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PARKING LEGEND

Residential Parking 2400x5500
Residential Accessible Parking 2400x5500
Bicycle Parking 600x1200
Commercial Parking 2400x5400

NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 1 granted on the 24 March 2016

in respect to MP 09-0121

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Sheet No. 1 of 2

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PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ETTALONG BEACH
Drawing Title
BASEMENT FLOOR PLAN

DA SUBMISSION

Job no	Drawing no	Rev
J15304	DA 100	A
Drawn by	Checked by	Date
PY	ZC	NOV 2015

CAR PARKING SCHEDULE
For B2 Zone - Large Centres

UNITS	RATE	REQUIRED	PROPOSED
RESIDENTIAL (59 UNITS)			
SHOP TOP UNITS 1 SPACE / 1 UNIT	\$9	61	
VISITORS NOT REQUIRED	0	0	
COMMERCIAL (508 104m²)			
SHOPS 1 SPACE / 30 m²	16.9	17	
TOTAL		75.9	76

BICYCLE SCHEDULE
For B2 Zone - Large Centres

UNITS	RATE	REQUIRED	PROPOSED
RESIDENTIAL (59 UNITS)	1 SPACE / 5 UNITS	11.8	12
VISITORS (59 UNITS)	1 SPACE / 10 UNITS	5.9	6
COMMERCIAL (508 m²)		2	2
TOTAL		19.7	20

1 BASEMENT FLOOR PLAN
1 : 200

UNNAMED BACKLANE

REFERENCES

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APPROVED BUILDING OUTLINE

Issued under the Environmental Planning and Assessment Act 1979

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No. 1 granted on the 24 March 2016

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Sheet No. 2 of 27

PARKING LEGEND

- Residential Parking 2400x5500
- Residential Accessible Parking 2400x5500
- Bicycle Parking 600x1200
- Commercial Parking 2400x5400

Rev	Date	Description
C	05.02.16	DA amendment
A	23.11.15	Modification Submission

Scale
m 0 2 4 6 8
1:200

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Project
PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ET TALONG BEACH

Drawing Title
GROUND
FLOOR PLAN

DA SUBMISSION

Job no	Drawing no	Rev
J15304	DA 101	C
Drawn by PY	Checked by ZC	Date NOV 2015

1 GROUND FLOOR PLAN

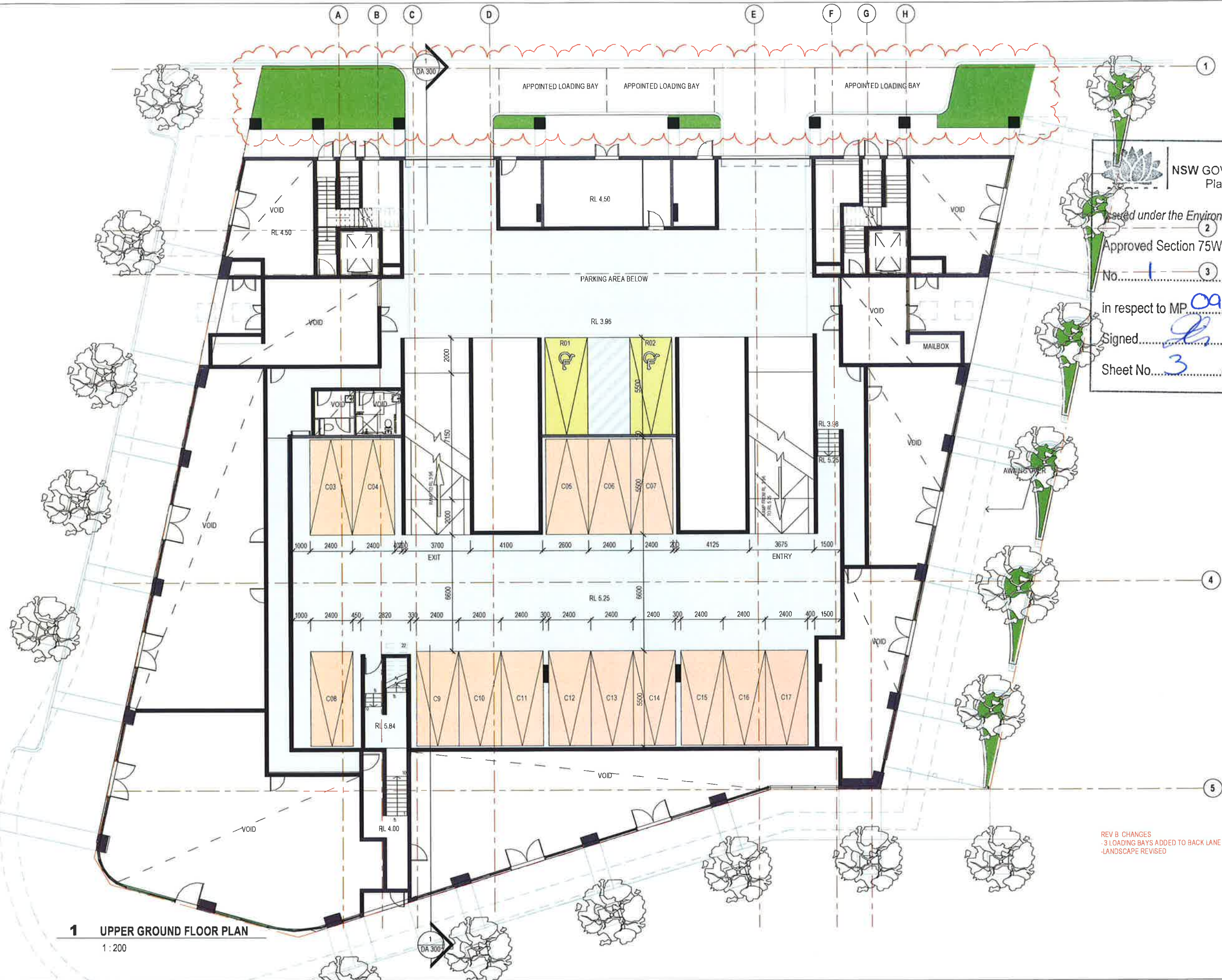
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CAR PARKING SCHEDULE
For B2 Zone - Large Centres

UNITS	RATE	REQUIRED	PROPOSED
RESIDENTIAL (59 UNITS)			
TOP TOP UNITS 1 SPACE / 1 UNIT		59	61
VISITORS NOT REQUIRED		0	0
COMMERCIAL (508.104m ²)			
SHOPS 1 SPACE / 30 m ²		16.9	17
TOTAL		75.9	78

BICYCLE SCHEDULE
For B2 Zone - Large Centres

UNITS	RATE	REQUIRED	PROPOSED
RESIDENTIAL (59 UNITS)	1 SPACE / 5 UNITS	11.8	12
VISITORS (59 UNITS)	1 SPACE / 10 UNITS	5.9	6
COMMERCIAL (508 m ²)		2	2
TOTAL		19.7	20



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Sheet No. 3 of 27

PARKING LEGEND

- Residential Parking 2400x5500
- Residential Accessible Parking 2400x5500
- Bicycle Parking 600x1200
- Commercial Parking 2400x5400

C	05 02 16	DA amendment
A	23 11 15	Modification Submission
Rev	Date	Description
Scale	0 2 4 6 8	
m	1:200	

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PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ETTALONG BEACH

Drawing Title
UPPER GROUND
FLOOR PLAN

DA SUBMISSION		
Job no	Drawing no	Rev
J15304	DA 102	C
Drawn by	Checked by	Date
PY	ZC	NOV 2015



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2 in respect to MP 09-0121

3 Signed: [Signature]

4 Sheet No. 4 of 27

STUDIO
1 BED
1 BED+S
2 BED
2 BED+S
3 BED
3 BED+S
LOBBY
STORE
CARPARK
COMMERCIAL
WASTE

C 05.02.16 DA amendment
B 23.12.15 Additional Information Submission
A 23.11.15 Modification Submission

Rev Date Description
Scale
0 2 4 6 8
1:200

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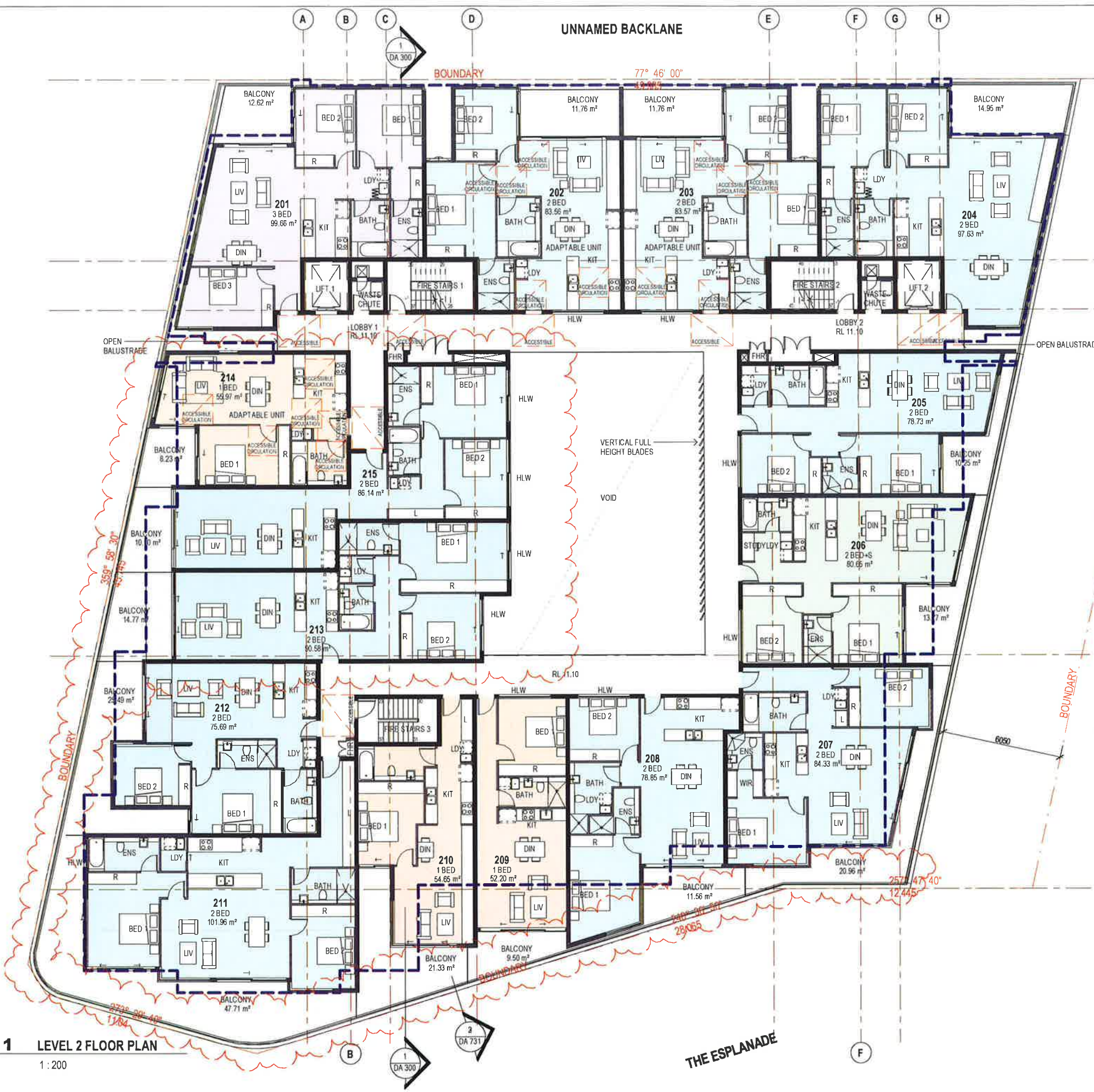
Project
PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ET TALONG BEACH

Drawing Title
LEVEL 01
FLOOR PLAN

DA SUBMISSION
Job no: J15304 Drawing no: DA 103 Rev: C
Drawn by: PY Checked by: ZC Date: NOV 2015

REV B CHANGES:
- SLAB EDGE FEATURE AMENDED
- BALCONY AREAS REVISED
- UNIT 113, 114, 115 REVISED
- CENTRAL COURTYARD LANDSCAPE REVISED



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Sheet No. 5 of 27

Rev.	Date	Description
C	05.02.16	DA amendment
B	23.12.15	Additional Information Submission
A	23.11.15	Modification Submission

