



NORTH SITE

SOUTH SITE

NSW GOVERNMENT

Planning, Industry & Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 4 Granted on 18 June 2020

In respect to MP 09_0146

Signed *JF*

Sheet No. 1 of 136

DATE	DESCRIPTION	BY	CHECKED
18/06/20	ISSUED FOR APPROVAL	JF	JK

frmt

EASTLAKES TOWN CENTRE - SOUTH SITE
Evans Avenue Eastlakes
SPRACY NSW 2019

2000 General Arrangement Plans
SITE PLAN 1:500

SCALE: 1:500 @ A4
PROJECT CODE: 2000.00
DATE: 18/06/20
DRAWN BY: JK
CHECKED BY: JK

For Approval



Planning, Industry & Environment

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Signed *JF*

Sheet No. 2 of 136

GENERAL NOTES

- ALL DIMENSIONS AND EXTENT CONDITIONS
- ALL LEVELS ARE CALLED AND SHOWN BY THE SURVEYOR'S RECORDS PROVIDED WITH THE WORK
- ALL LEVELS RELATIVE TO AUSTRALIAN SEA LEVEL DATUM
- SEE RELEVANT CONTRACTS
- SEE RELEVANT INSTRUMENTS ONLY

NOTES

- FOR EXHIBIT AVENUE ROAD SETOUT AND KERB DETAIL PLEASE REFER TO CIVIL ENGINEER'S DRAWINGS
- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR FURTHER DETAILS ON PUBLIC DOMAIN LEVEL, 1 LOWER PODIUM LEVEL, 2 UPPER PODIUM LEVEL, 5 LEVEL, 8 AND LEVEL 9 TERRACES



EXTENT OF OSD TANK ABOVE B3 RAMP
255m² x 2m WATER DEPTH
TANK CAPACITY - 510m³
INCLUDES 30m³ RAINWATER REUSE
TWL 18.05m BOTTOM OF TANK 15.44m

EXTENT OF OSD TANK
ABOVE PLENUM AND CAR SPACES
44m x 7.2m x 1.2m WATER DEPTH
TANK CAPACITY - 380m³
INCLUDES 30m³ RAINWATER REUSE
TWL 18.15m TANK IL 16.95m

CARPARKING NUMBERS / LEGEND

Basement	Category	Count
BASEMENT 1	RETAIL PARKING	220
	STAFF PARKING	9
	RETAIL ACCESSIBLE	20
	MOTORBIKE (2% MIN)	16
	BICYCLE STORE	50
RESIDENTIAL LOADING TROLLEY BAY		2
BASEMENT 2	RETAIL PARKING	89
	MEDICAL PARKING	20
	CHILD CARE PARKING	18
	LEISURE USE	12
	COMMERCIAL	19
	VISITOR PARKING	72
	ACCESSIBLE (INCL)	3
BASEMENT 3	RESIDENTIAL PARKING	191
	ACCESSIBLE (INCL)	72
	COMMERCIAL	28
BASEMENT 4	RESIDENTIAL PARKING	209
	RESIDENTIAL PARKING	209

END OF TRIP FACILITIES
RETAIL STORAGE
RESIDENTIAL STORAGE
SERVICES
RESIDENTIAL WASTE ROOM
RETAIL WASTE ROOM
GREASE TRAP

1 PLAN 1/200 Basement 1

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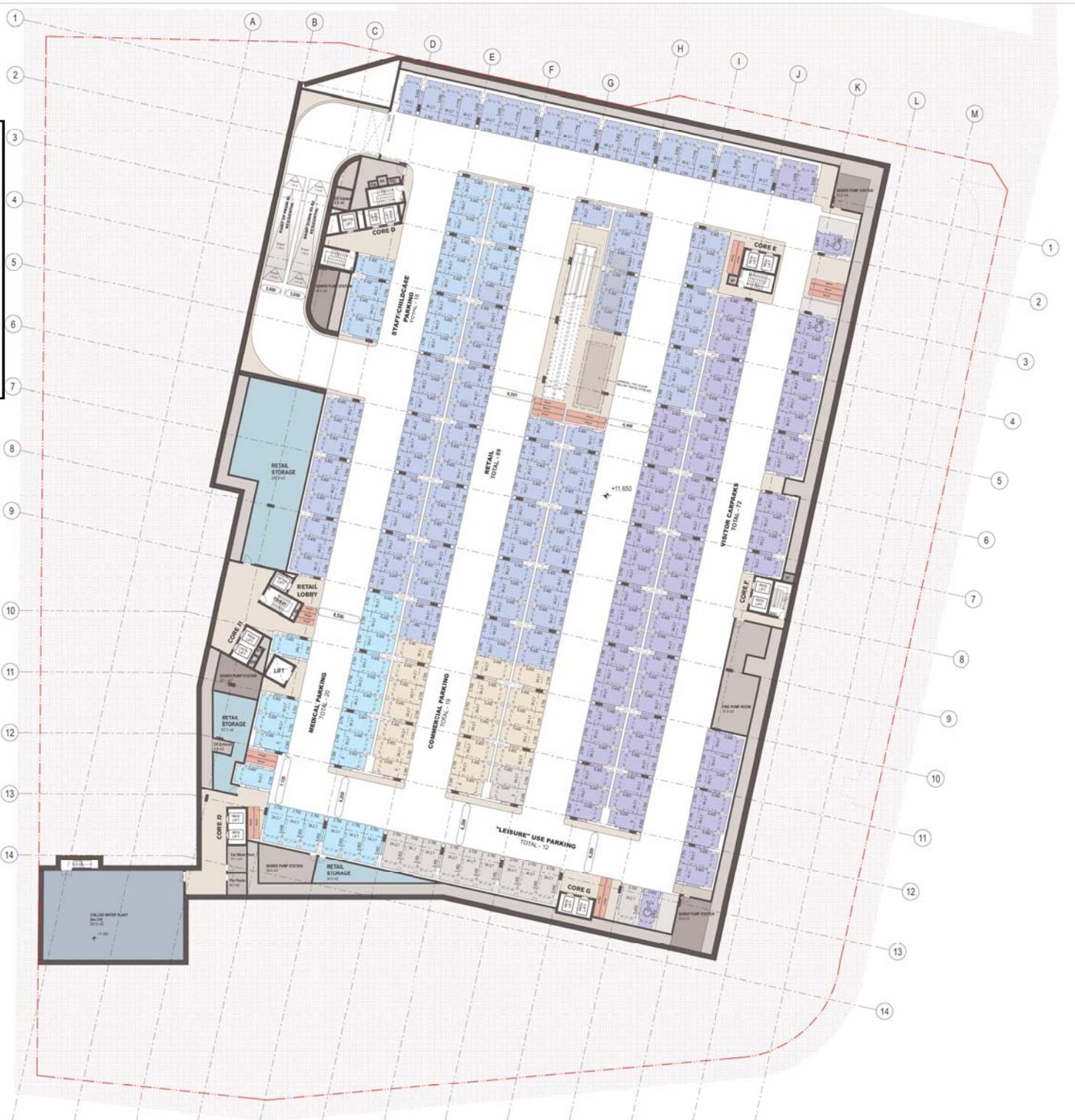
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CARPARKING NUMBERS / LEGEND

BASEMENT 1	
RETAIL PARKING	220
STAFF PARKING	9
RETAIL ACCESSIBLE	20
MOTORBIKE (2% MIN)	16
BICYCLE STORE	50
RESIDENTIAL LOADING	2
TROLLEY BAY	
BASEMENT 2	
RETAIL PARKING	89
MEDICAL PARKING	20
CHILDCARE PARKING	18
LEISURE USE	12
COMMERCIAL	19
VISITOR PARKING	72
ACCESSIBLE (INCL.)	3
BASEMENT 3	
RESIDENTIAL PARKING	191
ACCESSIBLE (INCL.)	72
COMMERCIAL	28
BASEMENT 4	
RESIDENTIAL PARKING	209

END OF TRIP FACILITIES	
RETAIL STORAGE	
RESIDENTIAL STORAGE	
SERVICES	
RESIDENTIAL WASTE ROOM	
RETAIL WASTE ROOM	
GREASE TRAP	



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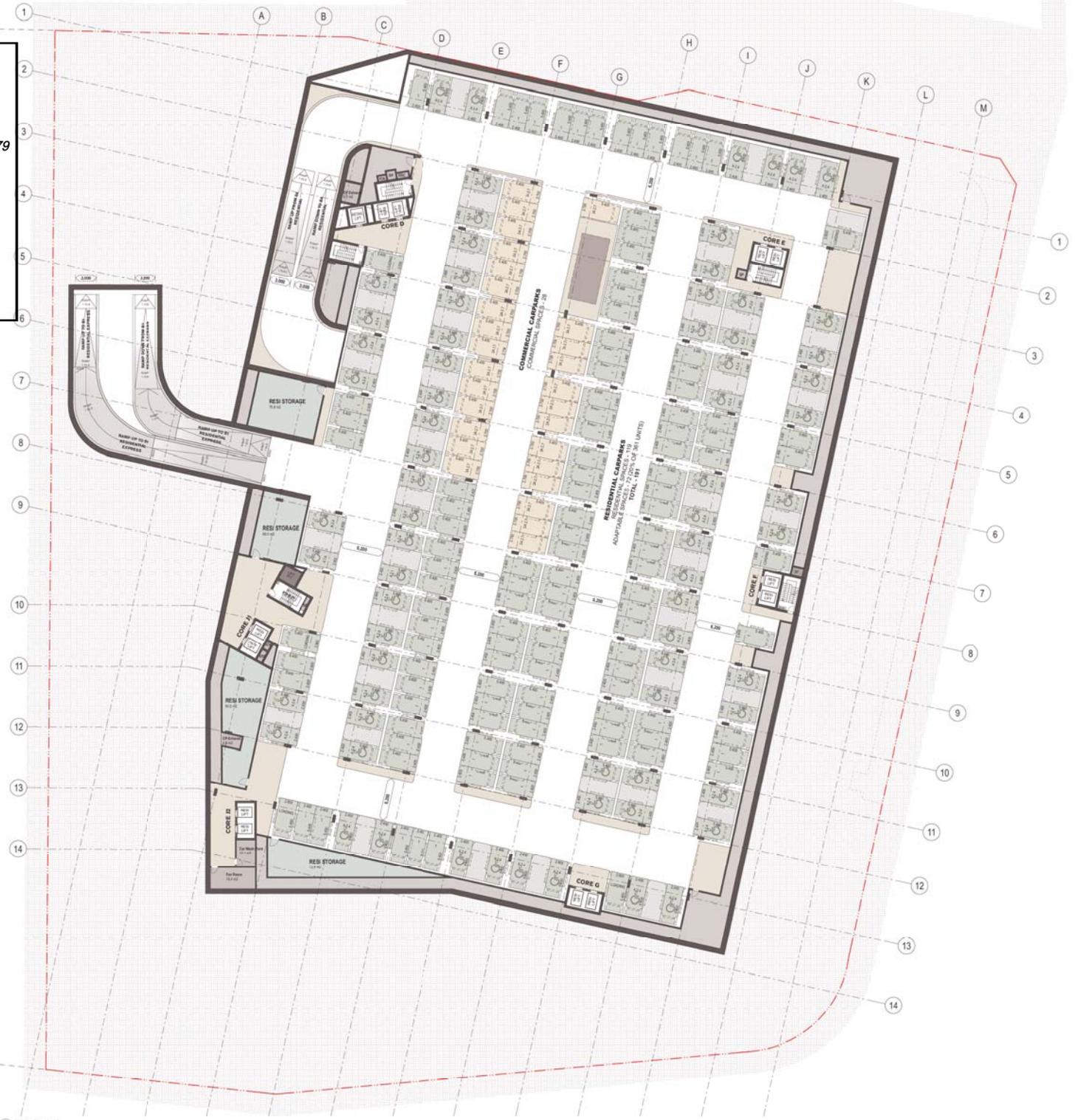
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Sheet No. 4 of 136



CARPARKING NUMBERS / LEGEND

BASEMENT 1	
RETAIL PARKING	220
STAFF PARKING	9
RETAIL ACCESSIBLE	20
MOTORBIKE (2% MIN)	16
BICYCLE STORE	50
RESIDENTIAL LOADING	2
TROLLEY BAY	
BASEMENT 2	
RETAIL PARKING	89
MEDICAL PARKING	20
CHILDCARE PARKING	18
LEISURE USE	12
COMMERCIAL	19
VISITOR PARKING	72
ACCESSIBLE (INCL)	3
BASEMENT 3	
RESIDENTIAL PARKING	191
ACCESSIBLE (INCL)	72
COMMERCIAL	28
BASEMENT 4	
RESIDENTIAL PARKING	209
END OF TRIP FACILITIES	
RETAIL STORAGE	
RESIDENTIAL STORAGE	
SERVICES	
RESIDENTIAL WASTE ROOM	
RETAIL WASTE ROOM	
GREASE TRAP	

1 PLAN 1:200 Basement 3

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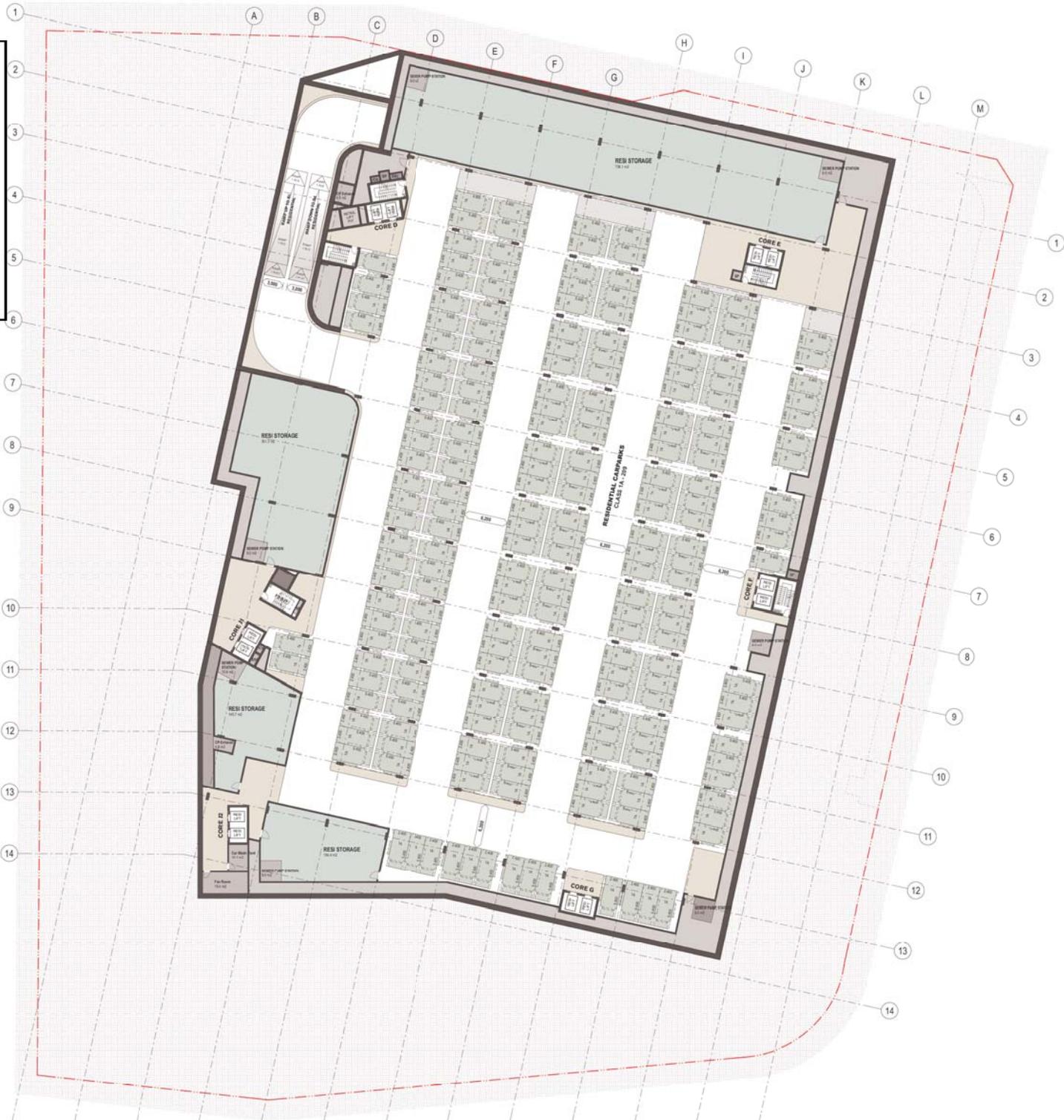
No. 4 Granted on 18 June 2020

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GENERAL NOTES
1. ALL DIMENSIONS AND DISTANCES SHOWN ON THIS PLAN ARE TO BE TAKEN AS SHOWN UNLESS OTHERWISE SPECIFIED.
2. ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
3. SEE RELATED DRAWINGS.
4. SEE RELATED DIMENSIONS ONLY.



CARPARKING NUMBERS / LEGEND

- BASEMENT 1**
 - RETAIL PARKING 220
 - STAFF PARKING 9
 - RETAIL ACCESSIBLE 20
 - MOTORBIKE (2% MIN) 16
 - BICYCLE STORE 50
 - RESIDENTIAL LOADING 2
 - TROLLEY BAY
 - BASEMENT 2**
 - RETAIL PARKING 89
 - MEDICAL PARKING 20
 - CHILDCARE PARKING 18
 - LEISURE USE 12
 - COMMERCIAL 19
 - VISITOR PARKING 72
 - ACCESSIBLE (INCL.) 3
 - BASEMENT 3**
 - RESIDENTIAL PARKING 191
 - ACCESSIBLE (INCL.) 72
 - COMMERCIAL 28
 - BASEMENT 4**
 - RESIDENTIAL PARKING 209
- END OF TRIP FACILITIES
 - RETAIL STORAGE
 - RESIDENTIAL STORAGE
 - SERVICES
 - RESIDENTIAL WASTE ROOM
 - RETAIL WASTE ROOM
 - GREASE TRAP

1 PLAN Basement 4 1:200



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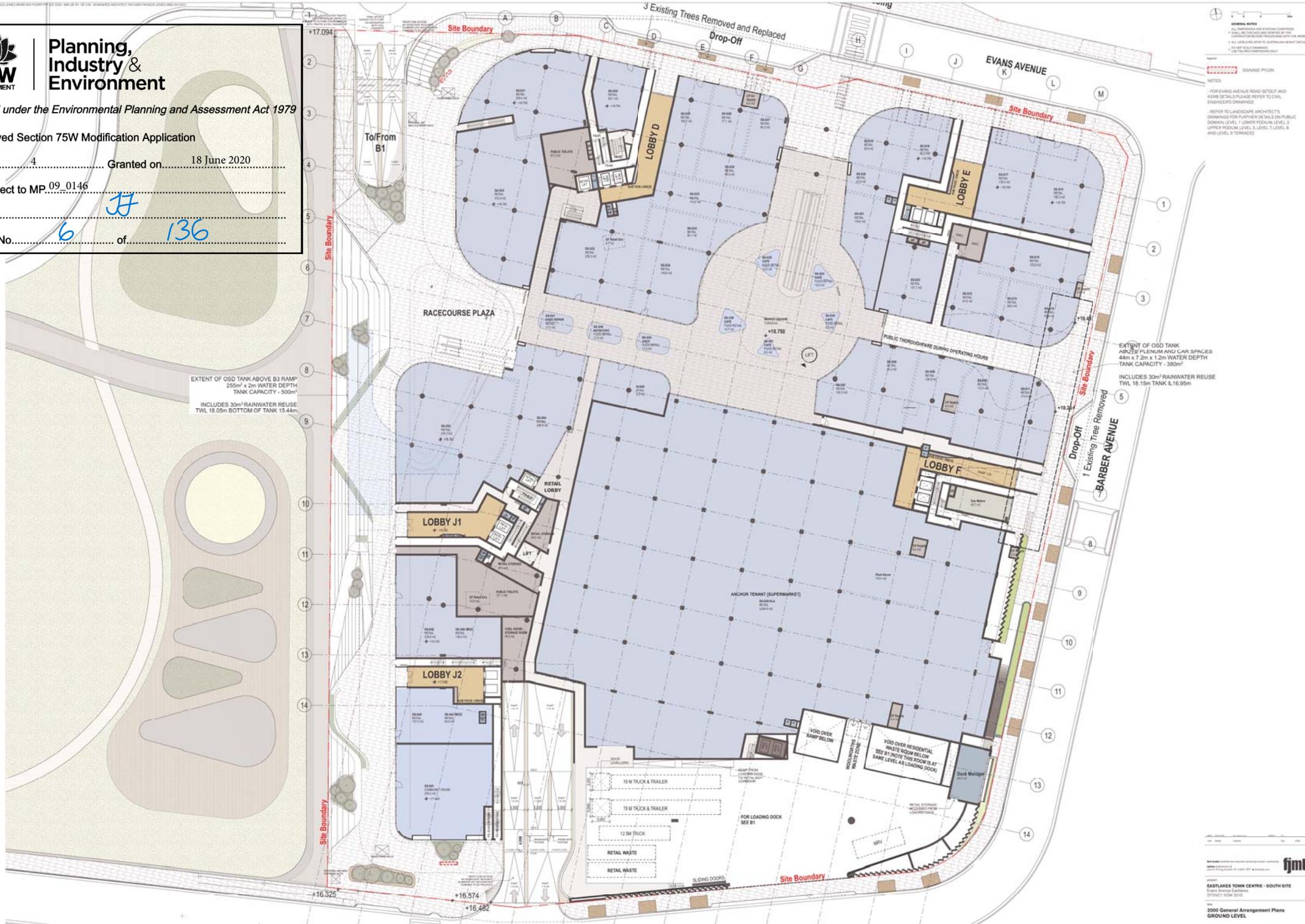
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EXTENT OF OSD TANK ABOVE B3 RAMP
255m² x 2m WATER DEPTH
TANK CAPACITY - 500m³
INCLUDES 30m³ RAINWATER REUSE
TWL 18.05m BOTTOM OF TANK 15.44m

