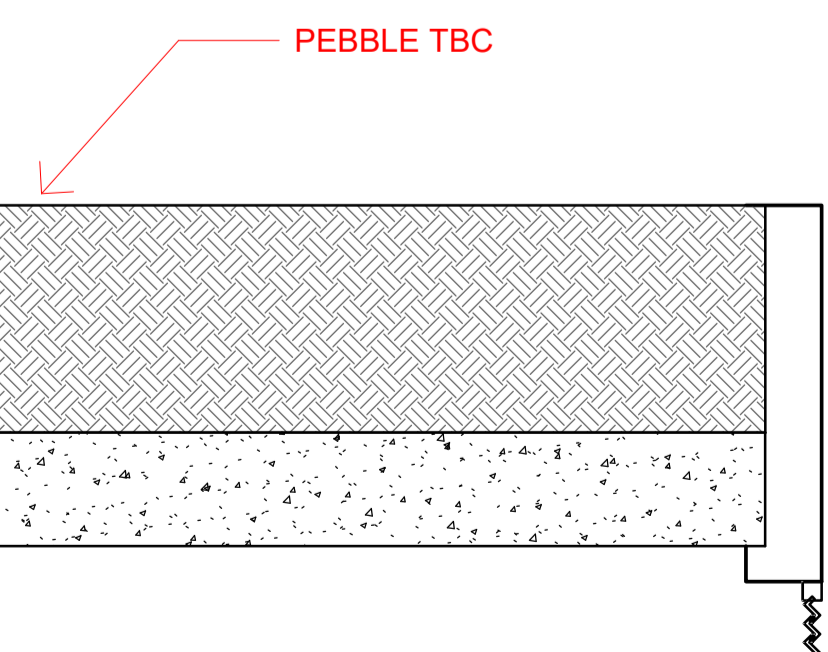
5 BOUNDARY PLANTER
1 : 20



4 PRIVATE COURTYARD
1 : 20



6 EASTERN TERRACE PLANTER
1 : 20



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F	29.04.2020	FOR APPROVAL	AR	MH
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Client

CrownGroup

Project

EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

SECTIONS - PODIUM SHEET 2

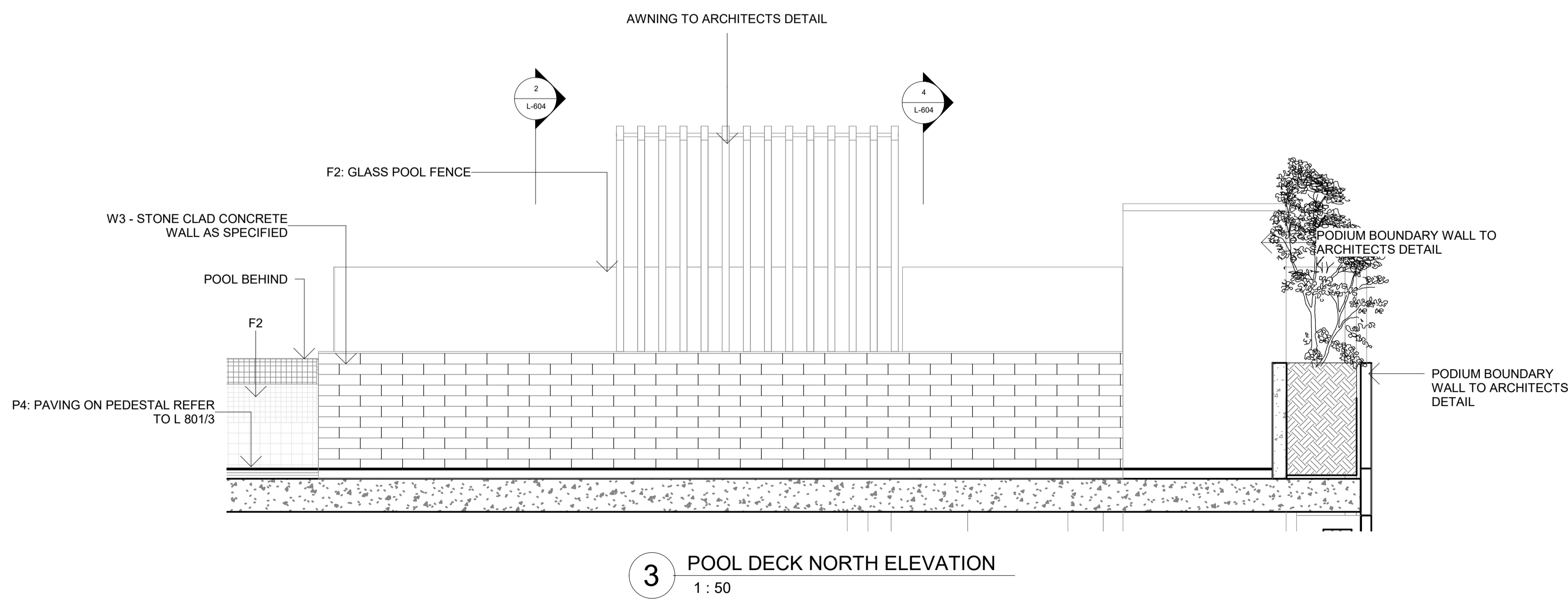
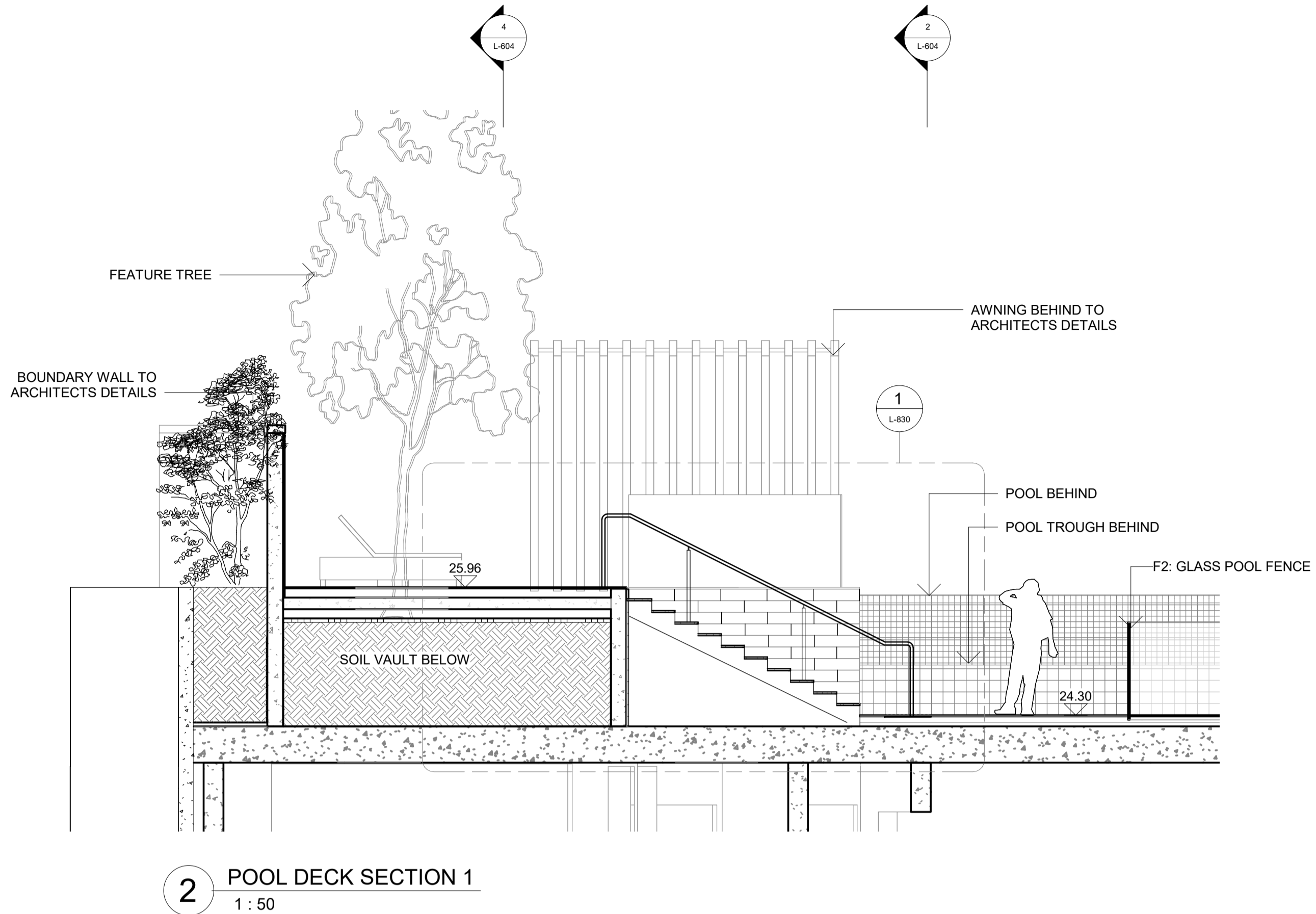
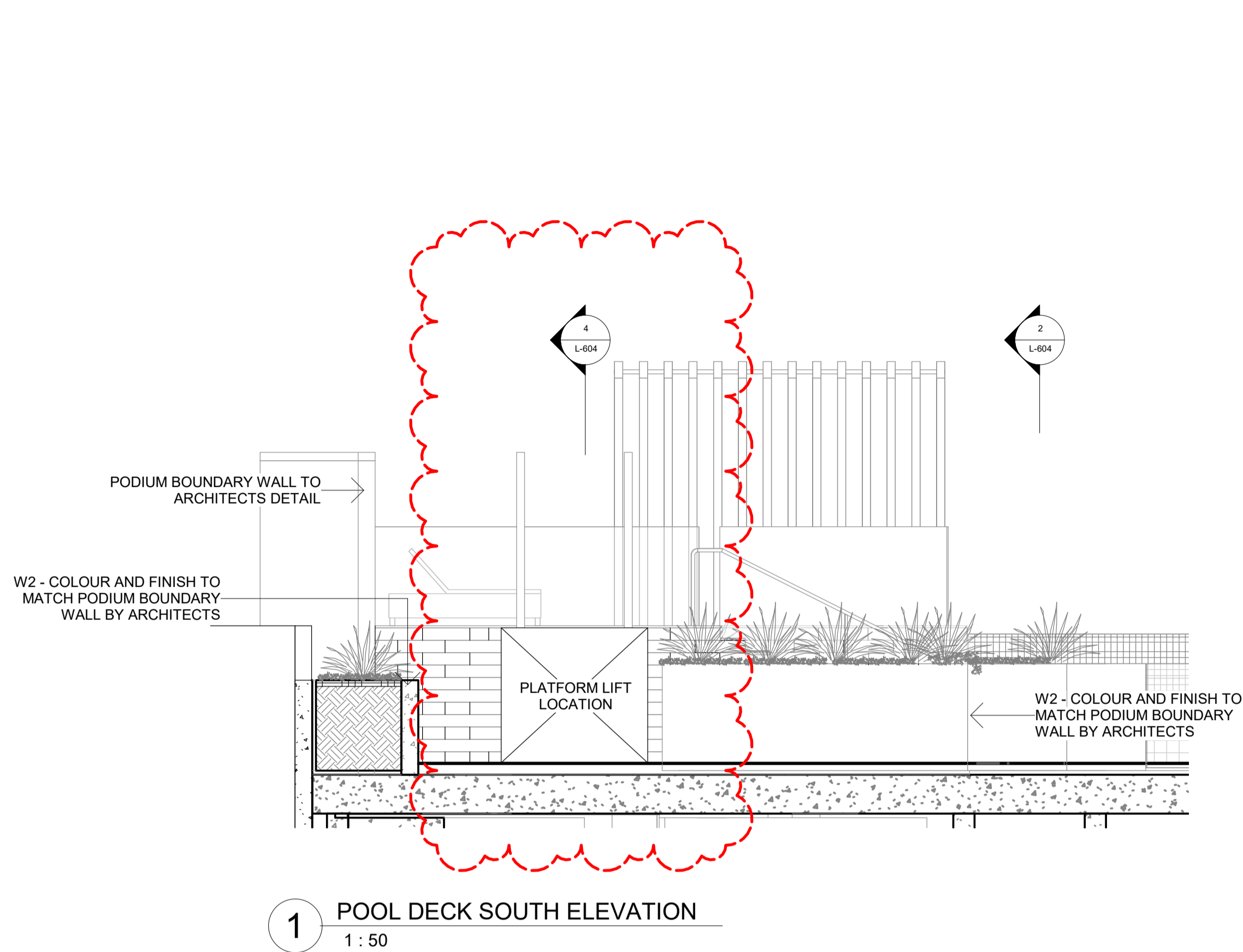
Drawing Status

FOR TENDER

Scale:	1 : 20 @A1	Plot Date:	20/07/2020 4:15:02 PM
Project No.	1602	Drawing No.	L-602
Revision			G

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Rev	Date	Description	Drawn	Checked
E	20.07.2020	FOR TENDER	AR	MC
D	29.04.2020	FOR APPROVAL	AR	MH
C	29.11.2018	FOR APPROVAL	AR	MC
B	06.04.2018	85% TENDER	AR	MC
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Client

CrownGroup

Project

EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

SECTIONS - POOL SHEET 1

Drawing Status

FOR TENDER

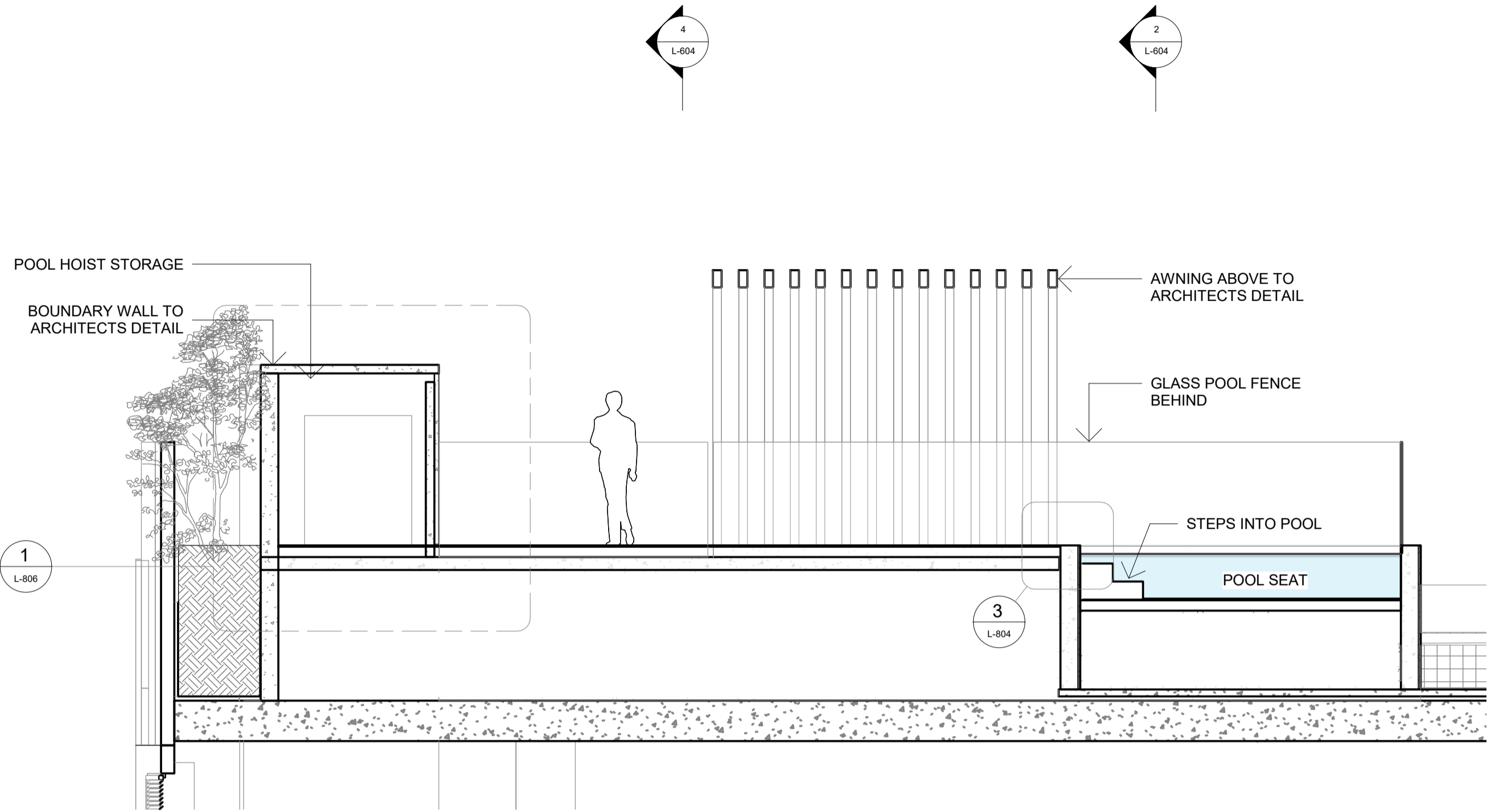
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Project No. 1602 Drawing No. L-603 Revision E