Scale
m 0 2 4 6 8
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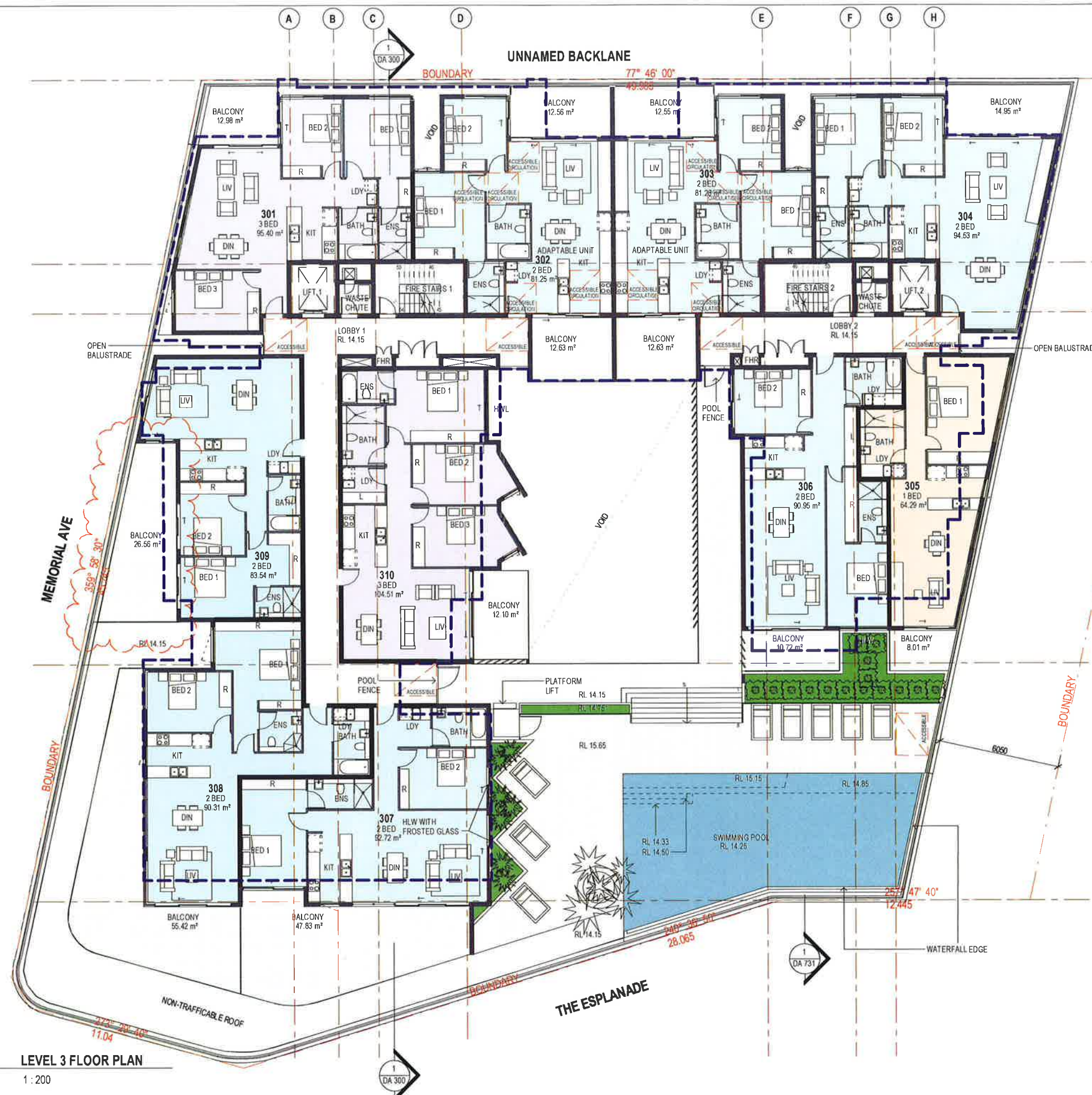
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Project
PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ETTLONG BEACH

Drawing Title
**LEVEL 02
FLOOR PLAN**

DA SUBMISSION		
Job no	Drawing no	Rev
J15304	DA 104	C
Drawn by	Checked by	Date
PY	ZC	NOV 2015



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APPROVED BUILDING OUTLINE

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Sheet No. 6 of 27

STUDIO
1 BED
1 BED+S
2 BED
2 BED+S
3 BED
3 BED+S
LOBBY
STORE
CARPARK
COMMERCIAL
WASTE

C	05.02.16	DA amendment
A	23.11.15	Modification Submission
Rev.	Date	Description
Scale	0 2 4 6 8	1:200

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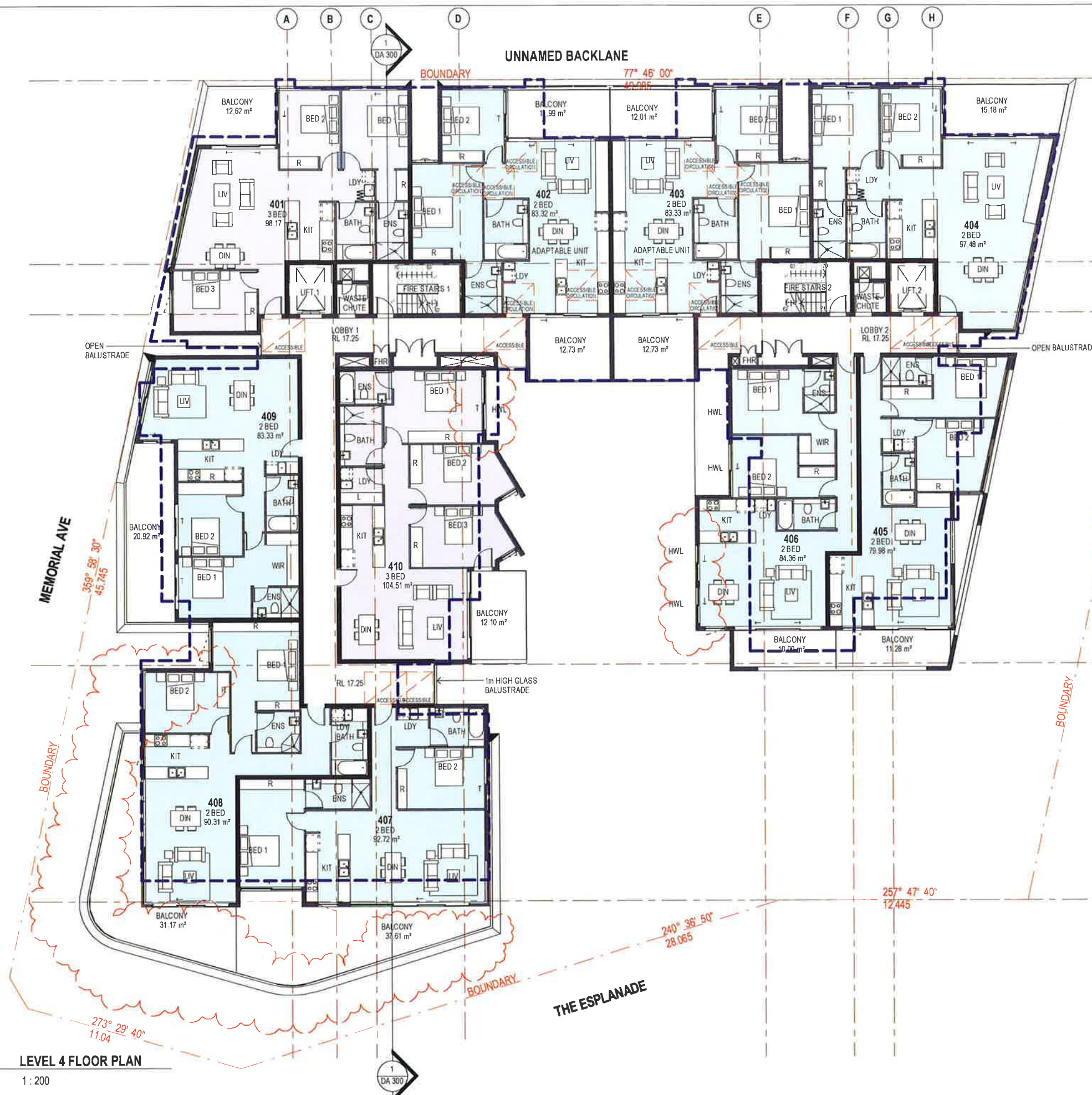
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PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ETTALONG BEACH
Drawing Title
**LEVEL 03
FLOOR PLAN**

DA SUBMISSION		
Job no.	Drawing no.	Rev.
J15304	DA 105	C
Drawn by	Checked by	Date
PY	ZC	NOV 2015

1 LEVEL 3 FLOOR PLAN
1:200



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- APPROVED BUILDING OUTLINE
- STUDIO
 - 1 BED
 - 1 BED+S
 - 2 BED
 - 2 BED+S
 - 3 BED
 - 3 BED+S
 - LOBBY
 - STORE
 - CARPARK
 - WASTE

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C	05.02.16	DA amendment
A	23.11.15	Modification Submission
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Scale	0 2 4 6 8	
m	0 1:200	

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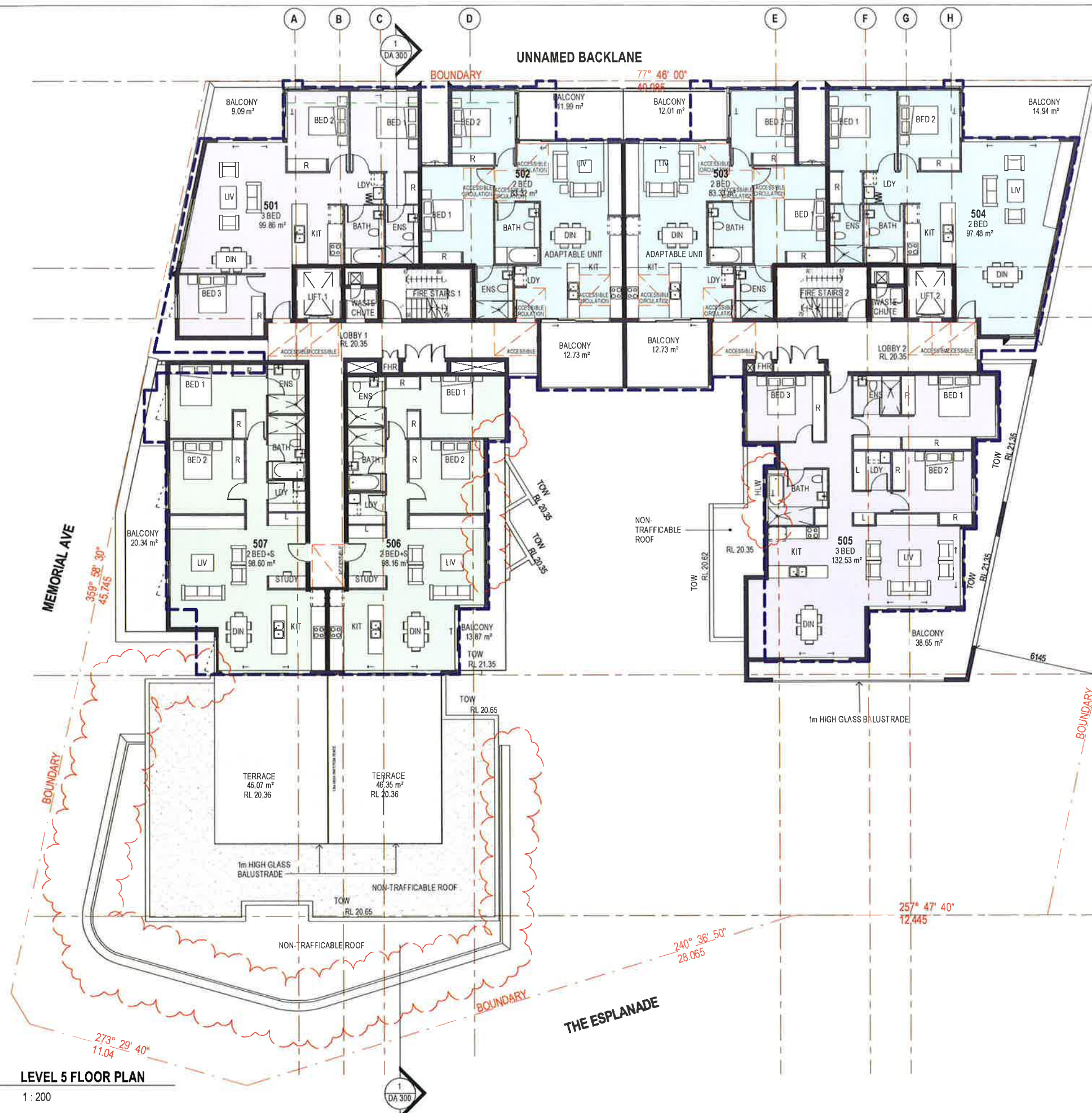
47-50 THE ESPLANADE ET TALONG BEACH

Drawing Title
**LEVEL 04
FLOOR PLAN**

DA SUBMISSION		
Job no	Drawing no	Rev
J15304	DA 106	C
Drawn by	Checked by	Date
PY	ZC	NOV 2015

1 LEVEL 4 FLOOR PLAN
1 : 200

REV B CHANGES
- SLAB OUTSIDE UNIT 407,408 REDUCED
IN SIZE
- SLAB EDGE FEATURE REVISED
(THINNER)
- BALCONY AREAS / TERRACE AREA
REVISED