EXTENT OF OSD TANK ABOVE B3 PLENUM AND CAR SPACES
440m x 7.2m x 1.2m WATER DEPTH
TANK CAPACITY - 380m³
INCLUDES 30m³ RAINWATER REUSE
TWL 18.15m TANK & 18.95m

GENERAL NOTES
ALL DIMENSIONS AND ELEVATIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED
ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM
SEE PLAN FOR DIMENSIONS
NOTES:
FOR EVANS AVENUE ROAD SETOUT AND KERB DETAILS PLEASE REFER TO CIVIL ENGINEER'S DRAWINGS
REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR FURTHER DETAILS ON PUBLIC DOMAIN LEVEL 1 LOWER PODIUM LEVEL 2 UPPER PODIUM LEVEL 5 LEVEL 1 LEVEL 2 AND LEVEL 5 TERRACES

For Approval



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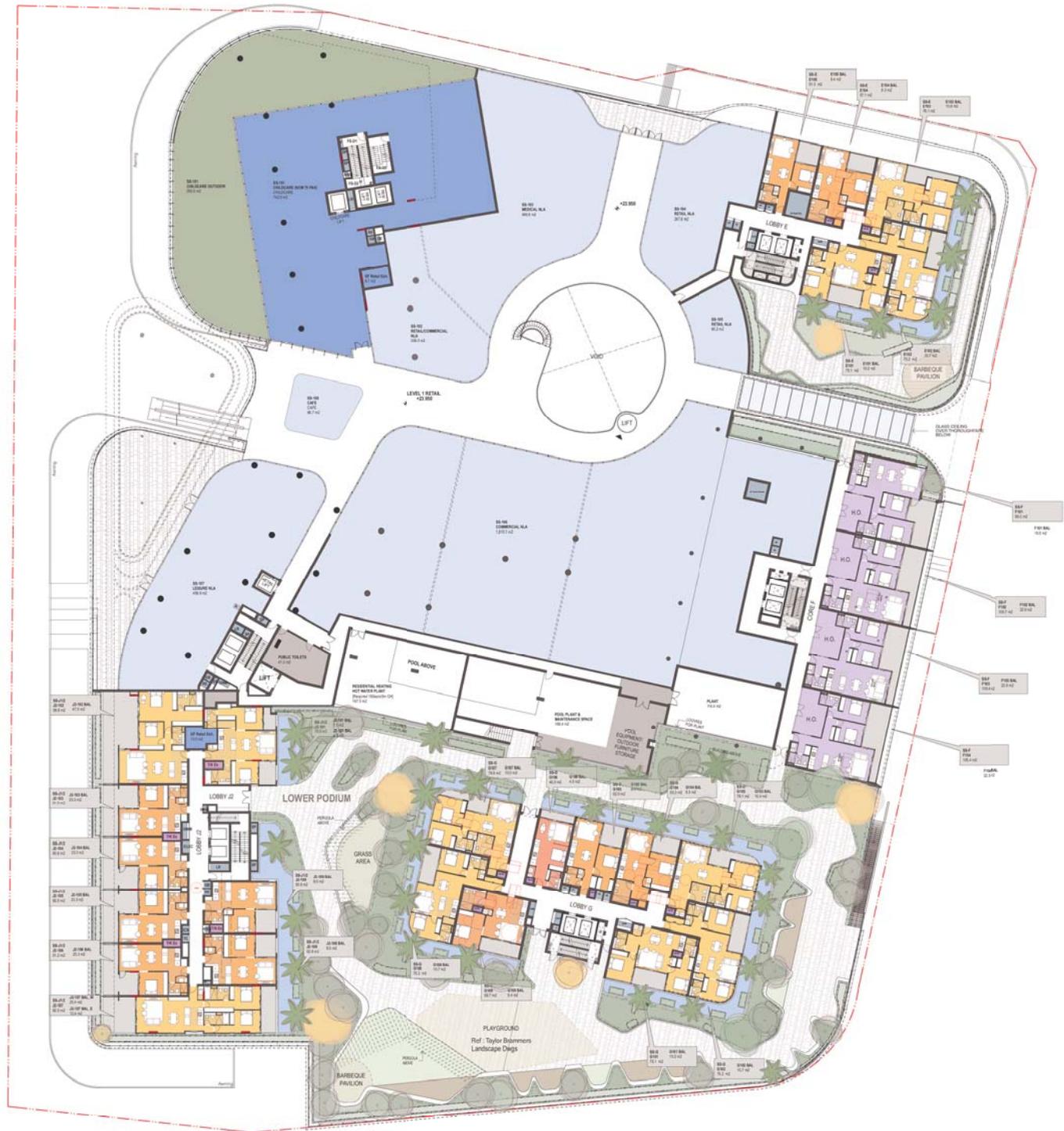
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In respect to MP 09 0146

Signed *JH*

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GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND CORRECTED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS WILL RELY TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DIMENSIONS.
- SEE RELATED DRAWINGS ONLY.

NOTES

- FOR EXHIBIT AVENUE ROAD SETOUT AND KERB DETAIL PLEASE REFER TO CIVIL ENGINEER'S DRAWINGS.
- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR FURTHER DETAILS ON PUBLIC DOMAIN LEVEL 1, LOWER PODIUM LEVEL 2, UPPER PODIUM LEVEL 3, LEVEL 4, LEVEL 5 AND LEVEL 6 TERRACES.

1 PLAN Level 1
1:200

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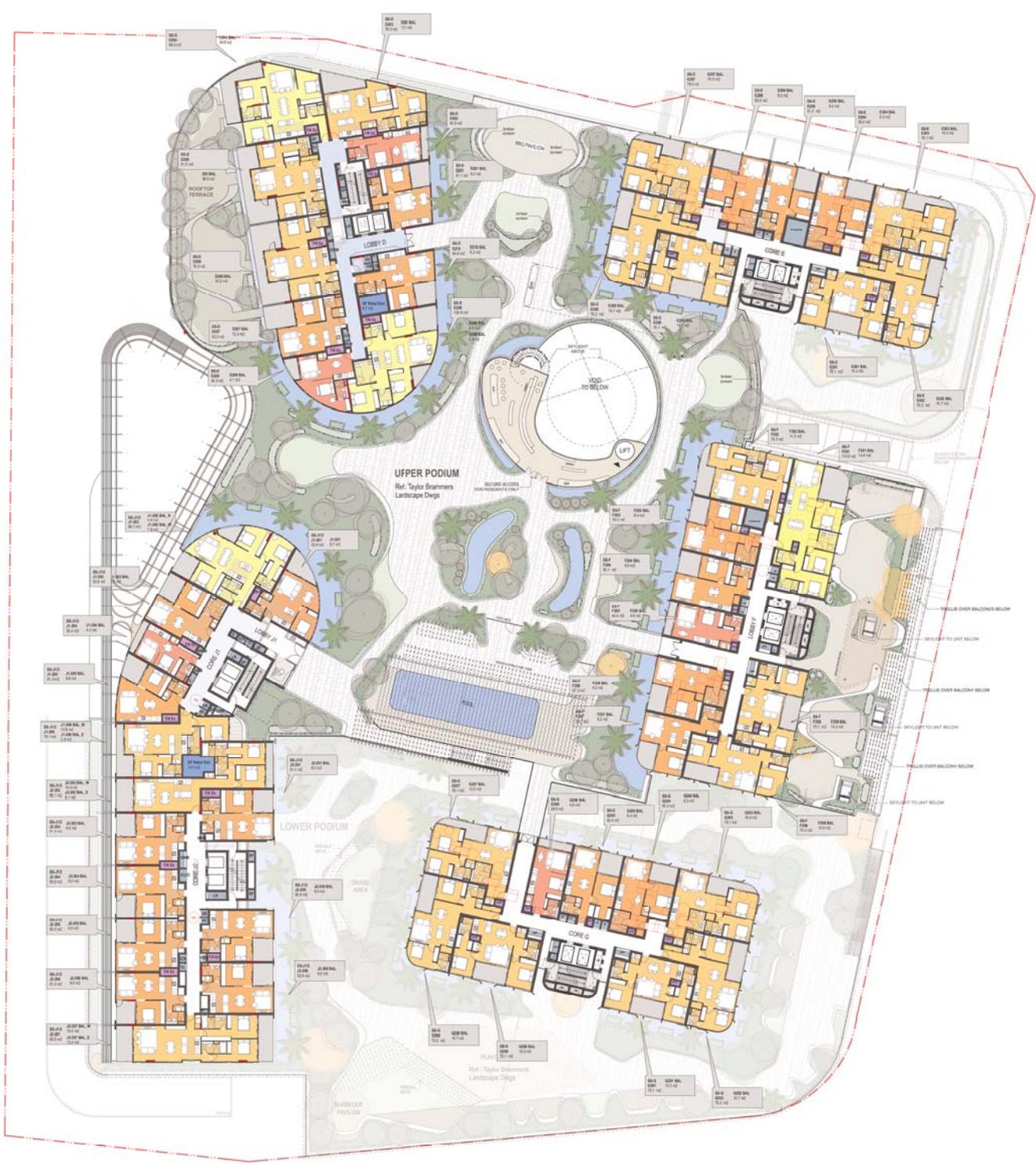
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Signed *JH*

Sheet No. 8 of 136



GENERAL NOTES

- ALL DIMENSIONS AND ELEVATIONS SHOWN ON THIS DRAWING ARE TO FACE UNLESS OTHERWISE SPECIFIED.
- ALL LEVELS WILL BE TO AUSTRALIAN SEA LEVEL UNLESS OTHERWISE SPECIFIED.

NOTES

- FOR EXHIBIT AVENUE ROAD SETOUT AND KERB DETAILS PLEASE REFER TO CIVIL ENGINEER'S DRAWINGS.
- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR FURTHER DETAILS ON PUBLIC DOMAIN LEVEL, 1 LOWER PODIUM LEVEL, 2 UPPER PODIUM LEVEL, 5 LEVEL 1 LEVEL, 8 AND LEVEL 7 TERRACES.

1 PLAN Level 2 1:200

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1 PLAN Level 3
1:200

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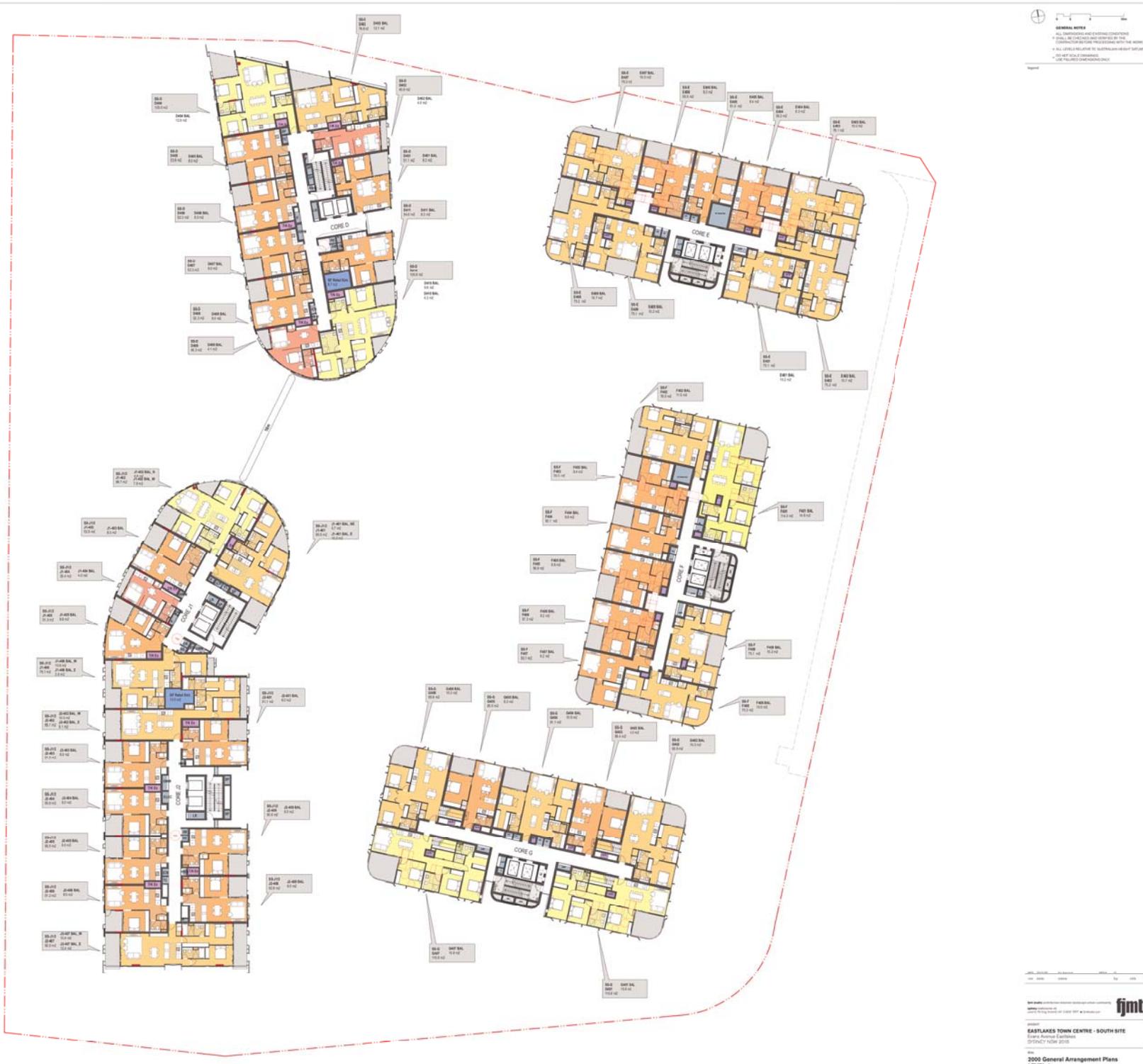
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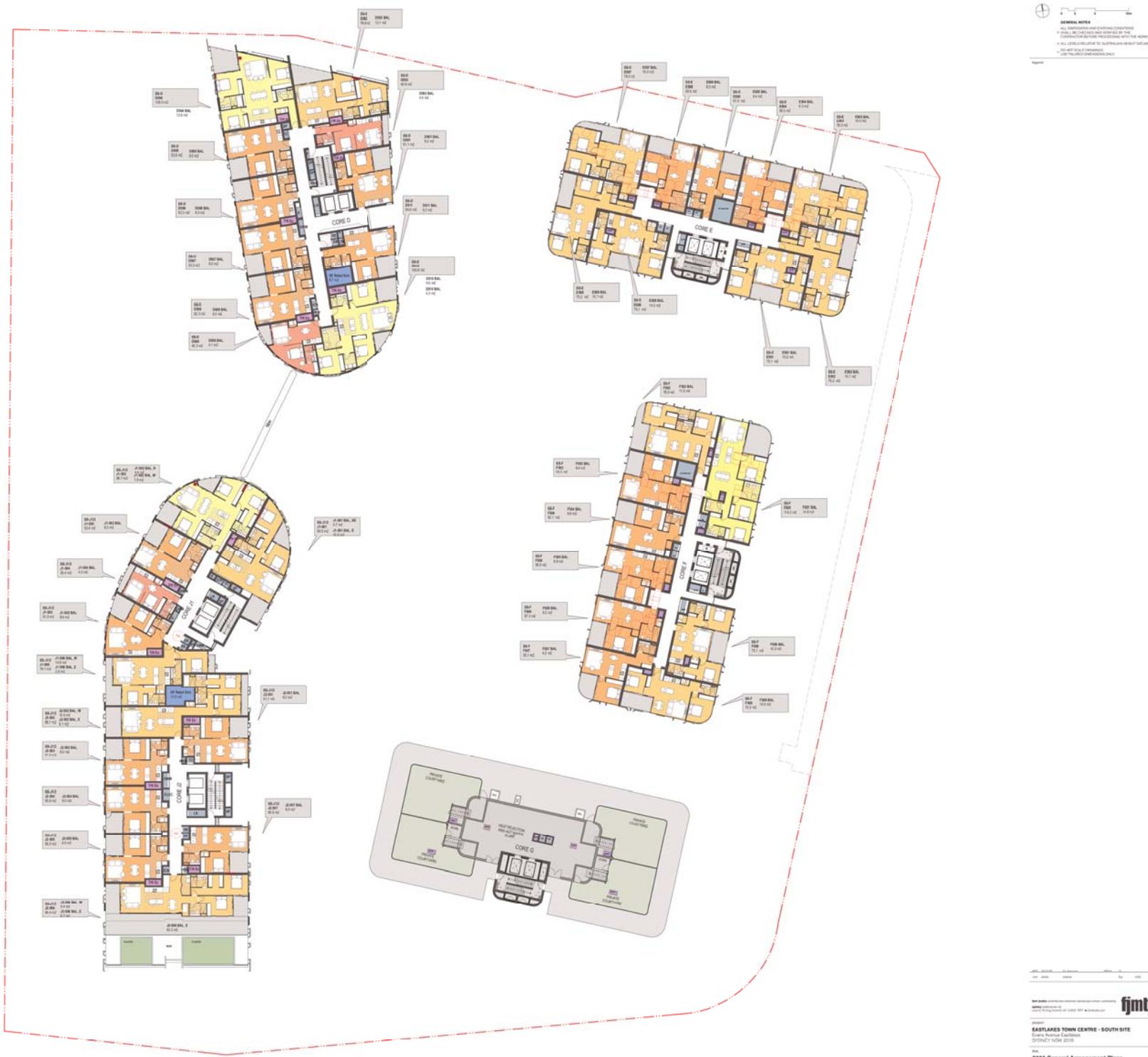
Approved Section 75W Modification Application

No. 4 Granted on 18 June 2020

In respect to MP 09 0146

Signed *JF*

Sheet No. 11 of 136



GENERAL NOTES

- ALL DIMENSIONS ARE EXTERNAL UNLESS OTHERWISE SPECIFIED
- ALL LEVELS WILL BE TO AUSTRALIAN SEA LEVEL UNLESS OTHERWISE SPECIFIED
- SEE RELATED DOCUMENTS FOR MORE INFORMATION
- SEE RELATED DOCUMENTS FOR MORE INFORMATION

NSW GOVERNMENT | **Planning, Industry & Environment**

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GENERAL NOTES

- ALL DIMENSIONS AND LEVELS UNLESS OTHERWISE SPECIFIED ARE IN METRES AND SHOWN AS PER THE CONVENTION FOR DIMENSIONS WITH THE SOUTH
- ALL LEVELS RELATIVE TO AUSTRALIAN SEA LEVEL DATUM
- SEE ALL NOTES ON DRAWINGS
- USE PRELIMINARY DIMENSIONS ONLY



1 PLAN Level 6
1:200

DATE: 2020/06/18
 DRAWN: [Name]
 CHECKED: [Name]
 APPROVED: [Name]

fjmt

EASTLAKES TOWN CENTRE - SOUTH SITE
 East Lakes Eastlink
 SYDNEY NSW 2015

2000 General Arrangement Plans
LEVEL 6

SCALE: 1:200 @ A3
 PROJECT CODE: [Code]
 SHEET NO: [Number]
 TOTAL SHEETS: [Total]

For Approval

COES 2000.06 M03



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No. 4 Granted on 18 June 2020

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Sheet No. 13 of 136



GENERAL NOTES
 1. ALL DIMENSIONS ARE EXTERNAL UNLESS OTHERWISE SPECIFIED.
 2. DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. ALL LEVELS WILL BE TO AUSTRALIAN SEA LEVEL UNLESS OTHERWISE SPECIFIED.
 4. SEE ALL NOTES ON DRAWINGS.
 5. SEE RELATED DRAWINGS.
 6. SEE RELATED DIMENSIONS ONLY.



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1 PLAN Level 8
1:200

GENERAL NOTES
1. ALL DIMENSIONS ARE EXTERNAL UNLESS OTHERWISE SPECIFIED.
2. DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
4. SEE ALL NOTES TO DRAWINGS.
5. USE PREFERRED DIMENSIONS ONLY.

For Approval



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Signed *JH*

Sheet No. 15 of 136



GENERAL NOTES
1. ALL DIMENSIONS ARE EXTERNAL UNLESS OTHERWISE SPECIFIED.
2. DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
4. SEE ALL SCALE DRAWINGS.
5. USE FULLY DIMENSIONED ONLY.

1 PLAN Level 9
1:200

For Approval



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No. 4 Granted on 18 June 2020

In respect to MP 09_0146

Signed *JF*

Sheet No. 16 of 136

GENERAL NOTES

- 1. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE SPECIFIED.
- 2. DIMENSIONS SHALL BE CHECKED AND CORRECTED BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- 3. ALL LEVELS SHALL RELY ON THE FINISHED FLOOR LEVEL UNLESS OTHERWISE SPECIFIED.
- 4. SEE PLAN FOR DIMENSIONS ONLY.