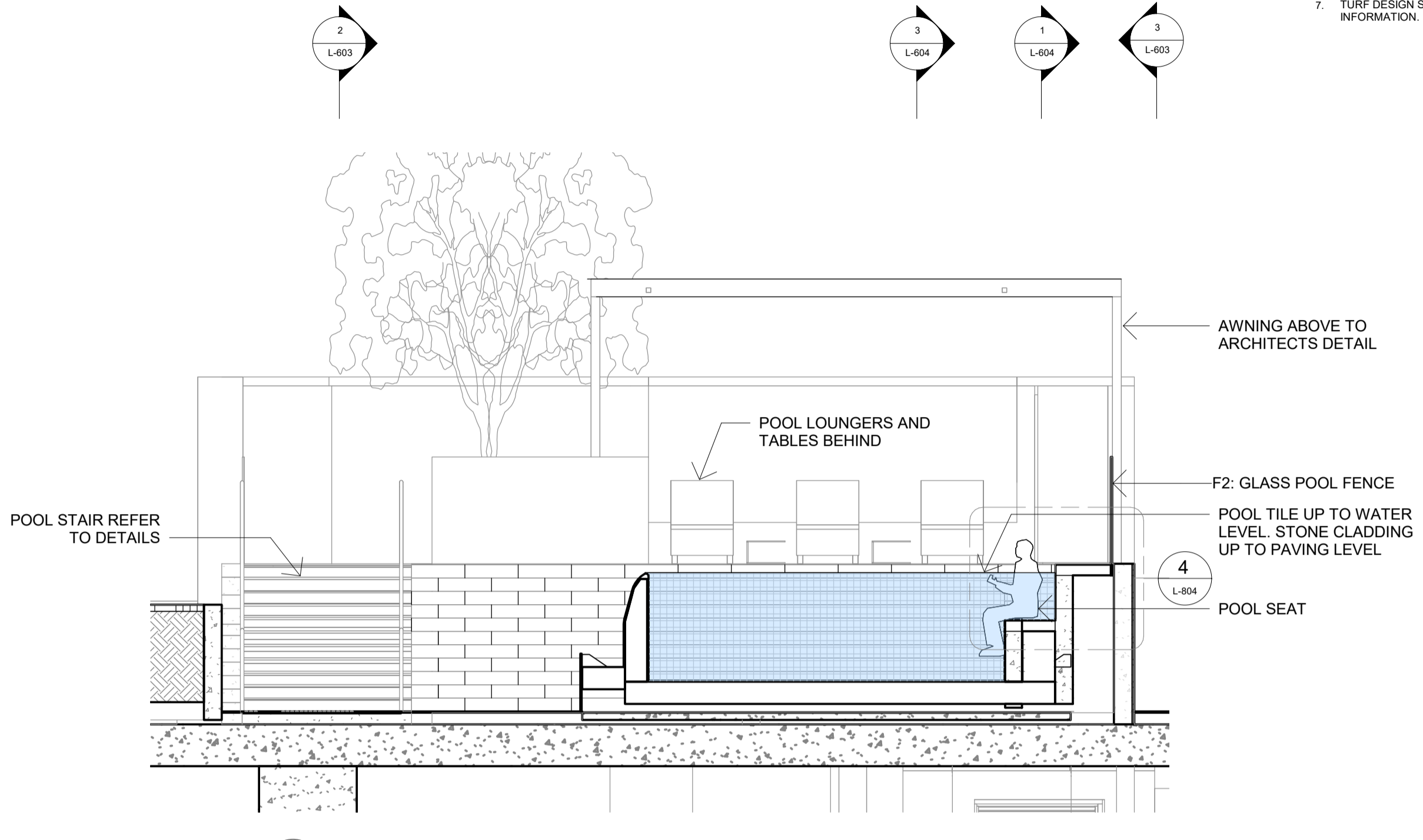
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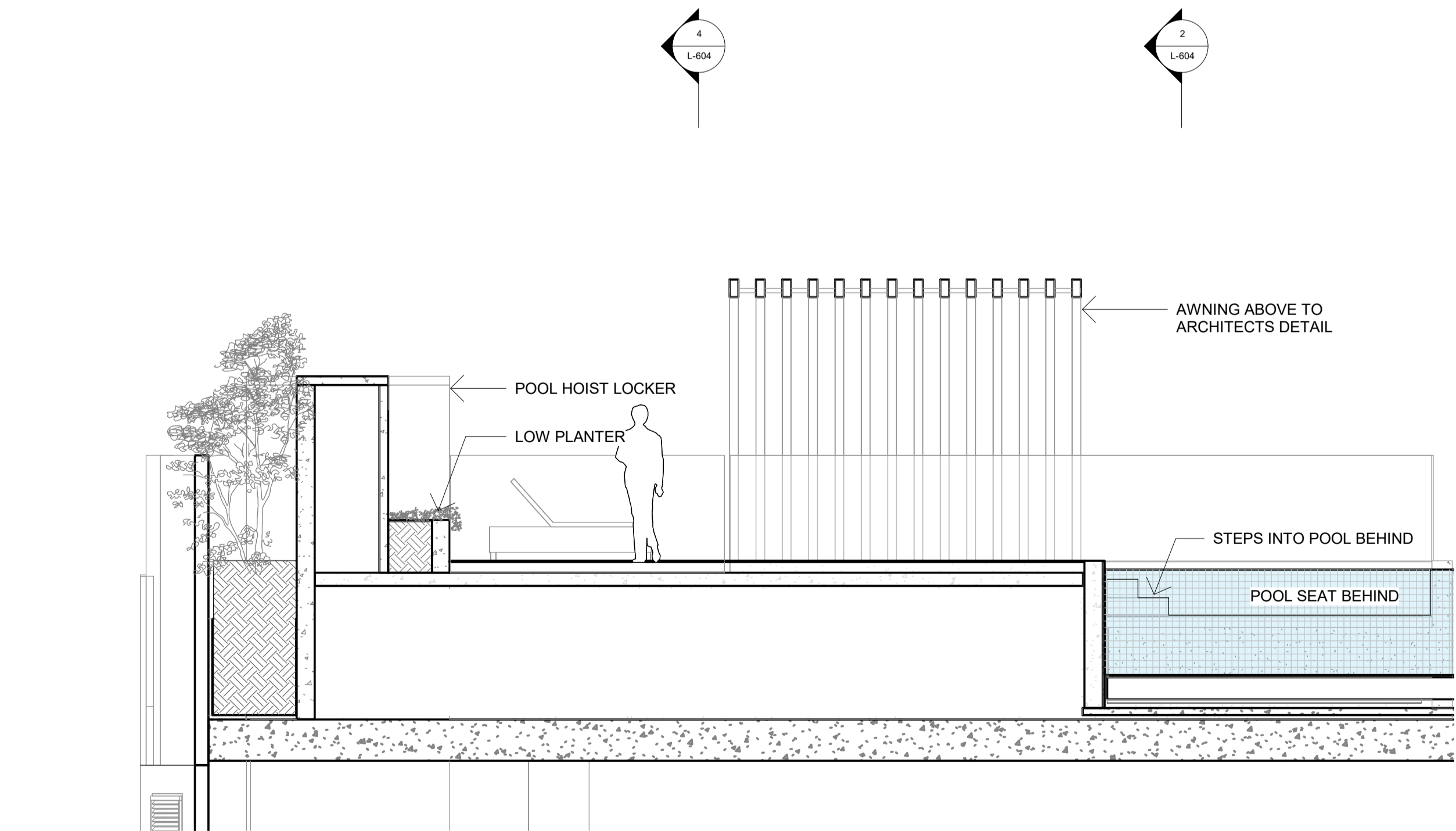
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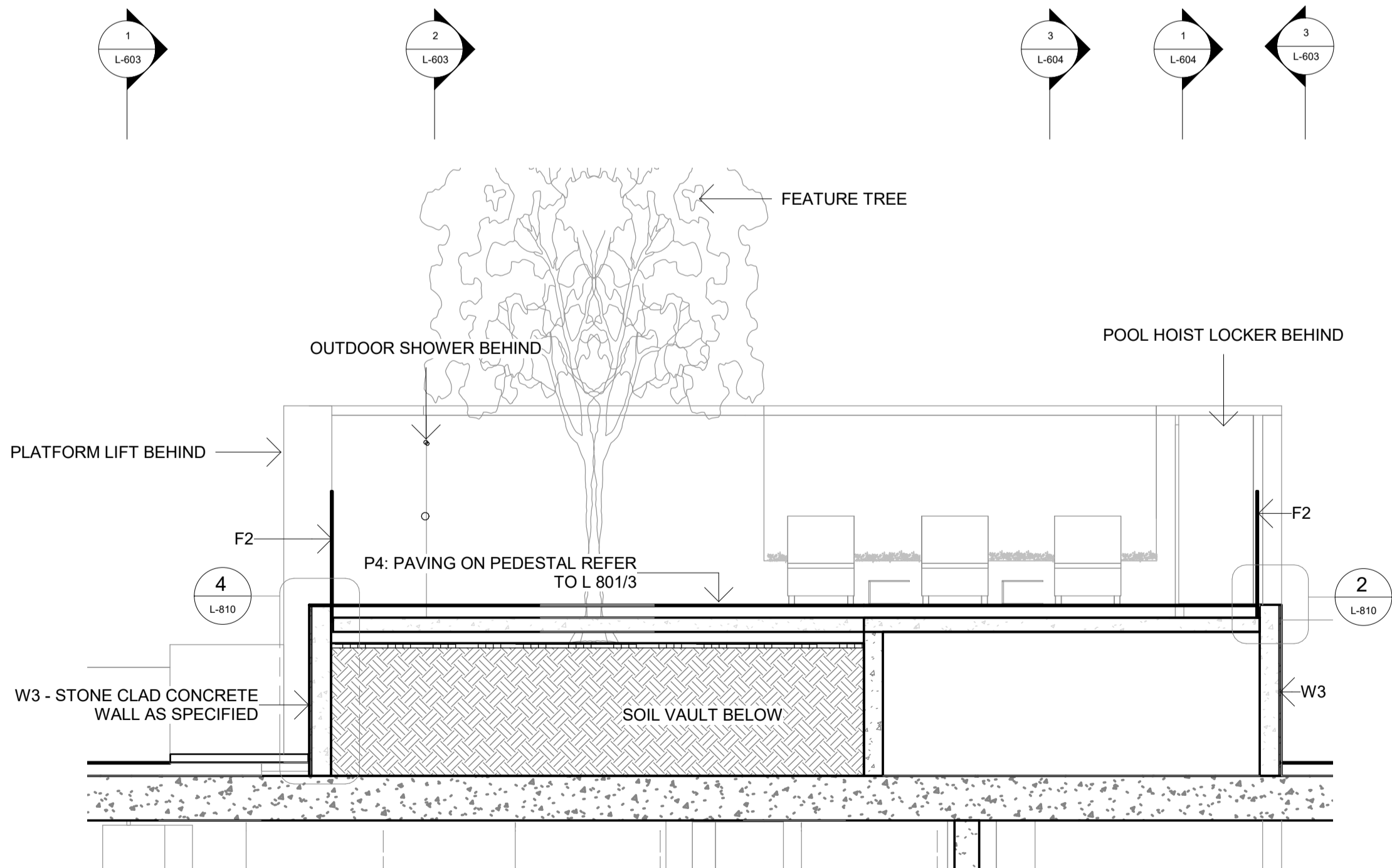
1 POOL DECK SECTION
1 : 50



2 POOL DECK EAST ELEVATION
1 : 50



3 POOL DECK SECTION
1 : 50



4 POOL DECK CROSS SECTION
1 : 50

E 20.07.2020 FOR TENDER AR MC
D 29.04.2020 FOR APPROVAL AR MH
C 29.11.2018 FOR APPROVAL AR MC
B 06.04.2018 85% TENDER AR MC
A 09.02.2018 FOR REVIEW AR MC

Rev Date Description Drawn Checked



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Project
**EASTLAKES TOWN CENTRE -
NORTH SITE**

Drawing Title

SECTIONS - POOL SHEET 2

Drawing Status

FOR TENDER

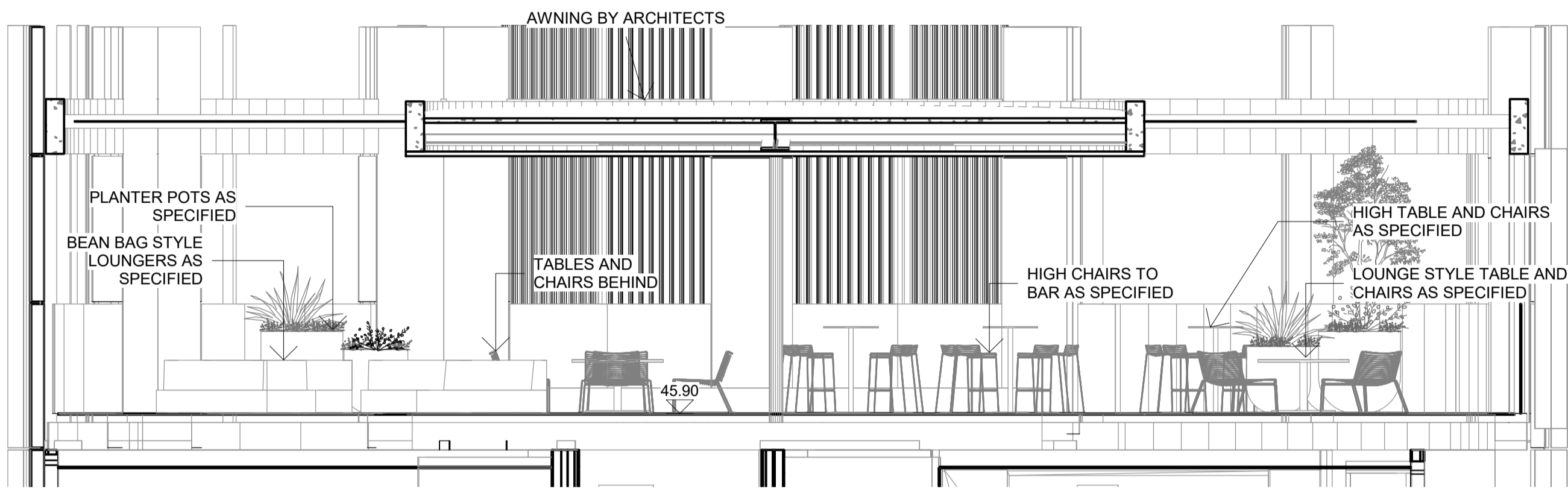
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Project No. Drawing No. Revision

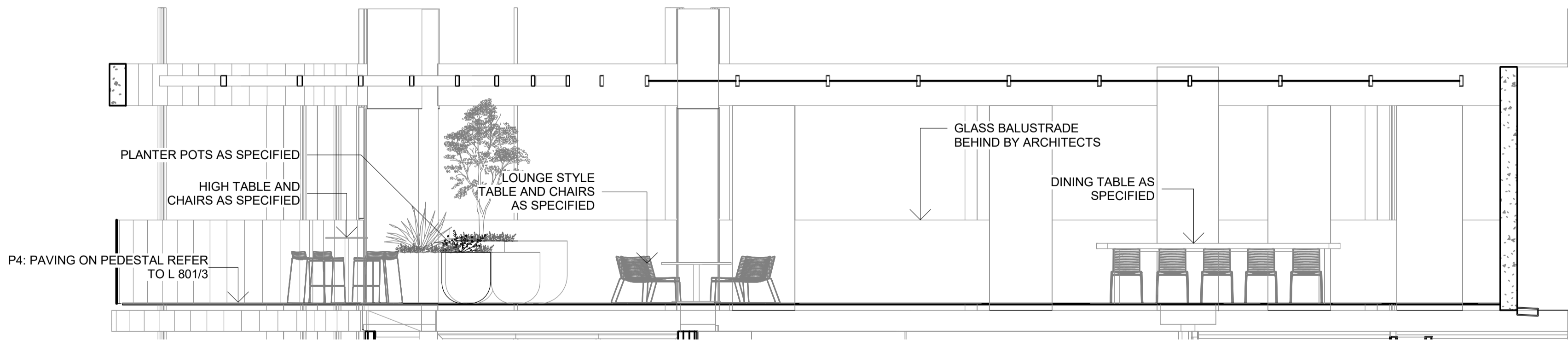
1602 L-604 E

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1 ROOFTOP SECTION 1
1 : 50



2 ROOFTOP SECTION 2
1 : 50

B 20.07.2020 FOR TENDER AR MC
A 29.11.2018 FOR APPROVAL AR MC

Rev	Date	Description	Drawn	Checked
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Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
SECTIONS - BUILDING 1B ROOFTOP

Drawing Status
FOR TENDER

Scale	1 : 50 @A1	Plot Date	20/07/2020 4:16:05 PM
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Project No.	1602	Drawing No.	L-690	Revision	B
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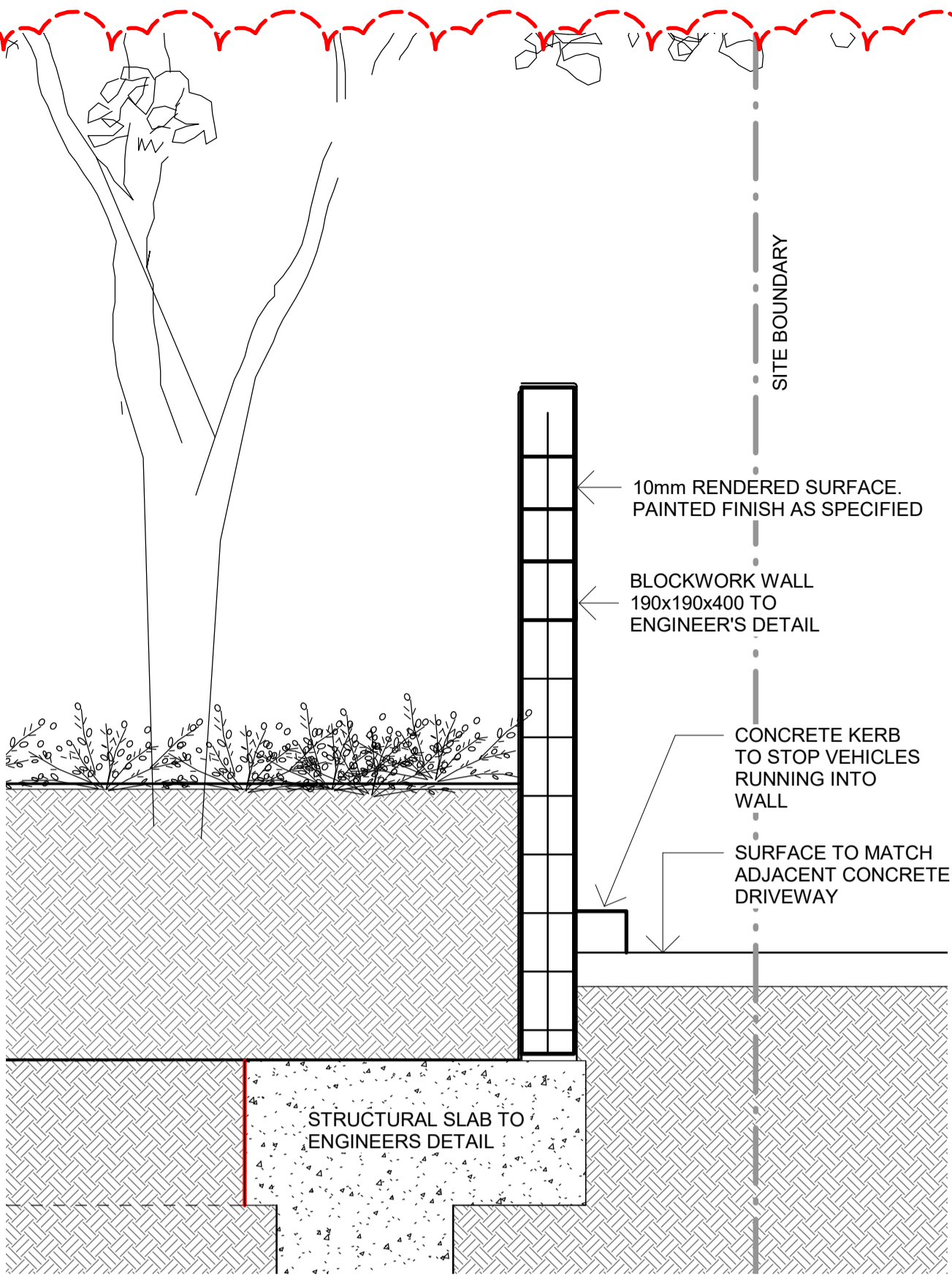
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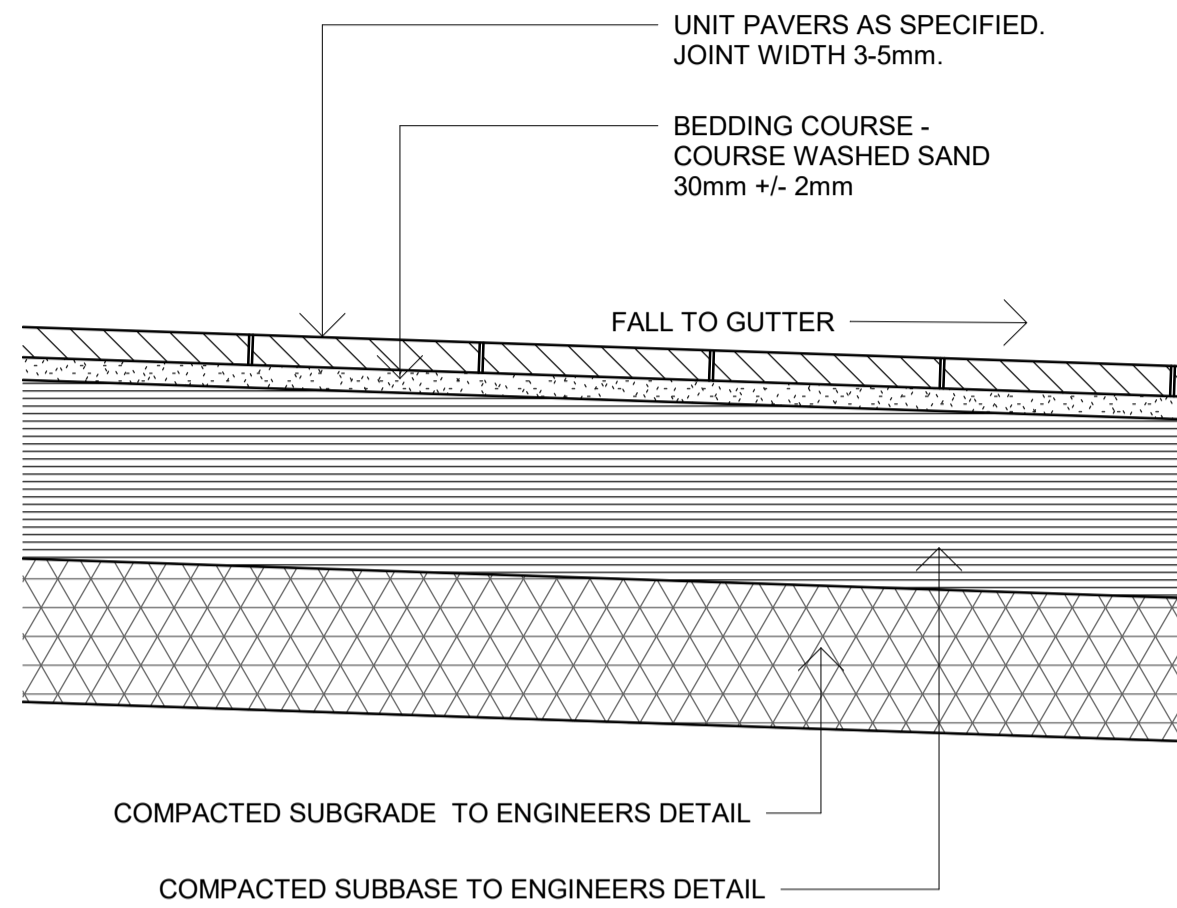
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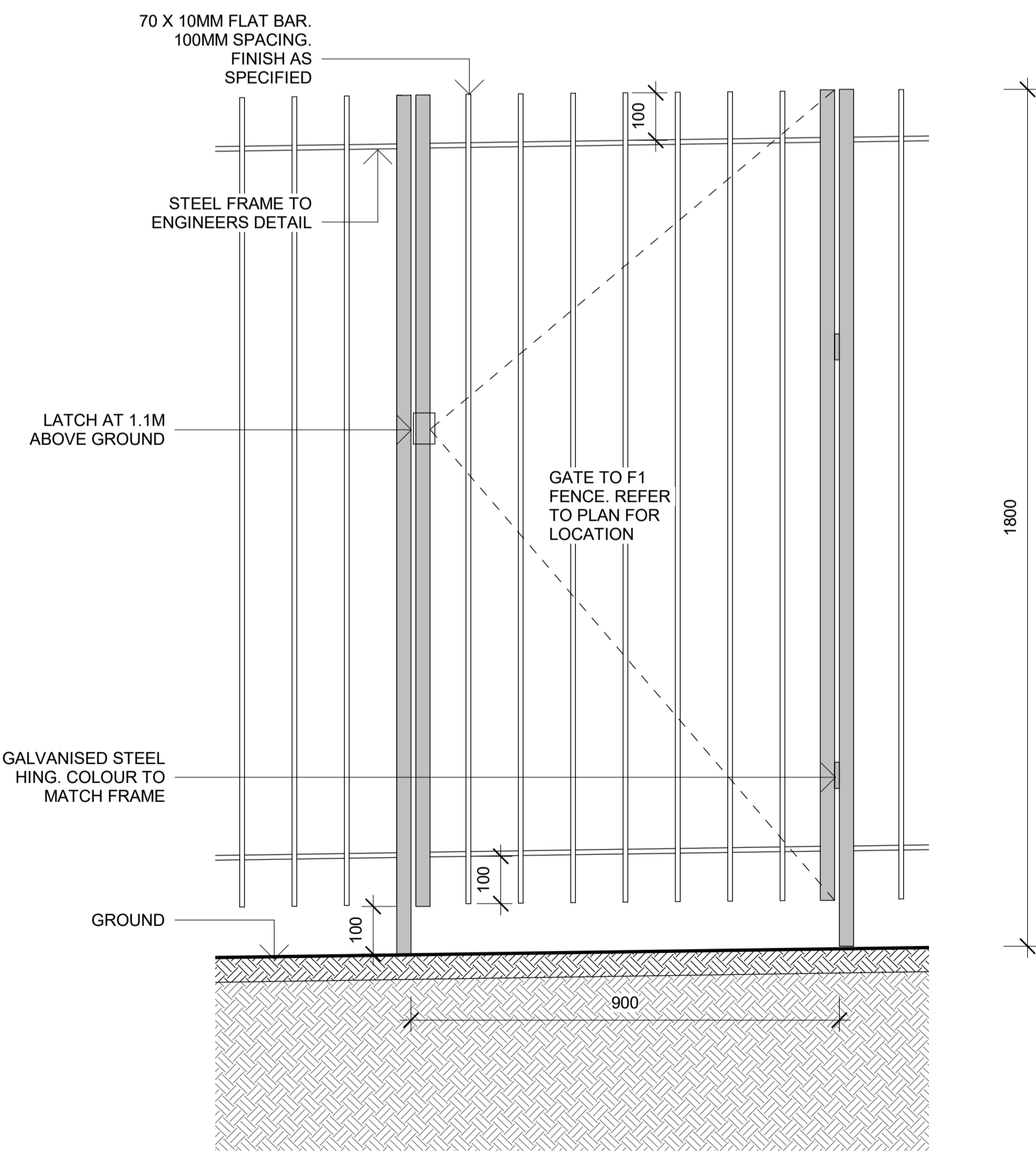