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Sheet No. 8 of 27

STUDIO
1 BED
1 BED+S
2 BED
2 BED+S
3 BED
3 BED+S
LOBBY
STORE
CARPARK
COMMERCIAL
WASTE

C	05.02.16	DA amendment
A	23.11.15	Modification Submission
Rev.	Date	Description
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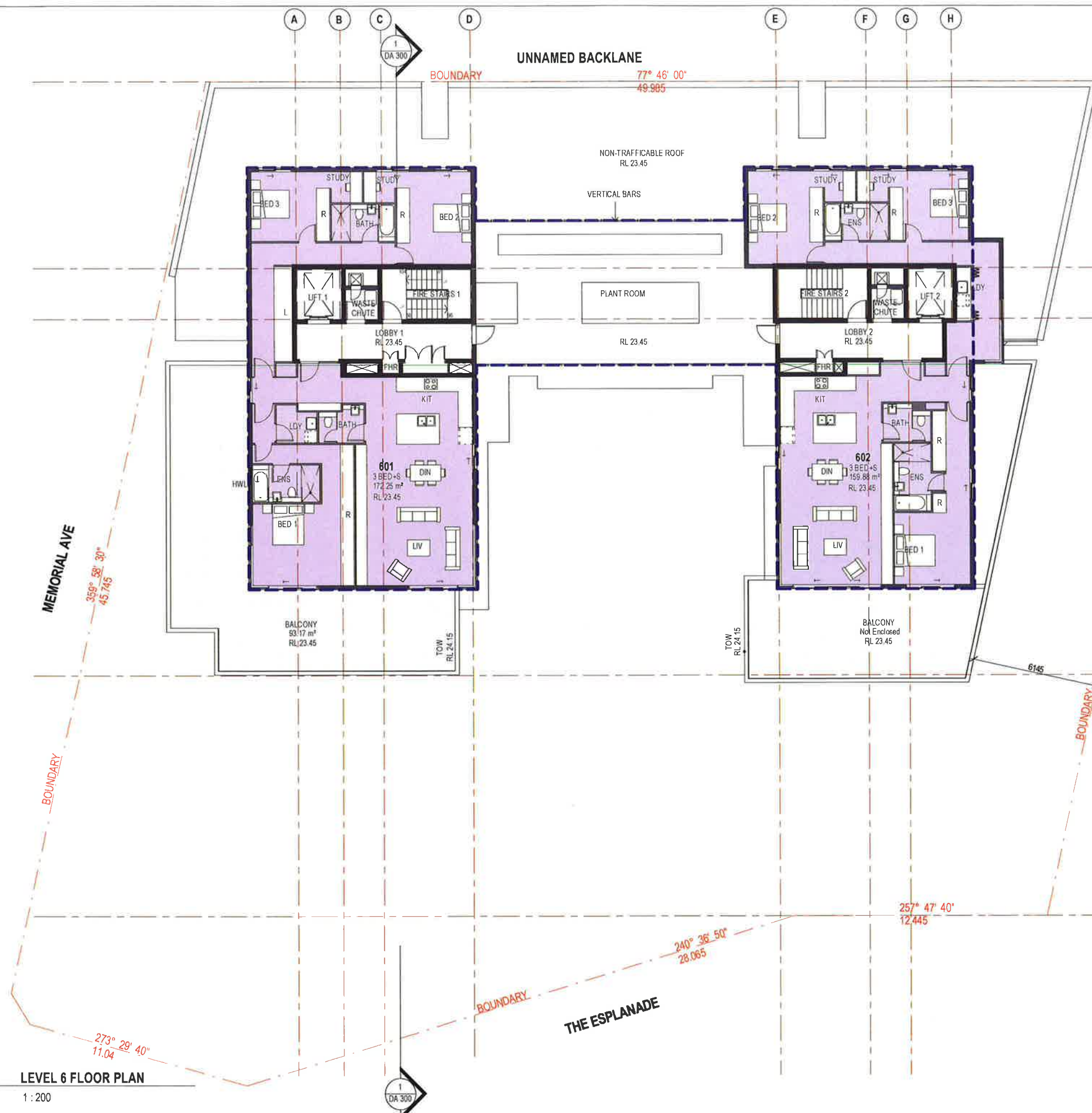
47-50 THE ESPLANADE ET TALONG BEACH

Drawing Title
**LEVEL 05
FLOOR PLAN**

DA SUBMISSION		
Job no	Drawing no	Rev
J15304	DA 107	C
Drawn by	Checked by	Date
PY	ZC	NOV 2015

REV B CHANGES
- SLAB OUTSIDE UNIT 506,507 REDUCED IN SIZE
- SLAB EDGE FEATURE REVISED (THINNER)
- BALCONY AREAS / TERRACE AREA REVISED
- UNIT 505,506 WINDOWS REVISED

1 LEVEL 5 FLOOR PLAN
1:200



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in respect to MP 09-0121

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Sheet No. 9 of 27

STUDIO

1 BED

1 BED+S

2 BED

2 BED+S

3 BED

3 BED+S

LOBBY

STORE

CARPARK

COMMERCIAL

WASTE

A	23.11.15	Modification Submission
Rev	Date	Description
Scale	0 2 4 6 8	
m	1:200	

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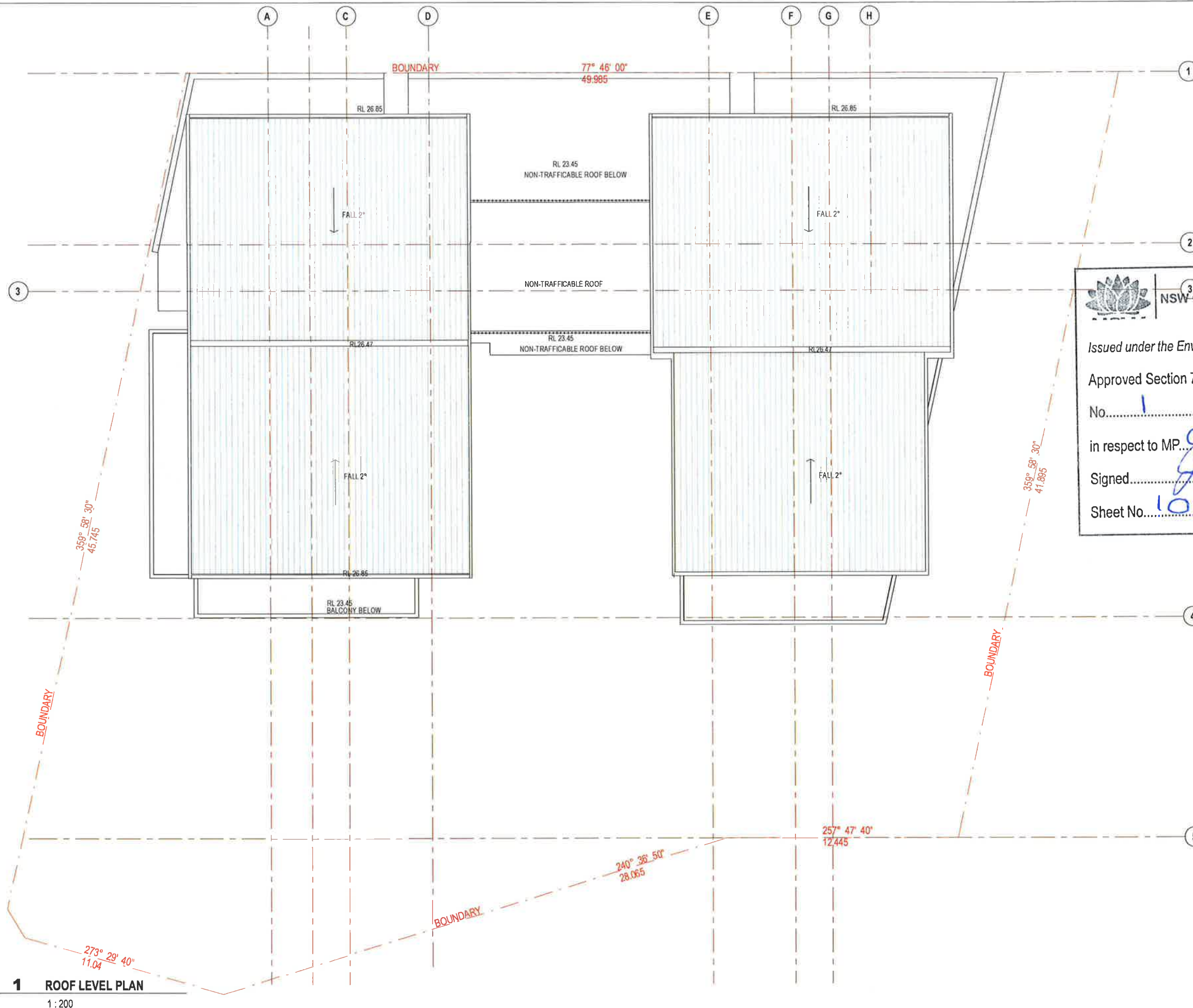
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PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ETTALONG BEACH

Drawing Title
**LEVEL 06
FLOOR PLAN**

DA SUBMISSION		
Job no	Drawing no	Rev
J15304	DA 108	A
Drawn by	Checked by	Date
PY	ZC	NOV 2015

1 LEVEL 6 FLOOR PLAN
1 : 200



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Rev.	Date	Description
A	23.11.15	Modification Submission
Scale	0	5 10 15 20
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PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ETTALONG BEACH

Drawing Title
ROOF PLAN

DA SUBMISSION

Job no.	Drawing no.	Rev.
J15304	DA 109	A
Drawn by	Checked by	Date
Author	Checker	NOV 2015



1 NORTH ELEVATION
1:200



2 SOUTH ELEVATION
1:200

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MATERIAL LEGEND

- AAB ANODISED ALUMINIUM BLADE
- AVB ALUMINIUM VERTICAL BLADE & AWNING
- AWD ALUMINIUM FRAME WINDOWS & DOORS - COLOUR 1
- GB SAFETY GLASS BALUSTRADE
- PF1 MANABURN PAINT FINISH
- PF2 CHARCOAL PAINT FINISH
- STT SANDSTONE TILED WALL

NSW GOVERNMENT Planning

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Rev	Date	Description
1	23.11.15	Modification Submission

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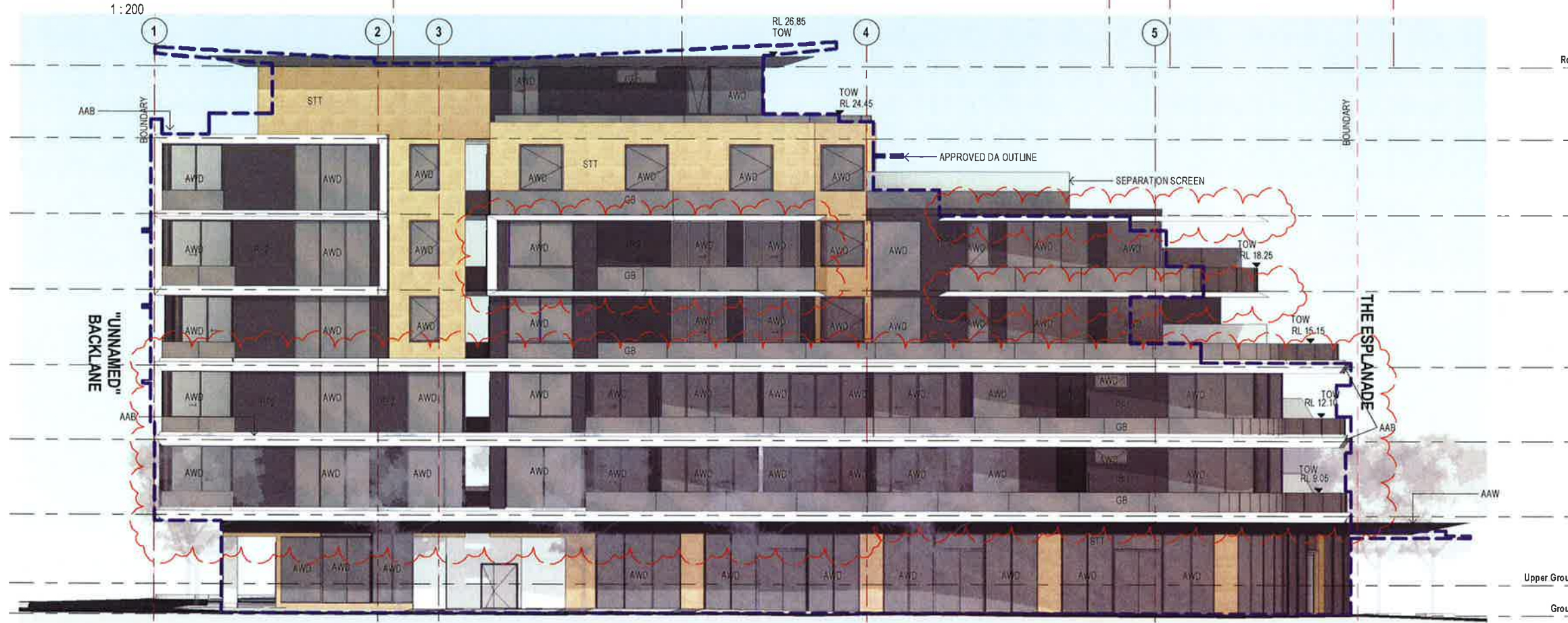
47-50 THE ESPLANADE ETTALONG BEACH

Drawing Title
NORTH & SOUTH ELEVATIONS

DA SUBMISSION		
Job no	Drawing no	Rev
J15304	DA 200	C
Drawn by	Checked by	Date
PY	ZC	NOV 2015



1 EAST ELEVATION
1:200



2 WEST ELEVATION
1:200

REFERENCES
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Sheet No. 12 of 27

APPROVED ALUMINIUM
ALUMINIUM VERTICAL
BLADE & AWNING
ALUMINIUM FRAME
WINDOWS & DOORS -
COLOUR 1
SAFETY GLASS
BALUSTRADE

PF1 MANABURN PAINT
FINISH
PF2 CHARCOAL PAINT
FINISH
STT SANDSTONE TILED
WALL
APPROVED BUILDING OUTLINE

Rev. Date Description
C 05.02.16 DA amendment
B 23.12.15 Additional Information Submission
A 23.11.15 Modification Submission

Scale
0 2 4 6 8
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PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ETTALONG BEACH
Drawing Title
EAST & WEST
ELEVATIONS

DA SUBMISSION

Job no	Drawing no	Rev
J15304	DA 201	C

Drawn by	Checked by	Date
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REV C CHANGES
- SLAB FEATURE BLADES REVISED
- UNIT 113, 115, 213, 215 FACADE REVISED