1 PLAN Level 10
1:200

For Approval



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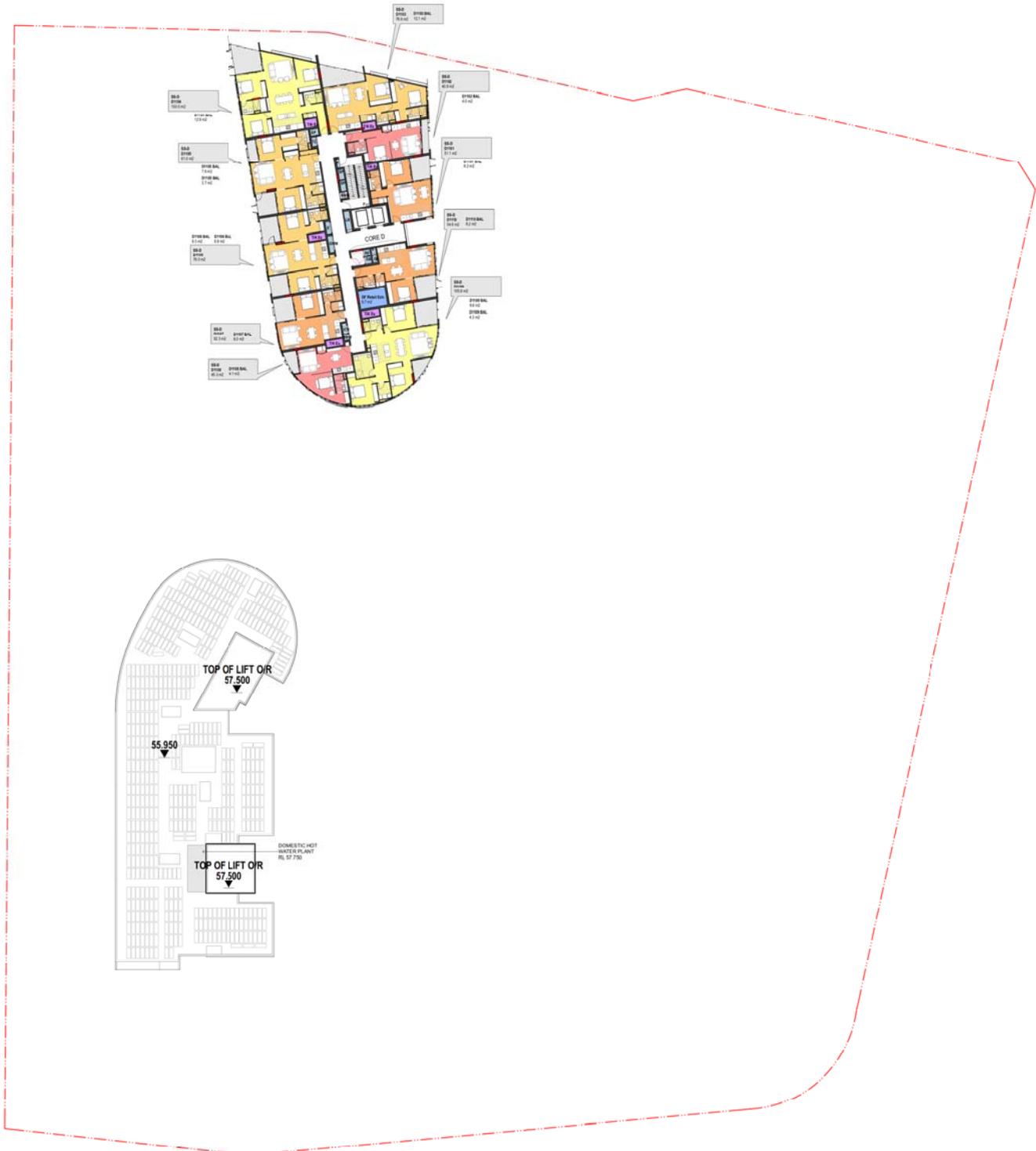
In respect to MP 09_0146

Signed *JH*

Sheet No. 17 of 136

GENERAL NOTES

- 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
- 2. DIMENSIONS SHALL BE CHECKED AND CORRECTED BY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- 3. ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM (AHD).
- 4. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
- 5. SEE PROJECT OVERVIEW FOR MORE INFORMATION.



1 PLAN Level 11
1:200

For Approval



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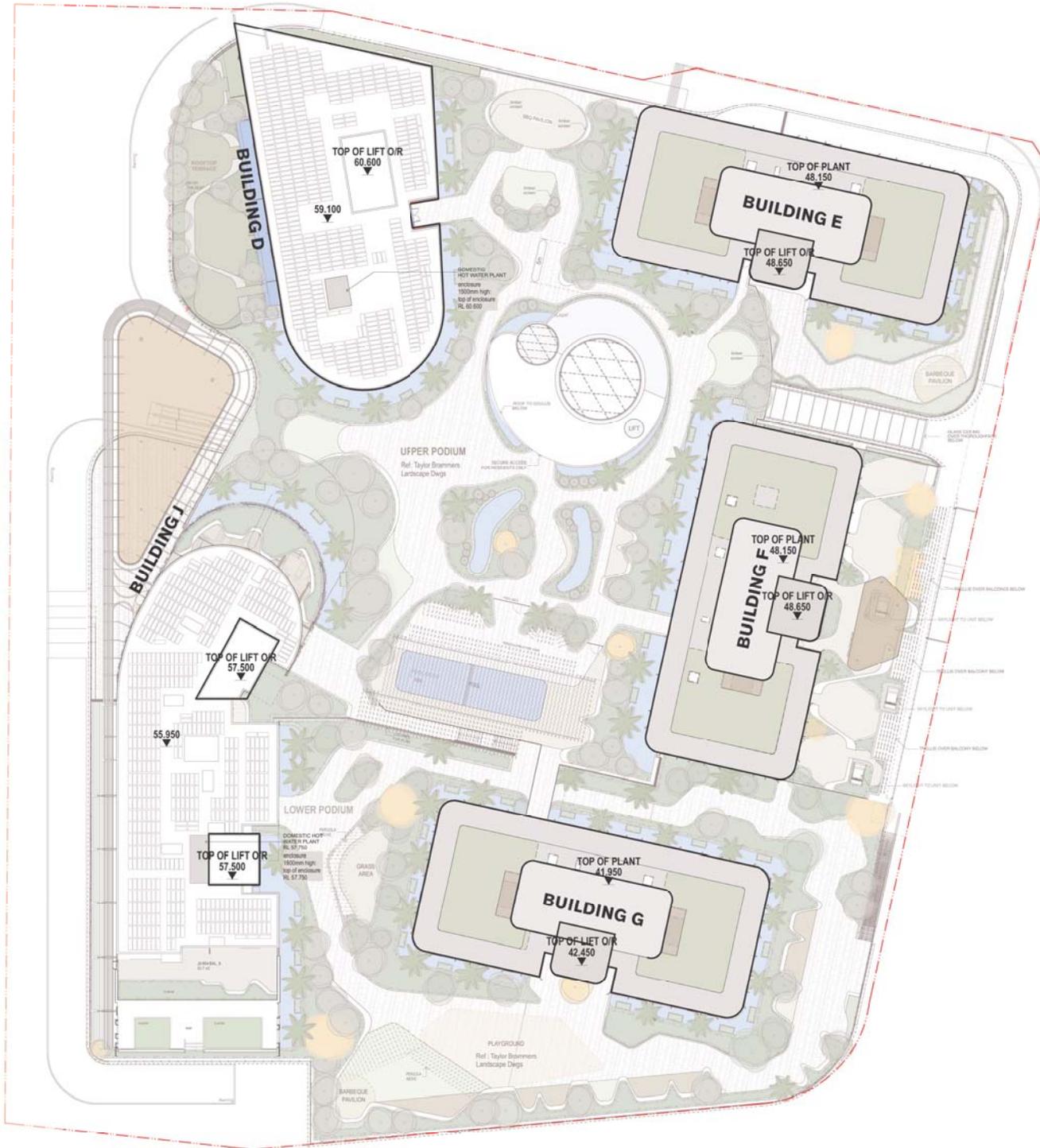
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No. 4 Granted on 18 June 2020

In respect to MP 09_0146

Signed JH

Sheet No. 18 of 136



GENERAL NOTES

- ALL DIMENSIONS AND LEVELS SHOWN ON THIS PLAN ARE TO FACE UNLESS OTHERWISE SPECIFIED.
- ALL LEVELS RELATIVE TO AUSTRALIAN SEA LEVEL DATUM.
- SEE ALL SCALE DRAWINGS.
- SEE RELATED DOCUMENTS ONLY.

1 PLAN Roof Plan 1:200



1 ELEVATION - WEST ELEVATION

LEGEND

- G01 GLASS BALUSTRADE
- G02 COMBINATION OF ALUMINIUM GLAZING AND OPTICAL FINISHES PANELS
- G03 FULL HEIGHT ALUMINIUM FRAMED GLAZING SYSTEM WITH OPERABLE DOORS AND WINDOW INCLUDES WINDOW WISE OPERABLE WINDOW PER ROOM + SLIDING DOORS AS SHOWN ON PLAN
- G04 METAL BALUSTRADE WITH FINE FINISHED CONCRETE PANEL
- F01 FINE FINISHED CLADDING PANEL - LIGHT BRONZE 1
- F02 FINE FINISHED CLADDING PANEL - LIGHT BRONZE 2
- F03 FINE FINISHED CLADDING PANEL - TERRA COTTA / COPPER COLOUR
- F04 FINE FINISHED CLADDING PANEL - SILVER
- F05 FINE FINISHED CLADDING PANEL - DARK BRONZE
- F06 LIMITED FINE FINISHED ARCHITECTURAL PANEL WITH METAL COLOUR
- F07 FULL HEIGHT PERFORATED METAL PANELS - WHITE
- F08 ALUMINIUM SLAB EDGE COVER - PROFILED
- F09 TIMBER SPOKE TO UNDERSEE OF CANOPY
- F10 METAL GLAZING WITH HIGH LEVEL HERMETIC LOUVER AND/OR INCORPORATED FULL HEIGHT LOCALISED SOLAR PANELS (COLOURS PANELS WHERE SHOWN)
- F11 ARTICULATED FACEBRICK AS SHOWN
- F12 TIMBER PERGOLA STRUCTURE
- F13 ENCLOSURE WITH TIMBER BATTENS TO FUTURE DETAIL
- L01 ALUMINIUM VERTICAL FINE FINISH BRONZE
- L02 ALUMINIUM HORIZONTAL LOUVER

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No..... 4 Granted on..... 18 June 2020

In respect to MP.09_0146

Signed..... *JF*

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2 ELEVATION - EAST ELEVATION

For Approval



1 ELEVATION - NORTH ELEVATION

LEGEND

- G01 GLASS BALUSTRADE
- G02 COMBINATION OF ALUMINIUM GLAZING AND OPTICAL SHIMMER PANELS
- G03 FULL HEIGHT ALUMINIUM FRAMED GLAZING SYSTEM WITH OPERABLE DOORS AND WINDOW INCLUDES WINDOW WISE OPERABLE WINDOW PER ROOM + SLIDING DOORS AS SHOWN ON PLAN
- G04 METAL BALUSTRADE WITH FINE FINISHED COPPER PANEL
- F01 PRE FINISHED GLAZING PANEL - LIGHT BRONZE 1
- F02 PRE FINISHED GLAZING PANEL - LIGHT BRONZE 2
- F03 PRE FINISHED GLAZING PANEL - TERRA COTTA / COPPER COLOUR
- F04 PRE FINISHED GLAZING PANEL - SILVER
- F05 PRE FINISHED GLAZING PANEL - DARK BRONZE
- F06 LIMITED PRE FINISHED ARCHITECTURAL PANEL WITH METAL FINISH
- F07 FULL HEIGHT PERFORATED METAL PANELS - WHITE
- F08 ALUMINIUM SLAB EDGE COVER - PROFILED
- F09 TIMBER SLOTT TO UNDERSE OF CANOPY
- F10 METAL GLAZING WITH HIGH LEVEL HORIZONTAL LOUVER ABOVE, INCORPORATES FULL HEIGHT LOCALISED SLIVER PANELS COLOURS PANEL WHERE SHOWN
- F11 ARTICULATED FACEBRICK AS SHOWN
- F12 TIMBER PERGOLA STRUCTURE
- F13 ENCLOSURE WITH TIMBER BATTENS TO FORM DETAIL
- V01 ALUMINIUM VERTICAL FINE POSTS BEHIND
- V02 ALUMINIUM HORIZONTAL LOUVER



2 ELEVATION - SOUTH ELEVATION

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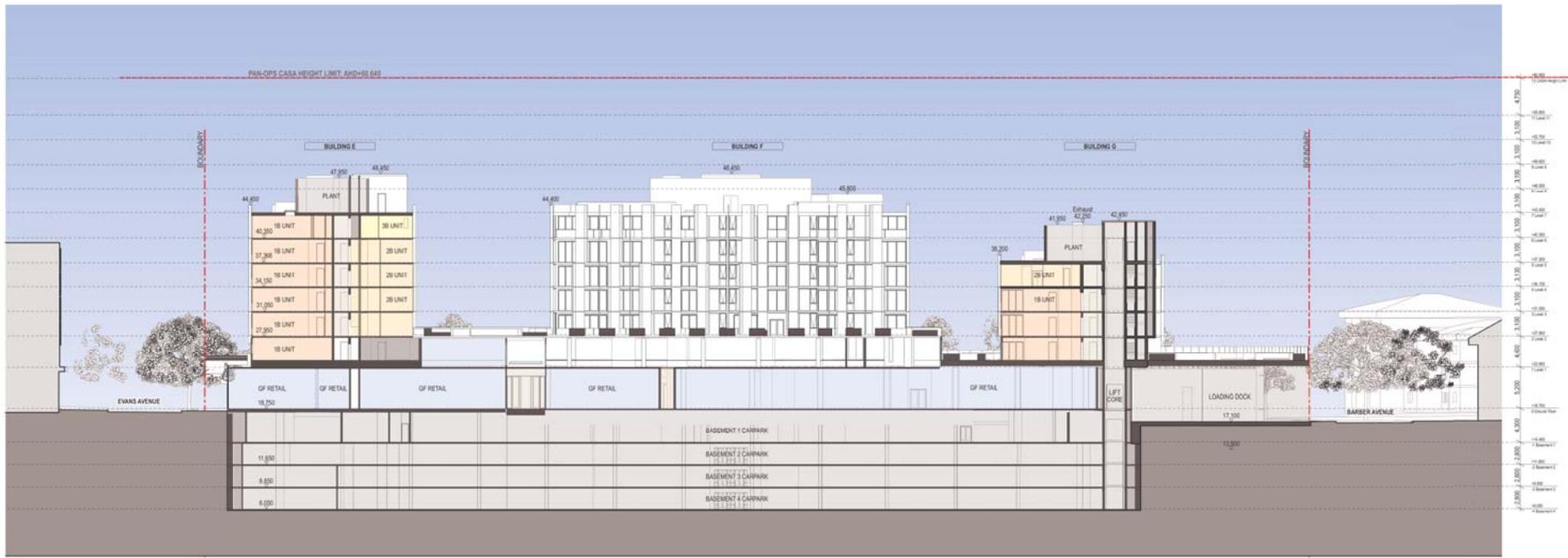
In respect to MP 09_0146

Signed *JH*

Sheet No. 21 of 136



GENERAL NOTES
 1. ALL DIMENSIONS AND ELEVATIONS SHOWN ON THIS PLAN ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. ALL LEVELS WILL BE TO AUSTRALIAN SEA LEVEL UNLESS OTHERWISE SPECIFIED.
 3. SEE RELATED DOCUMENTS FOR FURTHER INFORMATION.
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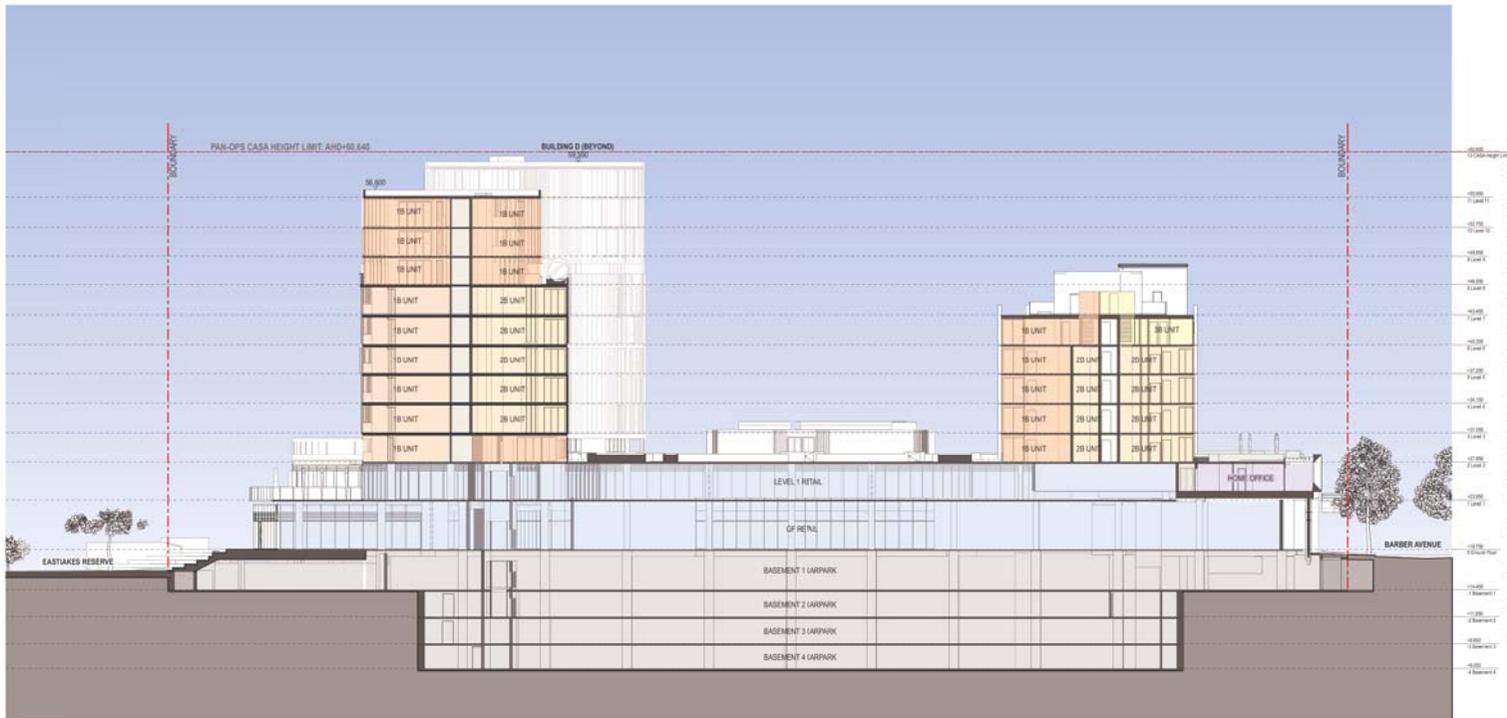
In respect to MP 09_0146

Signed JH

Sheet No. 22 of 136



GENERAL NOTES
1. ALL DIMENSIONS AND ELEVATIONS SHOWN ON THIS DRAWING ARE TO BE TAKEN AS INDICATED UNLESS OTHERWISE SPECIFIED.
2. ALL LEVELS RELATIVE TO AUSTRALIAN SEA LEVEL UNLESS OTHERWISE SPECIFIED.
3. SEE RELATED DRAWINGS.
4. USE PRELIMINARY DIMENSIONS ONLY.



SECTION Section 2
1:200

For Approval



BUILDING G BUILDING J RACECOURSE PLAZA EASTLAKES RESERVE

1 ELEVATION - NORTH ELEVATION - BUILDING J

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LEGEND

- 001 GLASS BALUSTRADE
- 002 COMBINATION OF ALUMINIUM GLAZING AND OPTICAL SHIMMER PANELS
- 003 FULL HEIGHT ALUMINIUM FRAMED GLAZING SYSTEM WITH OPERABLE DOORS AND WINDOW INCLUDES WINDOW WISE OPERABLE WINDOW PER ROOM + SLIDING DOORS AS SHOWN ON PLAN
- 004 METAL BALUSTRADE WITH FINE FINISHED CONCRETE PANELS
- 005 FINE FINISHED GLAZING PANEL - LIGHT BRONZE 1
- 006 FINE FINISHED GLAZING PANEL - LIGHT BRONZE 2
- 007 FINE FINISHED GLAZING PANEL - TERRA COTTA / COPPER COLOUR
- 008 FINE FINISHED GLAZING PANEL - SILVER
- 009 FINE FINISHED GLAZING PANEL - DARK BRONZE
- 010 UNFINISHED FINE FINISHED ARCHITECTURAL PANEL WITH METAL FINISH
- 011 FULL HEIGHT PERFORATED METAL PANELS - WHITE
- 012 ALUMINIUM SLAB EDGE COVER - PROFILED
- 013 METAL GLAZING WITH HIGH LEVEL HORIZONTAL LOUVER BLADES INCORPORATED FULL HEIGHT LOCALISED SILVER FINISHED GLAZING PANELS WHERE SHOWN
- 014 ARTICULATED FACEBRICK AS SHOWN
- 015 TIMBER PERGOLA STRUCTURE
- 016 ENCLOSURE WITH TIMBER BATTENS TO PROFILE DETAIL
- 017 ALUMINIUM VERTICAL FINE FINISH GLAZING
- 018 ALUMINIUM HORIZONTAL LOUVER



BUILDING D BUILDING E

2 ELEVATION - SOUTH ELEVATION - BUILDING D

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 Sheet No. *24* of *136*



GENERAL NOTES
 ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
 ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
 INDICATE SCALE DIMENSIONS.
 USE FINISHED DIMENSIONS ONLY.