1 W1 EASTERN LANEWAY BLOCK WALL
1 : 20

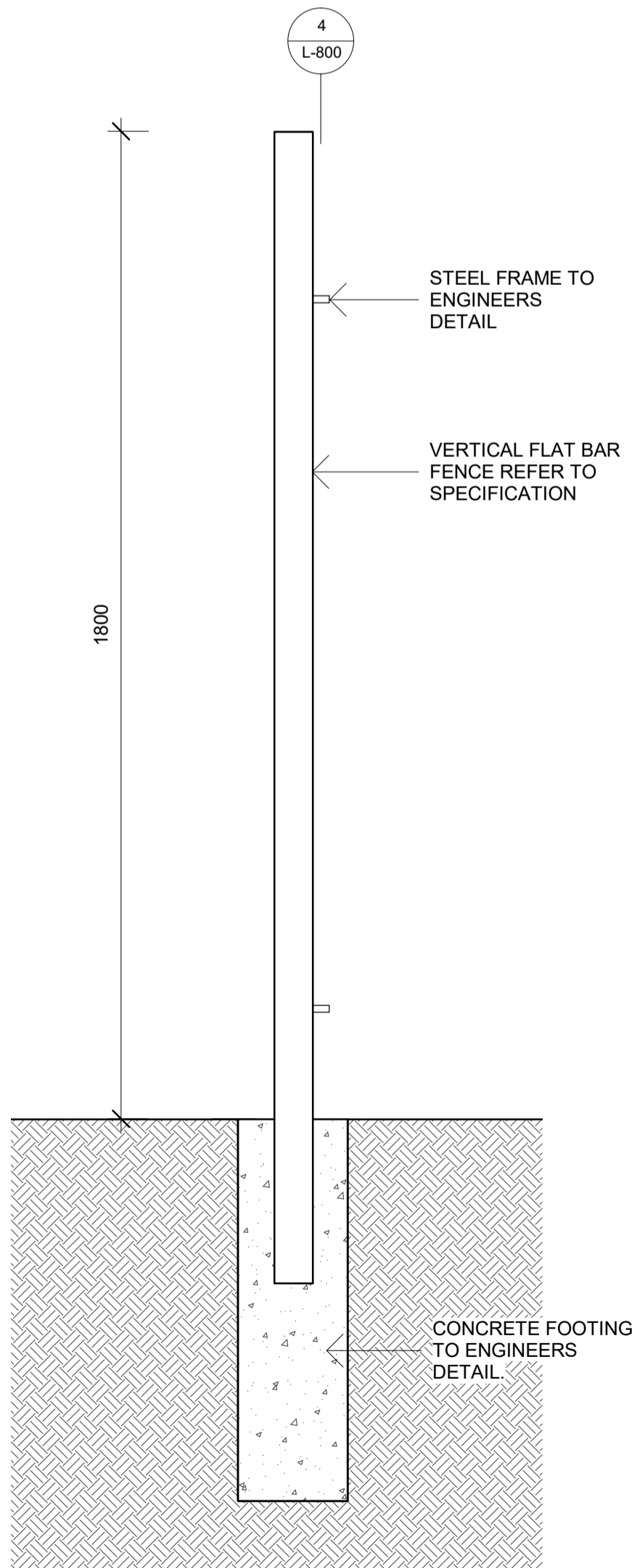
STEEL EDGE DETAIL NO LONGER IN USE



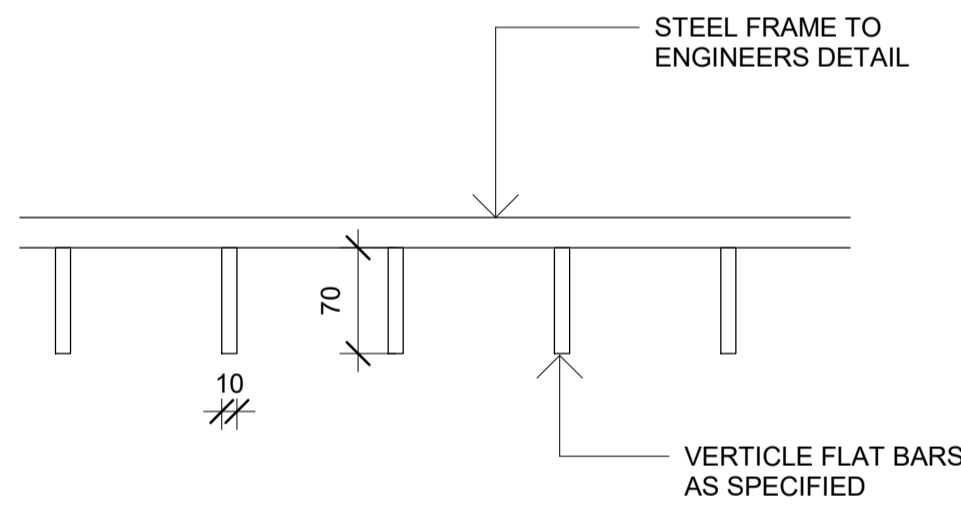
3 TYPICAL DETAIL - PUBLIC DOMAIN PAVING
1 : 10



4 F1 - FLAT BAR FENCE AND GATE ELEVATION
1 : 10



5 F1 - FLAT BAR FENCE FOOTING DETAIL
1 : 10



6 F1+F2 - TYPICAL FLAT BAR FENCE DETAIL PLAN
1 : 5

C 20.07.2020 FOR TENDER AR MC
B 29.11.2018 FOR APPROVAL AR MC
A 06.04.2018 85% TENDER AR MC

Rev Date Description Drawn Checked



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Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
DETAILS - GROUND FLOOR SHEET 1

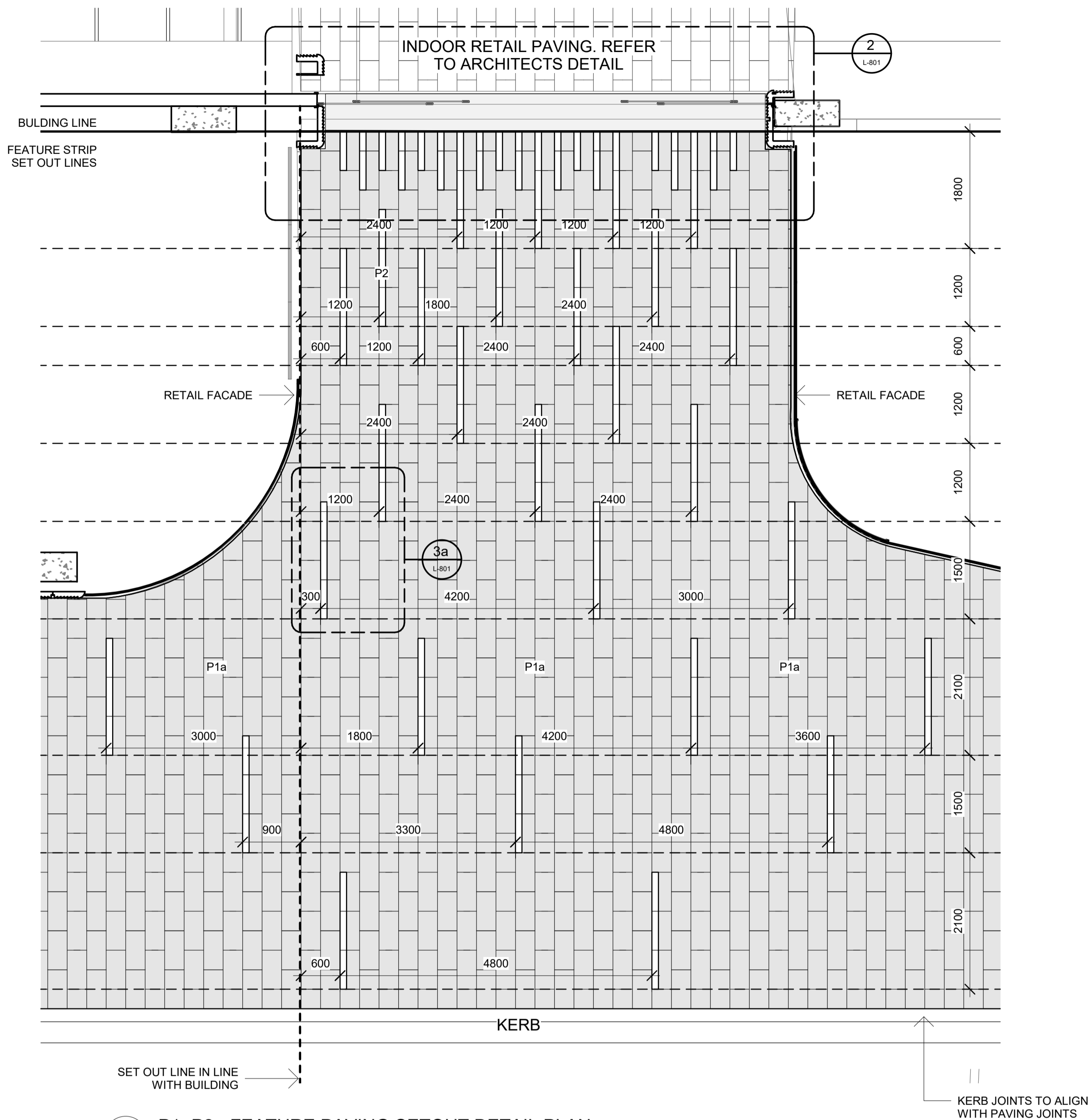
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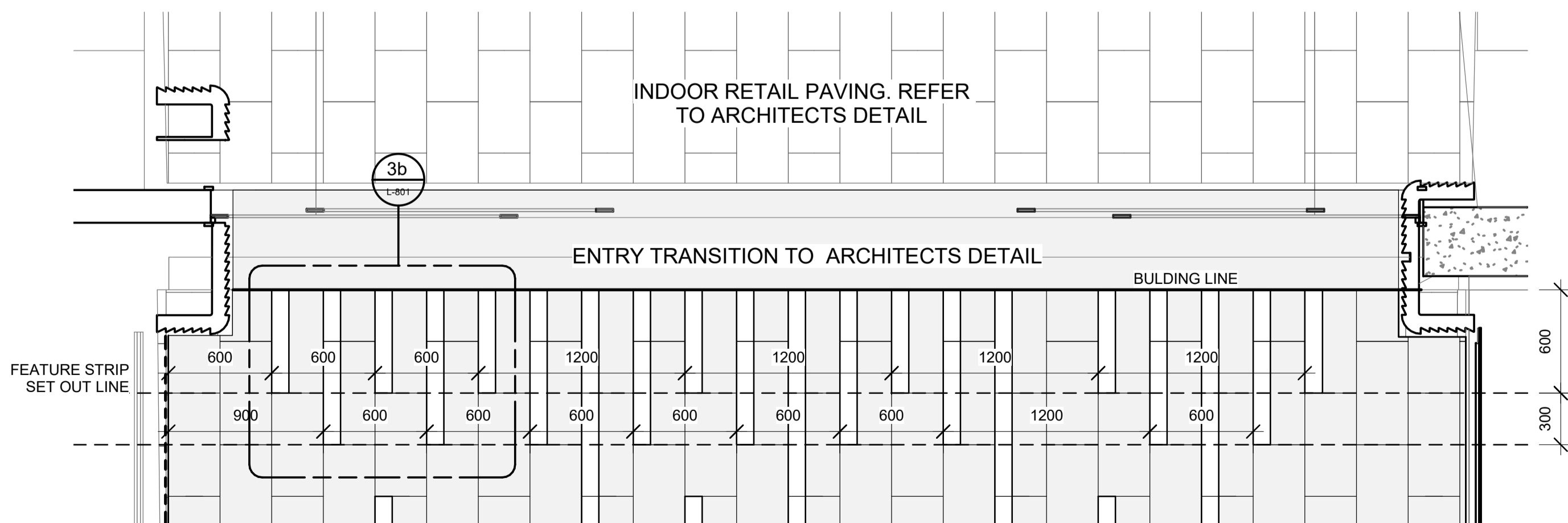
Project No. Drawing No. Revision

1602 L-800 C

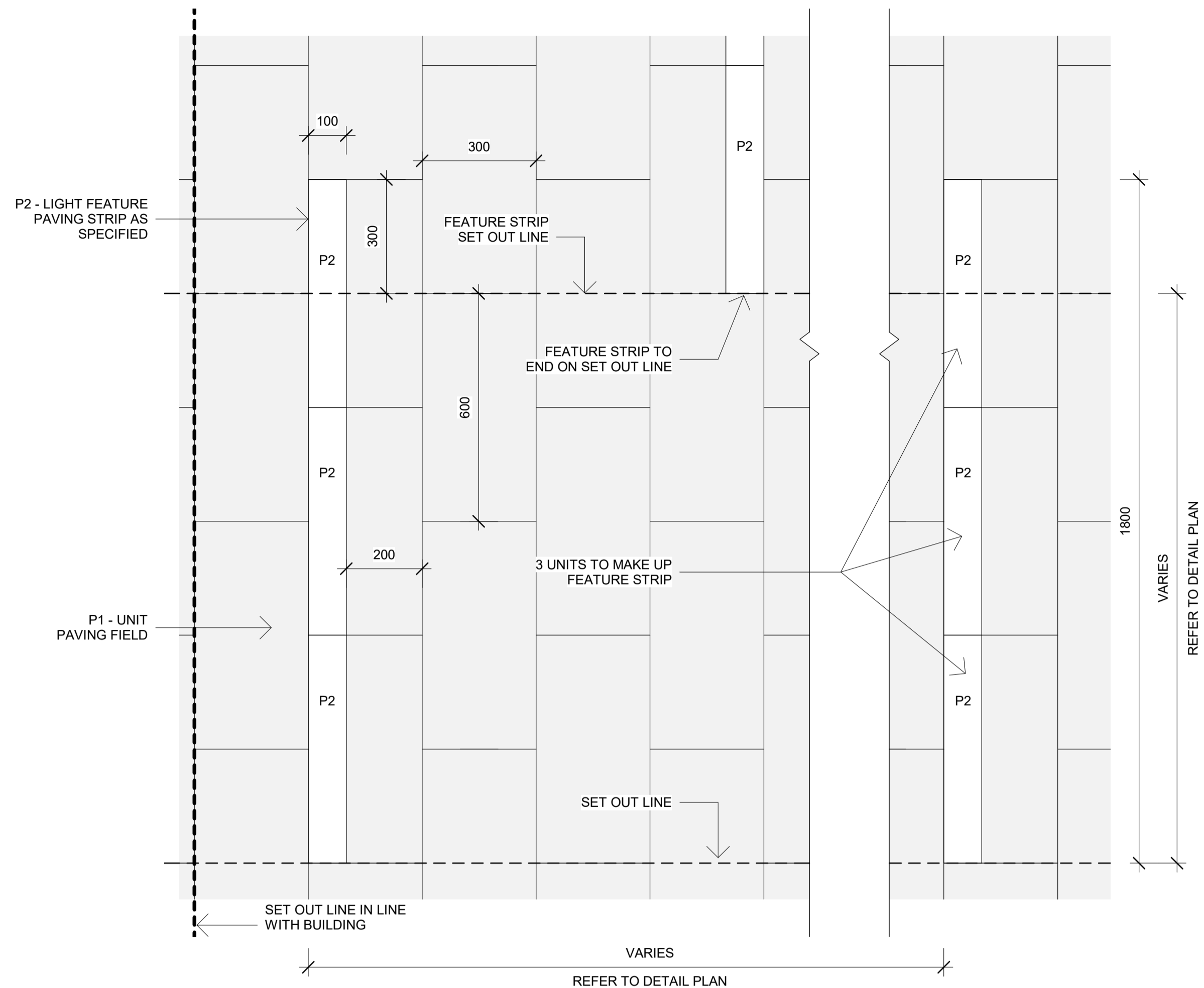
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1 P1+P2 - FEATURE PAVING SETOUT DETAIL PLAN
1 : 50