REFERENCES
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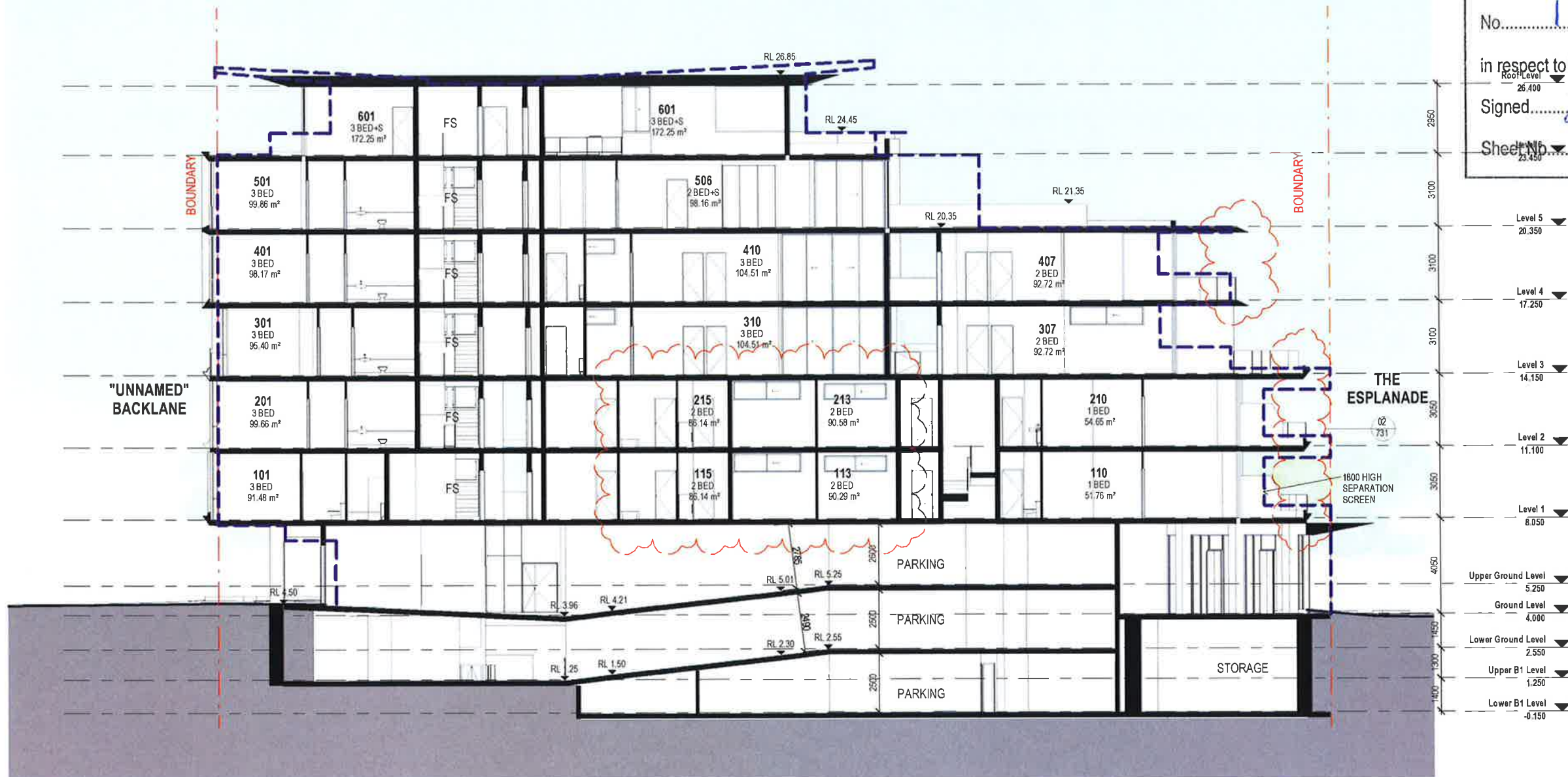
Approved Section 75W Modification Application

No. 1 granted on the 24 March 2016

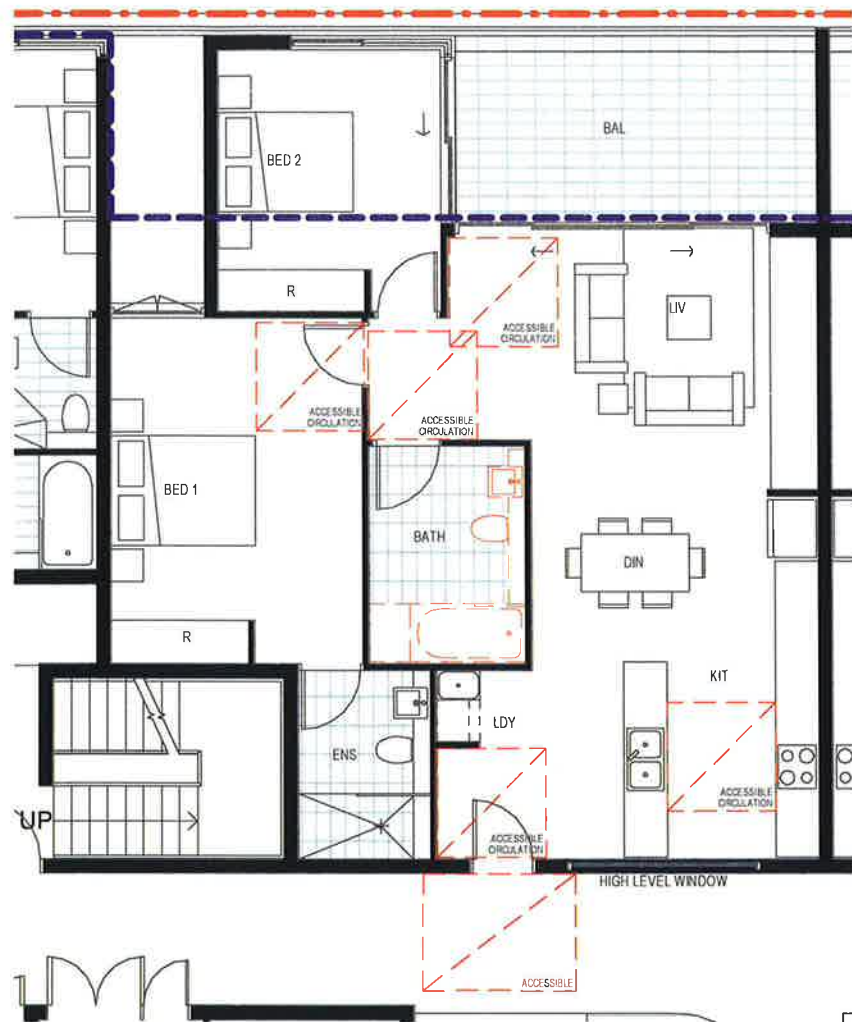
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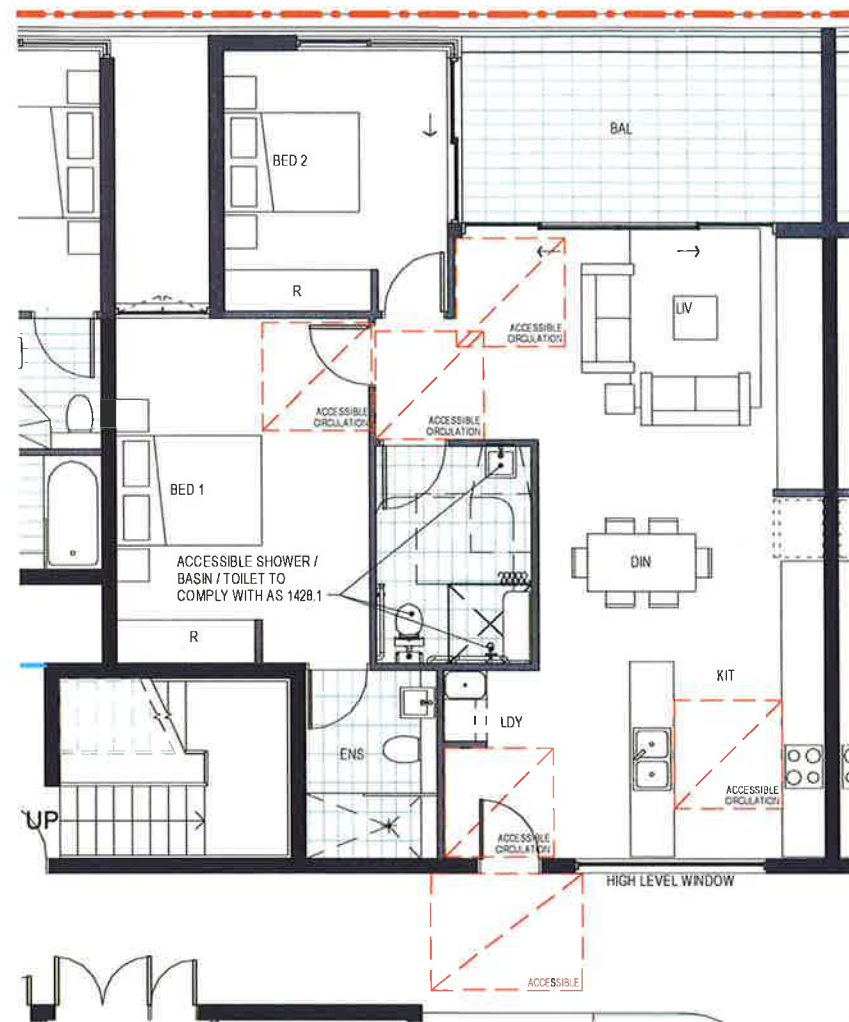


C	05.02.16	DA amendment
A	23.11.15	Modification Submission
Rev	Date	Description
Scale	2	4
m	6	8
0	1:200	



1 PRE ADAPTABLE UNITS
1:100

UNITS 102, 202, 302, 402, 502
& MIRRORED 103, 203, 403, 503



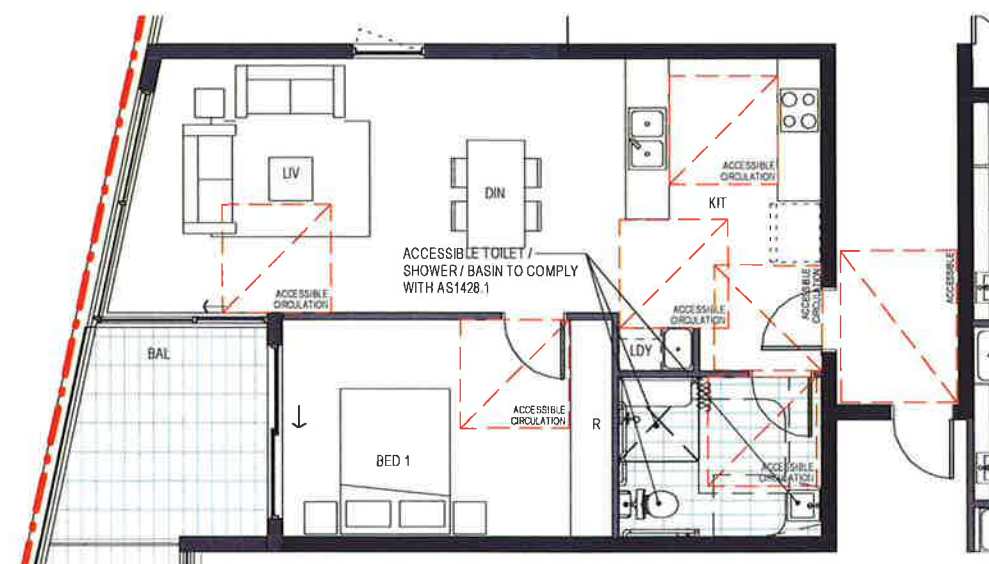
2 POST ADAPTABLE UNITS
1:100

UNITS 102, 202, 302, 402, 502
& MIRRORED 103, 203, 403, 503



3 PRE ADAPTABLE UNITS
1:100

UNITS 114, 214



4 POST ADAPTABLE UNITS
1:100

UNITS 114, 214

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Scale
m 0 1 2 3 4
1:100

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CD ARCHITECTS

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Project

PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ET TALONG BEACH

Drawing Title

PRE + POST ADAPTABLE UNIT LAYOUT

DA SUBMISSION

Job no	Drawing no	Rev
J15304	DA 500	A
Drawn by	Checked by	Date
SMPY	ZC	NOV 2015

C:\Users\Architect10\Documents\J15304 47-50 The Esplanade Ellalong Beach Town Centre (Additional information) 160122 architect10.rvt

Thermal loads		
Dwelling no.	Area adjusted heating load (W/m ²)	Area adjusted cooling load (W/m ²)
303	56	25
305	56	46
306	23	26
307	17	28
401	56	42
403	56	24
405	33	37
407	41	34
409	74	40
411	56	42
501	83	46
503	56	24
505	56	21
506	33	44
508	83	42
601	50	34
603	47	47
605	73	51
607	60	33
609	31	19
611	15	43
613	65	24
615	38	31
617	25	16
All other dwellings	30	41

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.	✓	✓	✓
(b) The applicant must install or ensure that the development is serviced by the alternative water supply system specified in the 'Central systems' column of the table below, to each case, the system must be designed, be configured and be connected as specified in the table.	✓	✓	✓
(c) A swimming pool or spa in the lake must not have a volume in litres greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa in the lake must have a cover or shading if specified for the pool or spa in the table.	✓	✓	
(e) The applicant must install the system and fixtures specified in the 'Central energy systems' column of the table below, in each case, the system or fixture must be of the type and meet the specifications listed for it in the table.	✓	✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
As common facility	As common facility	As common facility	As common facility	As common facility