Code	Item
ACM01	Aluminium Street, Type 01
ALF01	Aluminium Panels, Type 01
ALF02	Aluminium Panels, Type 02
ALF03	Aluminium Panels, Type 03
BSD1	Roofshade System, Type 01
BSD2	Roofshade System, Type 02
CP1	Concrete Paver 6 Panel
FA1	Facade, Type # refer to wall type schedule for details on page A10002
FA20	Colour through compressed fibre cement concrete facade system
FA01	Facade, Aluminium Fin Type 01
FA02	Facade, Aluminium Fin Type 02
FA03	Facade, Aluminium Fin Type 03
FA04	Facade, Aluminium Fin Type 04
GR01	Glass Reinforced Concrete, Type 01
FR01	Fencing, Type 01
FR02	Fencing, Type 02
FR04	Fencing, Type 04
FS01	Floor System (Element), Type 01
FS02	Floor System (Element), Type 02
FS03	Floor System (Element), Type 03
FS04	Floor System (Element), Type 04
FS05	Floor System (Element), Type 05
FS06	Floor System (Element), Type 06
HT1	Handrail Finish, Type 1
TC01	Terrazzo, Type 01
TR01	Tendon, Type 01
TR02	Tendon, Type 02

ID	Date	By	Description
04	21/02/20	STW	Submission
03	18/01/19	STW	Final Design
02	18/01/19	STW	Final Design

client
 Crown Group
 L20, 1 Market Street, Sydney, NSW, Australia

consultant
 fjmt
 Level 7, 75 King Street, Sydney NSW 2000

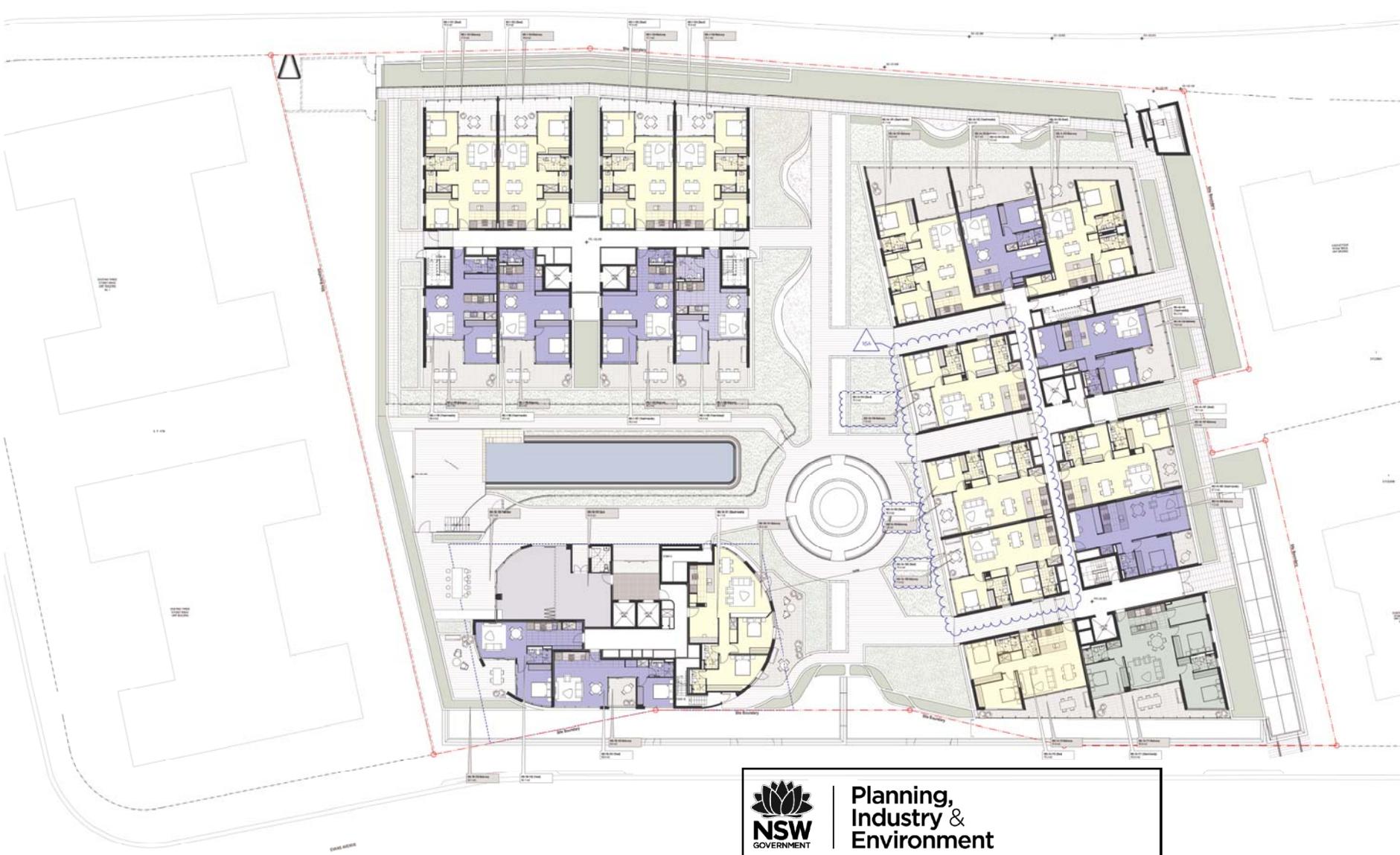
project
EASTLAKES TOWN CENTRE - NORTH SITE
 Evans Avenue Eastlakes
 SYDNEY NSW 2018

title
Section 75W Application
 Site Plan

scale	sheet no.	revision
1:500 @ A1		02/05/2017
CGEN	S75W130001	04

Approval

GENERAL NOTES
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 USE FIGURED DIMENSIONS ONLY.



Legend

Code	Item
AL01	Aluminium Sheet, Type 01
AL02	Aluminium Panel, Type 01
AL03	Aluminium Panel, Type 02
AL04	Aluminium Panel, Type 03
AL05	Aluminium Panel, Type 04
BS01	Blowdown System, Type 01
BS02	Blowdown System, Type 02
CP	Concrete Floor & Panel
FC	Fabric Type # refer to wall type schedule for detail on plan
FC01	Colour through compressed fibre cement with screen facade system
FC02	Facade, Aluminium Fin Type 01
FC03	Facade, Aluminium Fin Type 02
FC04	Facade, Aluminium Fin Type 03
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FC97	Facade, Aluminium Fin Type 96
FC98	Facade, Aluminium Fin Type 97
FC99	Facade, Aluminium Fin Type 98
FC100	Facade, Aluminium Fin Type 99
FC101	Facade, Aluminium Fin Type 100

apartment type legend

Code	Apartment Type
1B	1 Bed
1B+M	1 Bed + Mezz
2B	2 Bed
2B+M	2 Bed + Mezz
3B	3 Bed
3B+M	3 Bed + Mezz
4B	4 Bed
4B+M	4 Bed + Mezz
5B	5 Bed

apartment type schedule level 01

Building	Apartment Type	Count
Building 1	1 BED APARTMENT	4
	2 BED APARTMENT	4
Building 1A	1 BED APARTMENT	3
	2 BED APARTMENT	7
	3 BED APARTMENT	1
Building 1B	1 BED APARTMENT	2
	2 BED APARTMENT	1
		22

FINISH SCHEDULE

Room	Finish	Area (sqm)	Quantity
First Floor, Building 1, USA	FC01	1000	1
First Floor, Building 1A, USA	FC02	1000	1
First Floor, Building 1B, USA	FC03	1000	1

NOTES:
 REFER TO LANDSCAPE DOCUMENTATION FOR LANDSCAPE WORKS

No.	Date	Issue	By	Check
01	10/01/20	Issue for Information
02	10/01/20	Issue for RFP
03	10/01/20	Issue for RFP
04	10/01/20	Issue for RFP

Client: Crown Group
 L29, 1 Market Street, Sydney, NSW, Australia

Project: EASTLAKES TOWN CENTRE - NORTH SITE
 Evans Avenue Eastlakes
 SYDNEY NSW 2018

Title: Section 75W Application
 Podium Level Floor Plans

Scale: 1:200 @ A1
 Project Code: CGEN
 Sheet No: S75W130003
 Date Issued: 02/05/2021



Planning, Industry & Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 4 Granted on 18 June 2020

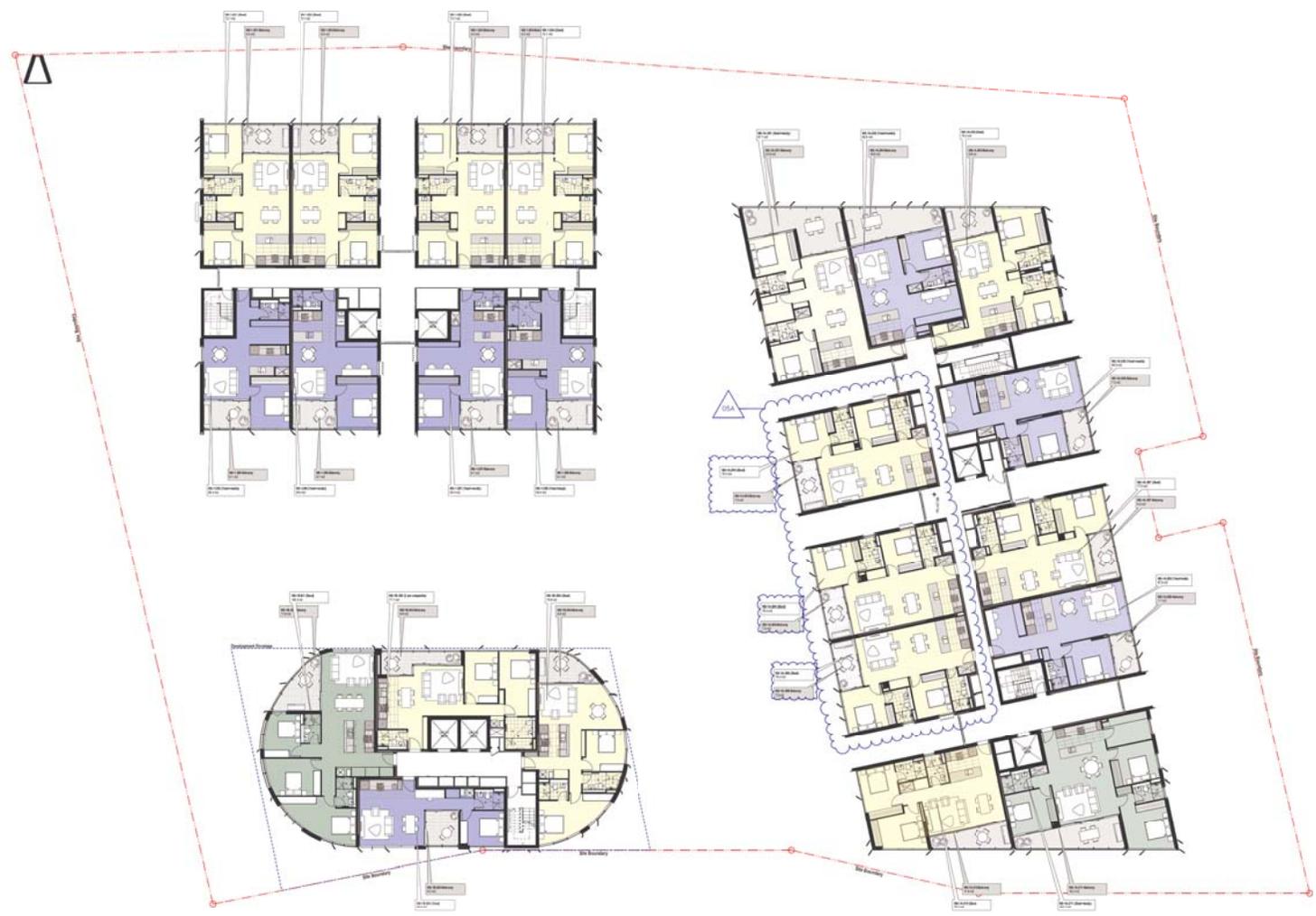
In respect to MP.09_0146

Signed [Signature]

Sheet No. 26 of 136

For Approval

GENERAL NOTES
 ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
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Legend

Code	Item
AL01	Aluminium Sheet, Type 01
ALP1	Aluminium Panel, Type 01
ALP2	Aluminium Panel, Type 02
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FC	Facade, Type # refer to wall type schedule for detail on plan
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FC02	Aluminium Fin Type 01
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FC98	Aluminium Fin Type 97
FC99	Aluminium Fin Type 98
FC100	Aluminium Fin Type 99
FC101	Aluminium Fin Type 100

apartment type legend

Code	Apartment Type
1B	1 Bed
1B+M	1 Bed + Mezz
2B	2 Bed
2B+M	2 Bed + Mezz
3B	3 Bed
3B+M	3 Bed + Mezz
4B	4 Bed
4B+M	4 Bed + Mezz
5B	5 Bed
5B+M	5 Bed + Mezz
6B	6 Bed
6B+M	6 Bed + Mezz

apartment type schedule level 02-04

Building	Apartment Type	Count
Building 1	1 BED APARTMENT	4
	2 BED APARTMENT	4
Building 1A	1 BED APARTMENT	3
	2 BED APARTMENT	7
	3 BED APARTMENT	1
Building 1B	1 BED APARTMENT	1
	2 BED APARTMENT	2
	3 BED APARTMENT	1
		23

WHS items schedule

Item	WHS Unit	Type	Volume	Quantity
01	Flora, 850x1000, 1, 0.04	Flora	0.04	2
02	Flora, 850x1000, 1x, 0.04	Flora	0.04	2
03	Flora, 850x1000, 1x, 0.04	Flora	0.04	2
04	Flora, 850x1000, 1x, 0.04	Flora	0.04	2

DL	DATE	DESCRIPTION	BY
DL	04/02	0104 Submission	DLA
DL	21/02	0104 Submission	DLA
DL	04/03	0104 Update	DLA

client
 Crown Group
 L29, 1 Market Street, Sydney, NSW, Australia

project
EASTLAKES TOWN CENTRE - NORTH SITE
 Evans Avenue Eastlakes
 SYDNEY NSW 2018

title
Section 75W Application
2nd to 4th Floor

scale 1:200 @ A1 first issued 02/05/2020

project code CGEN sheet no. S75W130004 revision 05



Planning, Industry & Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 4 Granted on 18 June 2020

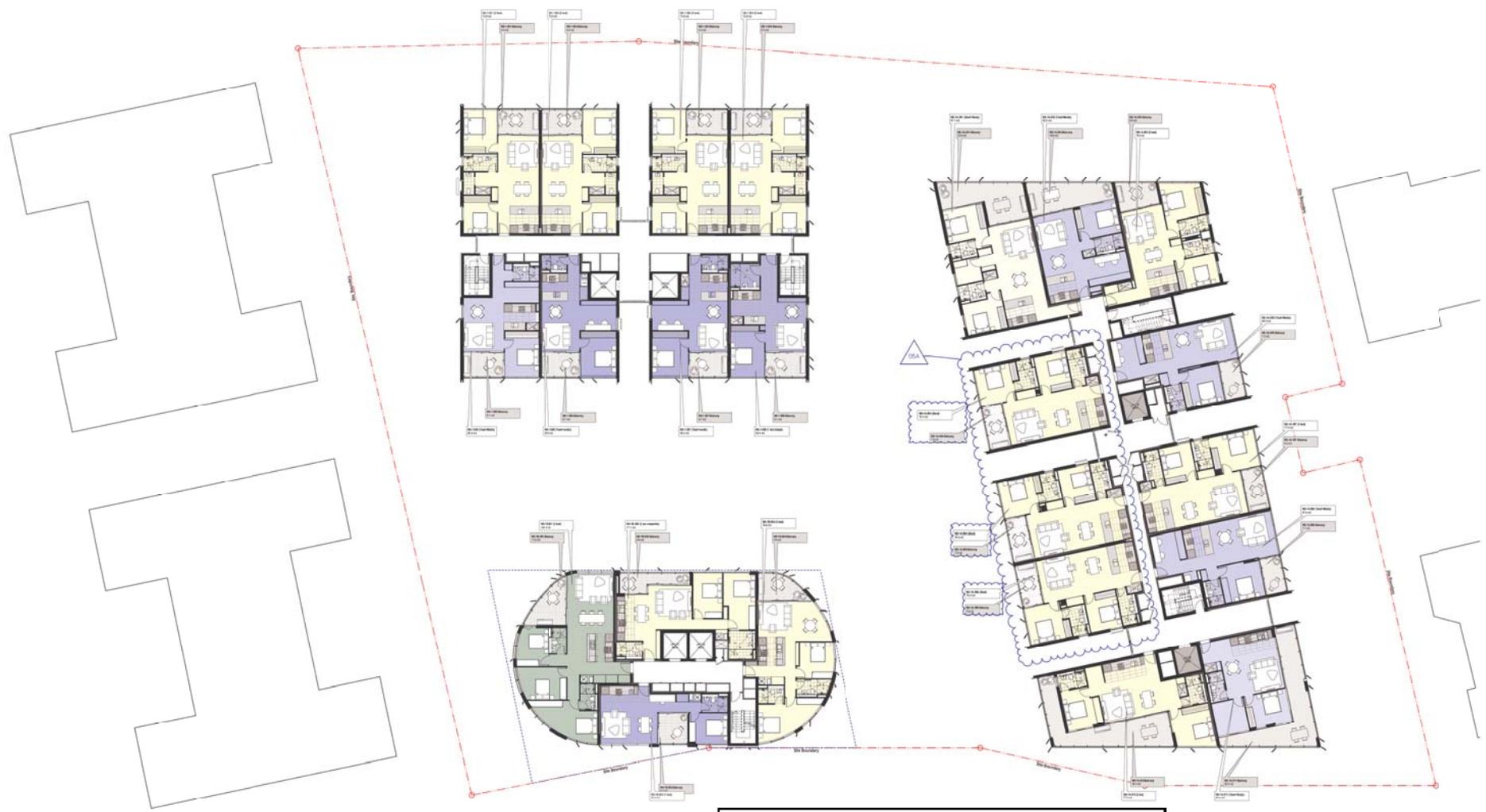
In respect to MP_09_0146

Signed *JF*

Sheet No. 27 of 136

For Approval

GENERAL NOTES
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Legend

Code	Item
AL01	Aluminium Window, Type 01
AL02	Aluminium Window, Type 02
AL03	Aluminium Window, Type 03
AL04	Aluminium Window, Type 04
AL05	Aluminium Window, Type 05
BS01	Blowhole System, Type 01
BS02	Blowhole System, Type 02
CFP	Concrete Floor & Panel
FCM	Facade Type # refer to wall type schedule for block on plan
FC01	Colour through compressed fibre cement panel facade system
FC02	Aluminium Fin Type 01
FC03	Aluminium Fin Type 02
FC04	Aluminium Fin Type 03
FC05	Aluminium Fin Type 04
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FC97	Aluminium Fin Type 96
FC98	Aluminium Fin Type 97
FC99	Aluminium Fin Type 98
FC100	Aluminium Fin Type 99
FC101	Aluminium Fin Type 100

apartment type legend

Code	Apartment Type
1B	1 Bed
1B+M	1 Bed + Mezz
2B	2 Bed
2B+M	2 Bed + Mezz
3B	3 Bed
3B+M	3 Bed + Mezz
4B	4 Bed
4B+M	4 Bed + Mezz
5B	5 Bed

apartment type schedule level 05

Building	Apartment Type	Count
Building 1	1 BED APARTMENT	4
	2 BED APARTMENT	4
Building 1A	1 BED APARTMENT	4
	2 BED APARTMENT	7
Building 1B	1 BED APARTMENT	1
	2 BED APARTMENT	2
	3 BED APARTMENT	1
TOTAL		23

mezzanine schedule

Item	Area (sqm)	Type	Volume (m3)	Quality
3B Fin, BUILDING 1, SRA	1000	Mezz	1000	1
3B Fin, BUILDING 1A, SRA	1000	Mezz	1000	1
3B Fin, BUILDING 1B, SRA	1000	Mezz	1000	1

DL	DATE	DESCRIPTION	BY	CHKD
DL	04/02/20	01st Submission	DLA	STW/MD
DL	20/05/20	02nd Submission	DLA	DLA/MD
DL	04/06/20	Final Approval	DLA	DLA/MD

client
 Crown Group
 L29, 1 Market Street, Sydney, NSW, Australia

project
EASTLAKES TOWN CENTRE - NORTH SITE
 Evans Avenue Eastlakes
 SYDNEY NSW 2018

title
Section 75W Application
 5th Floor

scale 1:200 @ A1 first issued 03/05/2017

project code CGEN sheet no. S75W130005 revision 05

Planning, Industry & Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No..... 4 Granted on..... 18 June 2020