2 P1+P2 - ENTRY TRANSITION FEATURE PAVING SETOUT DETAIL PLAN
1 : 25



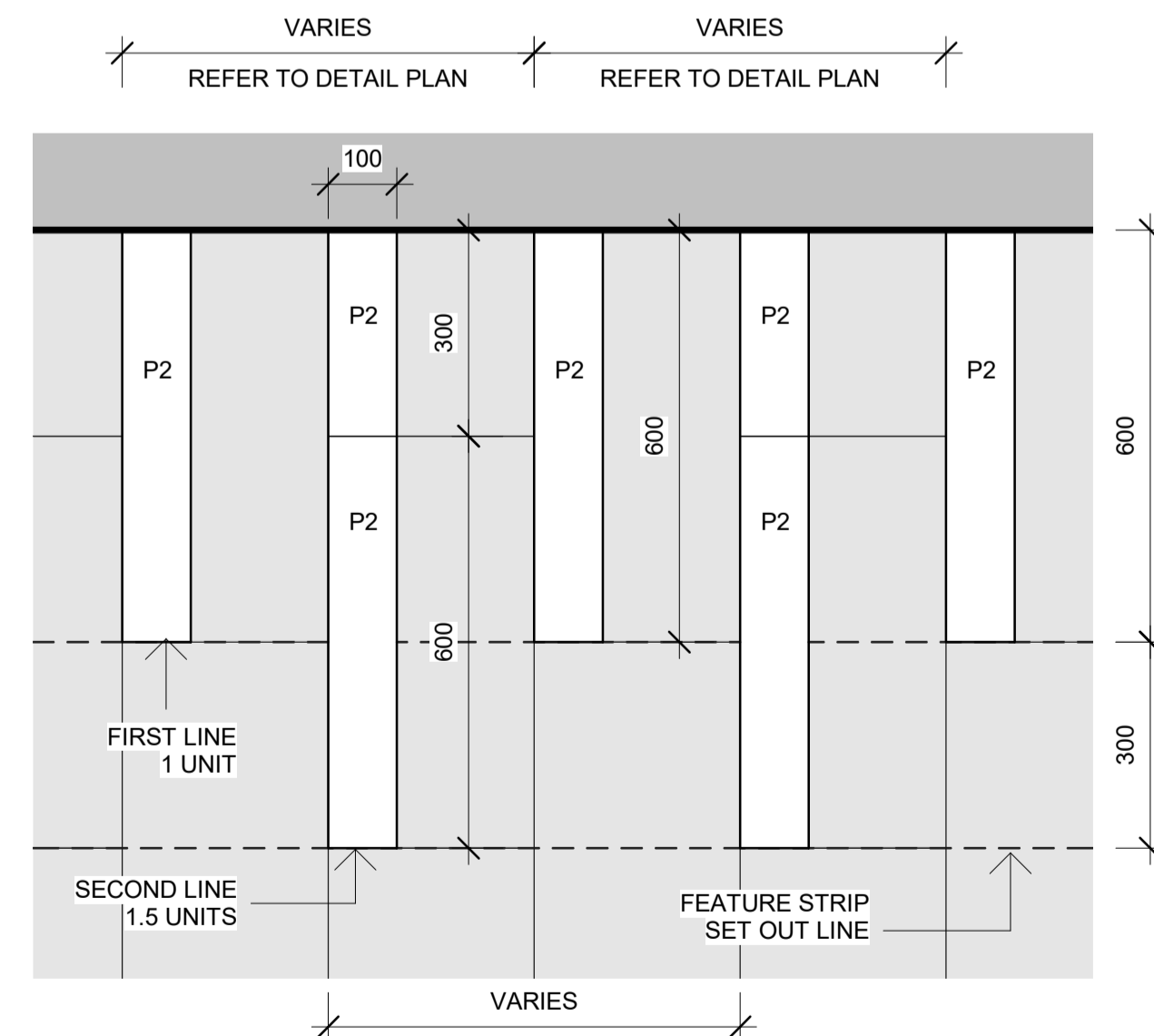
3a P1 + P2 - PUBLIC DOMAIN FEATURE PAVING TYPICAL DETAIL PLAN 1
1 : 10

PAVER SIZES

P1: 600 x 300 x 40mm
P2: 600 x 100 x 40mm

UNIT PAVING SETOUT REQUIREMENTS

- UNIT PAVING (P1) AND ASSOCIATED JOINTING IS TO BE SET-OUT AT 90 DEGREES FROM THE BACK OF KERB.
- MAINTAIN PAVER BAND WIDTH OF 300MM EXCEPT WHERE REQUIRED TO ADJUST PAVERS TO SUIT SITE CONDITIONS.
- PAVER SET-OUT TO BE ESTABLISHED TO ALIGN NEATLY WITH DRIVEWAY, TREE PITS AND GARDEN BEDS.
- WHERE REDUCED PAVER WIDTHS ARE REQUIRED TO TIE-IN TO CRITICAL POINTS (TREE PITS, KERBS AND BUILDING EDGES) A NUMBER OF PRECEDING ROWS SHALL BE FACETTED TO MAINTAIN A MINIMUM UNIT PAVER WIDTH OF 250MM. FOR EXAMPLE, A RESIDUAL WIDTH OF 150MM SHALL BE ACHIEVED BY REDUCING THREE ROWS TO 250MM WIDTH EACH.
- CONTRACTOR TO PROVIDE PROPOSED PAVER AND JOINT SET-OUT PLANS FOR APPROVAL PRIOR TO COMMENCING WORKS.



3b P1 + P2 - ENTRY PAVING TYPICAL DETAIL PLAN
1 : 10

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A 29.11.2018 FOR APPROVAL
AR MC
AR MC

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Client
CrownGroup

Project
EASTLAKES TOWN CENTRE -
NORTH SITE

Drawing Title
DETAILS - GROUND FLOOR
SHEET 2

Drawing Status

FOR TENDER

Scale: As indicated @A1 Plot Date 20/07/2020 4:16:23 PM

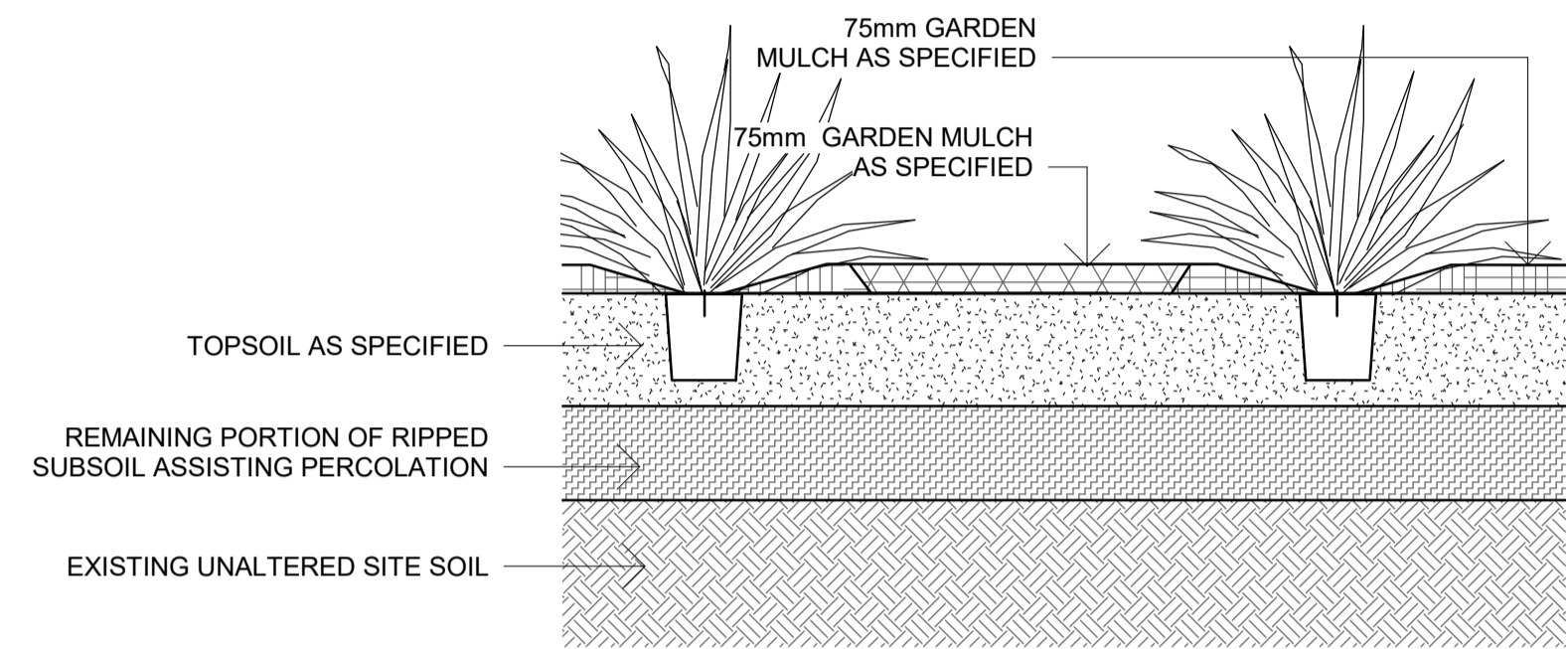
Project No. Drawing No. Revision

1602 L-801 B

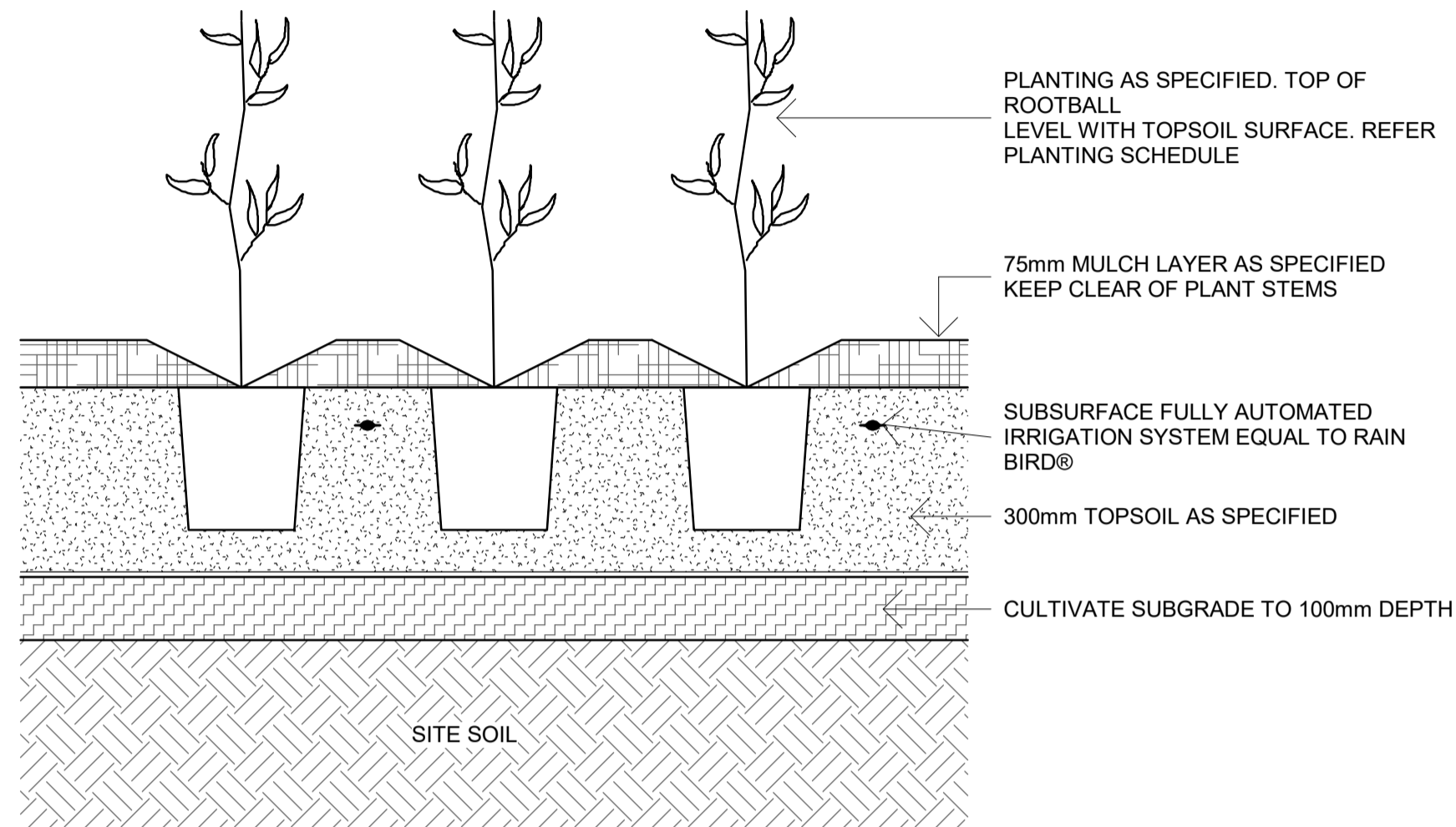
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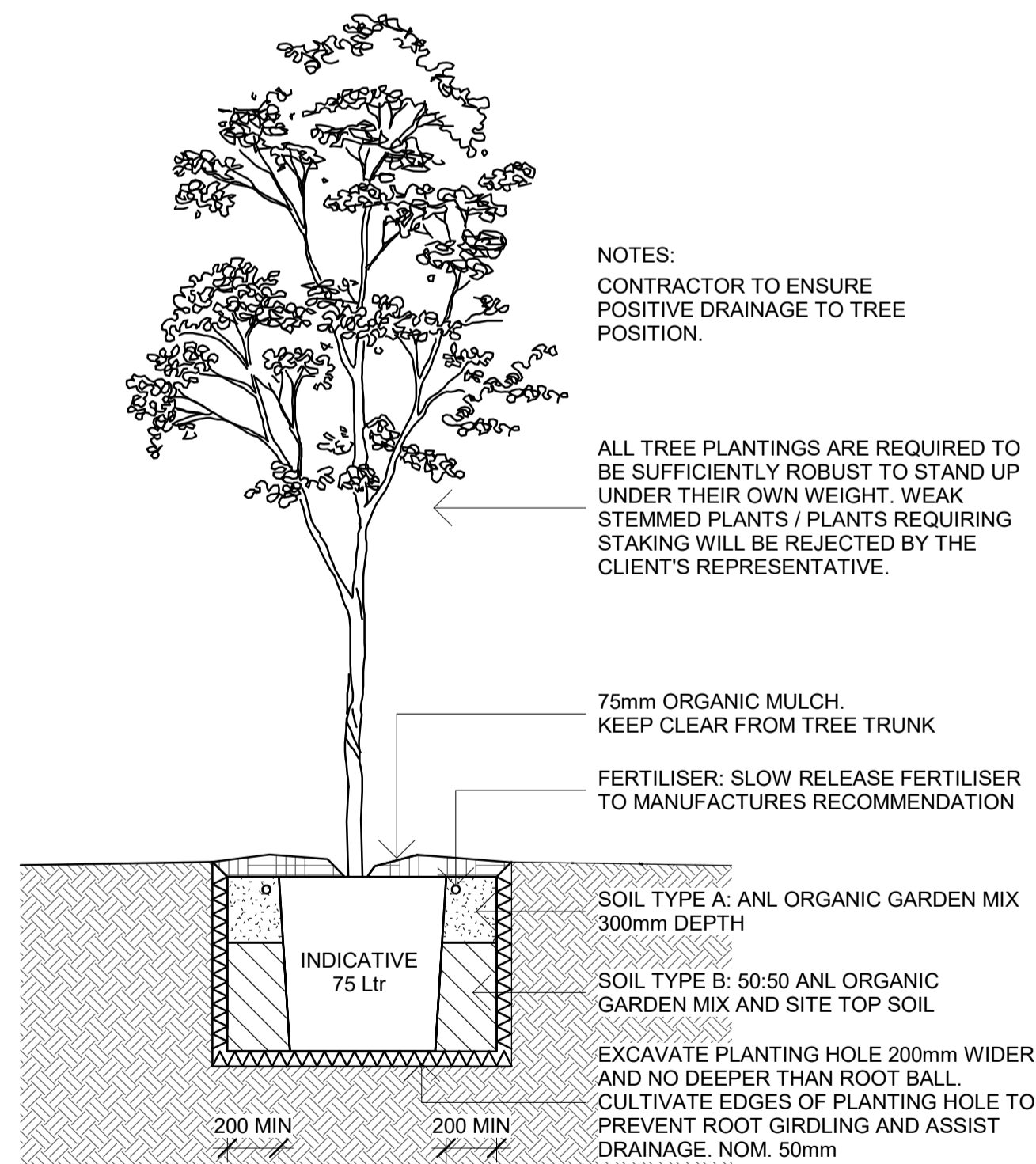
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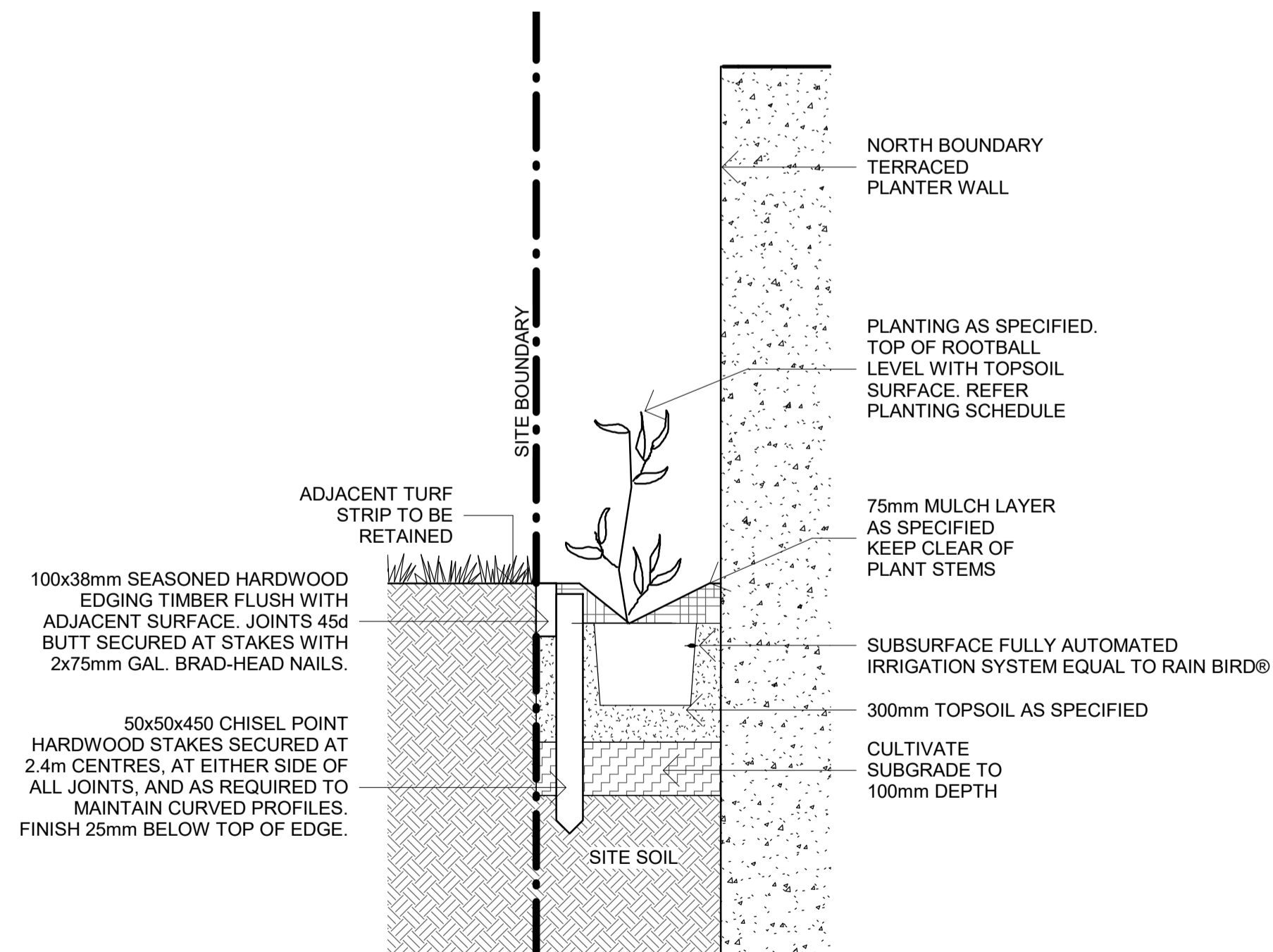
1 TYPICAL DETAIL - MULCH PATH
1 : 20



2 TYPICAL DETAIL - MASS PLANTING IN DEEP SOIL
1 : 10



3 TYPICAL DETAIL - TREE PLANTING IN DEEP SOIL
1 : 20



4 NORTH PODIUM PLANTING STRIP
1 : 10

B 20.07.2020 FOR TENDER AR MC
A 29.11.2018 FOR APPROVAL AR MC

Rev	Date	Description	Drawn	Checked
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Client