Central systems	Size	Configuration	Connection (as shown for...)
Pools (m ²)	Volume: 100 kL	Location: Building 1	Pool (Building 1)
Fire sprinkler system (plan 1)	-	-	-
Fire sprinkler system (plan 2)	-	-	-
Fire sprinkler system (plan 3)	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.	✓	✓	✓
(b) In carrying out the development, the applicant must install, in the 'Primary type of artificial lighting' for each common area specified in the table below, the lighting specified for that common area. The lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area where specified.	✓	✓	✓
(c) The applicant must install the system and fixtures specified in the 'Central energy systems' column of the table below, in each case, the system or fixture must be of the type and meet the specifications listed for it in the table.	✓	✓	✓

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Car park basement	ventilation (supply & exhaust)	carbon monoxide monitor & VSD fan	compact fluorescent	motion sensors	Yes
Car park ground	ventilation (supply & exhaust)	carbon monoxide monitor & VSD fan	fluorescent	motion sensors	No
Car park upper ground	ventilation (supply & exhaust)	carbon monoxide monitor & VSD fan	fluorescent	motion sensors	No
Lift car (No 1)			compact fluorescent	connected to lift call button	No
Lift car (No 2)			compact fluorescent	connected to lift call button	No
Waste room basement	ventilation exhaust only	-	fluorescent	manual on / manual off	No
Waste room ground	ventilation exhaust only	-	fluorescent	manual on / manual off	No
Waste room upper ground	ventilation exhaust only	-	fluorescent	manual on / manual off	No
Waste room central ground	ventilation exhaust only	-	fluorescent	manual on / manual off	No
Waste room basement	no mechanical ventilation	-	fluorescent	manual on / manual off	No
Waste room ground	ventilation exhaust only	externally to light	compact fluorescent	manual on / manual off	No
Waste room upper ground	ventilation exhaust only	externally to light	compact fluorescent	manual on / manual off	No

	Common area ventilation systems		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Ground floor lobby & Ground floor lobby & lobby level 1	no mechanical ventilation	-	compact fluorescent	motion sensors	No
Lobby level 2	no mechanical ventilation	-	compact fluorescent	motion sensors	No
Lobby level 3	no mechanical ventilation	-	compact fluorescent	motion sensors	No
Lobby level 4	no mechanical ventilation	-	compact fluorescent	motion sensors	No
Lobby level 5	no mechanical ventilation	-	compact fluorescent	motion sensors	No
Lobby level 6	no mechanical ventilation	-	compact fluorescent	motion sensors	No
Lobby level 7	no mechanical ventilation	-	compact fluorescent	motion sensors	No

Central energy systems	Type	Specification
Lift car (No 1)	quartz halogen with VSD motor	Number of levels including basement 5
Lift car (No 2)	quartz halogen with VSD motor	Number of levels including basement 5
Pool (plan 1)	Heating luxury solar panel (solar)	Size: external and premium, in square metres, 10 Pump controlled by timer, yes

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.	✓	✓	✓
(b) The applicant must install or ensure that the development is serviced by the alternative water supply system specified in the 'Central systems' column of the table below, to each case, the system must be designed, be configured and be connected as specified in the table.	✓	✓	✓
(c) A swimming pool or spa in the lake must not have a volume in litres greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa in the lake must have a cover or shading if specified for the pool or spa in the table.	✓	✓	
(e) The applicant must install the system and fixtures specified in the 'Central energy systems' column of the table below, in each case, the system or fixture must be of the type and meet the specifications listed for it in the table.	✓	✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
As common facility	As common facility	As common facility	As common facility	As common facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.	✓	✓	✓
(b) In carrying out the development, the applicant must install, in the 'Primary type of artificial lighting' for each common area specified in the table below, the lighting specified for that common area. The lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area where specified.	✓	✓	✓
(c) The applicant must install the system and fixtures specified in the 'Central energy systems' column of the table below, in each case, the system or fixture must be of the type and meet the specifications listed for it in the table.	✓	✓	✓

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Car park level 4 & 5	no mechanical ventilation	-	compact fluorescent	motion sensors	No

Notes

- In these comments, 'applicant' means the person carrying out the development.
- The applicant must specify, each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate, complying development certificate, for the proposed development, during the same development process, as a condition to that dwelling, building or common area in this certificate.
- This certificate is a commitment for a dwelling, building and/or common area specified in this certificate, and for the system and fixtures specified in this certificate, for the proposed development, during the same development process, as a condition to that dwelling, building or common area in this certificate.
- If this certificate is a central system, it is a commitment for a dwelling, building and/or common area specified in this certificate, and for the system and fixtures specified in this certificate, for the proposed development, during the same development process, as a condition to that dwelling, building or common area in this certificate.
- If a system or fixture is specified in a commitment, this is a commitment.
- All alternative water systems to be installed under these comments, if any, must be installed in accordance with the requirements of an approved regulatory authority. NOTE: BMS (with sleep and temperature monitoring, recorded water or gas flow meter) must be used to regulate water (and/or gas) consumption, or that meter be used for human consumption in areas with potable water supply.

Legend

- Comments identified with a ✓ in the 'Show on DA plans' column must be shown on the plans accompanying the development application for the proposed development, or a development application is to be lodged for the proposed development.
- Comments identified with a ✓ in the 'Show on CC/CDC plans & specs' column must be shown in the plans and specifications accompanying the application for a construction certificate, complying development certificate for the proposed development.
- Comments identified with a ✓ in the 'Certifier check' column must be verified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate, unless it is satisfied that the system and fixtures specified in this certificate, for the proposed development, are installed in accordance with the requirements of an approved regulatory authority, and that the system and fixtures specified in this certificate, for the proposed development, are installed in accordance with the requirements of an approved regulatory authority.)

Assessor Certificate

Multiple Dwellings

Issued in accordance with the requirements of BASIX



Project:	Address:	47-50 The Esplanade Ettalong Beach 2257	LGAs:	Gosford
Client:	Applicant:	Mars City Pty Ltd	Company:	CDARCHITECTS
	Name:	Ziad Chanine	Details:	z.ian@cdarchitects.com.au
	Address:	Level 2, 60 Park Street Sydney NSW 2000		
	Contact:	02 9207 2000		
Assessor:	Name:	David Gradwell	Company:	Gradwell Consulting
	Address:	P.O. Box 619 Gosford NSW 2257	Details:	02 9207 2000
	Contact:	0408 964 139		
Ext. Walls:	Construction:	Insulation	Colour:	Details
	Hebel PowerPanel	R2.0 bulk		As per plans
	Concrete Lined	R2.0 bulk		To all lifts & stairs as per plans
Int. Walls:	Construction:	Insulation		Details
	Plasterboard on stud	None		As per plans
Floors:	Construction:	Insulation		Details
	Concrete	R1.4 added		Where open below and above basement
Ceilings:	Construction:	Insulation		Details
	Plasterboard	None		As per plans
Roofs:	Construction:	Insulation	Colour:	Details
	Concrete/Metal	60mm Anticon (R1.3)		As per plans
Windows:	Product ID:	Glass	Uw/SAGCw:	Details
	G06-05-013e	Single Low E	4.70/0.63	As per note 3
	G06-05-013e	Single Clear	6.57/0.74	elsewhere
Skylights:	Product ID:	Glass	Uw	Details
	346	Frame		
Other:	Orientation:	Terrain	Weather risks:	Exhaust Dampers:
	346	Suburban	Yes	Recessed Downlights:
				No
Overheadwiring/Drainage:				
Assessment:	Drawings:	Spec		
	File Ref:	CD59		
	Software:	BERS Pro 4.2		
	Climate Zone:	15		

Thermal loads		
Dwellings	Area adjusted heating load (W/m ²)	Area adjusted cooling load (W/m ²)
101	50	23
102	50	23
103	50	23
104	50	23
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199	50	23
200	50	23

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No. 1 granted on the 24 March 2016

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Sheet No. 16 of 27

A	23.11.15	Modification Submission
Rev.	Date	Description

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PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ETTALONG BEACH

DA SUBMISSION		
Job no	Drawing no	Rev
J15304	DA 502	A
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No.....1.....granted on the..24 march 2016

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C	05.02.16	DA amendment
A	23.11.15	Modification Submission
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47-50 THE ESPLANADE ETTALONG BEACH

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PHOTOMONTAGE

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C	05 02 16	DA amendment
A	23 11 15	Modification Submission
Rev.	Date	Description

NOT TO SCALE

MATERIAL LEGEND

- AAB ANODISED ALUMINIUM BLADE
- AVB ALUMINIUM VERTICAL BLADE & AWNING
- AWD ALUMINIUM FRAME WINDOWS & DOORS - COLOUR 1
- GB SAFETY GLASS BALUSTRADE
- PF1 MANABURN PAINT FINISH
- PF2 CHARCOAL PAINT FINISH
- STT SANDSTONE TILED WALL

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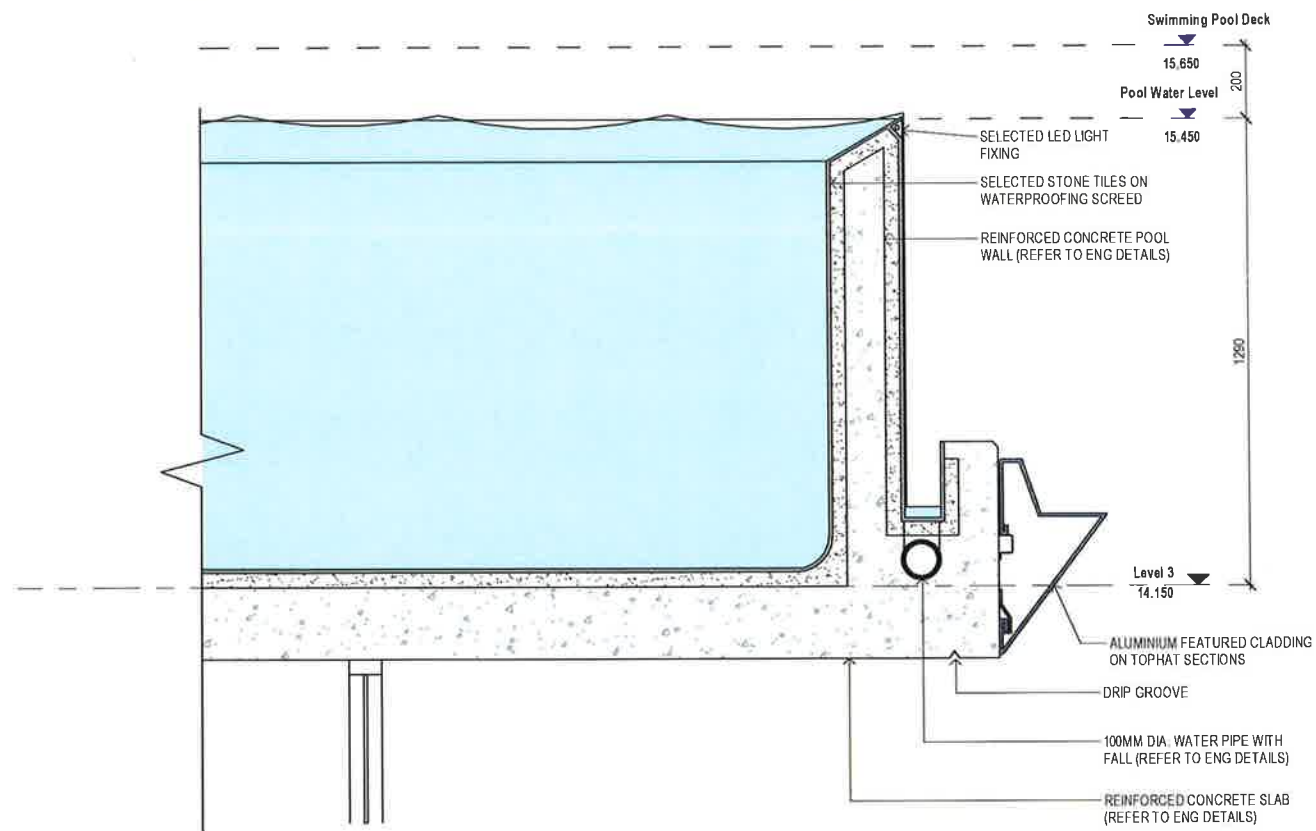
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PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ET TALONG BEACH