In respect to MP.09_0146

Signed..... *JF*

Sheet No..... *28* of..... *136*

For Approval

GENERAL NOTES
 ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
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Legend

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AL01	Aluminium Sheet, Type 01
ALP1	Aluminium Panel, Type 01
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FC96	Facade, Aluminium Fin Type 95
FC97	Facade, Aluminium Fin Type 96
FC98	Facade, Aluminium Fin Type 97
FC99	Facade, Aluminium Fin Type 98
FC100	Facade, Aluminium Fin Type 99
FC101	Facade, Aluminium Fin Type 100

apartment type legend

Code	Apartment Type
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2B	2 Bed
2B+M	2 Bed + Mezz
2B+M+D	2 Bed + Mezz + Study
3B	3 Bed
3B+M	3 Bed + Mezz
3B+M+D	3 Bed + Mezz + Study
4B	4 Bed
4B+M	4 Bed + Mezz
4B+M+D	4 Bed + Mezz + Study

apartment type schedule level 06

Building	Apartment Type	Count
Building 1	2 BED APARTMENT	2
	3 BED APARTMENT	2
Building 1A	1 BED APARTMENT	1
	2 BED APARTMENT	5
	3 BED APARTMENT	1
Building 1B	1 BED APARTMENT	1
	2 BED APARTMENT	2
	3 BED APARTMENT	1
15		

WATER SOURCE SCHEDULE

Area	Usage	Type	Volume	Quality
06 Floor, EXPLORE 1, GSA	Water	Water	240L	3
06 Floor, EXPLORE 1A, GSA	Water	Water	240L	3
06 Floor, EXPLORE 1B, GSA	Water	Water	240L	3

ID	Date	Issue	By
01	04/05/20	Initial Submission	GSA
02	21/05/20	100% Submission	GSA
03	04/06/20	100% Submission	GSA

client
 Crown Group
 L29, 1 Market Street, Sydney, NSW, Australia

project
EASTLAKES TOWN CENTRE - NORTH SITE
 Evans Avenue Eastlakes
 SYDNEY NSW 2018

title
Section 75W Application
 6th Floor

scale 1:200 @ A1 first issued 02/05/2020

project code CGEN sheet no. S75W130006 revision 05



Planning, Industry & Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 4 Granted on 18 June 2020

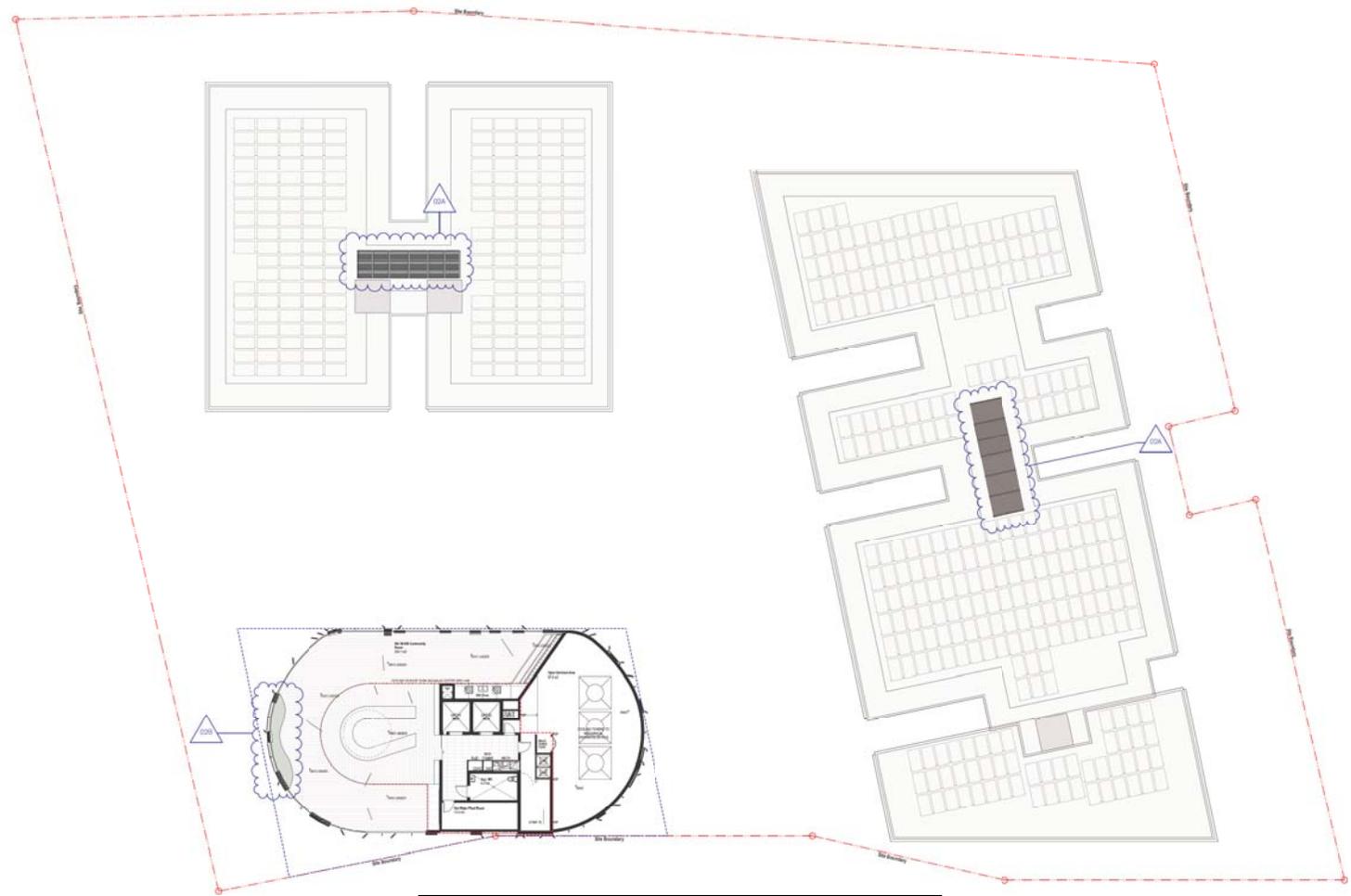
In respect to MP 09_0146

Signed JH

Sheet No. 29 of 136

For Approval

GENERAL NOTES
 ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
 ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
 DO NOT SCALE DIMENSIONS.
 USE FIGURED DIMENSIONS ONLY.



Legend

Code	Item
ACM01	Aluminium Blank, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
ALF04	Aluminium Finish, Type 04
BS01	Basin/Sink System, Type 01
BS02	Basin/Sink System, Type 02
CFP	Concrete Floor & Part
FCX	Facade, Type # refers to wall type schedule for details on page A10002
FC01	Colour through compressed fibre cement concrete facade system
FM01	Fin-void Aluminium For Type 01
FM02	Facade Aluminium For Type 02
FM03	Facade Aluminium For Type 03
FM04	Facade Aluminium For Type 04
GR01	Glass Reinforced Concrete, Type 01
FR01	Framing, Type 01
FR02	Framing, Type 02
FR03	Framing, Type 03
FR04	Framing, Type 04
FS01	Floor System (Element), Type 01
FS02	Floor System (Element), Type 02
FS03	Floor System (Element), Type 03
FS04	Floor System (Element), Type 04
FS05	Floor System (Element), Type 05
RF01	Raised Floor, Type 2
TC01	Tenacity, Type 01
TR01	Tendon, Type 01
TR02	Tendon, Type 02

apartment type (apart)	Code	Apartment Type
10	10	1 Bed
15-14	15-14	1 Bed + Study
15-13	15-13	1 Bed + Study
20	20	2 Bed
20-14	20-14	2 Bed + Study
20-13	20-13	2 Bed + Study
30	30	3 Bed
30-14	30-14	3 Bed + Study
30-13	30-13	3 Bed + Study
40	40	4 Bed
40-14	40-14	4 Bed + Study
40-13	40-13	4 Bed + Study



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No.....4..... Granted on.....18 June 2020.....

In respect to MP.09_0146.....

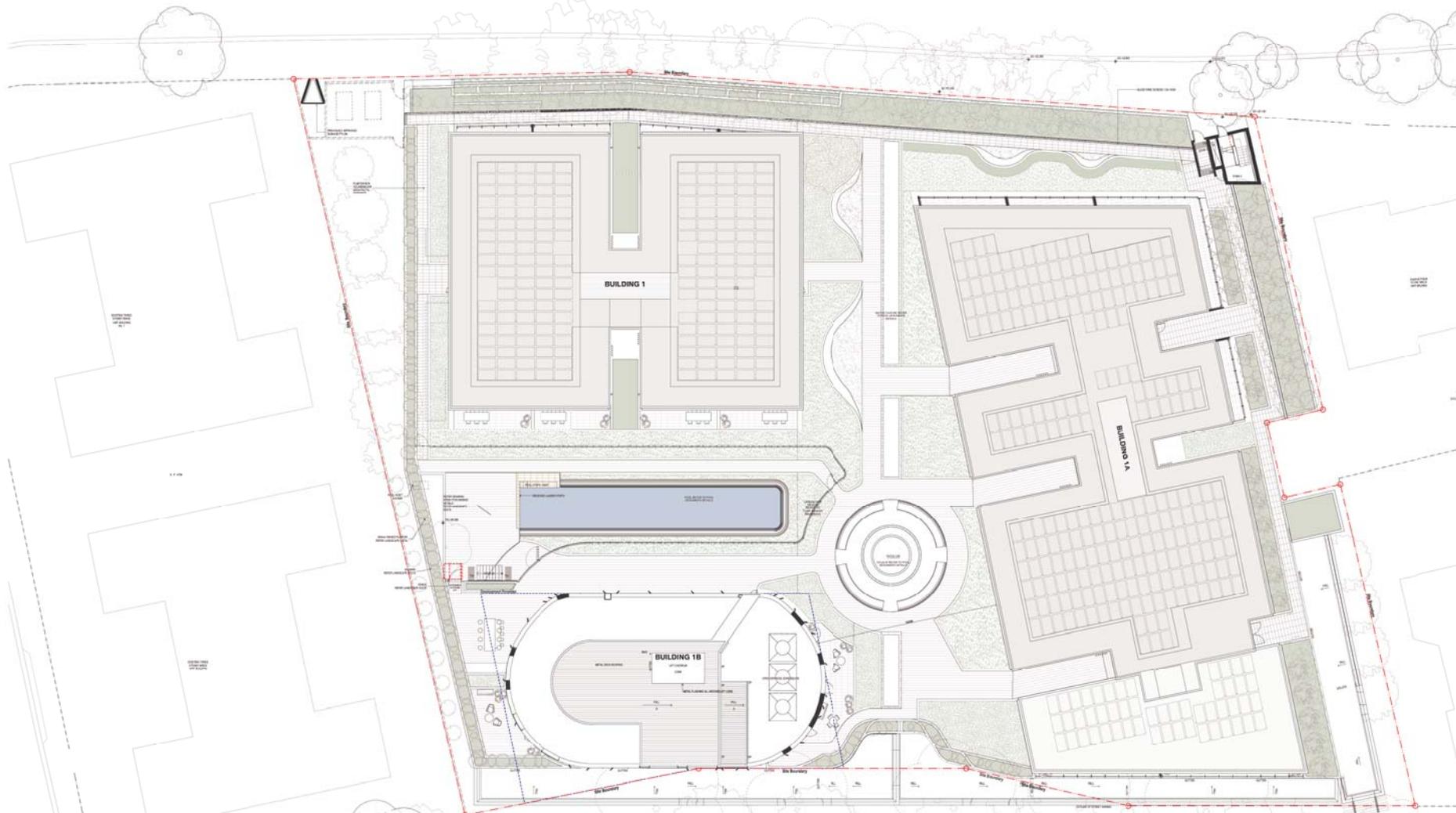
Signed..... *JF*

Sheet No.....31..... of.....136.....

01	21/0/20	0706 Submission	08
02	18/6/16	0706 Landed Planning/DPPE Issued	08
Ver	date	name	ID description by date
client			
Crown Group L20, 1 Market Street, Sydney, NSW, Australia			
Spt details construction intentions landscape or other community			
project			
EASTLAKES TOWN CENTRE - NORTH SITE Evans Avenue EastStakes SYDNEY NSW 2018			
Site			
Section 75W Application 8th Floor			
scale	1:200 @A1	first issued	02/05/2017
project code		sheet no.	
CGEN		S75W130008	03

For Approval

GENERAL NOTES
 ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
 ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
 DID NOT SCALE DRAWINGS.
 USE FINISHED DIMENSIONS ONLY.



Code	Item
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Facade, Type 01
ALF02	Aluminium Facade, Type 02
ALF03	Aluminium Facade, Type 03
BS01	Roofwater System, Type 01
BS02	Roofwater System, Type 02
CP01	Concrete Paver 6 Ply
FA01	Facade, Type 4 refer to wall type schedule for details on page A10002
FA02	Colour through compressed fibre cement concrete facade system
FA03	Fin-to-fin Aluminium Fin Type 01
FA04	Facade Aluminium Fin Type 02
FA05	Facade Aluminium Fin Type 03
FA06	Facade Aluminium Fin Type 04
GL01	Glass Reinforced Concrete, Type 01
FM01	Flooring, Type 01
FM02	Flooring, Type 02
FM03	Flooring, Type 03
PS01	Plant System (Element), Type 01
PS02	Plant System (Element), Type 02
PS03	Plant System (Element), Type 03
PS04	Plant System (Element), Type 04
PS05	Plant System (Element), Type 05
RF01	Raised Floor, Type 2
TC01	Terrazzo, Type 01
TR01	Tendon, Type 01
TR02	Tendon, Type 02

Apartment Type	Code	Apartment Type
1B	1 Bed	
1B-1A	1 Bed + Study	
1B-1S	1 Bed + Study	
2B	2 Bed	
2B-1A	2 Bed + Study	
2B-1S	2 Bed + Study	
3B	3 Bed	
3B-1A	3 Bed + Study	
3B-1S	3 Bed + Study	
4B	4 Bed	
4B-1A	4 Bed + Study	
4B-1S	4 Bed + Study	



Planning, Industry & Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 4 Granted on 18 June 2020

In respect to MP.09_0146

Signed..... *JF*

Sheet No. 32 of 136

Rev	Date	Name	ID	Description	By	CHK
04	21/02/20	ETW Submission				08
03	18/01/19	ETW Landed				08
		Project 4079				

client
 Crown Group
 L20, 1 Market Street, Sydney, NSW, Australia

project
EASTLAKES TOWN CENTRE - NORTH SITE
 Evans Avenue Eastlakes
 SYDNEY NSW 2018

title
Section 75W Application
Roof

scale 1:200 @A1 sheet no. 02/05/2017
 project code CGEN sheet no. S75W130009 revision 04

For Approval

NSW GOVERNMENT

Planning, Industry & Environment

ISSUED UNDER THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

Approved Section 75W Modification Application

No. 4 Granted on 18 June 2020

In respect to MP 09_0146

Signed JF

Sheet No. 37 of 136



GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DIMENSIONS.
- USE FINISHED DIMENSIONS ONLY.

Legend

Code	Item
ACM1	Aluminium Beams, Type 01
ALP01	Aluminium Panels, Type 01
ALP02	Aluminium Panels, Type 02
ALP03	Aluminium Panels, Type 03
ALP04	Aluminium Panels, Type 04
BS01	Brickwork System, Type 01
BS02	Brickwork System, Type 02
CMF	Concrete Render & Paint
FCM	Facade Type # refer to wall type schedule for details on pages 41-10003
FC01	Colour through composite stone cement rain screen facade system
FM01	Facade Aluminium Fin Type 01
FM02	Facade Aluminium Fin Type 02
FM03	Facade Aluminium Fin Type 03
FM04	Facade Aluminium Fin Type 04
GM01	Glass Reinforced Concrete, Type 01
FM01	Finning, Type 01
FM02	Finning, Type 02
FM04	Finning, Type 04
FS01	Finest System (Element 1), Type 01
FS02	Finest System (Element 1), Type 02
FS03	Finest System (Element 1), Type 03
FS04	Finest System (Element 1), Type 04
FS05	Finest System (Element 1), Type 05
FS06	Finest System (Element 1), Type 06
FS07	Finest System (Element 1), Type 07
TC01	Tenacity, Type 01
TM01	Timber, Type 01
FM02	Timber, Type 02

01 ELEVATION South (MOD1 Approved)



NOTE: APPROVED MOD1 NORTH ELEVATION WAS A GRAPHIC COMBINATION OF PREVIOUSLY APPROVED ELEVATION DOCUMENTATION BY PREVIOUS ARCHITECT.

THE APPROVED DOCUMENTATION CONTAINED MINOR ERRORS IN HOW ELEVATIONS WERE ALIGNED TO THE MODEL WHICH CAUSED DIFFERENCES BETWEEN THE FJMT DOCUMENTATION AND THE APPROVED.

THE PROPOSED ELEVATION HAS CORRECTED THOSE ERRORS.

THERE IS NO CHANGE TO THE PLAN AREA SCOPE OF THE MOD1 APPROVED ENVELOPES FOR BUILDINGS 1, 1A AND 1B.

02 ELEVATION South (Proposed) 1:200

fjmt

EASTLAKES TOWN CENTRE - NORTH SITE

Evans Avenue Eastlakes SYDNEY NSW 2018

Section 75W Application Elevation South

Scale: Not to Scale

Project code: CGEN 575W130014

Date issued: 02/05/2017

Revision: 06

For Approval

NSW GOVERNMENT

Planning, Industry & Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 4 Granted on 18 June 2020

In respect to MP 09 0146

Signed *JH*

Sheet No. 39 of 136

PROPOSED ILLUMINATED PYLON SIGN - UNCHANGED LOCATION AND HEIGHT FROM PREVIOUSLY APPROVED DA



01 ELEVATION West (MOD1 Approved)



02 ELEVATION West (Proposed) 1:200

GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND CORRECTED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DIMENSIONS.
- USE FINISHED DIMENSIONS ONLY.

Legend

Code	Item
ALM01	Aluminium Blank, Type 01
ALP01	Aluminium Panel, Type 01
ALP02	Aluminium Panel, Type 02
ALP03	Aluminium Panel, Type 03
ALP04	Aluminium Panel, Type 04
BS01	Brickwork System, Type 01
BS02	Brickwork System, Type 02
CON	Concrete Render & Paint
FAC-F	Facade Type F refer to wall type schedule for details on pages 41-10003
FC01	Colour through composite fibre cement rain screen facade system
FPA01	Facade Aluminium Foil Type 01
FPA02	Facade Aluminium Foil Type 02
FPA03	Facade Aluminium Foil Type 03
FPA04	Facade Aluminium Foil Type 04
GR01	Glass Reinforced Concrete, Type 01
FR01	Finning, Type 01
FR02	Finning, Type 02
FR03	Finning, Type 03
FR04	Finning, Type 04
FR05	Finning System (Element 1), Type 01
FR06	Finning System (Element 1), Type 02
FR07	Finning System (Element 1), Type 03
FR08	Finning System (Element 1), Type 04
FR09	Finning System (Element 1), Type 05
FR10	Finning System (Element 1), Type 06
FR11	Finning System (Element 1), Type 07
FR12	Finning System (Element 1), Type 08
FR13	Finning System (Element 1), Type 09
FR14	Finning System (Element 1), Type 10
FR15	Finning System (Element 1), Type 11
FR16	Finning System (Element 1), Type 12
FR17	Finning System (Element 1), Type 13
FR18	Finning System (Element 1), Type 14
FR19	Finning System (Element 1), Type 15
FR20	Finning System (Element 1), Type 16
FR21	Finning System (Element 1), Type 17
FR22	Finning System (Element 1), Type 18
FR23	Finning System (Element 1), Type 19
FR24	Finning System (Element 1), Type 20
FR25	Finning System (Element 1), Type 21
FR26	Finning System (Element 1), Type 22
FR27	Finning System (Element 1), Type 23
FR28	Finning System (Element 1), Type 24
FR29	Finning System (Element 1), Type 25
FR30	Finning System (Element 1), Type 26
FR31	Finning System (Element 1), Type 27
FR32	Finning System (Element 1), Type 28
FR33	Finning System (Element 1), Type 29
FR34	Finning System (Element 1), Type 30
FR35	Finning System (Element 1), Type 31
FR36	Finning System (Element 1), Type 32
FR37	Finning System (Element 1), Type 33
FR38	Finning System (Element 1), Type 34
FR39	Finning System (Element 1), Type 35
FR40	Finning System (Element 1), Type 36
FR41	Finning System (Element 1), Type 37
FR42	Finning System (Element 1), Type 38
FR43	Finning System (Element 1), Type 39
FR44	Finning System (Element 1), Type 40
FR45	Finning System (Element 1), Type 41
FR46	Finning System (Element 1), Type 42
FR47	Finning System (Element 1), Type 43
FR48	Finning System (Element 1), Type 44
FR49	Finning System (Element 1), Type 45
FR50	Finning System (Element 1), Type 46
FR51	Finning System (Element 1), Type 47
FR52	Finning System (Element 1), Type 48
FR53	Finning System (Element 1), Type 49
FR54	Finning System (Element 1), Type 50
FR55	Finning System (Element 1), Type 51
FR56	Finning System (Element 1), Type 52
FR57	Finning System (Element 1), Type 53
FR58	Finning System (Element 1), Type 54
FR59	Finning System (Element 1), Type 55
FR60	Finning System (Element 1), Type 56
FR61	Finning System (Element 1), Type 57
FR62	Finning System (Element 1), Type 58
FR63	Finning System (Element 1), Type 59
FR64	Finning System (Element 1), Type 60
FR65	Finning System (Element 1), Type 61
FR66	Finning System (Element 1), Type 62
FR67	Finning System (Element 1), Type 63
FR68	Finning System (Element 1), Type 64
FR69	Finning System (Element 1), Type 65
FR70	Finning System (Element 1), Type 66
FR71	Finning System (Element 1), Type 67
FR72	Finning System (Element 1), Type 68
FR73	Finning System (Element 1), Type 69
FR74	Finning System (Element 1), Type 70
FR75	Finning System (Element 1), Type 71
FR76	Finning System (Element 1), Type 72
FR77	Finning System (Element 1), Type 73
FR78	Finning System (Element 1), Type 74
FR79	Finning System (Element 1), Type 75
FR80	Finning System (Element 1), Type 76
FR81	Finning System (Element 1), Type 77
FR82	Finning System (Element 1), Type 78
FR83	Finning System (Element 1), Type 79
FR84	Finning System (Element 1), Type 80
FR85	Finning System (Element 1), Type 81
FR86	Finning System (Element 1), Type 82
FR87	Finning System (Element 1), Type 83
FR88	Finning System (Element 1), Type 84
FR89	Finning System (Element 1), Type 85
FR90	Finning System (Element 1), Type 86
FR91	Finning System (Element 1), Type 87
FR92	Finning System (Element 1), Type 88
FR93	Finning System (Element 1), Type 89
FR94	Finning System (Element 1), Type 90
FR95	Finning System (Element 1), Type 91
FR96	Finning System (Element 1), Type 92
FR97	Finning System (Element 1), Type 93
FR98	Finning System (Element 1), Type 94
FR99	Finning System (Element 1), Type 95
FR100	Finning System (Element 1), Type 96
FR101	Finning System (Element 1), Type 97
FR102	Finning System (Element 1), Type 98
FR103	Finning System (Element 1), Type 99
FR104	Finning System (Element 1), Type 100

NOTE:
APPROVED MOD1 NORTH ELEVATION WAS A GRAPHIC COMBINATION OF PREVIOUSLY APPROVED ELEVATION DOCUMENTATION BY PREVIOUS ARCHITECT.