CrownGroup

Project

EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

DETAILS - GROUND FLOOR SHEET 3

Drawing Status

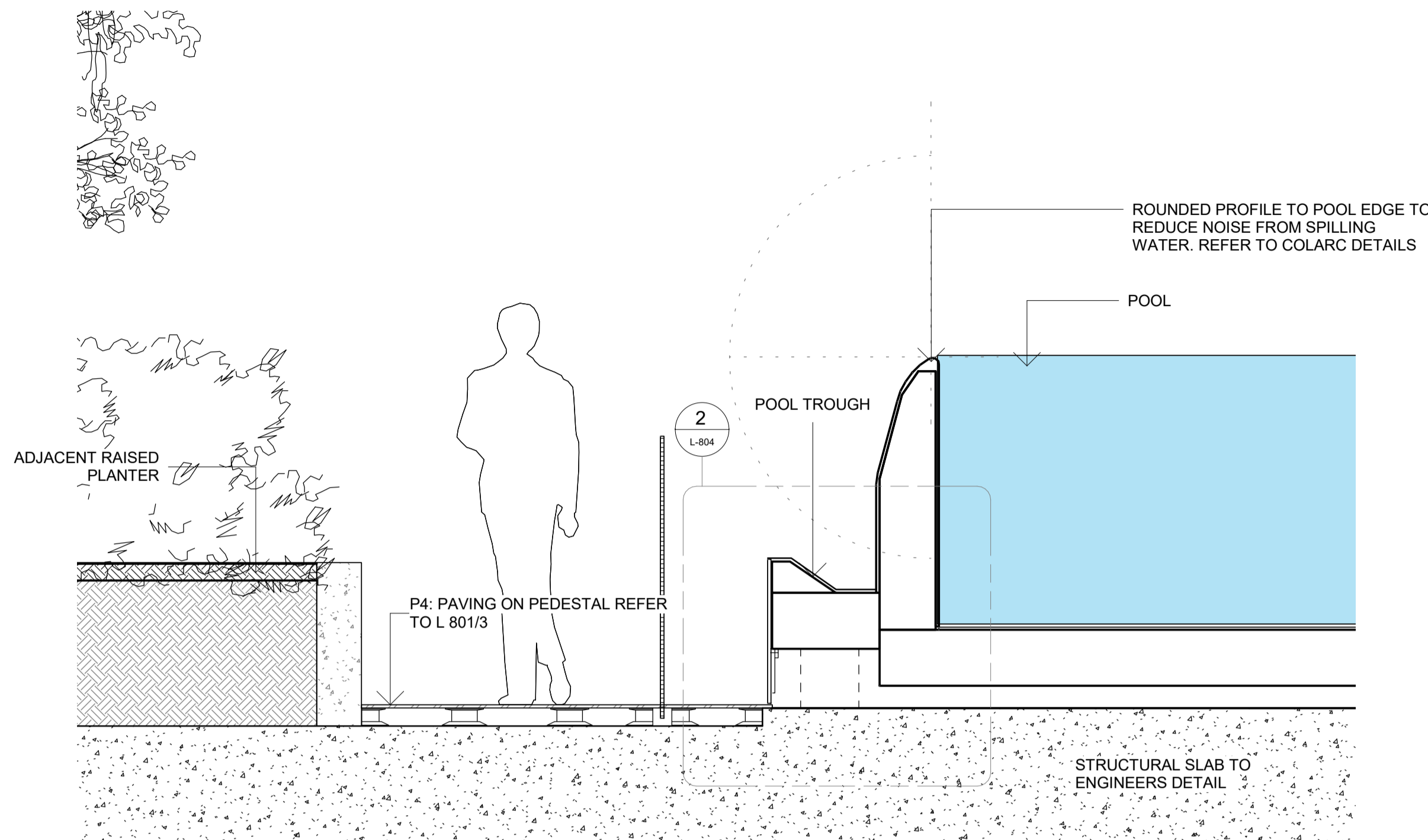
FOR TENDER

Scale	As indicated @A1	Plot Date	20/07/2020 4:16:48 PM
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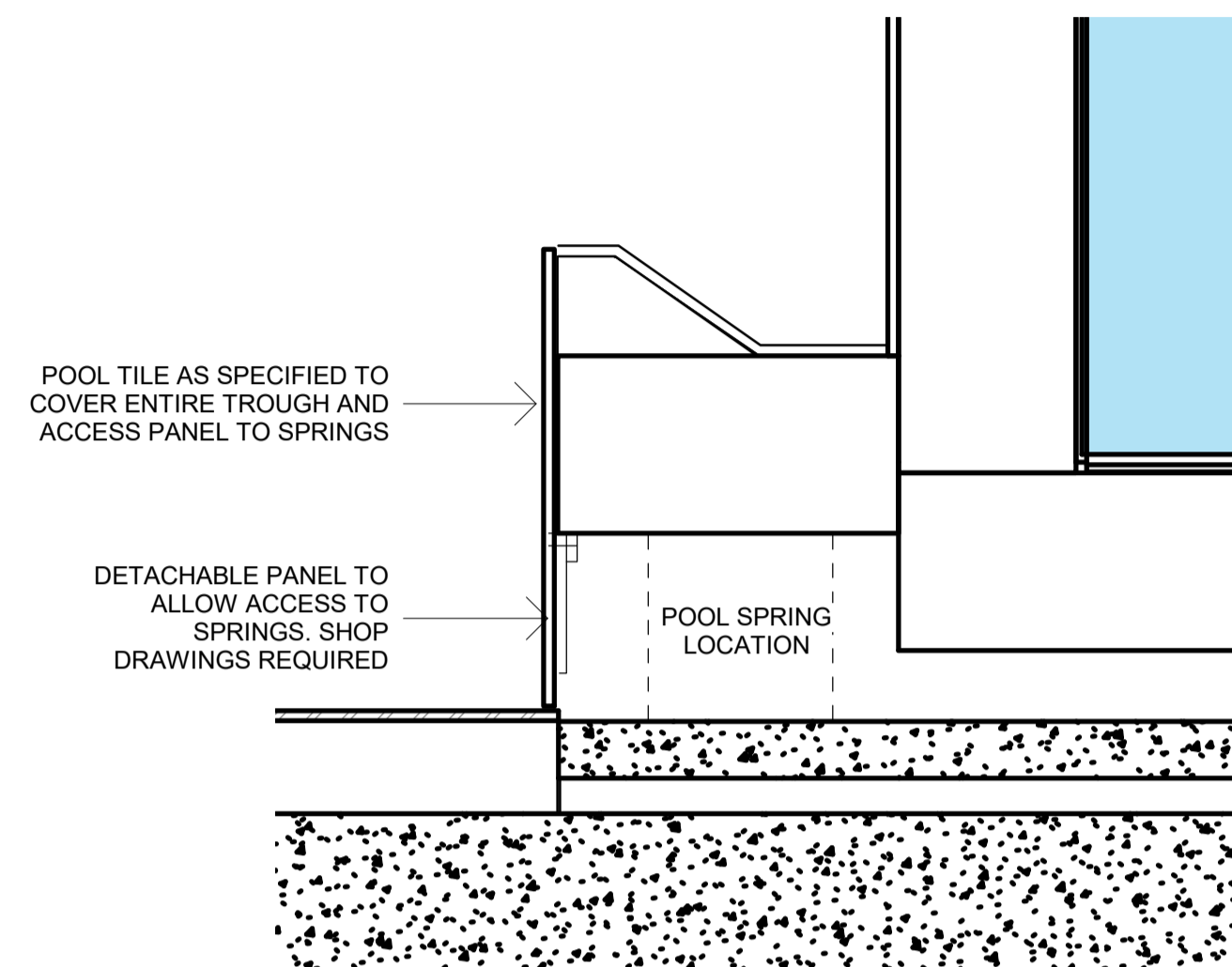
Project No.	Drawing No.	Revision
1602	L-802	B

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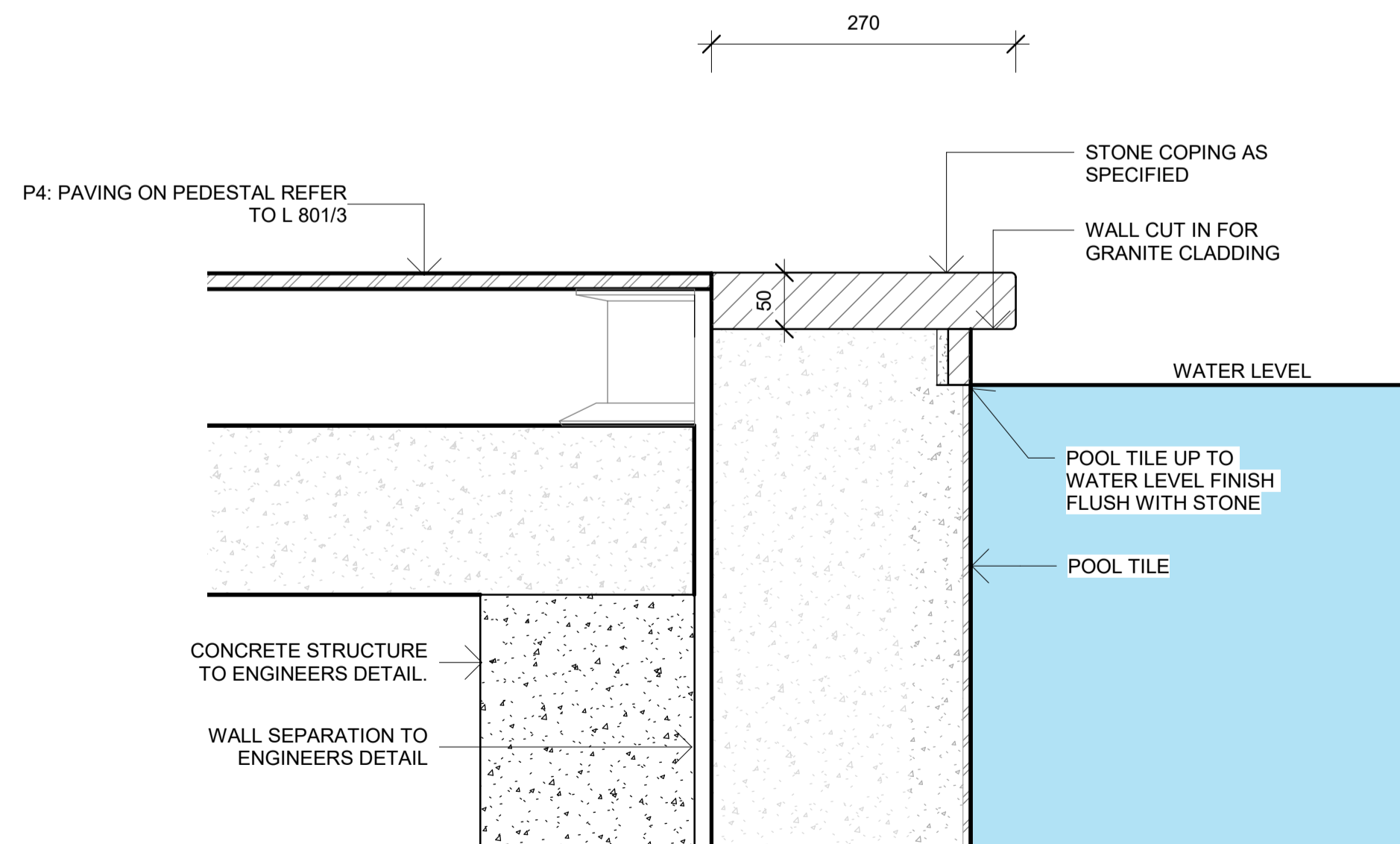
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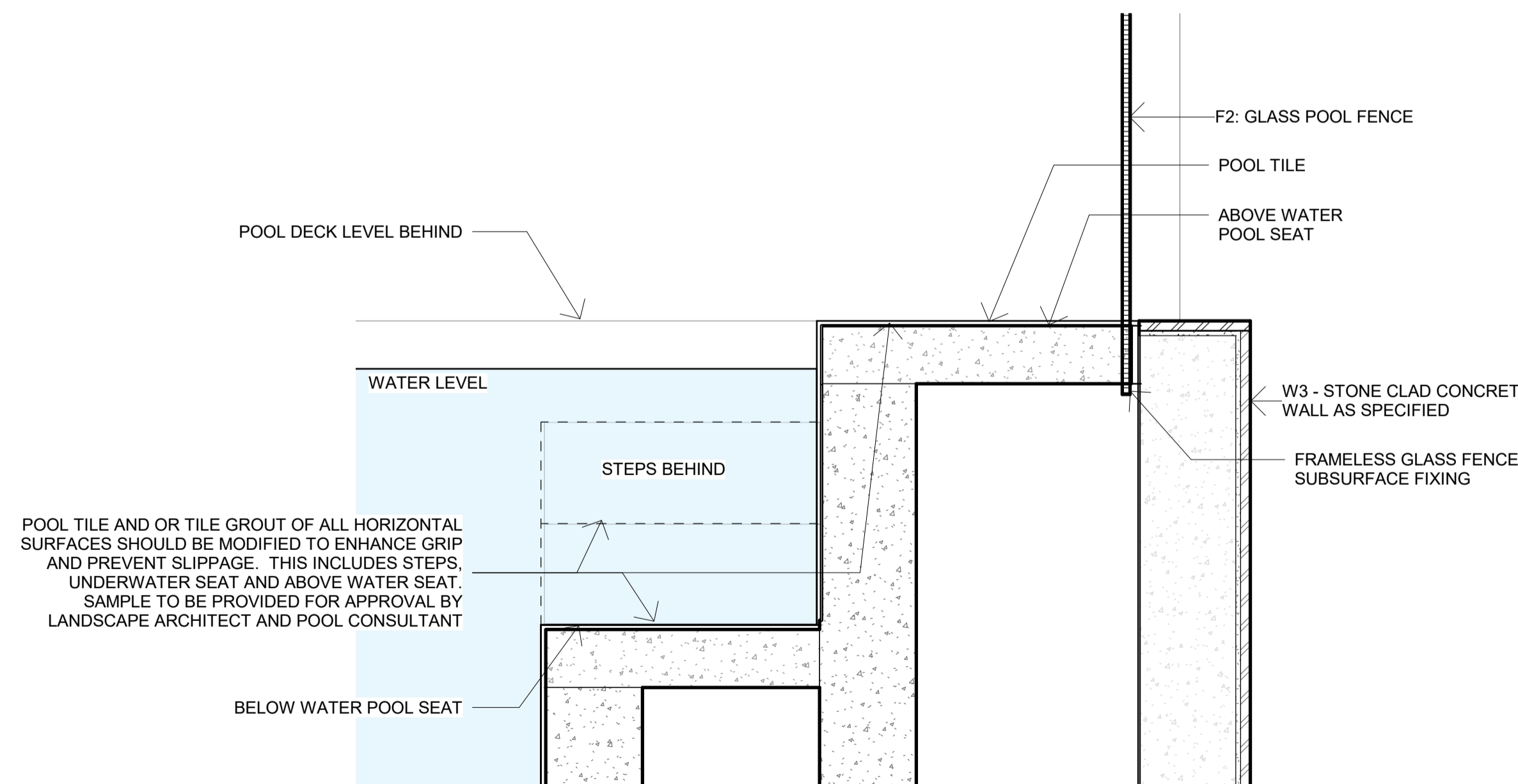
1 POOL EDGE
1 : 20



2 POOL TROUGH DETAIL
1 : 10



3 POOL DECK COPING DETAIL
1 : 5



4 POOL SEAT AND STEP DETAIL
1 : 10

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F	20.07.2020	FOR TENDER	AR	MC
E	29.11.2018	FOR APPROVAL	AR	MC
D	06.04.2018	85% TENDER	AR	MC
C	09.02.2018	FOR REVIEW	AR	MC
B	29.08.2017	FOR REVIEW	AR	MC
A	18.08.2017	FOR REVIEW	AR	MC

Rev	Date	Description	Drawn	Checked
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Project
EASTLAKES TOWN CENTRE - NORTH SITE

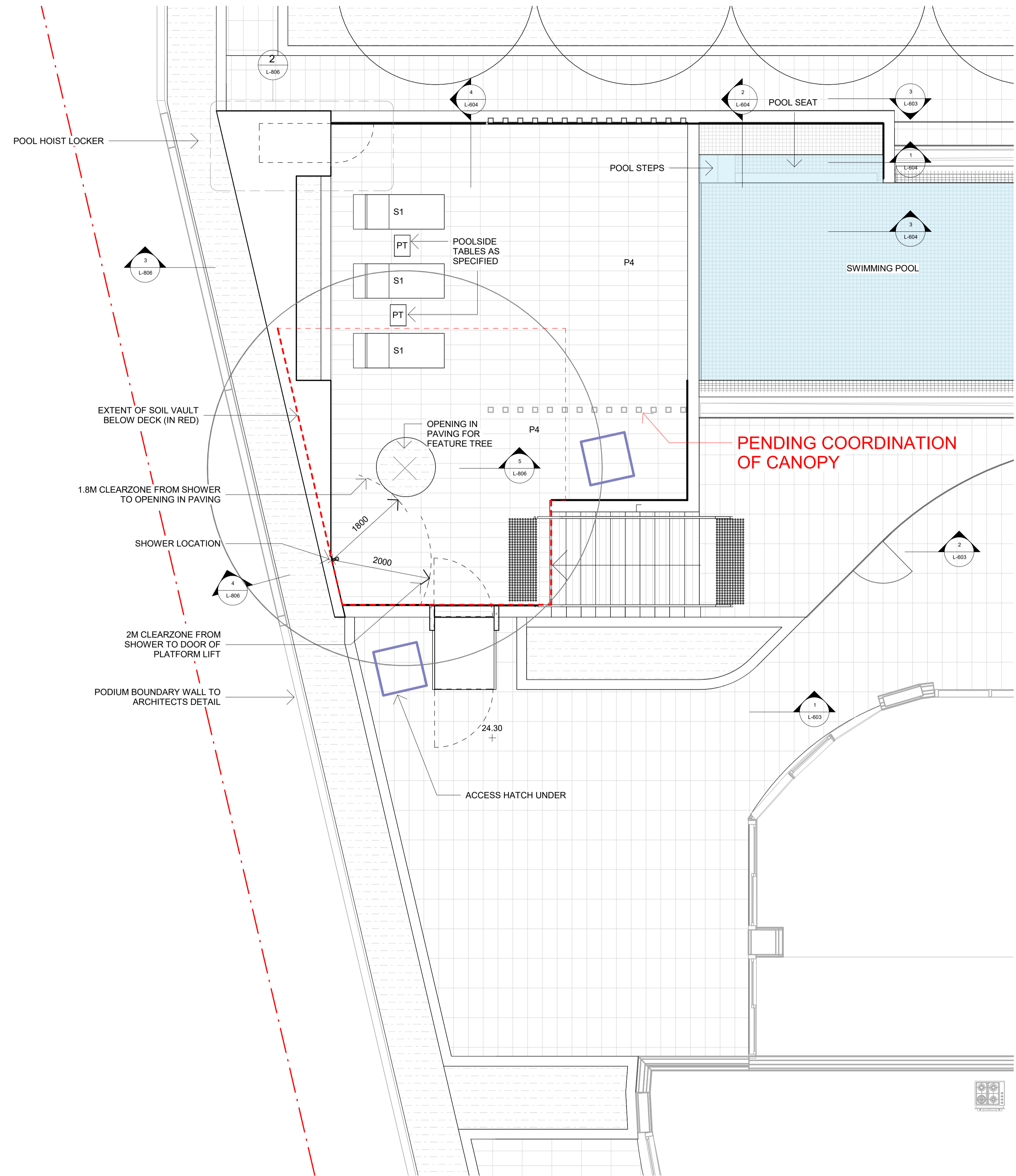
Drawing Title
DETAILS - POOL

Drawing Status
FOR TENDER

Scale:	As indicated @A1	Plot Date	20/07/2020 4:17:04 PM
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Project No.	Drawing No.	Revision
1602	L-804	F

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1 POOL DECK DETAIL PLAN
1 : 50



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- SURVEY INFORMATION

D	20.07.2020	FOR TENDER	AR	MC
C	29.11.2018	FOR APPROVAL	AR	MC
B	06.04.2018	85% TENDER	AR	MC
A	12.03.2018	FOR REVIEW	AR	MC

Rev	Date	Description	Drawn	Checked
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Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
DETAILS - POOL DECK SHEET 1