Drawing Title
FINISHES SCHEDULE

DA SUBMISSION		
Job no	Drawing no	Rev
J15304	DA 730	C
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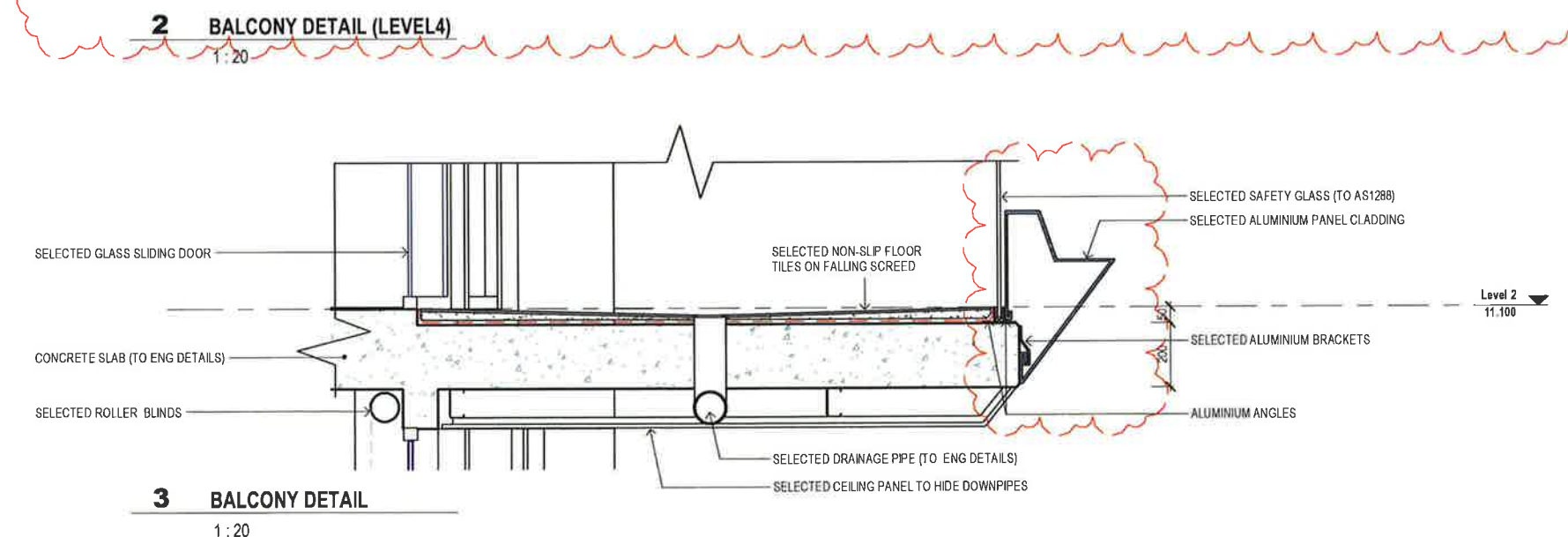
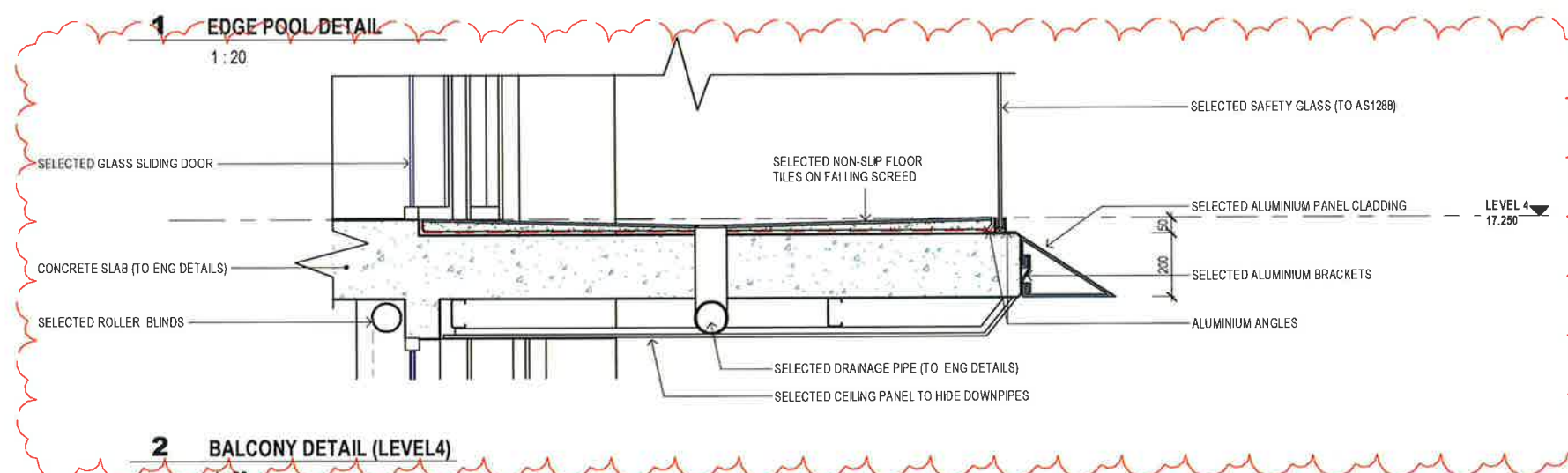
Project
PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ETTALONG BEACH

Drawing Title
DETAIL SHEET

DA SUBMISSION		
Job no.	Drawing no.	Rev
J15304	DA 731	C
Drawn by	Checked by	Date
PY	ZC	NOV 2015

REV B CHANGES
-SLAB EDGE FEATURES DETAILS REVISED



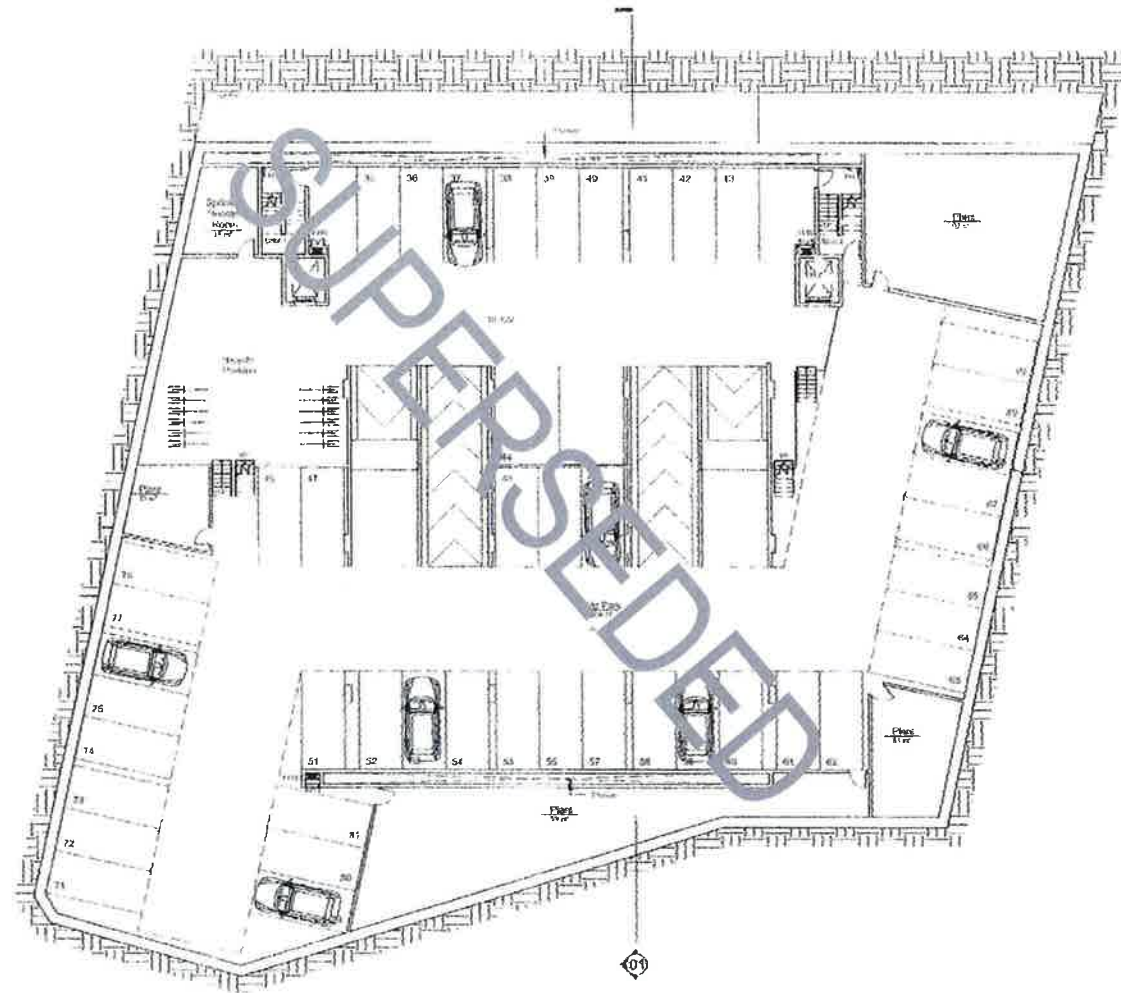
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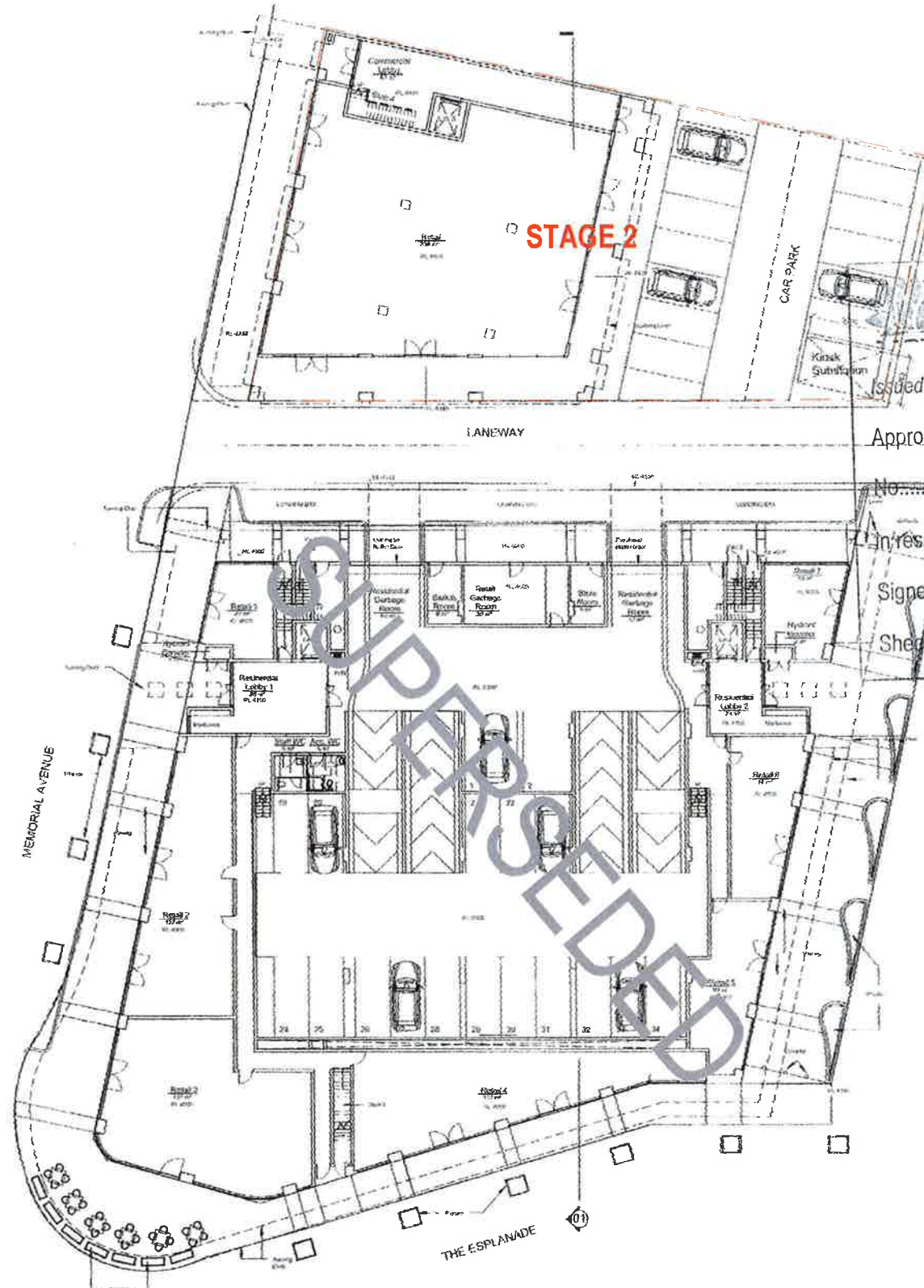
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01 BASEMENT LEVEL 1 1:1000



02 GROUND LEVEL 1:2000

STAGE 2

NSW GOVERNMENT
Planning

STAGE 2 NOTE: UNCHANGED FROM

APPROVAL REF NO. MP09-0121

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No. 1 granted on the 24 March 2016

In respect to MP 09-0121

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Sheet No. 20 of 27

Rev.	Date	Description
C	05.02.16	DA amendment
Scale	0	5 10 15 20
m	1:500	

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Project

PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ET TALONG BEACH

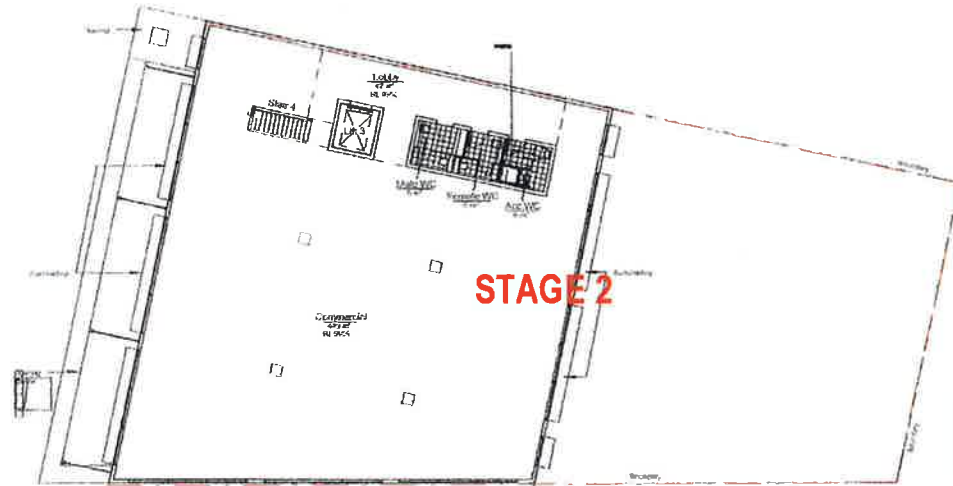
Drawing Title

STAGE 2 BASEMENT 1 & GROUND
FLOOR PLAN

DA SUBMISSION

Job no	Drawing no	Rev
J15304	DA 800	C
Drawn by	Checked by	Date
PY	ZC	NOV 2015

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO
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REPORTS
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NOTES
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DO NOT SCALE MEASUREMENTS OFF DRAWINGS