THE APPROVED DOCUMENTATION CONTAINED MINOR ERRORS IN HOW ELEVATIONS WERE ALIGNED TO THE MODEL WHICH CAUSED DIFFERENCES BETWEEN THE FJMT DOCUMENTATION AND THE APPROVED.

THE PROPOSED ELEVATION HAS CORRECTED THOSE ERRORS.

THERE IS NO CHANGE TO THE PLAN AREA SCOPE OF THE MOD1 APPROVED ENVELOPES FOR BUILDINGS 1, 1A AND 1B.

Rev	date	name	id	description	by	date
01	21/12/20	J. H. Sullivan	01			
02	16/12/20	DAVID T. STONE	02	Revised DA		
03	16/12/20	DAVID T. STONE	03	Revised DA		
04	16/12/20	DAVID T. STONE	04	Revised DA		

client
Crown Group
L29, 1 Market Street, Sydney, NSW, Australia

prepared by
Eastlakes Architecture
Level 7, 24 King Street #102-107, Sydney NSW

project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

drawn by
Section 75W Application
Elevation West

scale
Not to Scale

sheet no.
02/05/2017

project code
CGEN

sheet no.
S75W130016

revision
06

GENERAL NOTES
 ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
 ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
 DO NOT SCALE DIMENSIONS.
 USE FINISHED DIMENSIONS ONLY.



01 ELEVATION East
1:200



Planning, Industry & Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 4 Granted on 18 June 2020

In respect to MP_09_0146

Signed *JF*

Sheet No. 40 of 136



02 ELEVATION North
1:200

NO.	DATE	DESCRIPTION	BY
01	21/12/20	1/198 Submission	SM
02	16/12/20	09/171 07/20	SM
03	16/12/20	09/171 07/20	SM
04	16/12/20	09/171 07/20	SM

www.jfm.com.au

Client: Crown Group
 L29, 1 Market Street, Sydney, NSW, Australia

Project: EASTLAKES TOWN CENTRE - NORTH SITE
 Evans Avenue EastStakes
 SYDNEY NSW 2018

Sheet: Section 75W Application Elevations

Scale: Not to Scale
 Project Code: CGEN
 Sheet No: S75W130017
 Date Issued: 02/05/2017
 Revision: 06



GENERAL NOTES
 ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND WORKED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
 ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
 DO NOT SCALE DIMENSIONS.
 USE FINISHED DIMENSIONS ONLY.



01 ELEVATION West
 1:200

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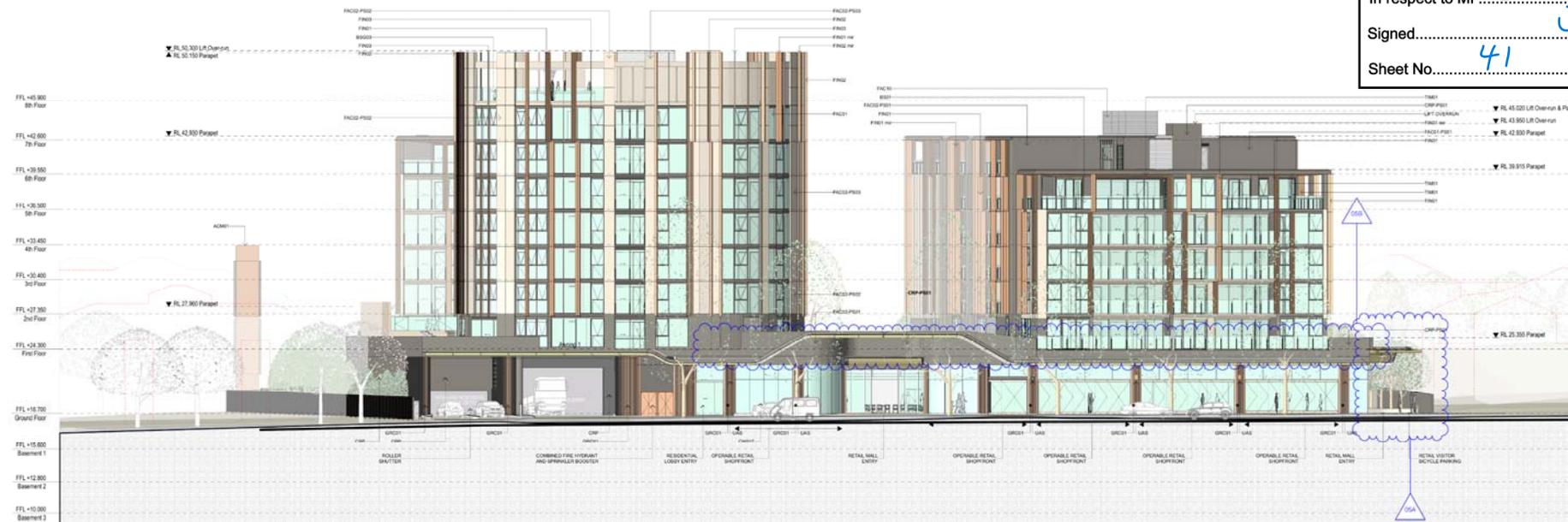
Approved Section 75W Modification Application

No. 4 Granted on 18 June 2020

In respect to MP_09_0146

Signed JH

Sheet No. 41 of 136



02 ELEVATION South
 1:200

Code	Item
ALF01	Aluminium Panels, Type 01
ALF02	Aluminium Panels, Type 02
ALF03	Aluminium Panels, Type 03
ALF04	Aluminium Panels, Type 04
BS01	Brickwork System, Type 01
BS02	Brickwork System, Type 02
CMP	Concrete Render & Floor
FINC4	Facade Type 4 refer to wall type schedule for details on code A10003
FINC5	Colour through compressed fibre cement rain screen facade system
FIN01	Facade Aluminium Fin Type 01
FIN02	Facade Aluminium Fin Type 02
FIN03	Facade Aluminium Fin Type 03
FIN04	Facade Aluminium Fin Type 04
GR01	Glass Reinforced Concrete, Type 01
FIN01	Finning Type 01
FIN02	Finning Type 02
FIN04	Finning Type 04
PS01	Plant System (Submittal) Type 01
PS02	Plant System (Submittal) Type 02
PS03	Plant System (Submittal) Type 03
PS04	Plant System (Submittal) Type 04
PS05	Plant System (Submittal) Type 05
RF01	Reinforced Finish, Type 1
TC01	Terrazzo, Type 01
TR01	Timber, Type 01
TR02	Timber, Type 02

FFL +45,900 8th Floor
 FFL +42,600 7th Floor
 FFL +39,300 6th Floor
 FFL +36,000 5th Floor
 FFL +32,700 4th Floor
 FFL +30,400 3rd Floor
 FFL +27,100 2nd Floor
 FFL +24,300 1st Floor
 FFL +18,700 Ground Floor
 FFL +15,600 Basement 1
 FFL +12,800 Basement 2
 FFL +10,000 Basement 3

FFL +45,900 8th Floor
 FFL +42,600 7th Floor
 FFL +39,300 6th Floor
 FFL +36,000 5th Floor
 FFL +32,700 4th Floor
 FFL +30,400 3rd Floor
 FFL +27,100 2nd Floor
 FFL +24,300 1st Floor
 FFL +18,700 Ground Floor
 FFL +15,600 Basement 1
 FFL +12,800 Basement 2
 FFL +10,000 Basement 3

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 FINC4
 FINC5
 FIN01
 FIN02
 FIN03
 FIN04
 GR01
 PS01
 PS02
 PS03
 PS04
 PS05
 RF01
 TC01
 TR01
 TR02

RL 45,000 L/R Overlap & Plinth
 RL 43,750 L/R Overlap
 RL 42,900 Parapet
 RL 39,300 Parapet
 RL 38,310 Parapet
 RL 36,500 Parapet
 RL 33,450 Parapet
 RL 30,400 Parapet
 RL 27,350 Parapet
 RL 24,300 Parapet
 RL 18,700 L/R Overlap & Plinth
 RL 15,100 Parapet

RL 45,000 L/R Overlap & Plinth
 RL 43,750 L/R Overlap
 RL 42,900 Parapet
 RL 39,300 Parapet
 RL 38,310 Parapet
 RL 36,500 Parapet
 RL 33,450 Parapet
 RL 30,400 Parapet
 RL 27,350 Parapet
 RL 24,300 Parapet
 RL 18,700 L/R Overlap & Plinth
 RL 15,100 Parapet

GARDENERS ROAD
 RACECOURSE PLACE
 EVANS AVENUE

Crown Group
 L29, 1 Market Street, Sydney, NSW, Australia

fjmt

Section 75W Application Elevations

scale: Not to Scale
 sheet no.: 02/05/2017
 project code: GGEN S75W130018
 revision: 06



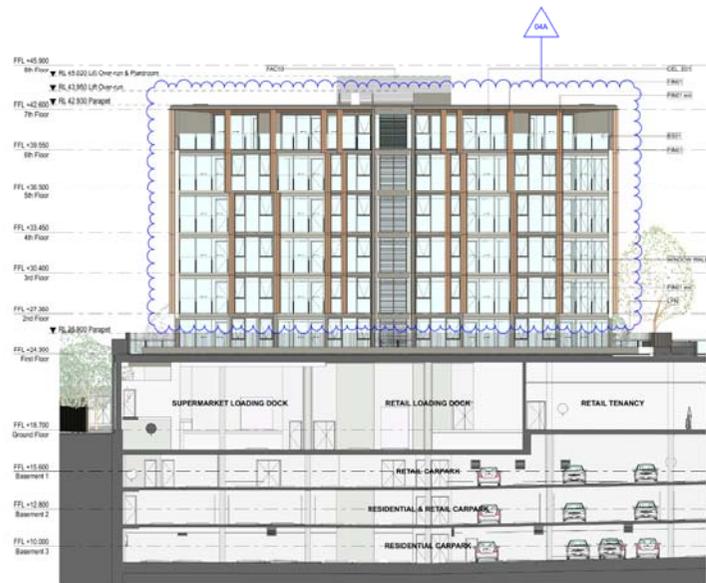
01 ELEVATION Podium East Building 1 & 1B
1:200



02 ELEVATION Podium North Building 1B
1:200

GENERAL NOTES
ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND WORKED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
DO NOT SCALE DIMENSIONS.
USE FINISHED DIMENSIONS ONLY.

Legend	Code	Item
	ALF01	Aluminium Finish, Type 01
	ALF02	Aluminium Finish, Type 02
	ALF03	Aluminium Finish, Type 03
	BS01	Brickwork System, Type 01
	BS02	Brickwork System, Type 02
	CRP	Concrete Render & Paint
	ENC4	Facade, Type 4 refer to wall base schedule for details on sub A10003
	INC01	Colour through compressed fibre cement rain screen facade system
	FR01	Facade Aluminium Fin Type 01
	FR02	Facade Aluminium Fin Type 02
	FR03	Facade Aluminium Fin Type 03
	FR04	Facade Aluminium Fin Type 04
	GR01	Glass Muntinbar Concrete, Type 01
	FR01	Framing, Type 01
	FR02	Framing, Type 02
	FR03	Framing, Type 03
	FR04	Framing, Type 04
	FR05	Framing System Element 1, Type 01
	FR06	Framing System Element 1, Type 02
	FR07	Framing System Element 1, Type 03
	FR08	Framing System Element 1, Type 04
	FR09	Framing System Element 1, Type 05
	FR10	Framing System Element 1, Type 06
	FR11	Window Frame, Type 01
	FR12	Window Frame, Type 02
	FR13	Window Frame, Type 03
	FR14	Window Frame, Type 04
	FR15	Window Frame, Type 05
	FR16	Window Frame, Type 06



03 ELEVATION Podium South Building 1
1:200



04 ELEVATION Podium West Building 1A
1:200

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In respect to MP 09 0146

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Sheet No. 42 of 136

Rev	Date	Name	Description	By	CHK
01	21/12/20	ETW/Sullivan	Issue		
02	16/12/16	ETW/Sullivan	Issue		

Client: Crown Group
L29, 1 Market Street, Sydney, NSW, Australia

Project: EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

Scale: Not to Scale
Sheet no.: 02/05/2017
Project code: S75W130019
Revision: 05

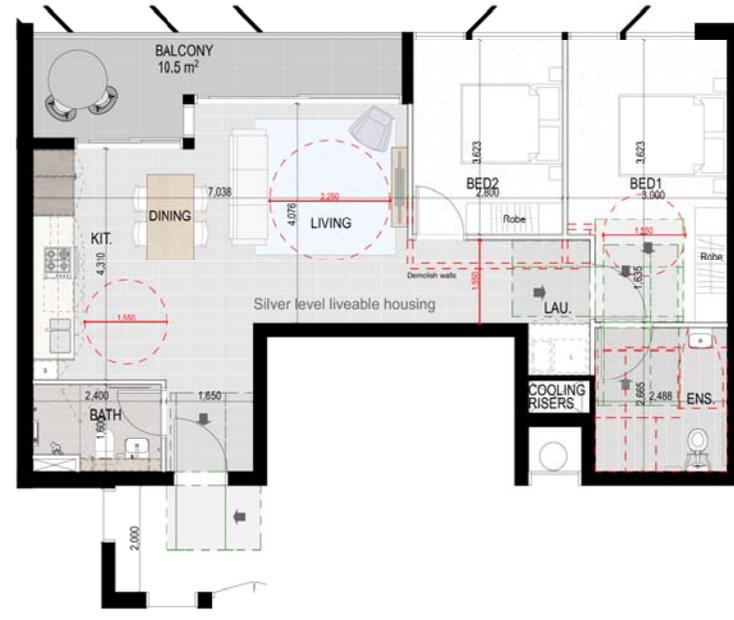
For Approval

ADAPTABLE APARTMENTS:

- NS-1B-202
- NS-1B-302
- NS-1B-402
- NS-1B-502
- NS-1B-602
- NS-1B-702



Pre Adaptable Level 2-7
1:50



Post Adaptable Level 2-7
1:50



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No. 4 Granted on..... 18 June 2020

In respect to MP..... 09_0146

Signed..... *JH*

Sheet No..... *43* of..... *136*

GENERAL NOTES
 ALL DIMENSIONS AND DISTANCE CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
 ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
 DON'T SCALE DRAWINGS.
 * USE FIGURED DIMENSIONS ONLY.

Code	Item
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Rebar/Steel System, Type 01
BS02	Rebar/Steel System, Type 02
CON	Concrete Slab/Beam/Plant
FR01	Facade, Type 1 refer to wall type schedule for details on slab A1-0003
FR02	Colour through compressed fibre cement vapour proof facade system
FR03	Facade Aluminium Fin Type 01
FR04	Facade Aluminium Fin Type 02
FR05	Facade Aluminium Fin Type 03
FR06	Facade Aluminium Fin Type 04
GR01	Glass Reinforced Concrete, Type 01
FR07	Flooring Type 01
FR08	Flooring Type 02
FR09	Flooring Type 03
FR10	Flooring Type 04
FR11	Floor System Element 1, Type 01
FR12	Floor System Element 1, Type 02
FR13	Floor System Element 1, Type 03
FR14	Floor System Element 1, Type 04
FR15	Floor System Element 1, Type 05
FR16	Reinforced Floor, Type 2
FR17	Terrazzo, Type 01
FR18	Terrazzo, Type 02
FR19	Terrazzo, Type 03

Rev	Date	Name	Description	By	CHK
01	21/02/20	S75W Submission			SB
02	18/06/20	2020 Update			SB
		Project ACP/E			

Client:
Crown Group
L20, 1 Market Street, Sydney, NSW, Australia

fjmt
 Eastlakes Town Centre - North Site
 Evans Avenue Eastlakes
 SYDNEY NSW 2018

Scale	Plot to Scale	Sheet No.	Issue Date
CGEN	S75W130022	06	02/05/2017

For Approval

CROWN EASTLAKES SOUTH

LANDSCAPE DEVELOPMENT APPLICATION

DWG	DRAWING TITLE	SCALE
00	COVER SHEET AND MATERIAL SCHEDULE	N/A
01	DESIGN PRECEDENTS	N/A
02	DESIGN INSPIRATION	N/A
03	GROUND FLOOR	1:250@A0
04	GROUND FLOOR AND EAT STREET	1:250@A0
05	LEVEL 1 LOWER PODIUM	1:200@A0
06	LEVEL 1 COMMUNAL LANDSCAPE AREA	1:200@A0
07	LEVEL 1 KIDS PLAY AREA, GREEN WALL, COMMUNAL BBQ AND SHELTER	1:200@A0
08	LEVEL 2 UPPER PODIUM	1:200@A0
09	LEVEL 2 SWIMMING POOL AREA AND OCULI	1:200@A0
10	LEVEL 2 RESIDENT TERRACES	1:200@A0
11	LEVEL 5 RESIDENT TERRACES	1:200@A0
12	LEVEL 7 RESIDENT TERRACES	1:200@A0
13	LEVEL 8 RESIDENT TERRACES	1:200@A0
14	LEVEL 9 RESIDENT TERRACES	1:200@A0
15	SECTIONS	1:100@A0
16	LEVEL 1 LOWER PODIUM PLANTING PLAN 1/2	1:100@A0
17	LEVEL 1 LOWER PODIUM PLANTING PLAN 2/2	1:100@A0
18	LEVEL 2 UPPER PODIUM PLANTING PLAN 1/2	1:100@A0
19	LEVEL 2 UPPER PODIUM PLANTING PLAN 2/2	1:100@A0
20	LEVEL 5 PLANTING PLAN	1:100@A0
21	LEVEL 7 PLANTING PLAN	1:100@A0
22	LEVEL 8 PLANTING PLAN	1:100@A0
23	LEVEL 9 PLANTING PLAN	1:100@A0
24	PLANTING CHARACTER	N/A
25	TYPICAL PLANTING SPECIES	N/A
26	PLANTING SCHEDULE	N/A
27	LEVEL 1 LOWER PODIUM MATERIALS PLAN	1:200@A0
28	LEVEL 2 UPPER PODIUM MATERIALS PLAN	1:200@A0
29	LEVEL 1 LOWER PODIUM GROWING MEDIA DEPTH PLAN	1:200@A0
30	LEVEL 2 UPPER PODIUM GROWING MEDIA DEPTH PLAN	1:200@A0
31	LEVEL 5 & 7 GROWING MEDIA DEPTH PLANS	1:200@A0
32	LEVEL 8 & 9 GROWING MEDIA DEPTH PLANS	1:200@A0
33	TYPICAL DETAILS	AS SHOWN
34	TYPICAL DETAILS	AS SHOWN
35	TYPICAL DETAILS	AS SHOWN



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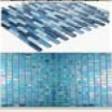
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Sheet No. 44 of 136

CODE	DESCRIPTION	ELEMENT	IMAGE	COLOR	SIZE	DETAIL	SUPPLIER	CONTACT	Dist
MATERIALS SCHEDULE									
Project: Crown Eastlake South Revision and Date: D 03.01.2018 Issue: FOR DRPP									
PAVING AND FINISHES									
TD	Timber decking	Timber Deck		CARIBBEAN (with graining colour variation)	138(W) X 23(H) X 2800(L) / 4800(L) MM HOLLOW	Outdoor 138Wx23Hx2800L Resort Deck Outdoor quickbuild twist Outdoor 90° Bracket 3-14 Quickbuild post 45mm Quickbuild Joist Quickbuild deck jack Quickbuild joist 45x45 Quickbuild joist 90x45	Outdoor	02 9098 8250	33 4
P1	Stone Paving	Feature paving		Honey Sand Honey Jasper	600x450mm	Surface Gallery Honey Sand Pavers 600x450mm ; Nustone Honey Jasper Pavers banding 600x450mm	Surface Gallery	info@surfacegallery.com.au	33 3
P2	Stone Paving	Feature paving		Honey Sand Honey Jasper	600x450mm	Nustone Honey Jasper Pavers 600x450mm ; Surface Gallery Honey Sand Pavers banding 600x450mm	NUSTONE	wilm@accenet.com.au	33 3
CO	In-situ off form concrete Class 2	Concrete walls							
M1	Mosaic tile type 1	Planters with water features		Slack grey or cream/marble/gi	20x20mm or 30x30mm	Slack Grey Tumbled 20x20mm Surface Gallery ; Marble Mosaic Mix NSB 11086	Surfacegallery ; Colortile		33 34 3
M2	Mosaic tile type 2	Water features		Glass blue					34 3
STRUCTURE									
TB	Timber benches on L1 and L2	Timber benches		CARIBBEAN (with graining colour variation)					33 3
PS	Pergola structure	Pergolas on L1 and L2		Jule Colourbond painted steel frames ; Blackbutt knobwood seams and rafters					35 4

project: Crown, Eastlake South
client: Crown Group
date: 03.01.2018
revision: D for DRPP
drawn: SV
checked: JH



Design Notes

- 1 Flagstone grey paving to footpath to council's requirement
- 2 Entry to carpark
- 3 Street trees to council's guidelines
- 4 Green wall/public art to address public benefit
- 5 Outdoor seating area and stairs to public park
- 6 Lush planting to raised planter box to boundary
- 7 Trees to be retained
- 8 Natural light from oculi above
- 9 15 x 400L Tristaniopsis laurina on Barber Ave
- 10 3 x 400L Platanus acerifolia on Evans Ave
- 11 3 x 200L Elaeocarpus eumundi on Evans Ave
- 12 8 x Town & Park metro flat bench seat 2017(L) x 434(W) x 448(H)
- 13 Emerdyn 240L SS enclosure with hood EM224-SSHP 240L

EATERY ALLEY

NATURAL LIGHT FROM OCULI ABOVE



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Sheet No.....*45*..... of*136*.....