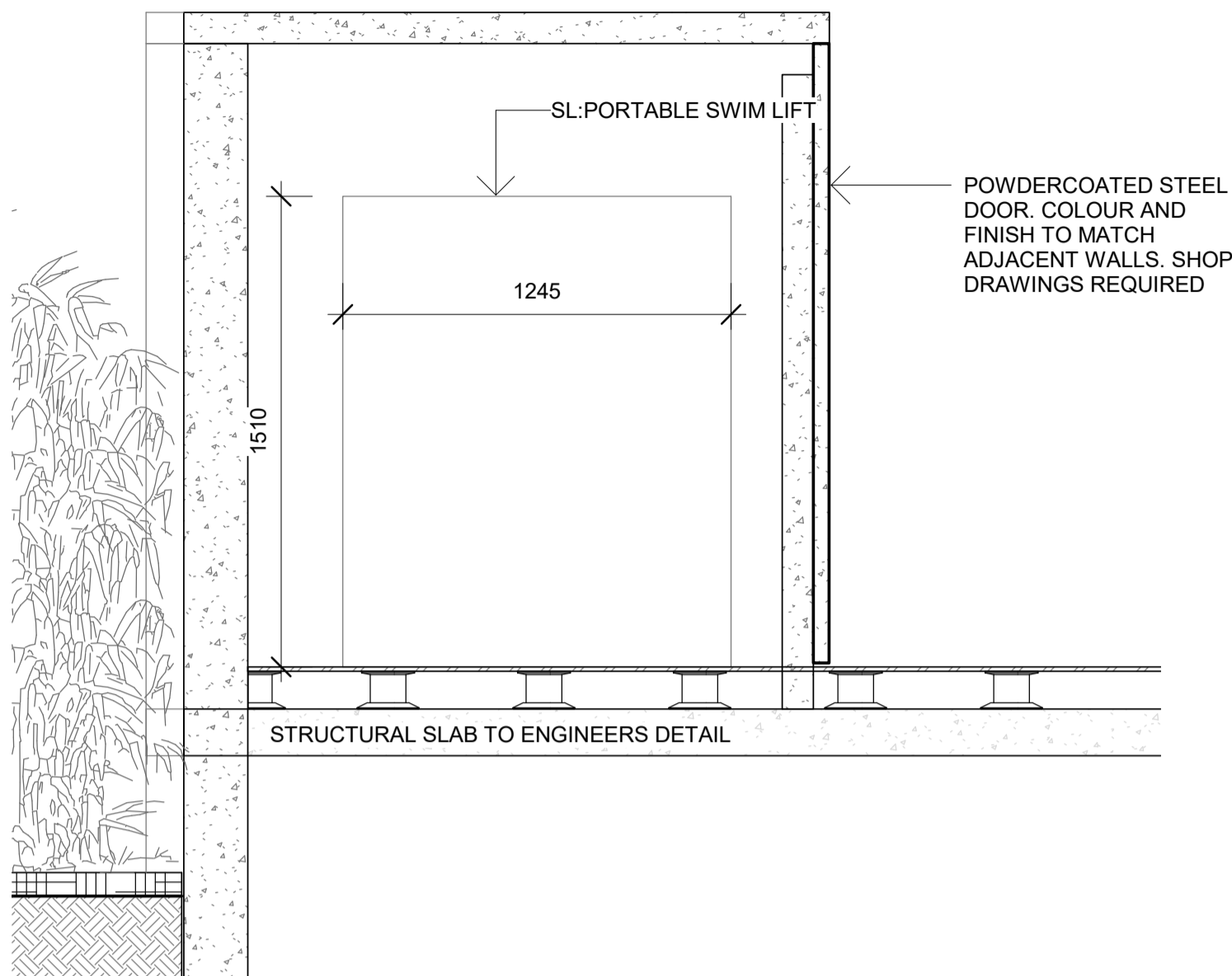
Drawing Status
FOR TENDER

Scale: 1 : 50 @A1 Plot Date: 20/07/2020 4:17:24 PM

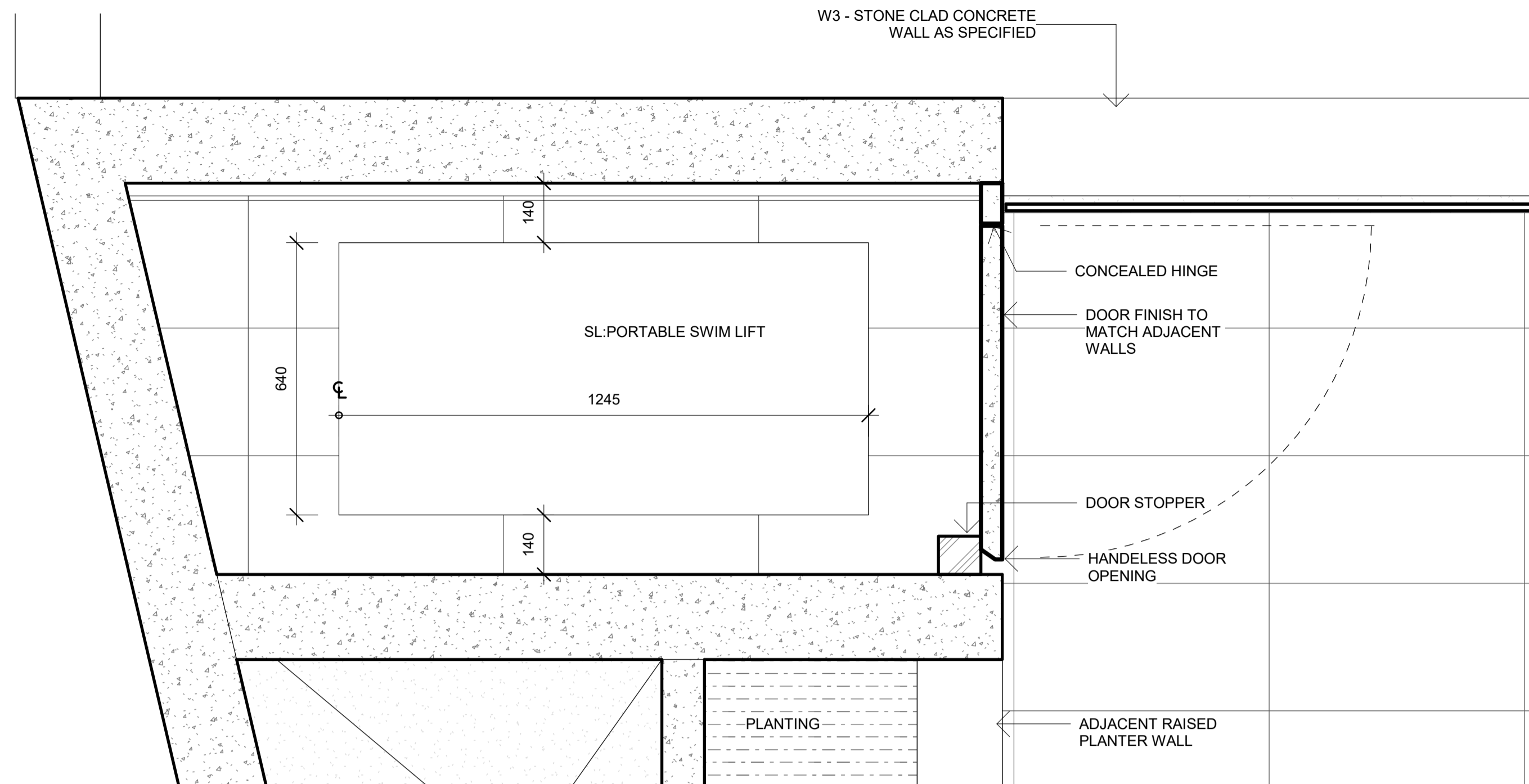
Project No.	Drawing No.	Revision
1602	L-805	D

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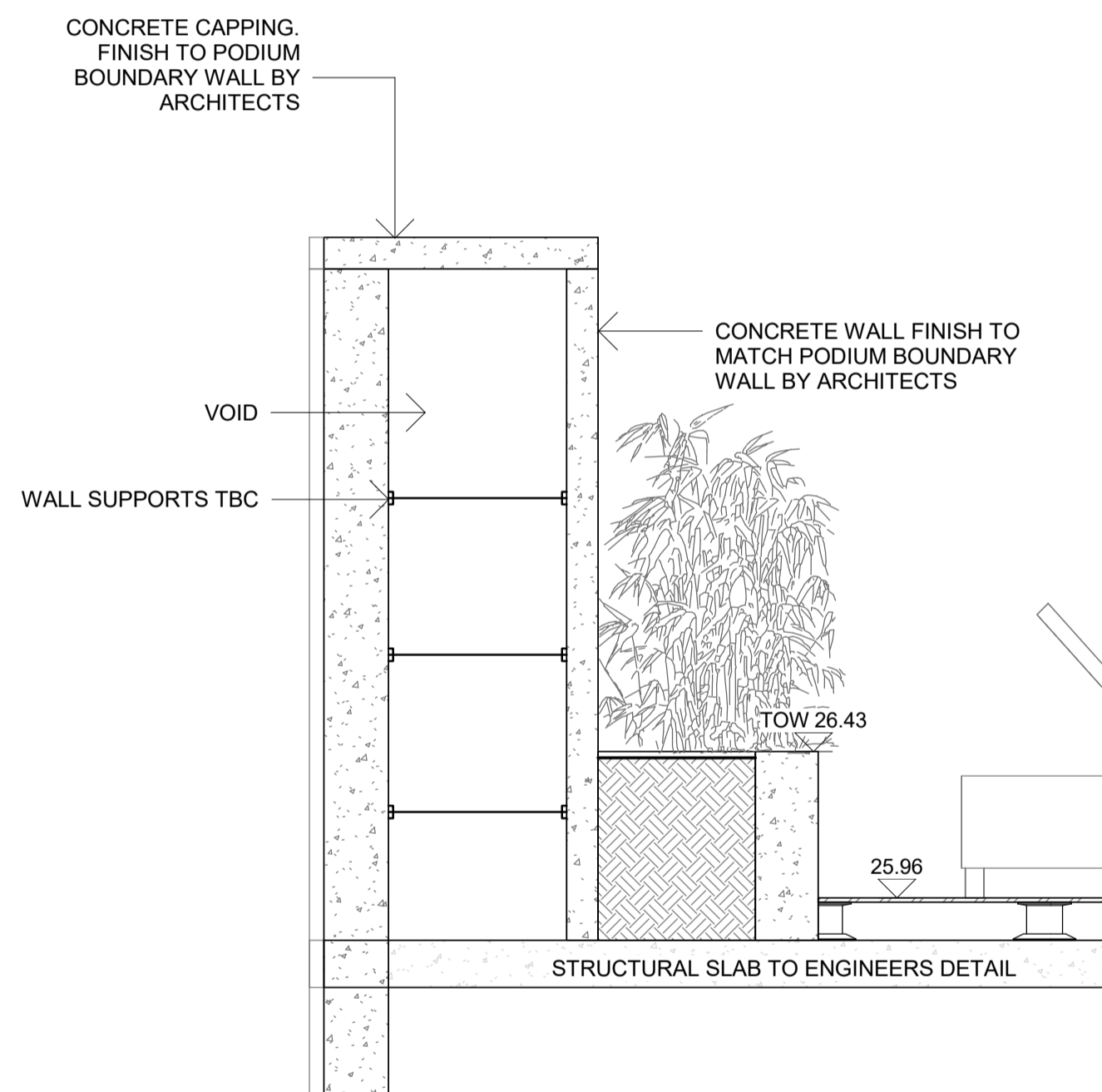
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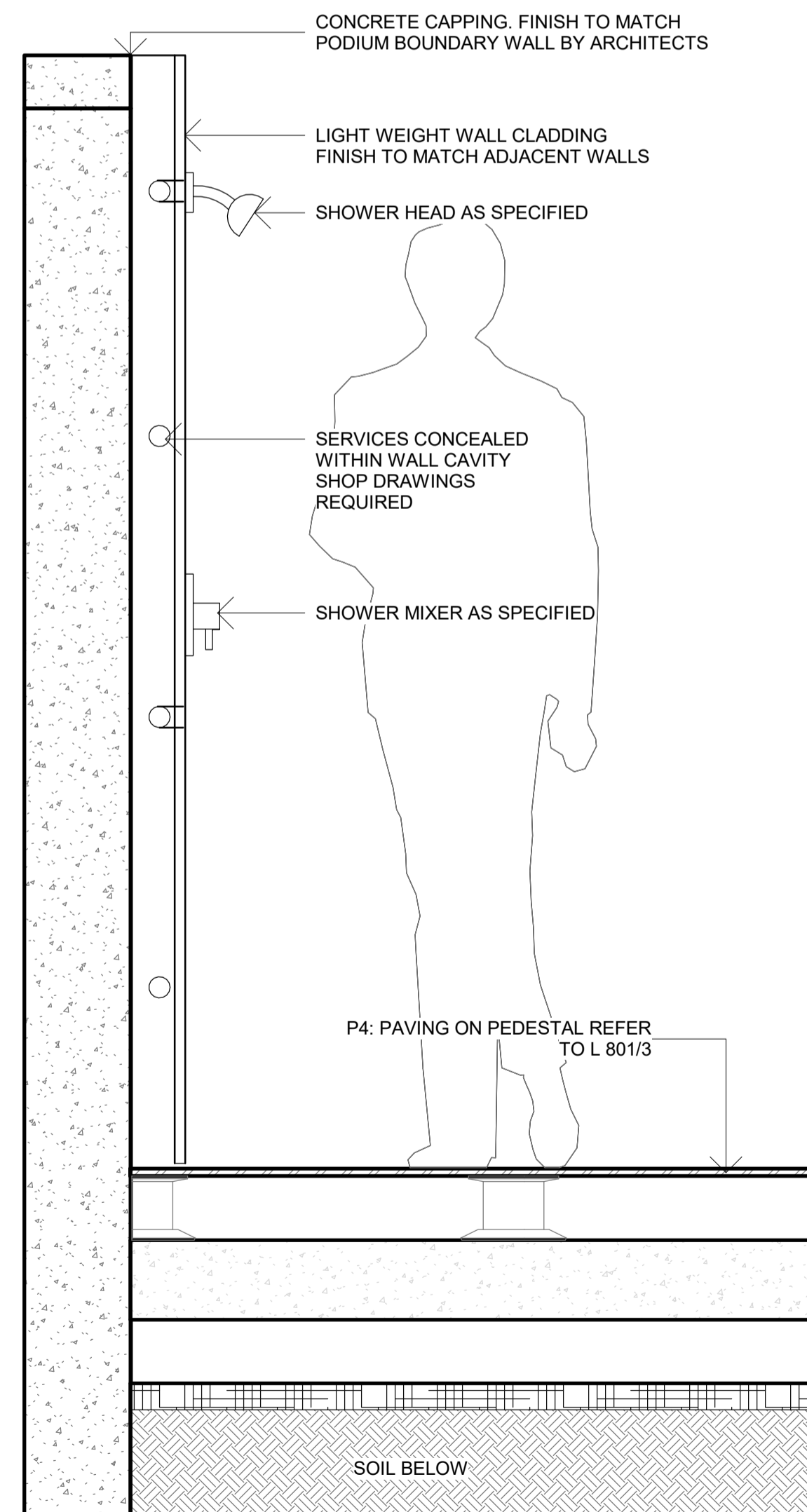
1 PORTABLE SWIM LIFT STORAGE CUPBOARD
1 : 20



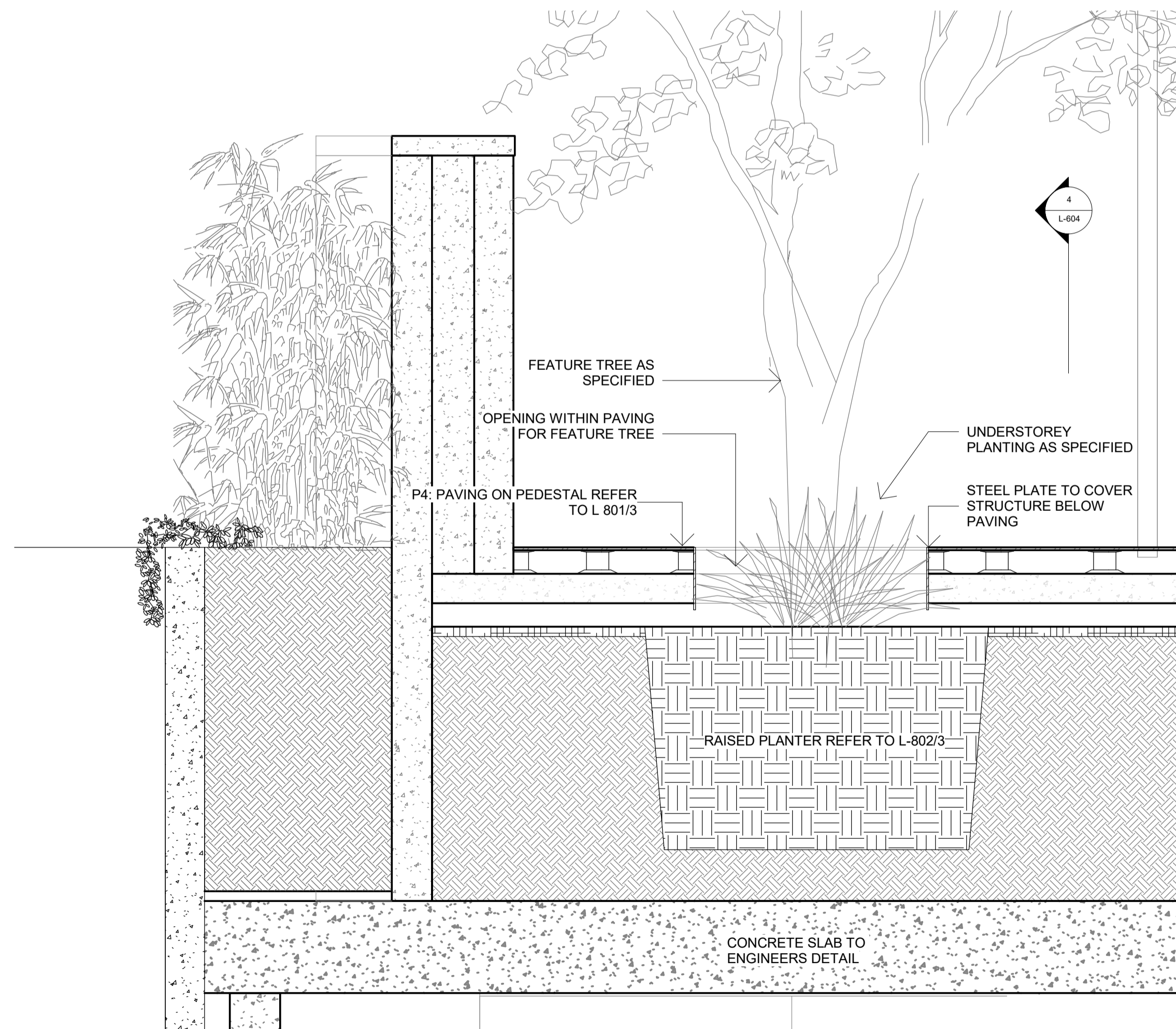
2 PORTABLE SWIM LIFT STORAGE CUPBOARD DETAIL PLAN
1 : 10



3 POOL DECK RAISED PLANTER
1 : 20



4 OUTDOOR SHOWER
1 : 10



5 DEEP SOIL VAULT
1 : 20

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E	20.07.2020	FOR TENDER	AR	MC
D	29.11.2018	FOR APPROVAL	AR	MC
C	06.04.2018	85% TENDER	AR	MC
B	20.03.2018	FOR REVIEW	AR	MC
A	09.02.2018	FOR REVIEW	AR	MC

Rev	Date	Description	Drawn	Checked
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Project
EASTLAKES TOWN CENTRE - NORTH SITE

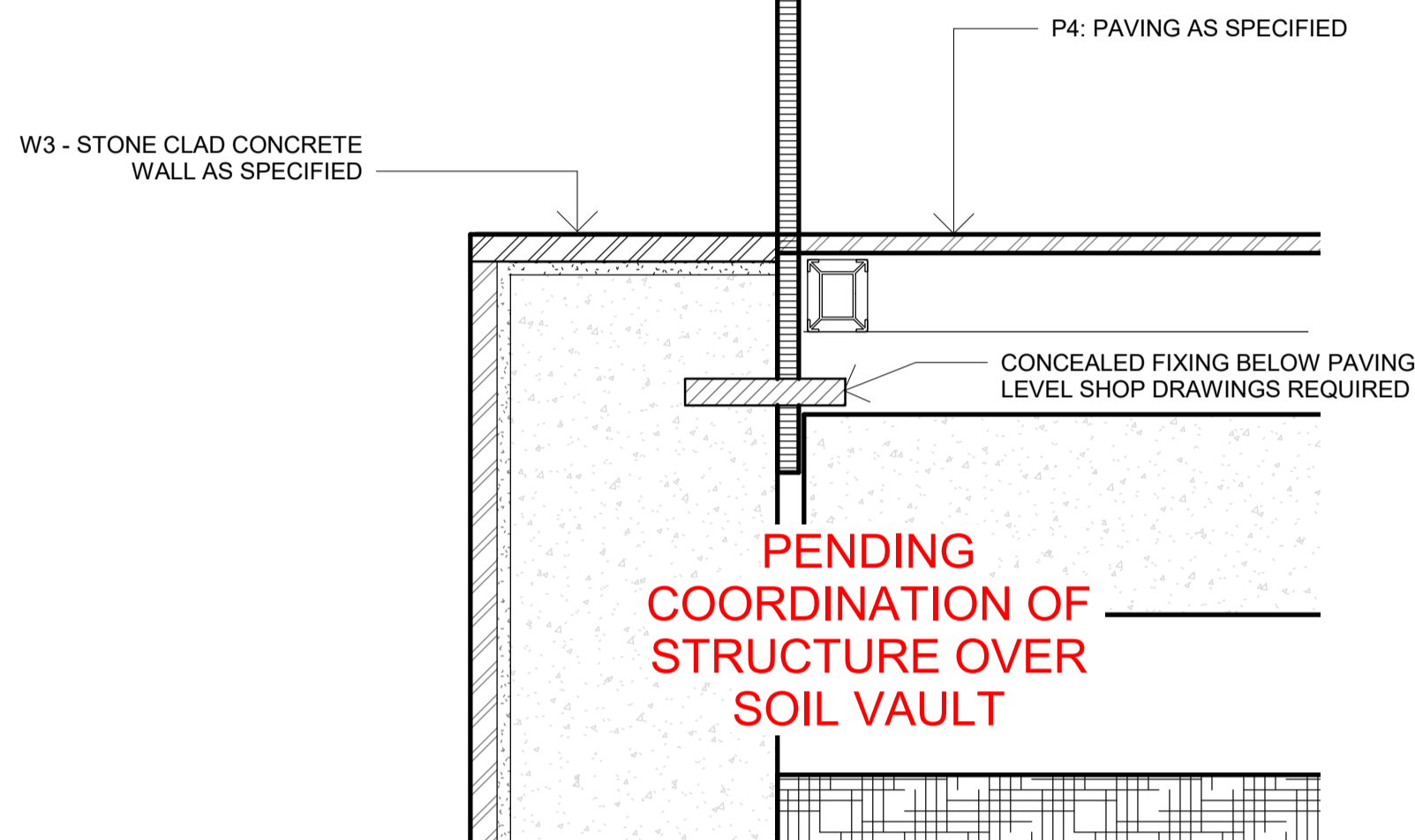
Drawing Title
DETAILS - POOL DECK SHEET 2