STAGE 2 NOTE: UNCHANGED FROM
APPROVAL REF NO. MP09-0121
24TH NOVEMBER 2010



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 1 granted on the 24 March 2016

in respect to MP 09-0121

Signed [Signature]

Sheet No. 21 of 27

Rev.	Date	Description
C	05.02.16	DA amendment
0		

Scale
m 0 5 10 15 20
1:500

Project Architect

DDA
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PROPOSED MIXED USE DEVELOPMENT

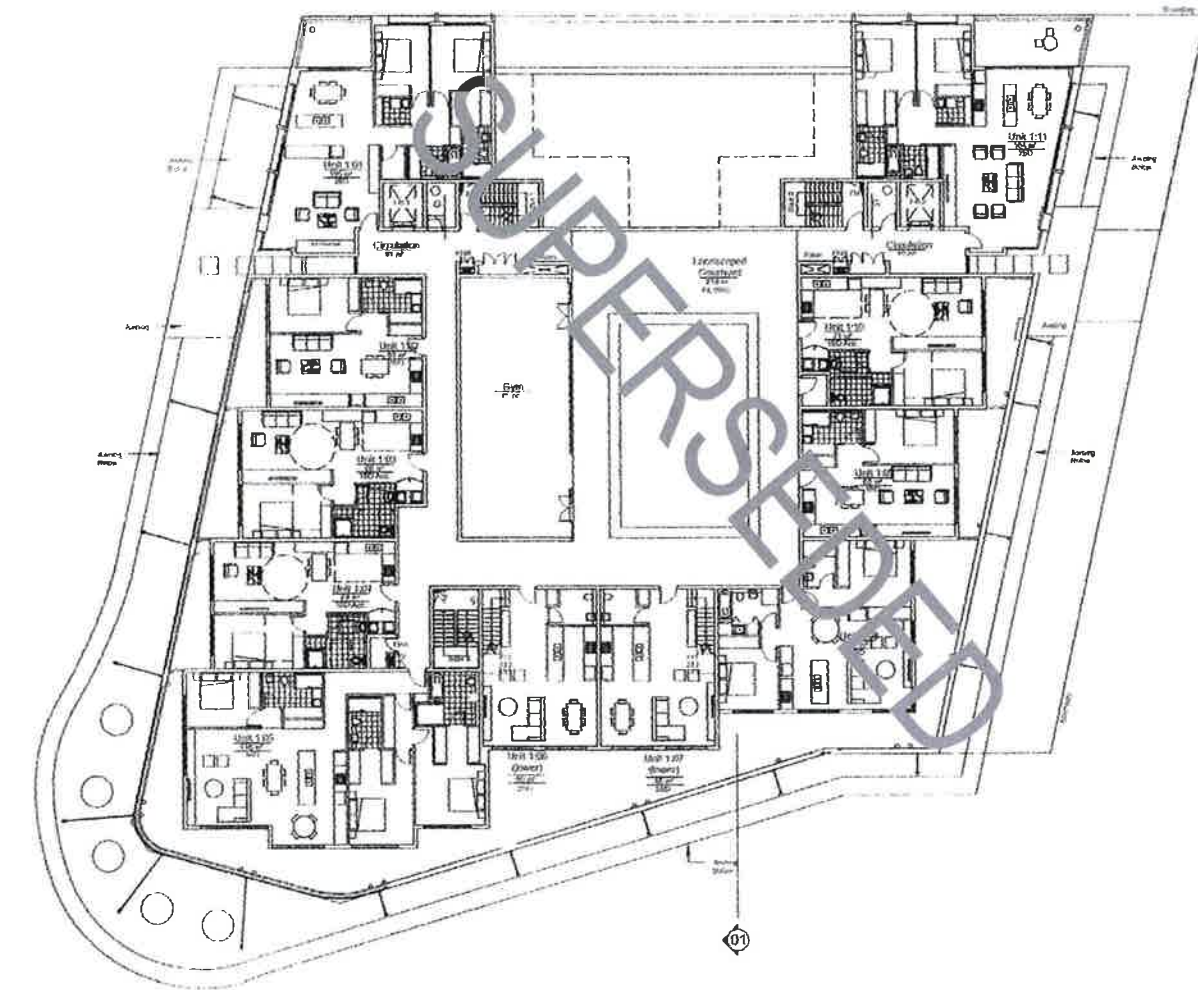
47-50 THE ESPLANADE ETTLONG BEACH

Drawing Title

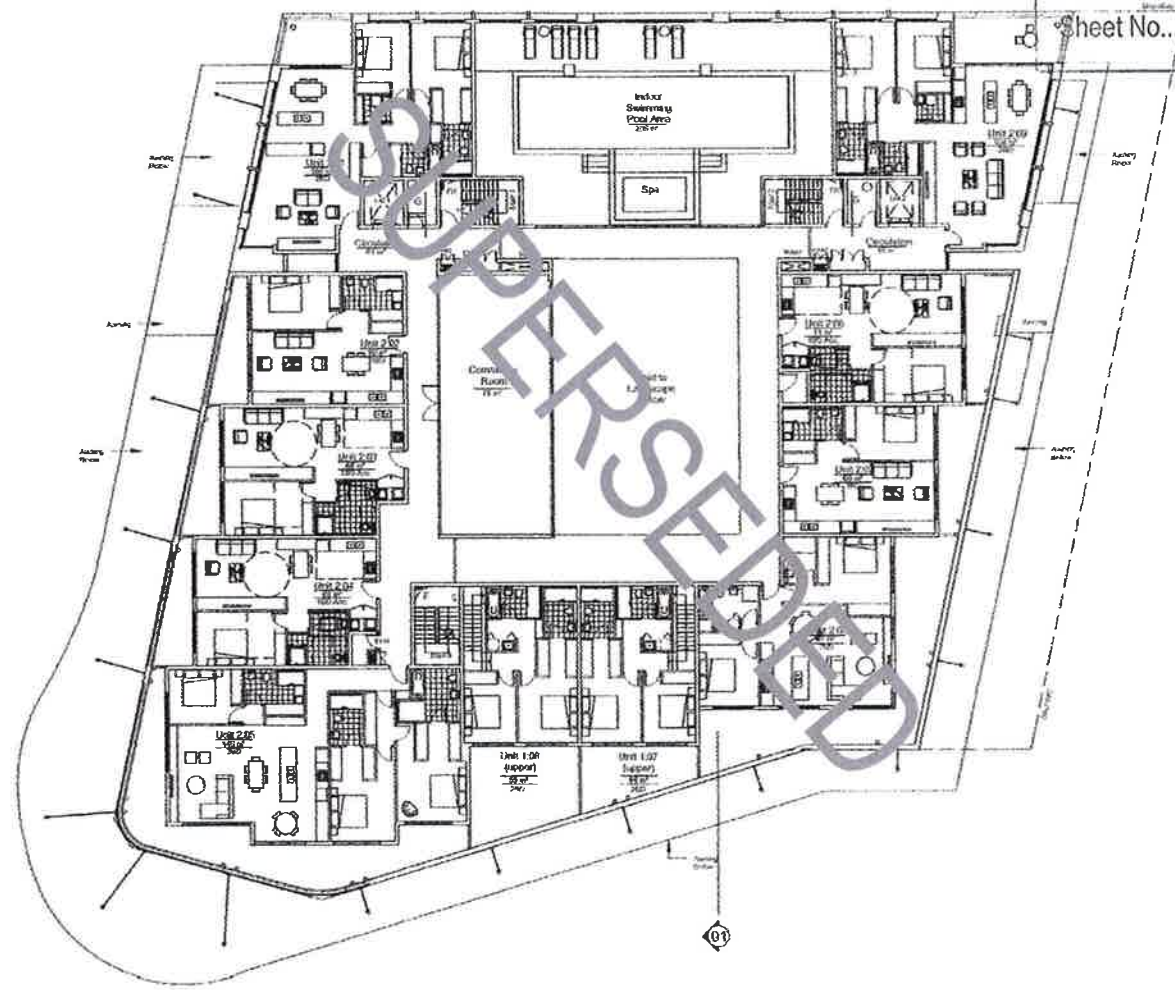
STAGE 2 LEVEL 1 & 2
FLOOR PLAN

DA SUBMISSION

Job no	Drawing no	Rev
J15304	DA 801	C
Drawn by PY	Checked by ZC	Date NOV 2015



01 LEVEL 1 1:200DA1



02 LEVEL 2 1:200DA1

REFERENCES
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FIGURED DIMENSIONS TO BE USED AT ALL TIME
DO NOT SCALE MEASUREMENTS OFF DRAWINGS

0 2 4 10M

BAR SCALE

FINISHES SCHEDULE

1. FINISH TO METAL COMPOSITE PANELS
2. POWDER COATED ALUMINIUM LOUVRES
3. POWDER COATED ALUMINIUM FRAMED GLAZING
4. CLEAR GLAZING
5. GLASS INFILL FRAMES
6. PAINT FINISH TO MASONRY/CONCRETE TYP 1
7. PAINT FINISH TO MASONRY/CONCRETE TYP 2
8. PAINT FINISH TO MASONRY/CONCRETE TYP 3
9. PAINT FINISH TO MASONRY/CONCRETE TYP 4
10. POWDER COATED ALUMINIUM SCREENS



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Sheet No. 22 of 27

01 South Elevation

1/2000A1

STAGE 2 NOTE: UNCHANGED FROM
APPROVAL REF NO. MP09-0121
24TH NOVEMBER 2010

STAGE 2

02 West Elevation

1/2000A1

Rev.	Date	Description
C	05.02.15	DA amendment

Scale
m 5 10 15 20
0 1:500

Project Architect

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Project

PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ETTALONG BEACH

Drawing Title
STAGE 2 - WEST ELEVATION

DA SUBMISSION

Job no.	Drawing no.	Rev.
J15304	DA 802	C
Drawn by	Checked by	Date
PY	ZC	NOV 2015

REFERENCES

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REFER TO THE BASIX REPORT FOR ADDITIONAL REQUIREMENTS TO 10M THE ONES NOTED ON THE DRAWINGS

BAR SCALE NOTES

ALL DIMENSIONS AND SETOUTS ARE TO BE VERIFIED ON SITE AND ALL OMISSIONS OR ANY DISCREPANCIES TO BE NOTIFIED TO THE ARCHITECT
FIGURED DIMENSIONS TO BE USED AT ALL TIME
DO NOT SCALE MEASUREMENTS OFF DRAWINGS

FINISHES SCHEDULE

1. PRE-FINISH METAL COMPONENT PANELS
2. POWDER COATED ALUMINIUM LOUVRES
3. POWDER COATED ALUMINIUM FRAMED GLAZING
4. CLEAR GLAZING
5. GLASS BALUSTRADES
6. PAINT FINISH TO MASONRY/LANCHON II TYPE 1
7. PAINT FINISH TO MASONRY/CONCRETE TYPE 2
8. PAINT FINISH TO MASONRY/CONCRETE TYPE 3
9. PAINT FINISH TO MASONRY/CONCRETE TYPE 4
10. POWDER COATED ALUMINIUM SCREENS
11. AWNING
12. ALUMINIUM GLASS DOOR
13. ROLLER SHUTTER DOOR



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No. 1 granted on the 24 March 2016

in respect to MP 09-0121

Signed [Signature]