GROUND FLOOR



SCALE 1:500 @ A4

LEGEND

SITE BOUNDARY	TW 21.0 TOP OF WALL LEVEL	20.000 TOP OF SLAB LEVEL	PROPOSED TREE	PROPOSED PTPM PALM PLANTERS	PROPOSED GROUNDCOVERS
EXISTING TREE PLANTER	M.S. EXISTING CONTOUR	M.S. PROPOSED NEW CONTOUR	E.L. 10.00 EXISTING SPOT LEVEL	P.L. 20.0 PROPOSED SPOT LEVEL	CENTRAL OPEN TURF AREA
PROPOSED TREE	PROPOSED IN PLANTER				

PROJECT: Crown, Eastlakes South
 CLIENT: Crown Group
 DATE: 11.10.2019
 REVISION: D to DRPP
 DRAWN: AK
 CHECKED: JH
 ISSUE: REVISED SUBMISSION

TaylorBrammer
 TAYLORBRAMMER LANDSCAPE ARCHITECTS PTY LTD
 2/150 New Street, Sydney NSW 2000 Australia
 T: +61 (0)2 9550 8888



Design Notes

- 1 Feature paving area
- 2 Natural light from oculi above
- 3 Green wall/public art to address public benefit
- 4 Pendant lightings features
- 5 Trailing plants from Level 1 above
- 6 Escalator from underground parking
- 7 Trees to provide shade from afternoon sun and windbreak



Glazed oculi with views to green wall around



Trailing plants



Feature pendant lights above eat street



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GROUND FLOOR, EAT STREET AND OCULI

LEGEND

- SITE BOUNDARY
- EXISTING TREE RETAINED
- PROPOSED TREE
- PROPOSED FERN/PALM PLANTINGS
- PROPOSED TREE CANOPY
- EX 19.28 EXISTING SPOT LEVEL
- RL 20.0 PROPOSED SPOT LEVEL
- 18.0 EXISTING CONTOUR
- 18.0 PROPOSED NEW CONTOUR
- PROPOSED CIRCULAR CONCRETE
- PROPOSED CENTRAL OPEN TURF AREA



PROJECT: Crown, Eastlakes South
 CLIENT: Crown Group
 DATE: 11-10-2019
 REVISION: D to DRPP
 DRAWN: AK
 CHECKED: JH
 ISSUE: REVISED SUBMISSION

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**LEVEL 1 COMMUNAL
LANDSCAPE AREA**



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**KIDS PLAY AREA,
GREENWALL,
COMMUNAL BBQ AND
SHELTER**

LEVEL 1 UPPER PODIUM



SITE BOUNDARY	TW 21.0 TOP OF WALL LEVEL	PROPOSED TREE	PROPOSED FERN/ PALM PLANTINGS	PROPOSED GROUNDCOVERS	PROPOSED SOFTBALL TO PLAY AREA	PROPOSED TIMBER DECK
EXISTING TREE RETAINED	SL 24.00 TOP OF SLAB LEVEL	EXISTING SPOT LEVEL	PROPOSED SHRUBS	CENTRAL OPEN TURF AREA	PROPOSED WATER FEATURE	PLAY EQUIPMENT
EXISTING CONTOUR	RL 20.0 EXISTING CONTOUR	PROPOSED SPOT LEVEL				
PROPOSED NEW CONTOUR	RL 18.5 PROPOSED NEW CONTOUR					

PROJECT: Crown, Eastlakes South
 CLIENT: Crown Group
 DATE: 08/10/2019
 REVISION: C to DPPP
 DRAWN: SV
 CHECKED: JH

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 TAYLORBRAMMER LANDSCAPE ARCHITECTS PTY LTD
 2/111 St Johns Road, Eastlakes NSW 1585 Australia
 T: +61 (0)2 9551 9888

Design Notes

- 1 Feature paving area
- 2 Feature palms in pots to water feature to frame view from residents terraces
- 3 Combination of deciduous and evergreen planting to provide seasonal interest
- 4 Lush planting to raised planter walls
- 5 Pavilion
- 6 Trailing plants above eat street
- 7 Hedge to 1.5-3m and screening trees as wind break



Lush planting to provide screening to residents balconies



Trailing plants above eat street



Water features along balconies

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LEVEL 1 COMMUNAL LANDSCAPE AREA

Design Notes

- 1 Feature paving area
- 2 Timber deck and seating areas adjacent children's play
- 3 Feature palms in pots to water feature to frame view from residents terraces
- 4 Communal timber seating
- 5 Combination of deciduous and evergreen planting to provide seasonal interest
- 6 Communal children play area
- 7 Hedge to 2-3m and screening trees as wind break
- 8 Pergola structure
- 9 Large specimen tree
- 10 Timber pergola of level 2 to form portal over steps from level 1 to 2



Communal seating



Kids' play area



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Sheet No. 49 of 136

LEVEL 1 KIDS PLAY AREA, GREEN WALL, COMMUNAL BBQ AND SHELTER



LEGEND

- SITE BOUNDARY
- EXISTING TREE RETAINED
- PROPOSED TREE
- EXISTING SPOT LEVEL
- PROPOSED SPOT LEVEL
- PROPOSED FERN/PALM PLANTINGS
- PROPOSED SHRUBS
- PROPOSED GROUNDCOVERS
- CENTRAL OPEN TURF AREA
- PROPOSED SOFTFALL TO PLAY AREA
- PROPOSED WATER FEATURE
- PROPOSED TIMBER DECK
- PLAY EQUIPMENT

PROJECT: Owen, Eastlakes South
CLIENT: Owen Group
DATE: 08/10/2019
REVISION: C to DPPP
DRAWN: JY
CHECKED: JH

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COMMUNAL TERRACES

COMMUNAL + RESIDENT TERRACES

SWIMMING POOL, RESIDENT SEATING AREA OUTSIDE LIBRARY AND OCULI

NSW GOVERNMENT | **Planning, Industry & Environment**

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- SITE BOUNDARY
- EXISTING TREE RETAINED
- TW 21.0 TOP OF WALL LEVEL
- SL 24.00 TOP OF SLAB LEVEL
- EX 18.25 EXISTING SPOT LEVEL
- RL 20.0 PROPOSED SPOT LEVEL
- 20.0 EXISTING CONTOUR
- 18.5 PROPOSED NEW CONTOUR
- PROPOSED TREE
- PROPOSED FERN PALM PLANTINGS
- PROPOSED SHRUBS
- PROPOSED GROUNDCOVERS
- CENTRAL OPEN TURF AREA
- PROPOSED TIMBER DECK
- PROPOSED WATER FEATURE

PROJECT: Crown, Eastlake South
CLIENT: Crown Group
DATE: 06/10/2019
REVISION: C for DRPP
DRAWN: SY
CHECKED: JH

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 10/100 Green Street, Sydney NSW 1585
 Tel: (02) 9550 1000
 www.taylorbrammer.com.au



Design Notes

- 1 Feature paving area
- 2 Pool-side leisure deck and BBQ area
- 3 Feature palms in pots to water feature to frame view from residents terraces
- 4 Planting buffer/screening to private balconies
- 5 Combination of deciduous and evergreen planting to provide seasonal interest
- 6 Water feature outside oculi
- 7 Water cascade down graded landscape
- 8 Timber pergola to form portal over steps from level 1 to 2
- 9 Turf mounding
- 10 Hedge to 2-3m as wind break
- 11 Large specimen tree
- 12 Pergola/shade structure above change rooms & amenities



Roof structure flowing with the design lines



Pool-side leisure deck and views



Glazed oculi



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SCALE 1:250 @ A0
0 2 4 8 12m



TW 21.0 TOP OF WALL LEVEL
SL 24.00 TOP OF SLAB LEVEL
20.0 EXISTING CONTOUR
10.5 PROPOSED NEW CONTOUR

PROPOSED TREE
EX 18.25 EXISTING SPOT LEVEL
RL 20.0 PROPOSED SPOT LEVEL

PROPOSED FERN PALM PLANTINGS
PROPOSED SHRUBS

PROPOSED GROUNDCOVERS
CENTRAL OPEN TURF AREA

PROPOSED TIMBER DECK
PROPOSED WATER FEATURE

PROJECT: Crown, Eastlakes South
CLIENT: Crown Group
DATE: 09/10/2019
REVISION: C to DFPF
DRAWN: SV
CHECKED: JH

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09

LEVEL 2 SWIMMING POOL AREA AND OCULI

Design Notes

- 1 Lush planting to provide privacy to private terraces
- 2 Communal relaxation lounges with sunrise/sunset views
- 3 Seating-wall linking areas through the landscape
- 4 Pergola/shade structure
- 5 Hedge to 2-3m and screening trees as wind break



Seating wall linking areas through landscape



Lush planting to private terraces to provide privacy



Private terraces with views



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Sheet No..... *52* of *136*



SCALE 1:250 @ A0
0 2 4 8 12m

- SITE BOUNDARY

— EXISTING TREE RETAINED
- TW 21.0 TOP OF WALL LEVEL
SL 24.00 TOP OF SLAB LEVEL

— 20.0 EXISTING CONTOUR
— 18.5 PROPOSED NEW CONTOUR
- EX 18.25 EXISTING SPOT LEVEL
— RL 20.0 PROPOSED SPOT LEVEL
- PROPOSED TREE

— PROPOSED FERN/ PALM PLANTINGS

— PROPOSED SHRUBS
- PROPOSED GROUNDCOVERS

— CENTRAL OPEN TURF AREA
- PROPOSED TIMBER DECK

— PROPOSED WATER FEATURE

LEVEL 2 RESIDENT TERRACES

PROJECT: Crown, Eastlake South
 CLIENT: Crown Group
 DATE: 06/10/2019
 REVISION: C to DRPP
 DRAWN: SY
 CHECKED: JH

TaylorBrammer
 TAYLORBRAMMER LANDSCAPE ARCHITECTS PTY LTD
 25/05/2019
 25/05/2019
 7/41 1366 2019



Design Notes

- 1 Residential terraces
- 2 Raised planters providing screening and amenity



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Sheet No. 53 of 136

LEVEL 5 RESIDENT TERRACES



SCALE 1:250 @ A0
0 2 4 8 12m



TW 21.0 TOP OF WALL LEVEL
SL 24.00 TOP OF SLAB LEVEL
18.5 EXISTING CONTOUR
18.5 PROPOSED NEW CONTOUR

PROPOSED TREE
EX 18.25 EXISTING SPOT LEVEL
RL 20.0 PROPOSED SPOT LEVEL

PROPOSED FERN/ PALM PLANTINGS
PROPOSED SHRUBS

PROPOSED GROUNDCOVERS
CENTRAL OPEN TURF AREA

PROPOSED TIMBER DECK
PROPOSED WATER FEATURE

PROJECT: Crown, Eastlakes South
CLIENT: Crown Group
DATE: 06/10/2019
REVISION: C for DRPP
DRAWN: SY
CHECKED: JH

TaylorBrammer
TAYLORBRAMMER LANDSCAPE ARCHITECTS PTY LTD
100/102 EAST LAKES ROAD, EAST LAKES NSW 1505
TEL: 02 9550 8888 FAX: 02 9550 8889



Design Notes

- ① Residential terraces
- ② Raised planters providing screening and amenity



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LEVEL 7 RESIDENT TERRACES



SCALE 1:250 @ A0
0 2 4 8 12m



TW 21.0 TOP OF WALL LEVEL
SL 24.00 TOP OF SLAB LEVEL
18.5 EXISTING CONTOUR
18.5 PROPOSED NEW CONTOUR



PROJECT: Crown, Eastlake South
CLIENT: Crown Group
DATE: 06/10/2019
REVISION: C for DRPP
DRAWN: SY
CHECKED: JH

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www.taylorbrammer.com.au



Design Notes

- ① Residential terraces
- ② Raised planters providing screening and amenity



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Sheet No. 55 of 136



SITE BOUNDARY	TOP OF WALL LEVEL	PROPOSED TREE	PROPOSED FERN/ PALM PLANTINGS	PROPOSED GROUNDCOVERS	PROPOSED TIMBER DECK
TOP OF SLAB LEVEL	EXISTING CONTOUR	EXISTING SPOT LEVEL	PROPOSED SHRUBS	CENTRAL OPEN TURF AREA	PROPOSED WATER FEATURE
PROPOSED NEW CONTOUR	PROPOSED SPOT LEVEL				

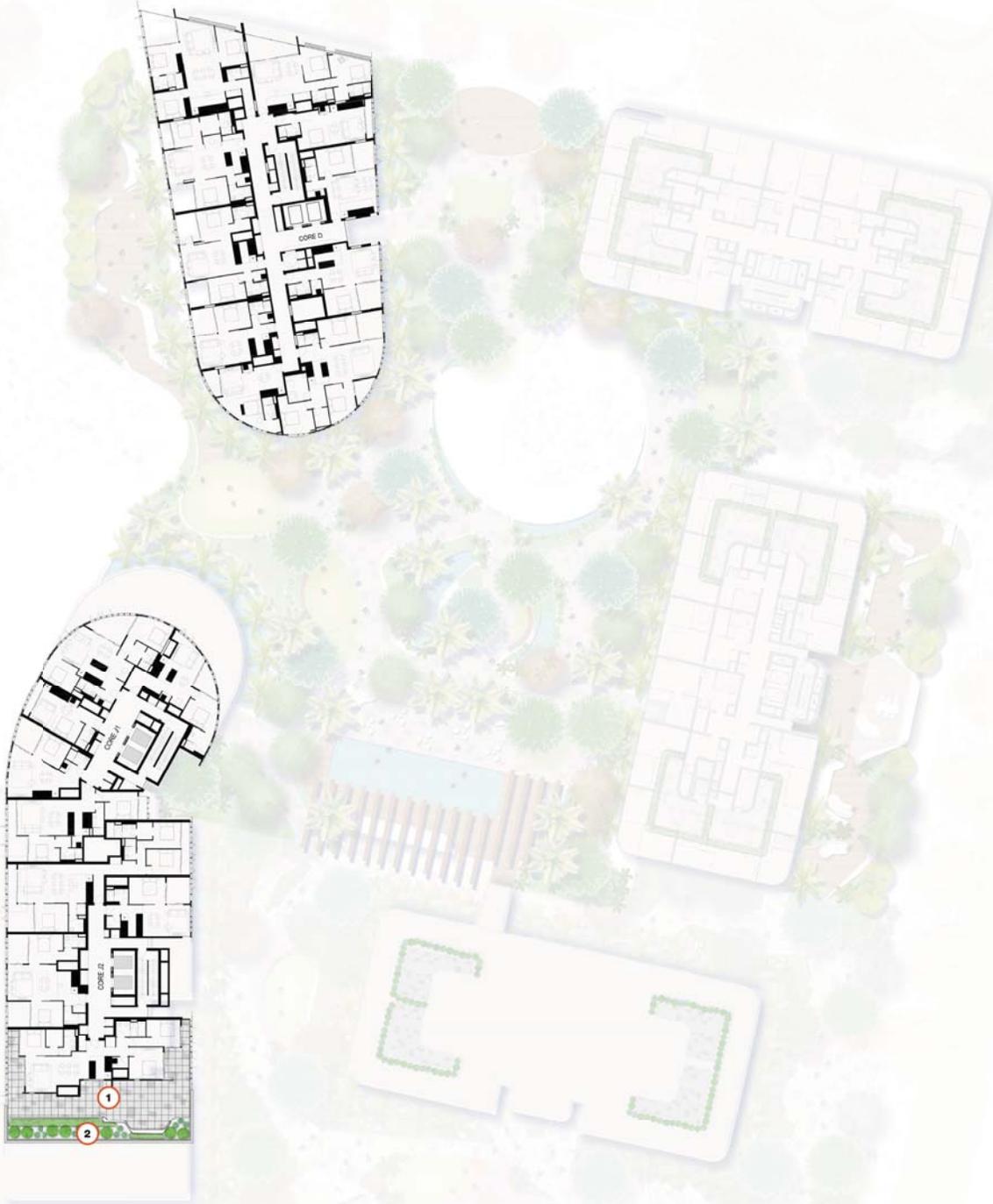
PROJECT: Crown, Eastlakes South
 CLIENT: Crown Group
 DATE: 06/10/2019
 REVISION: C for DRPP
 DRAWN: SY
 CHECKED: JH

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 25/26 Westmoreland Street, Sydney, NSW 1570
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 F: 61 2 9550 6601
 www.taylorbrammer.com.au

LEVEL 8 RESIDENT TERRACES

Design Notes

- ① Residential terraces
- ② Raised planters providing screening and amenity





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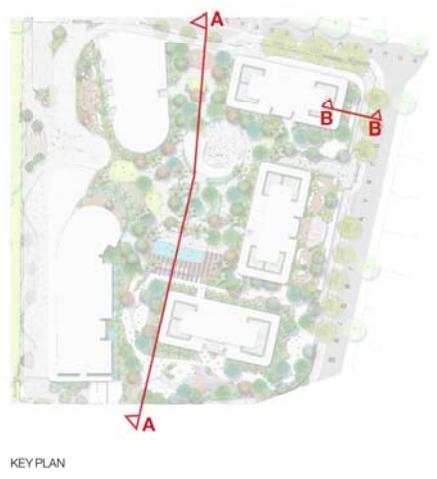
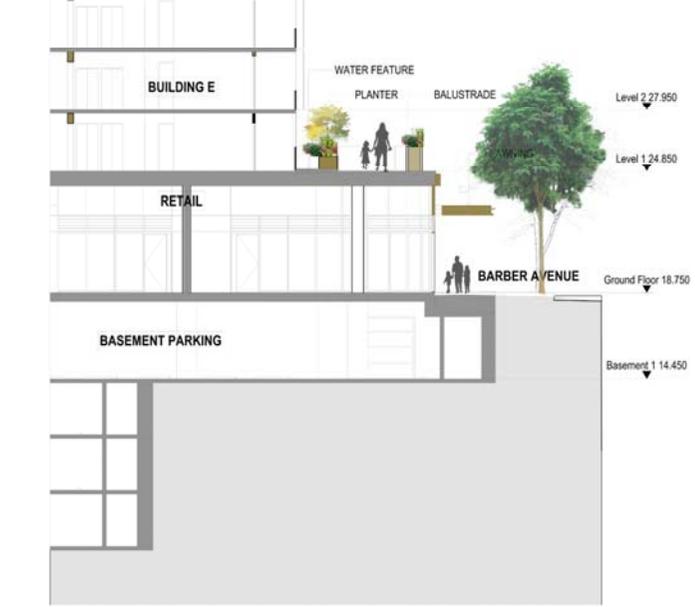
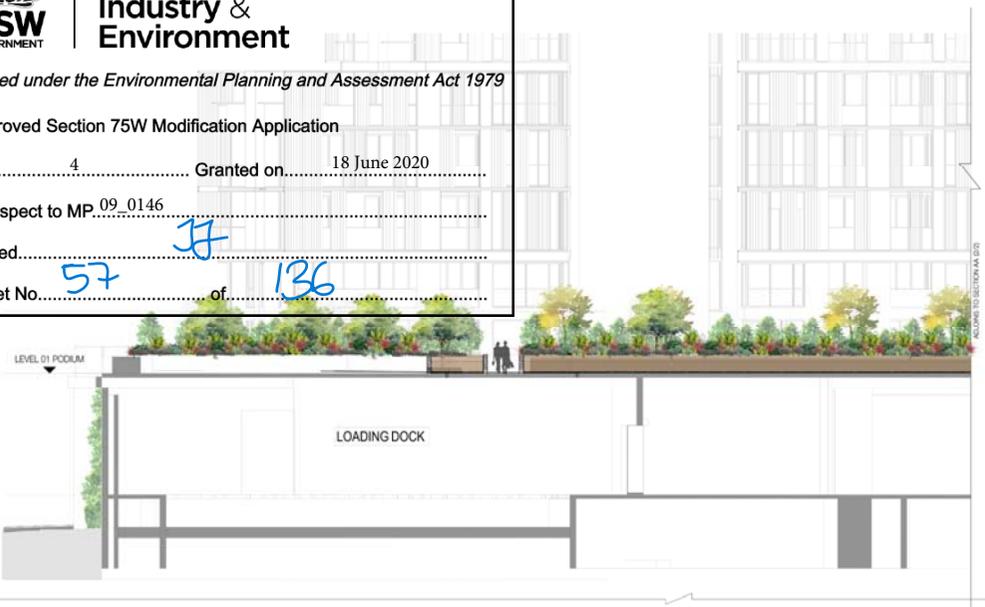
Sheet No..... 56..... of..... 136.....