Drawing Status
FOR TENDER

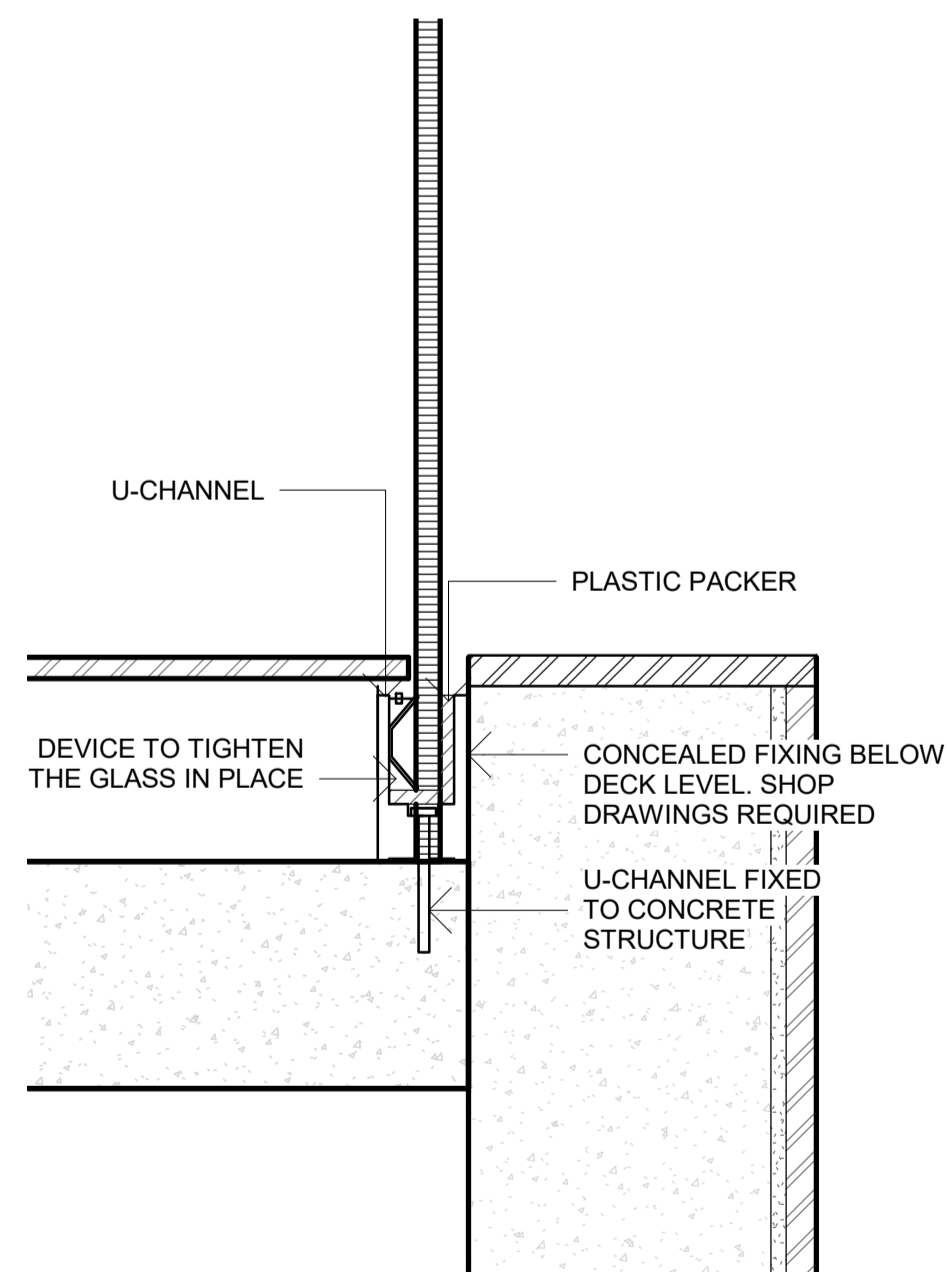
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Project No.	Drawing No.	Revision
1602	L-806	E

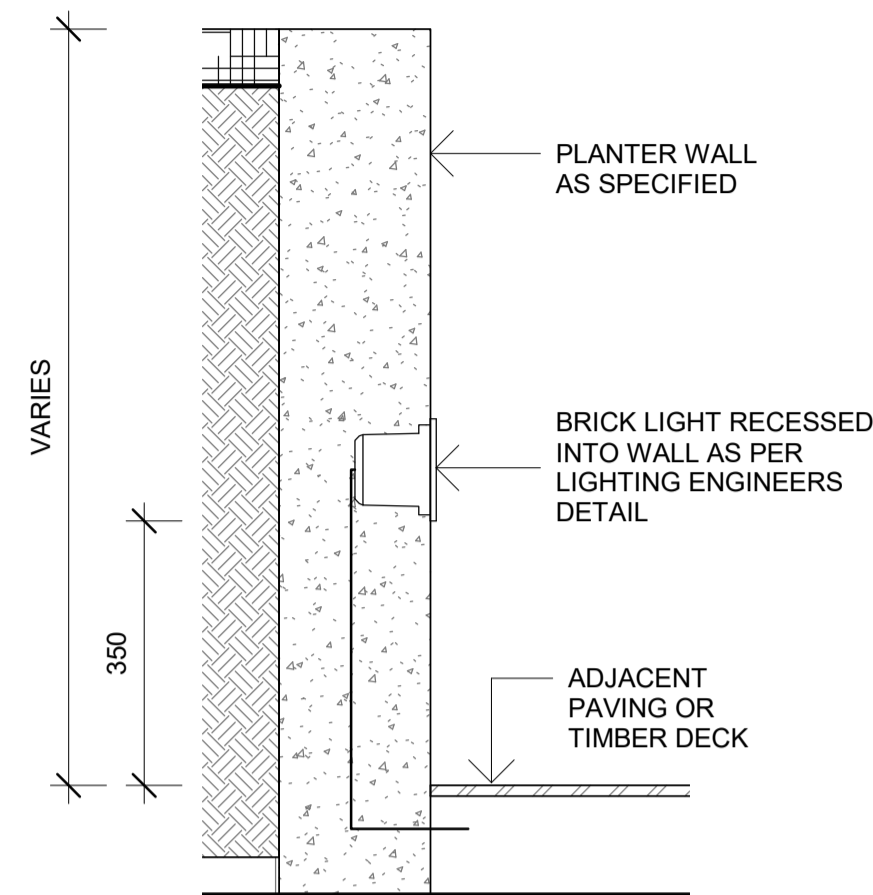
DRAFT NOT FOR CONSTRUCTION



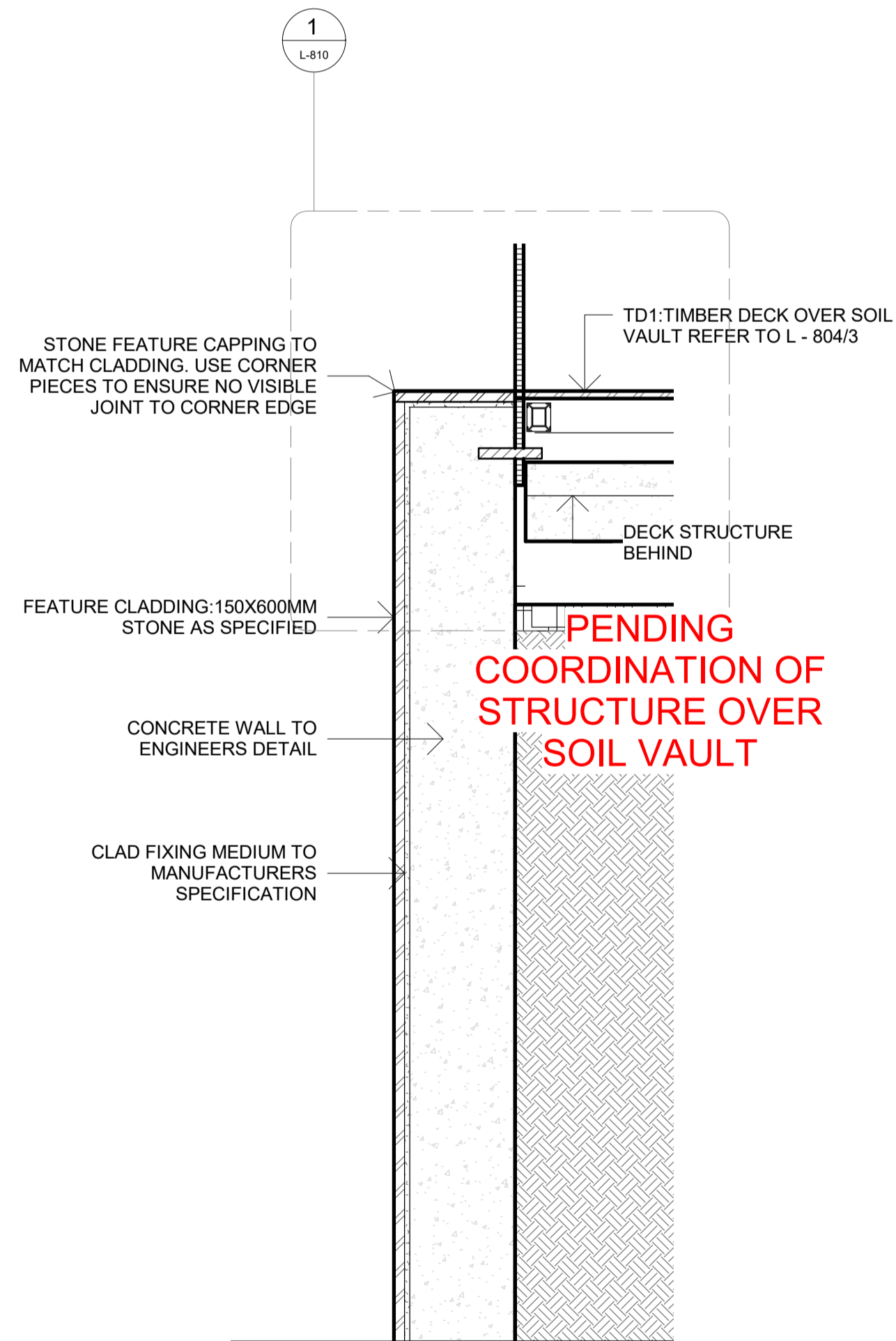
1 F2 - POOL FENCE OVER SOIL VAULT
1 : 5



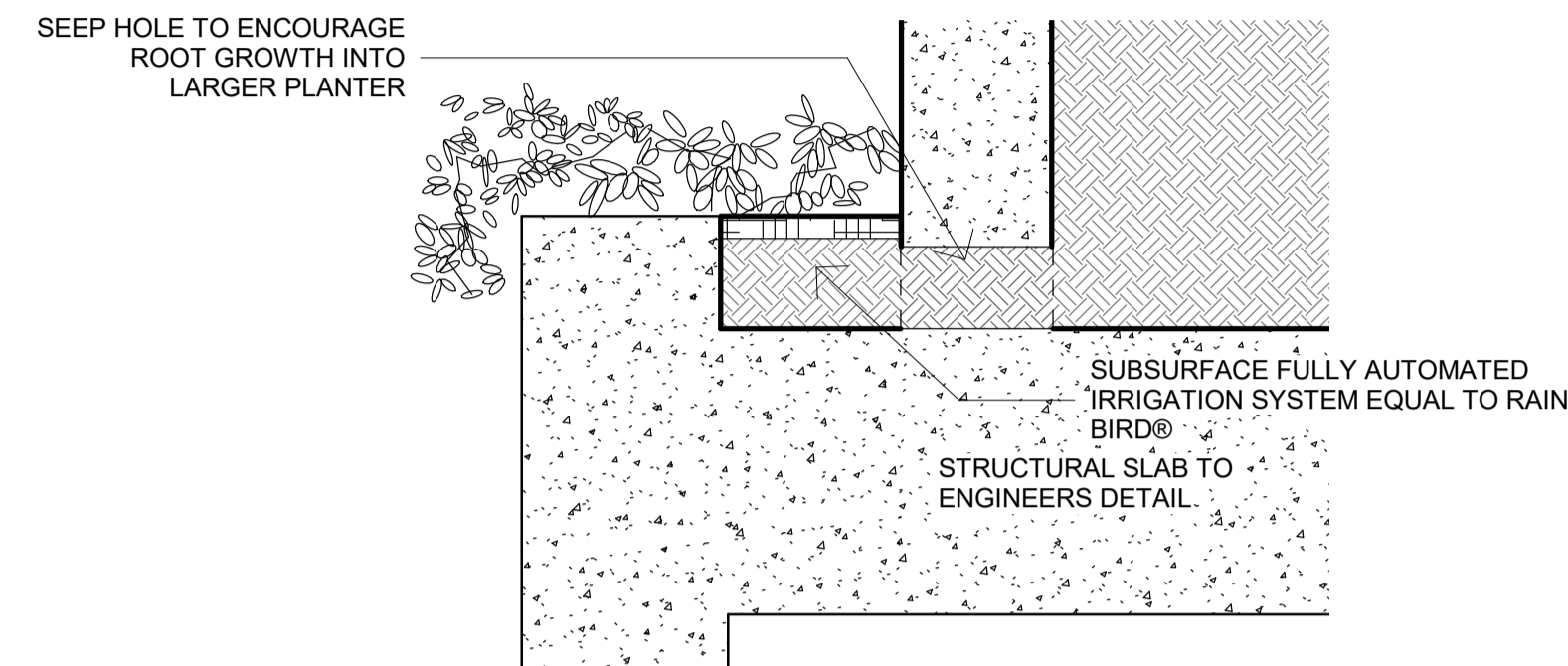
2 F2 - POOL FENCE OVER RAISED CONCRETE STRUCTURE
1 : 5



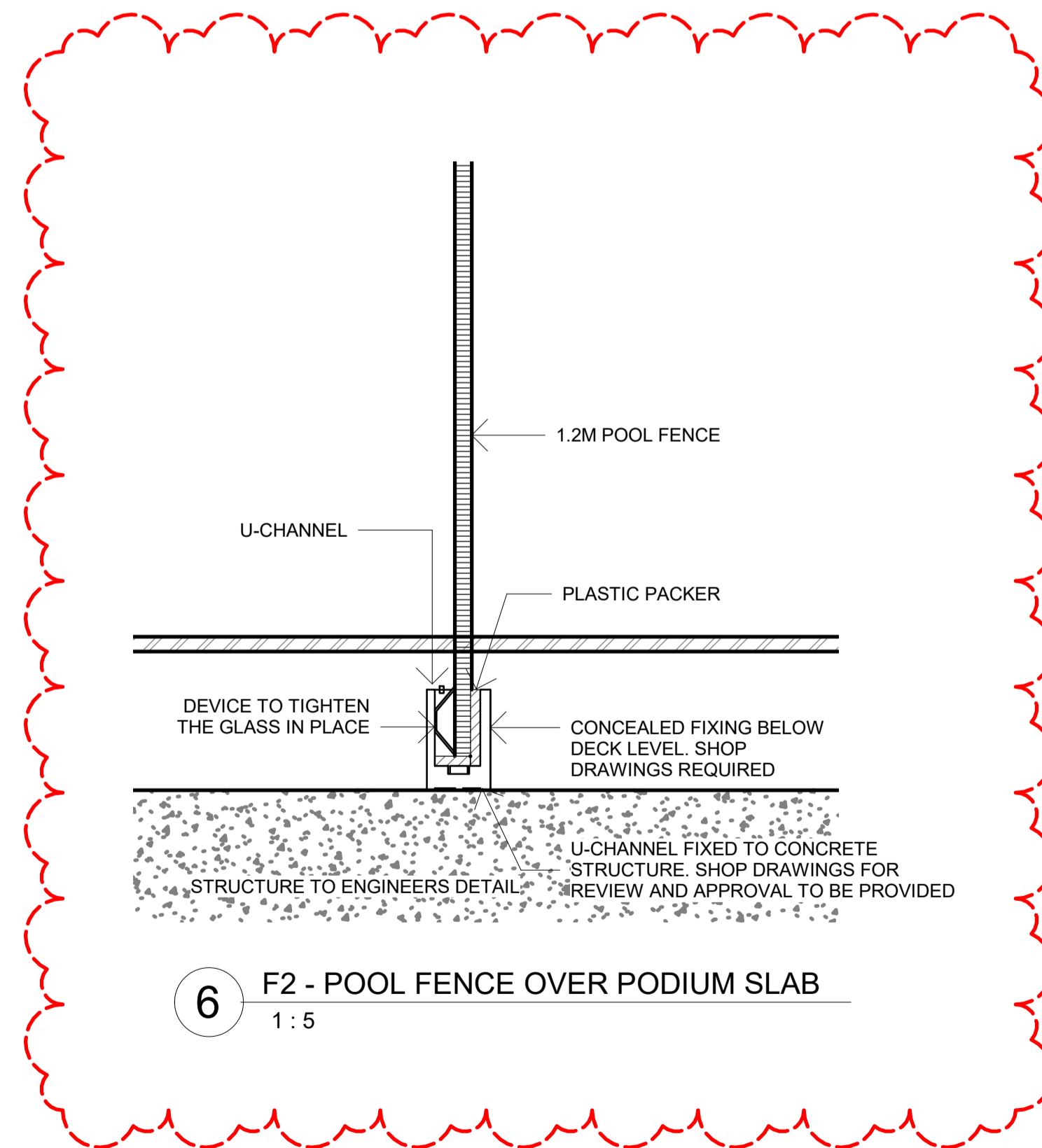
3 BL1 - WALL LIGHT TYPICAL DETAIL
1 : 10



4 W3 - PORCELAIN CLAD CONCRETE WALL
1 : 10



5 NORTH PLANTER
1 : 10



6 F2 - POOL FENCE OVER PODIUM SLAB
1 : 5

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C 20.07.2020 FOR TENDER AR MC
B 29.04.2020 FOR APPROVAL AR MH
A 29.11.2018 FOR APPROVAL AR MC

Rev Date Description Drawn Checked



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Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
DETAILS - PODIUM SHEET 1

Drawing Status
FOR TENDER

Scale: As indicated @A1 Plot Date 20/07/2020 4:17:56 PM

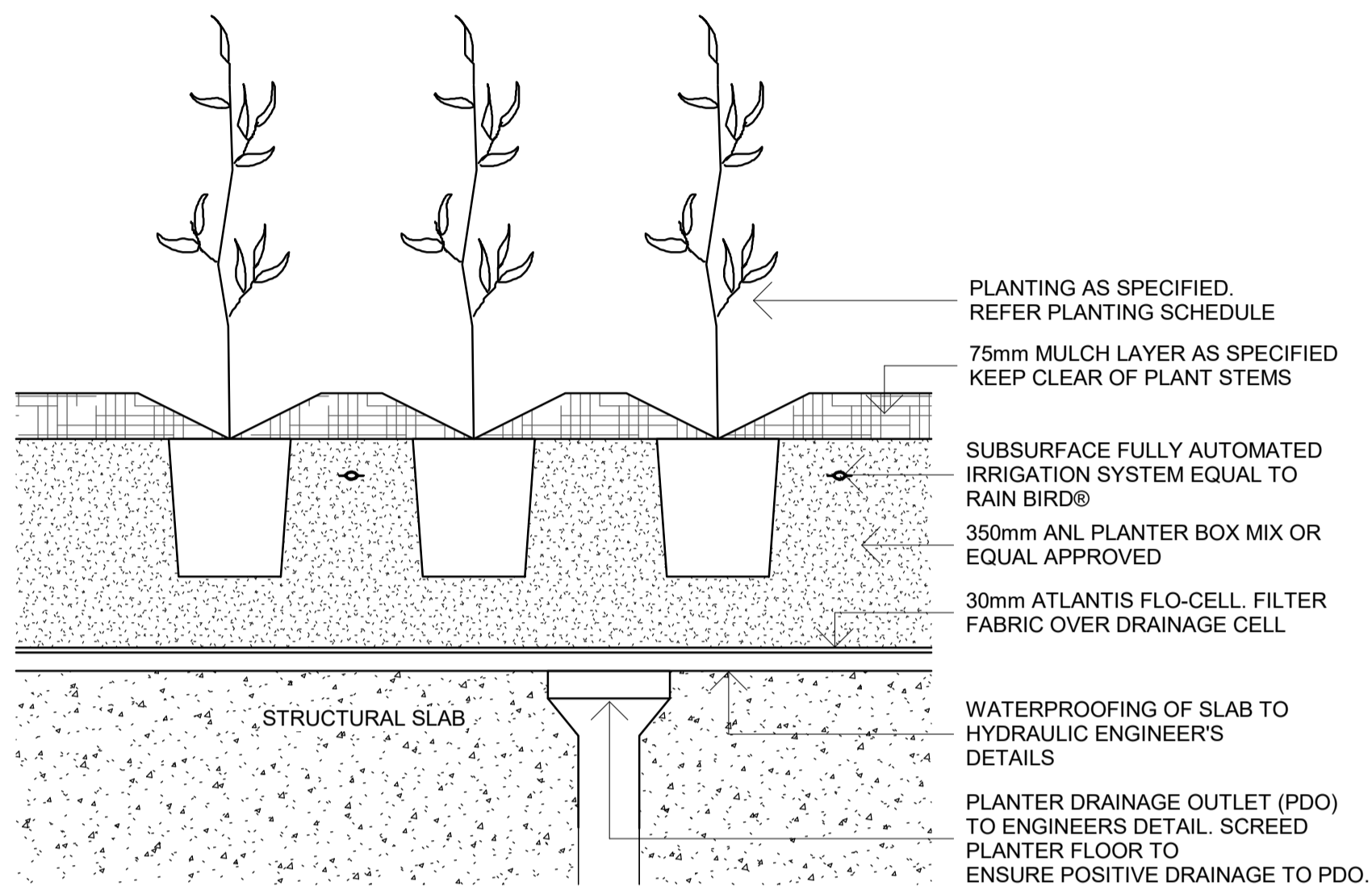
Project No. Drawing No. Revision
1602 L-810 C