Sheet No. 23 of 27

Rev	Date	Description
C	05.02.16	DA amendment
Scale	5	10 15 20
m	0	1:500

Project Architect

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Project

PROPOSED MIXED USE DEVELOPMENT

47-50 THE ESPLANADE ET TALONG BEACH

Drawing Title

STAGE 2 - EAST ELEVATION

DA SUBMISSION

Job no.	Drawing no.	Rev
J15304	DA 803	C
Drawn by	Checked by	Date
PY	ZC	NOV 2015

01 North Elevation

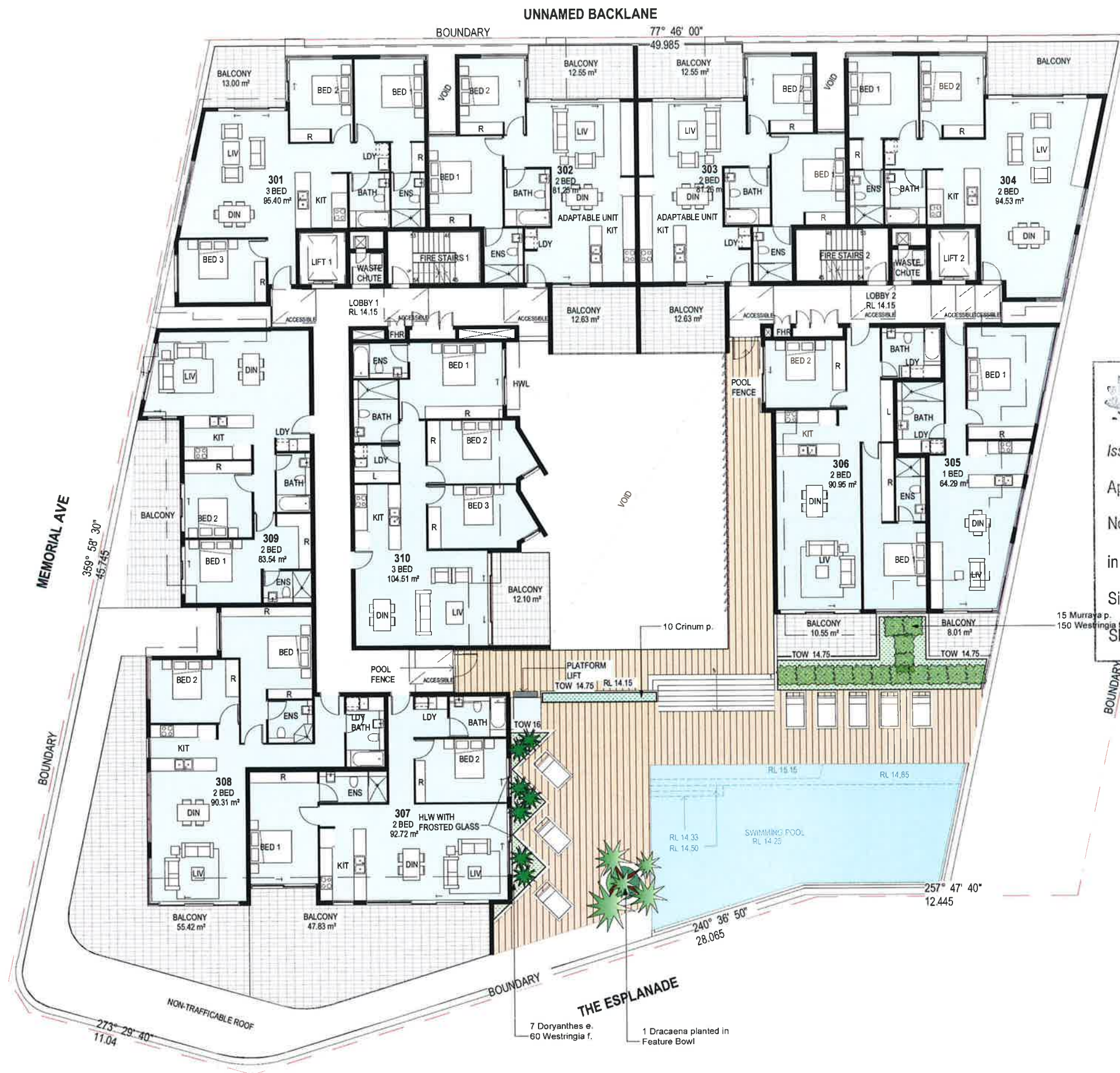
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STAGE 2 NOTE: UNCHANGED FROM
APPROVAL REF NO. MP09-0121
24TH NOVEMBER 2010

STAGE 2

02 East Elevation

1:2000A1



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in respect to MP 09-0121

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Sheet No. 26 of 27



Crinum pedunculatum
Crinum Lily

Doryanthes excelsa
Gymea Lily

Hibbertia scandens
Golden guinea flower



Murraya paniculata
Orange Jessamine

Westringia fruticosa
Westringia

Dracaena draco
Dragon Bold Tree



ALL EXISTING & OVERALL DIMENSIONS ARE NOMINAL & SUBJECT TO VERIFICATION ON SITE WHERE ANY DISCREPANCY OCCURS BETWEEN NEW WORK & EXISTING DIMENSIONS - EXISTING DIMENSIONS/WORK SHOULD TAKE PREFERENCE WHERE NECESSARY - OTHERWISE NOTIFY SITE DESIGN LANDSCAPE ARCHITECTS

ISSUE	AMENDMENT	DATE
A	DA ISSUE	12.11.16
B	DA ISSUE RevB	06.02.16

LEGEND

- EXISTING TREE TO BE RETAINED
- AS SELECTED PAVING (REFER TO ARCHITECT SPEC)
- AS SELECTED WOODEN DECK
- BOUNDARY
- CONCRETE FENCE REFER TO ARCHITECT PLANING

SITEDSIGN + STUDIOS
landscape architects
outdoor builders+designers
sydney south office
PO BOX 265 SEAFORTH NSW 2092
M: 0417 685 846
E: julian@sdstudios.com.au

PROJECT:
47-50 THE ESPLANADE
ET TALONG BEACH

CLIENT:
MARS CITY Pty Ltd

DRAWING:
**LEVEL 3
PLANTING PLAN**

DATE:
05/02/16

DRAWN:
JB

PROJECT NO:
15-853

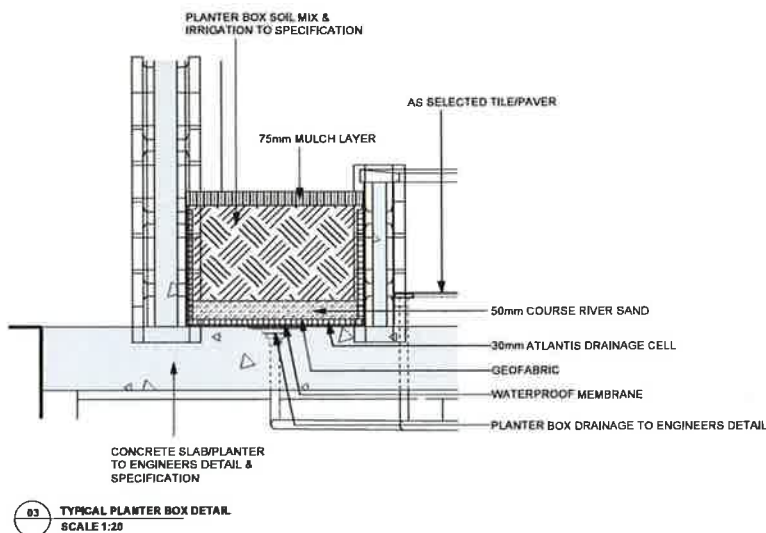
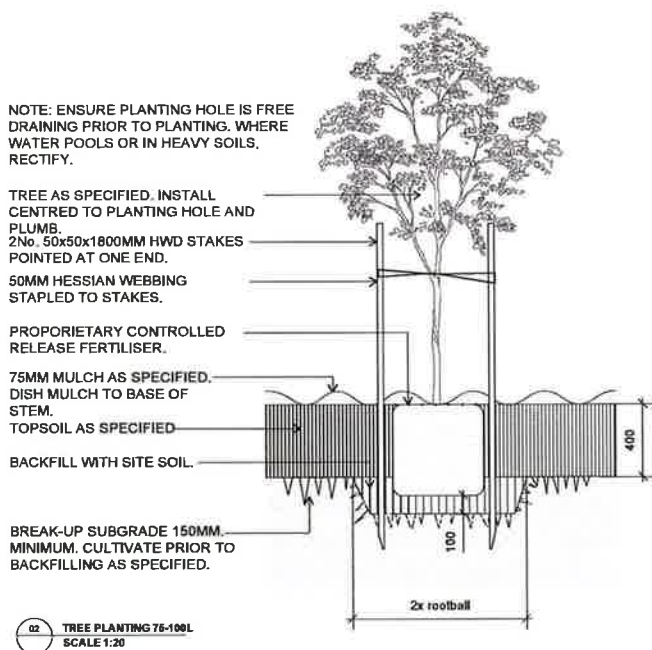
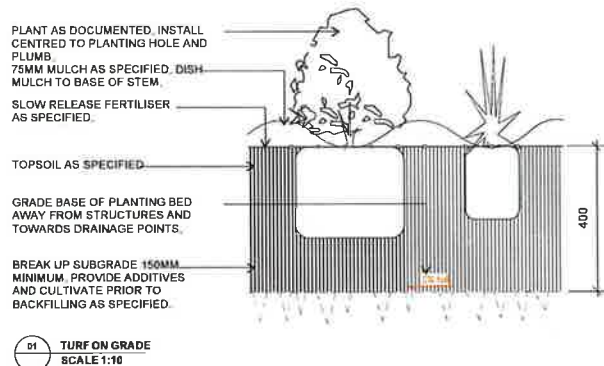
SCALE:
1:100 @ A1

DRAWING NO.:
DA03

ISSUE:
A

SHEET NO:

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LANDSCAPE MAINTENANCE

THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL AREAS OF THE CONTRACT DURING THE PROGRESS OF THE WORKS. THE CONTRACTOR SHALL COMMENCE AND FULLY IMPLEMENT THE SHORT-TERM MAINTENANCE AND ESTABLISHMENT AFTER PRACTICAL COMPLETION HAS BEEN CONFIRMED.
SITE CONTROL: REPORT TO THE PRINCIPAL'S DESIGNATED REPRESENTATIVE ON ARRIVING AT AND BEFORE LEAVING THE SITE.
PLANT ESTABLISHMENT PERIOD: THE PERIOD BETWEEN THE DATE OF PRACTICAL COMPLETION AND THE DATE OF FINAL COMPLETION.
MAINTENANCE/ ESTABLISHMENT PERIOD: 12 MONTHS.

PLANT ESTABLISHMENT: MAINTAIN THE CONTRACT AREA DURING THE PLANT ESTABLISHMENT PERIOD. ENSURE THE GENERAL APPEARANCE AND PRESENTATION OF THE LANDSCAPE AND THE QUALITY OF PLANT MATERIAL AT DATE OF PRACTICAL COMPLETION IS MAINTAINED FOR THE FULL PLANTING ESTABLISHMENT PERIOD.
EXISTING PLANT MATERIAL: MAINTAIN EXISTING PLANTING WITHIN THE LANDSCAPE CONTRACT AREA AS SPECIFIED FOR NEW PLANTING.
REPLACEMENTS: REPLACE FAILED, DEAD AND/OR DAMAGED PLANTS AT MINIMUM 3 WEEK INTERVALS AS NECESSARY THROUGHOUT THE FULL PLANT ESTABLISHMENT PERIOD.
REPORTING: SUBMIT REGULAR REPORTS BY THE LAST FRIDAY OF EACH MONTH SUMMARISING THE GENERAL STATUS OF WORKS, INCLUDE A MAINTENANCE SCHEDULE, A LOG BOOK OF MAINTENANCE ACTIVITY, SOIL TEST RESULTS AS REQUIRED FOR ANY FERTILISING PROGRAMS, AND PLANT REPLACEMENT REQUIREMENTS.
WATER RESTRICTIONS: COORDINATE THE WATER SUPPLY AND CONFIRM THE WATERING REGIME AGAINST RELEVANT GOVERNMENT LEGISLATION AND RESTRICTIONS AT THE TIME.
STAKES AND TIES: REMOVE AT THE END OF THE PLANTING ESTABLISHMENT PERIOD.
TEMPORARY FENCES: REMOVE TEMPORARY PROTECTIVE FENCES AT THE END OF THE PLANTING ESTABLISHMENT PERIOD.
COMPLIANCE: PLANT ESTABLISHMENT SHALL BE DEEMED COMPLETE, SUBJECT TO THE FOLLOWING:
* REPAIRS TO PLANTING MEDIA COMPLETED.
* PESTS, DISEASE, OR NUTRIENT DEFICIENCIES OR TOXICITIES ARE NOT EVIDENT.
* MULCHED SURFACES HAVE BEEN MAINTAINED IN A WEED FREE AND TIDY CONDITION AND TO THE SPECIFIED DEPTH.
* VEGETATION IS ESTABLISHED AND WELL FORMED.
* PLANTS HAVE HEALTHY ROOT SYSTEMS.

DRIP IRRIGATION PERFORMANCE SPECIFICATION

All Garden Beds and Planter Boxes are to be provided with a drip irrigation system and two taps with removeable water keys, connected to a pump and the rainwater tank. All planter boxes on the upper level are to be provided with a drip irrigation system and one tap connected to a pump and the rainwater tank.

Design, supply and install a permanent, fully automated drip irrigation system. The system is to cover all new garden areas to the extent shown on the drawings. Water is to be delivered via sub surface drippers and/or drip lines. The system is to be capable of supplying 32mm of water/week over all irrigated areas. It is to be designed to operate for a minimum of 10 years. All lines are to be buried below the finished ground level. Pits are to be set on a 200mm deep bed of gravel. Pit covers are to be level with the soil surface. Avoid seepage onto pavement, buildings or other structures. Include plumbing connection to main, main valve and backflow prevention. Central controller/programmer to be located in a lockable box in nominated location to be approved prior to installation. A dedicated GPO is to be provided for the controller to be plugged into. All work is to be approved by the local regulatory authority. Prepare as installed drawings and commission the system. The Contractor is to submit documents of the design and specification for the irrigation system for approval prior to commencement of work. Equipment is to comply with AS 2698.1 & as 2698.3.

Connect to pumps connect to the rainwater tanks.

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AMENDMENTS

ISSUE	AMENDMENT	DATE
A	DA ISSUE	12.11.15
B	DA ISSUE RevB	05.02.16

LEGEND

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in respect to MP 09-0121
Signed [Signature]
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**SITEDESIGN
+STUDIOS**
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outdoor builders+designers
sydney south office
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E: julian@sdstudios.com.au

PROJECT:
**47-50 THE ESPLANADE
ETTALONG BEACH**

CLIENT:
MIXED USE DEVELOPMENT

DRAWING:
TYPICAL DETAILS

DATE:
05/02/16

DRAWN:
JB

PROJECT NO:
15-853

SCALE:
AS NOTED @ A1

DRAWING NO.:
DA04

ISSUE:
A

SHEET NO:

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