LEVEL 9 RESIDENT TERRACES



PROJECT: Crown, Eastlakes South
 CLIENT: Crown Group
 DATE: 06/10/2019
 REVISION: C for DRPP
 DRAWN: SY
 CHECKED: JH

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SECTIONS

PROJECT: Crown, Eastlake South
 CLIENT: Crown Group
 DATE: 09/10/2019
 REVISION: C to DRPP
 DRAWN: JH
 CHECKED: JH

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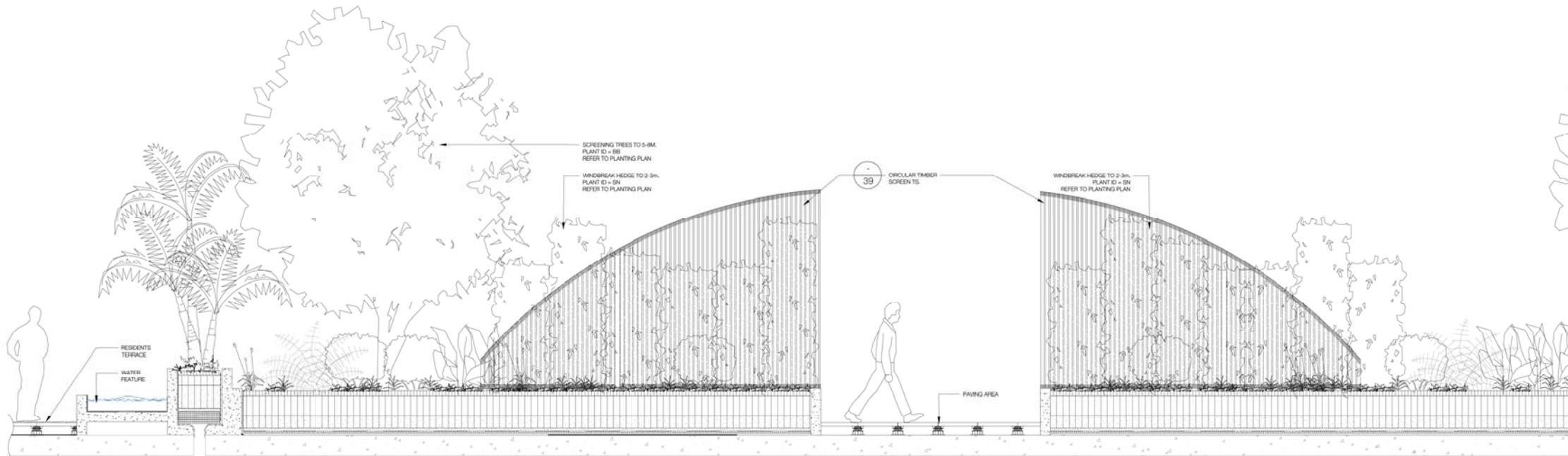
In respect to MP 09_0146

Signed [Signature]

Sheet No. 58 of 136



KEY PLAN



SECTION CC SCALE 1:20

SECTIONS

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DRPP
drawn: SV
checked: JH



KEY PLAN: SCALE 1/1000


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Sheet No. 59 of 136

Ground Floor Planting Plan 1/3



KEY PLAN: SCALE 1/1000

EASTLAKES RESERVE

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Approved Section 75W Modification Application

No. 4 Granted on..... 18 June 2020

In respect to MP 09_0146

Signed..... *JH*

Sheet No. *60* of..... *136*

Ground Floor Planting Plan 2/3



KEY PLAN: SCALE 1/1000

EASTLAKES RESERVE

NSW GOVERNMENT | **Planning, Industry & Environment**

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No. 4 Granted on 18 June 2020

In respect to MP 09_0146

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Sheet No. 61 of 136

Ground Floor Planting Plan 3/3



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No. 4 Granted on 18 June 2020

In respect to MP 09 0146

Signed [Signature]

Sheet No. 62 of 136



KEY PLAN: SCALE 1/1000



Level 1 Lower Podium Planting Plan 1/2

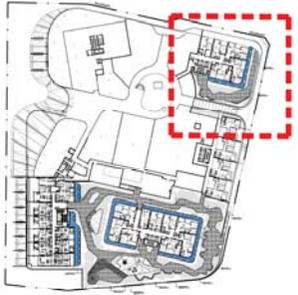


LEGEND

- SITE BOUNDARY
- TOP OF WALL LEVEL
- TOP OF SLAB LEVEL
- EXISTING CONTOUR
- PROPOSED NEW CONTOUR
- EXISTING TREE RETAINED
- PROPOSED TREE
- EXISTING SPOT LEVEL
- PROPOSED SPOT LEVEL
- PROPOSED FERN PALM PLANTINGS
- PROPOSED S/PUBS
- PROPOSED GROUNDCOVERS
- CENTRAL OPEN TURF AREA
- PROPOSED SOFTFALL TO PLAY AREA
- PROPOSED WATER FEATURE
- PROPOSED TIMBER DECKING
- PLAY EQUIPMENT

NOTE: FOR TOTAL PLANT SCHEDULE, REFER TO PAGE 30

project: Crown, Eastlakes South
 client: Crown Group
 date: 09.10.2019
 revision: C for CRPP
 drawn: SV
 checked: JH



KEY PLAN: SCALE 1/1000



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- LEGEND**
- SITE BOUNDARY
 - EXISTING TREE RETAINED
 - PROPOSED TREE
 - EXISTING SPOT LEVEL
 - PROPOSED SPOT LEVEL
 - PROPOSED FERN PALM PLANTINGS
 - PROPOSED S/F PLANTS
 - PROPOSED GROUNDCOVERS
 - CENTRAL OPEN TURF AREA
 - PROPOSED SOFTFALL TO PLAY AREA
 - PROPOSED WATER FEATURE
 - PROPOSED TIMBER DECKING
 - PLAY EQUIPMENT

NOTE: FOR TOTAL PLANT SCHEDULE REFER TO PAGE 30

project: Crown, Eastsides South
 client: Crown Group
 date: 09.10.2019
 revision: C for DRPP
 drawn: SV
 checked: JH

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Level 1 Lower Podium Planting Plan 2/2

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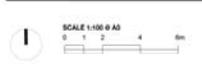
Sheet No. *64* of *136*



KEY PLAN: SCALE 1/1000



Level 2 Upper Podium Planting Plan 1/2



LEGEND

- SITE BOUNDARY
- EXISTING TREE RETAINED
- +TW 21.0 TOP OF WALL LEVEL
- +SL 24.00 TOP OF SLAB LEVEL
- 0.0 EXISTING CONTOUR
- 18.5 PROPOSED NEW CONTOUR
- EX 18.25 EXISTING SPOT LEVEL
- PL 20.0 PROPOSED SPOT LEVEL
- PROPOSED TREE
- PROPOSED FERN PALM PLANTINGS
- PROPOSED S-PILBS
- PROPOSED GROUNDCOVERS
- CENTRAL OPEN TURF AREA
- PROPOSED TREER DECKING
- PROPOSED WATER FEATURE

NOTE: FOR TOTAL PLANT SCHEDULE, REFER TO PAGE 30

project: Crown, Eastsides South
 client: Crown Group
 date: 09.10.2019
 revision: C for DRPP
 drawn: SV
 checked: JH

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KEY PLAN: SCALE 1/1000



Level 2 Upper Podium Planting Plan 2/2

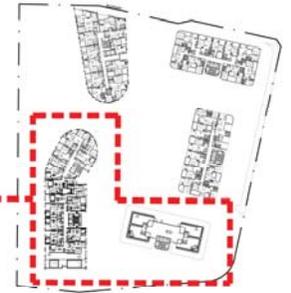
SCALE 1:100 @ A4
0 1 2 4 6m

LEGEND

- SITE BOUNDARY
- EXISTING TREE RETAINED
- TOP OF WALL LEVEL
- TOP OF SLAB LEVEL
- EXISTING CONTOUR
- PROPOSED NEW CONTOUR
- EXISTING SPOT LEVEL
- PROPOSED SPOT LEVEL
- PROPOSED TREE
- PROPOSED FERN PALM PLANTINGS
- PROPOSED SHRUBS
- PROPOSED GROUNDCOVERS
- CENTRAL OPEN TURF AREA
- PROPOSED TIMBER DECKING
- PROPOSED WATER FEATURE

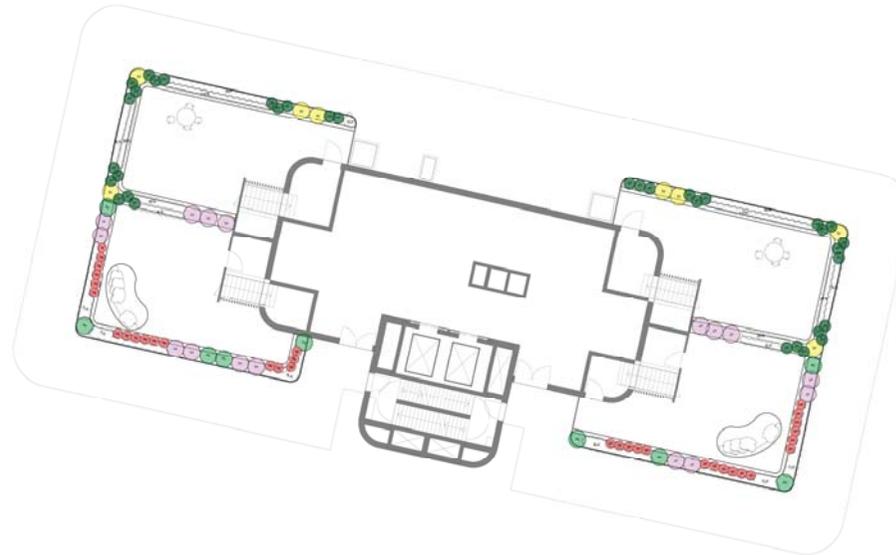
NOTE: FOR TOTAL PLANT SCHEDULE, REFER TO PAGE 30

project: Crown, Eaststokes South
 client: Crown Group
 date: 09.10.2019
 revision: C for DRPP
 drawn: SV
 checked: JH



KEY PLAN: SCALE 1/1000


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 Sheet No. *66* of *136*



Level 5 Planting Plan

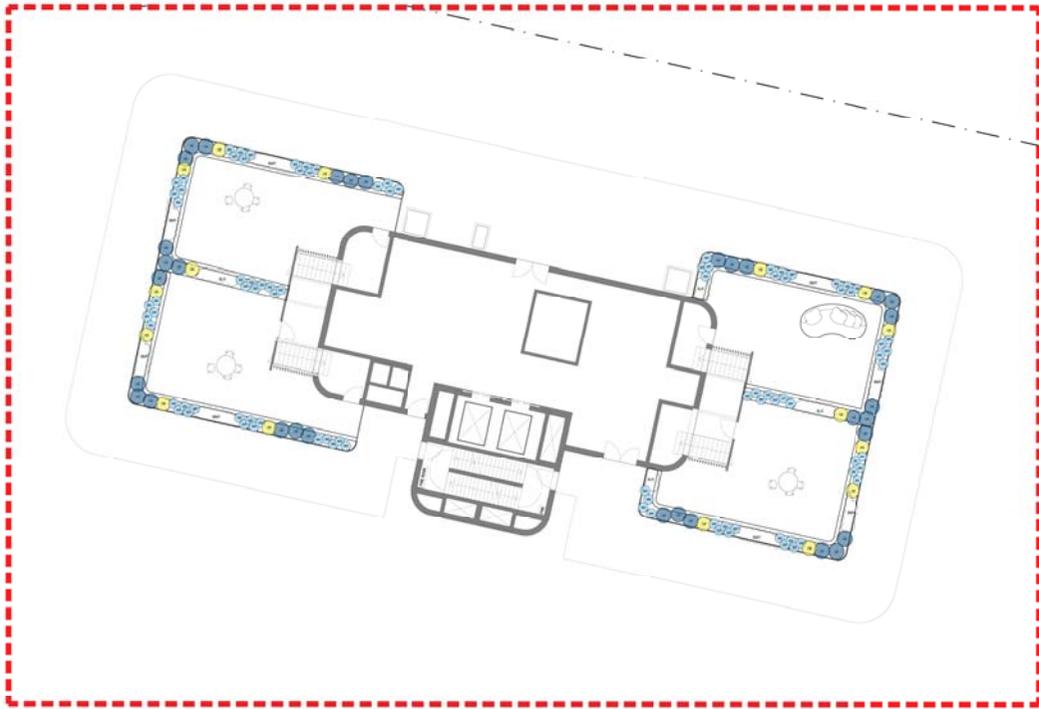
SCALE 1:100 @ A4
0 1 2 4 8m

LEGEND

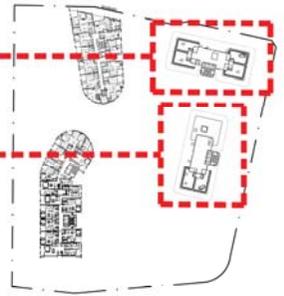
-  SITE BOUNDARY
-  EXISTING TREE RETAINED
-  PROPOSED TREE
-  PROPOSED FERN PALM PLANTINGS
-  PROPOSED GROUNDCOVERS
- CENTRAL OPEN TURF AREA
- PROPOSED TIMBER DECKING
- PROPOSED WATER FEATURE
- +TW 21.0 TOP OF WALL LEVEL
- +SL 24.00 TOP OF SLAB LEVEL
- EX 18.25 EXISTING SPOT LEVEL
- +FL 20.0 PROPOSED SPOT LEVEL
- 30.0 EXISTING CONTOUR
- 18.5 PROPOSED NEW CONTOUR

NOTE: FOR TOTAL PLANTING SCHEDULE, REFER TO PAGE 26

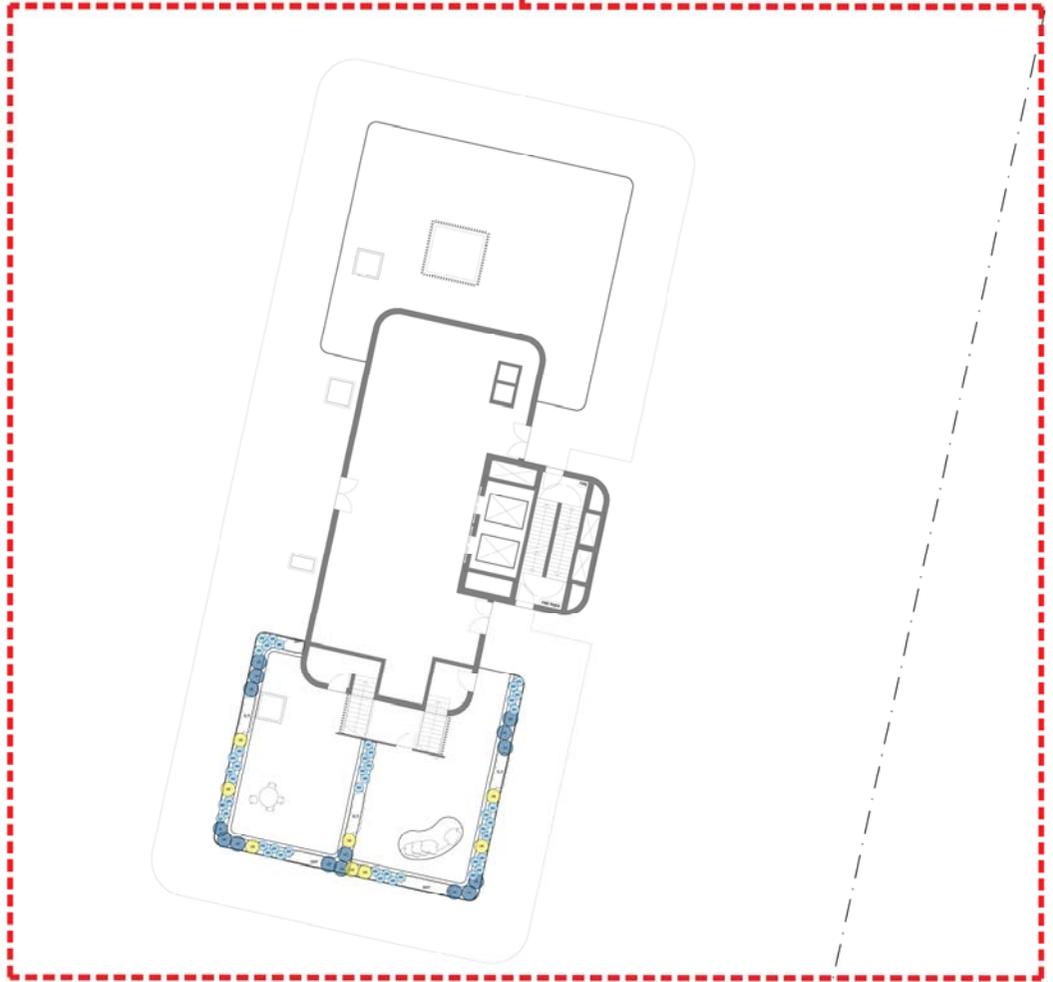
project: Crown, Eastsides South
 client: Crown Group
 date: 09.10.2019
 revision: C for DRPP
 drawn: SV
 checked: JH



1 LEVEL 7 PLANTING PLAN 1/2
SCALE 1:100



KEY PLAN: SCALE 1/1000



2 LEVEL 7 PLANTING PLAN 2/2
SCALE 1:100

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LEGEND	
	SITE BOUNDARY
	EXISTING TREE RETAINED
	+TW 21.0 TOP OF WALL LEVEL
	+SL 24.00 TOP OF SLAB LEVEL
	+0.00 EXISTING CONTOUR
	+18.5 PROPOSED NEW CONTOUR
	PROPOSED TREE
	+EX 18.25 EXISTING SPOT LEVEL
	+FL 20.0 PROPOSED SPOT LEVEL
	PROPOSED FERN PALM PLANTINGS
	PROPOSED S-FILLS
	PROPOSED GROUNDCOVERS
	CENTRAL OPEN TURF AREA
	PROPOSED TIMBER DECKING
	PROPOSED WATER FEATURE

NOTE: FOR TOTAL PLANT SCHEDULE, REFER TO PAGE 30

project: Crown, Eastsides South
 client: Crown Group
 date: 09.10.2019
 revision: C for DRPP
 drawn: SV
 checked: JH

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Level 7 Planting Plan



KEY PLAN: SCALE 1/1000




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LEGEND

-  SITE BOUNDARY
-  EXISTING TREE RETAINED
-  PROPOSED TREE
-  PROPOSED 9 PLANTS
-  PROPOSED FERN PALM PLANTINGS
-  PROPOSED GROUNDCOVERS
-  CENTRAL OPEN TURF AREA
-  PROPOSED TRIMER DECKING
-  PROPOSED WATER FEATURE
-  +TW 21.0 TOP OF WALL LEVEL
-  +SL 24.00 TOP OF SLAB LEVEL
-  +EX 18.25 EXISTING CONTOUR
-  +EX 18.25 EXISTING SPOT LEVEL
-  +FL 20.0 PROPOSED NEW CONTOUR
-  +FL 20.0 EXISTING SPOT LEVEL

NOTE: FOR TOTAL PLANT SCHEDULE, REFER TO PAGE 30

project: Crown, Eastsides South
client: Crown Group
date: 09.10.2019
revision: C for DRPP
drawn: SV
checked: JH

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Level 8 Planting Plan