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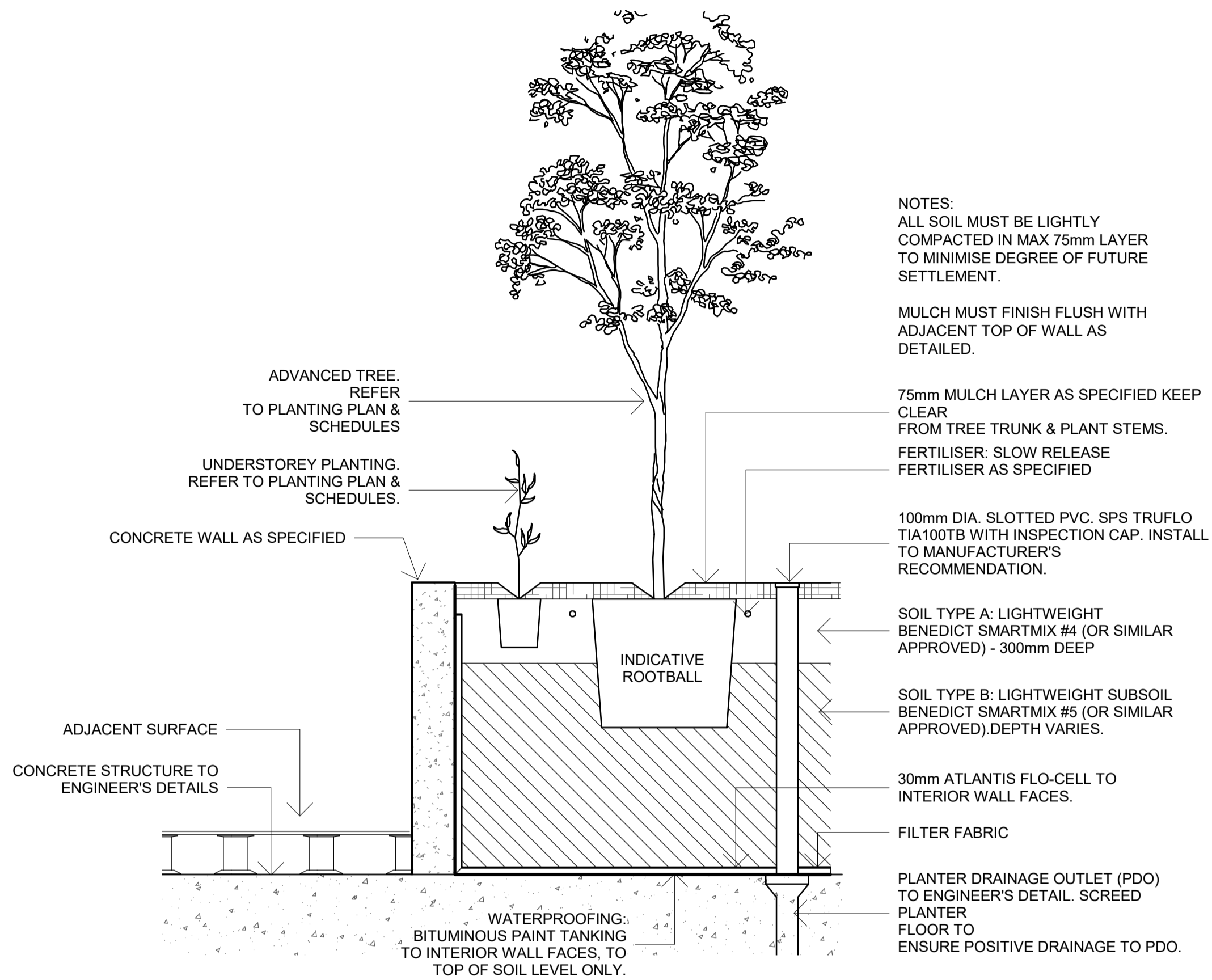
C:\Users\sdal\Documents\1602_Eastlakes North site - 2017_details\sydney@turfdesign.com.nst



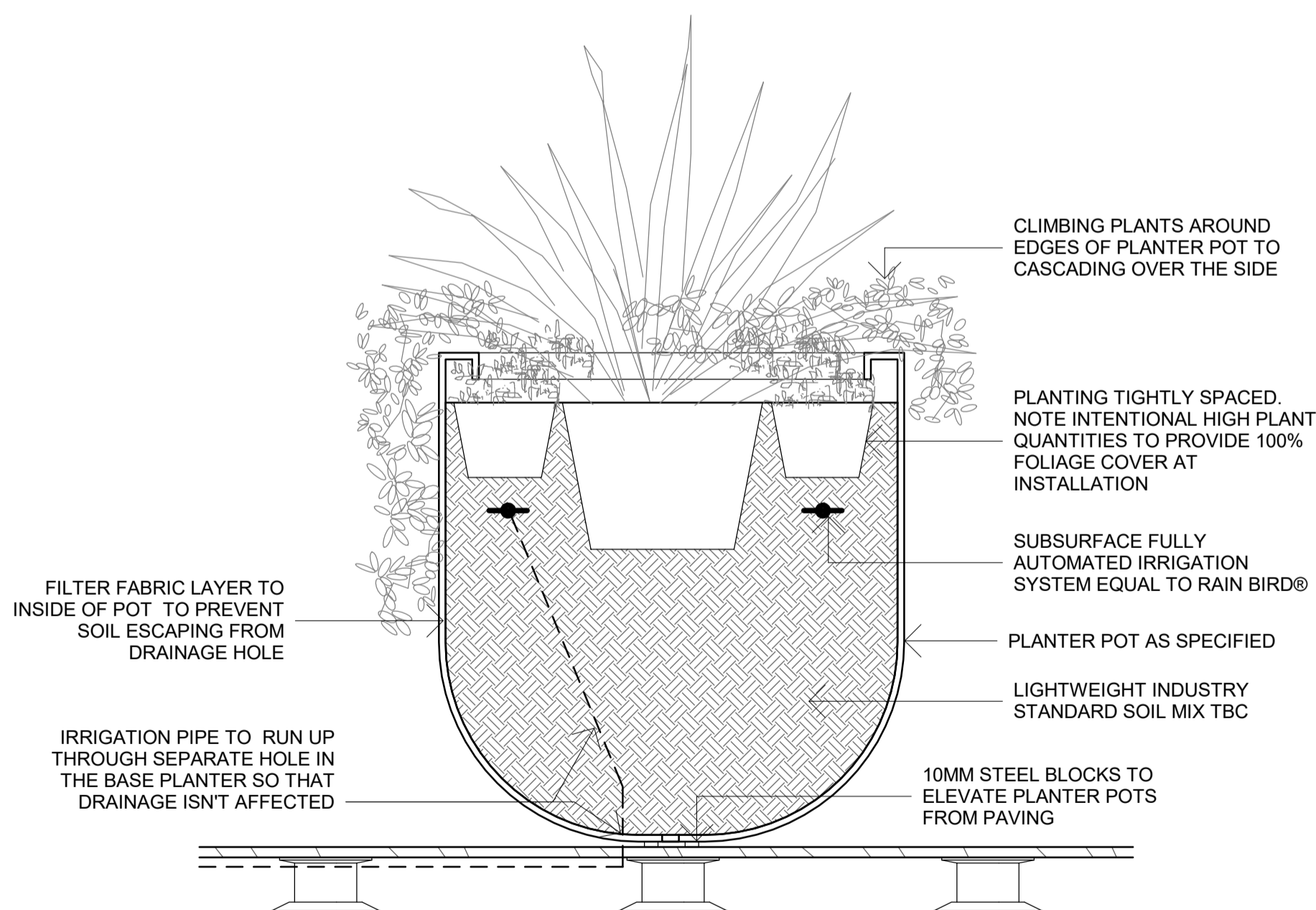
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1 TYPICAL DETAIL - MASS PLANTING ON STRUCTURE
1 : 10



2 TYPICAL DETAIL : RAISED PLANTER ON STRUCTURE
1 : 20



3 PLANTER POT TYPICAL DETAIL
1 : 10

B 20.07.2020 FOR TENDER
A 29.11.2018 FOR APPROVAL

AR MC
AR MC

Rev	Date	Description	Drawn	Checked
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Project

EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

DETAILS - PODIUM SHEET 3

Drawing Status

FOR TENDER

Scale	As indicated @A1	Plot Date	20/07/2020 4:18:13 PM
Project No.	1602	Drawing No.	L-812
Revision			B

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Rev	Date	Description	Drawn	Checked
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Drawing Title

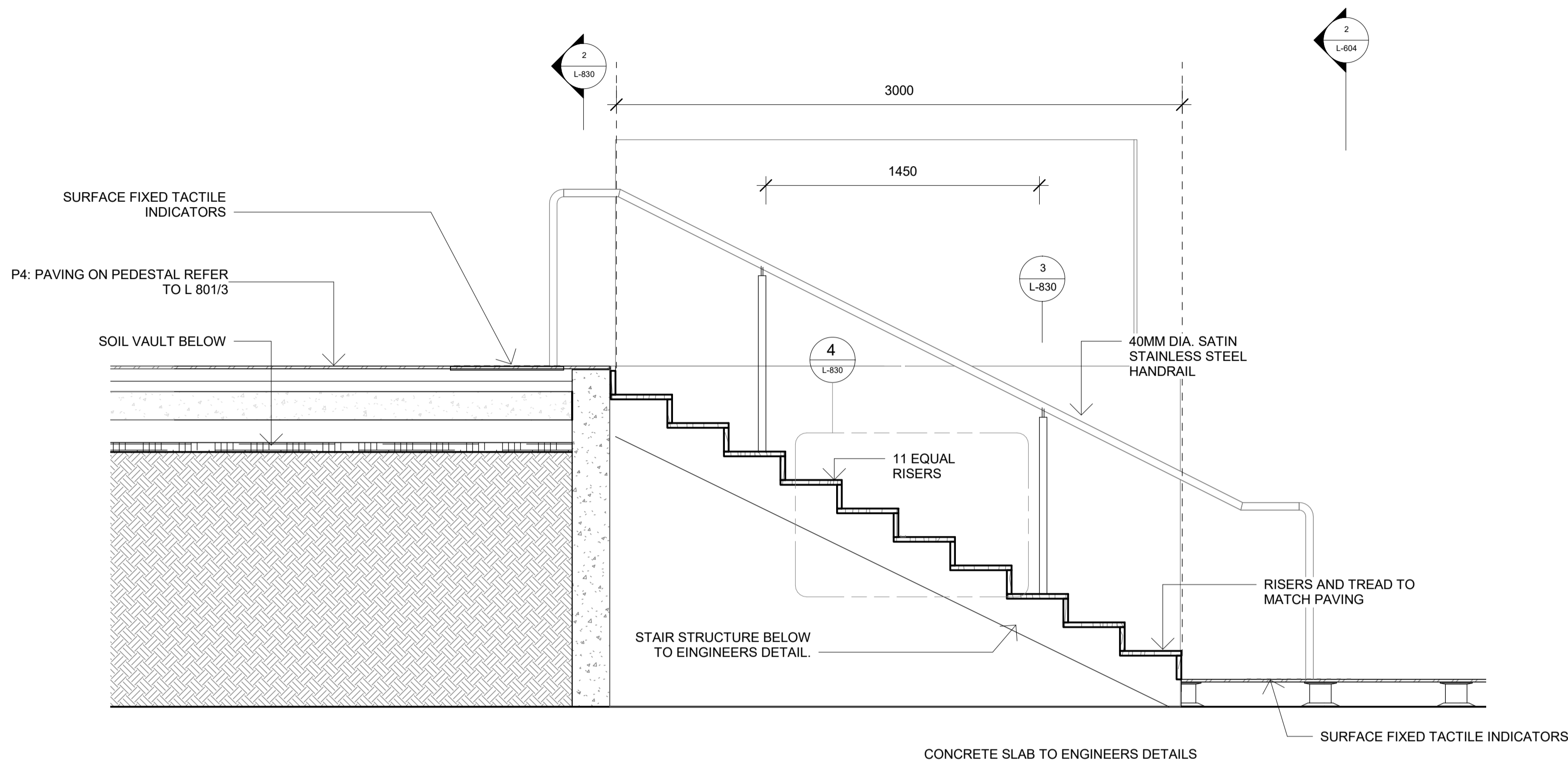
SEATING SHEET 1

FOR TENDER

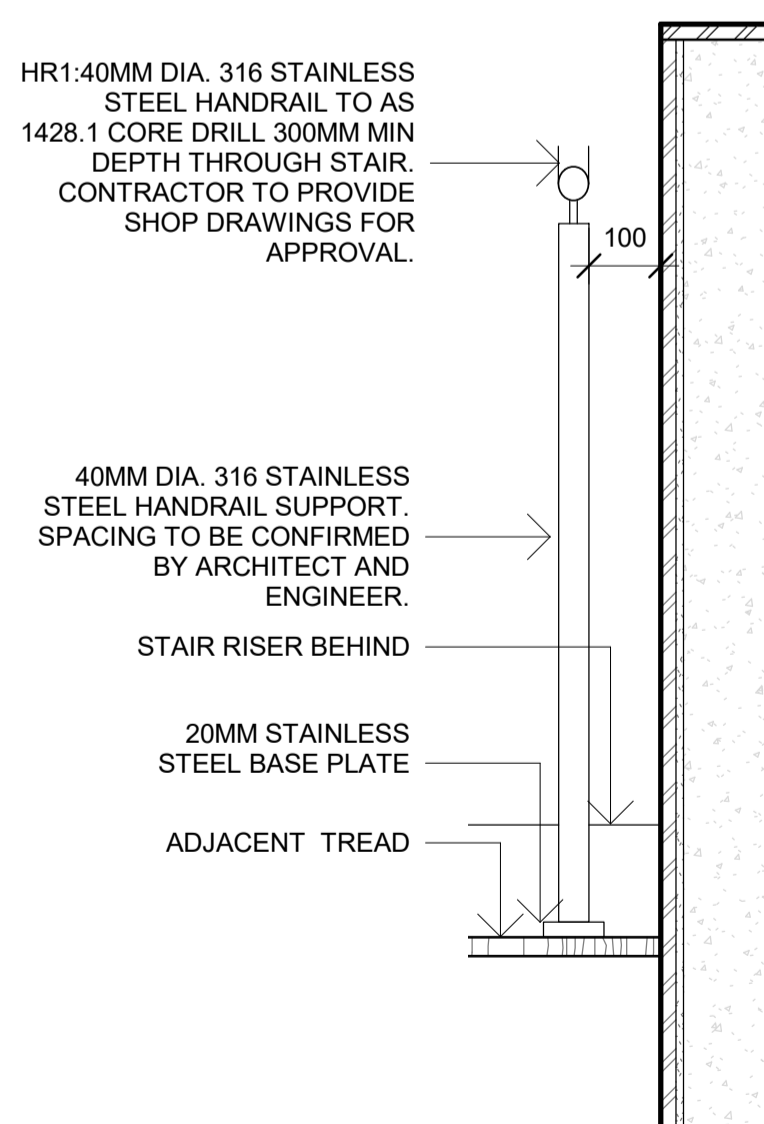
Project No.	Drawing No.	Revision
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20. We are interested in the distribution of the number of accidents per year. Let X_i denote the number of accidents in the i th year. Then $X_i \sim \text{Poisson}(\lambda_i)$ and X_i are independent. The total number of accidents in the first 10 years is $X = X_1 + \dots + X_{10}$. The distribution of X is the convolution of the distributions of X_i . The probability mass function of X is given by

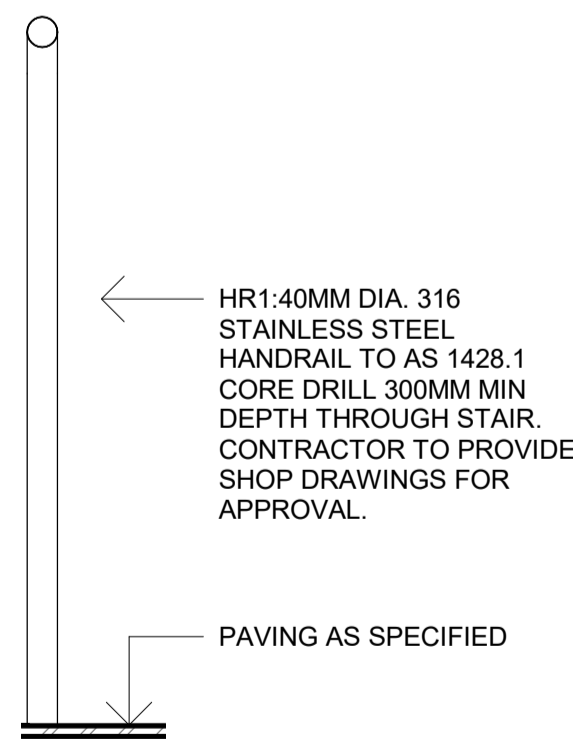
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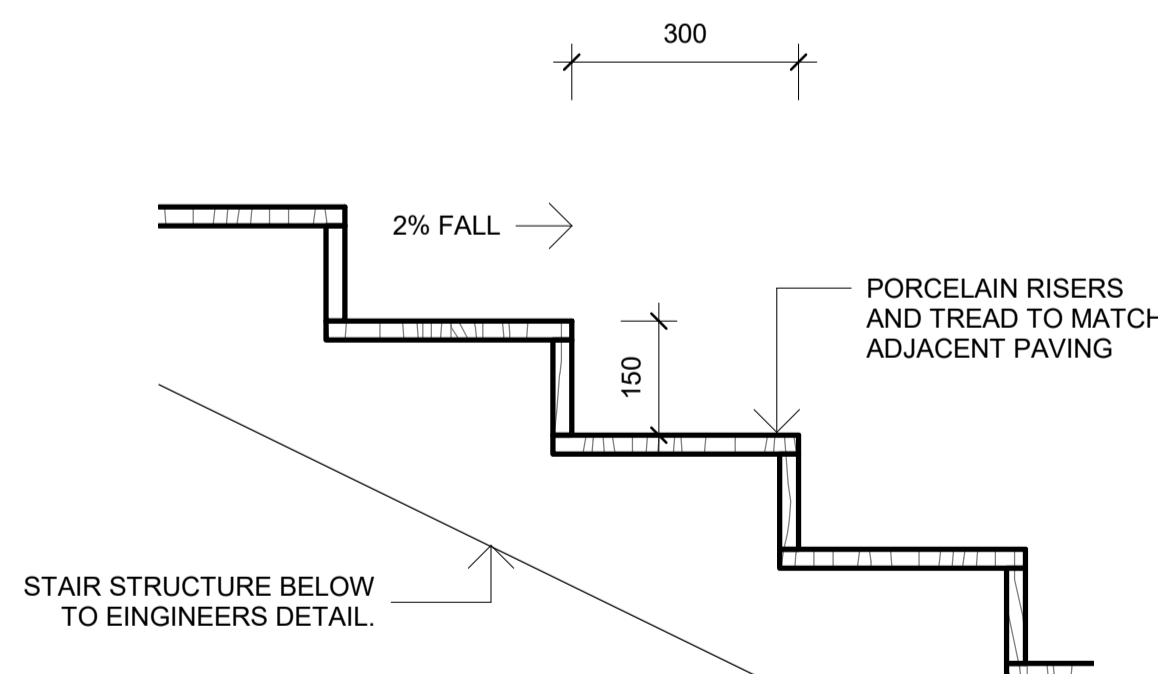
1 STAIR 20 - POOL DECK STAIR TYPICAL SECTION
1 : 20



3 HR1- HANDRAIL SUPPORT DETAIL
1 : 10



2 HR1- HARD RAIL END DETAIL
1 : 10



4 STAIR 20 - CLADDING DETAIL
1 : 10

B 20.07.2020 FOR TENDER AR MC
A 29.11.2018 FOR APPROVAL AR MC

Rev Date Description Drawn Checked

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Client
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Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
STAIRS

Drawing Status
FOR TENDER

Scale: As indicated @A1 Plot Date: 20/07/2020 4:18:42 PM

Project No. Drawing No. Revision

1602 L-830 B

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