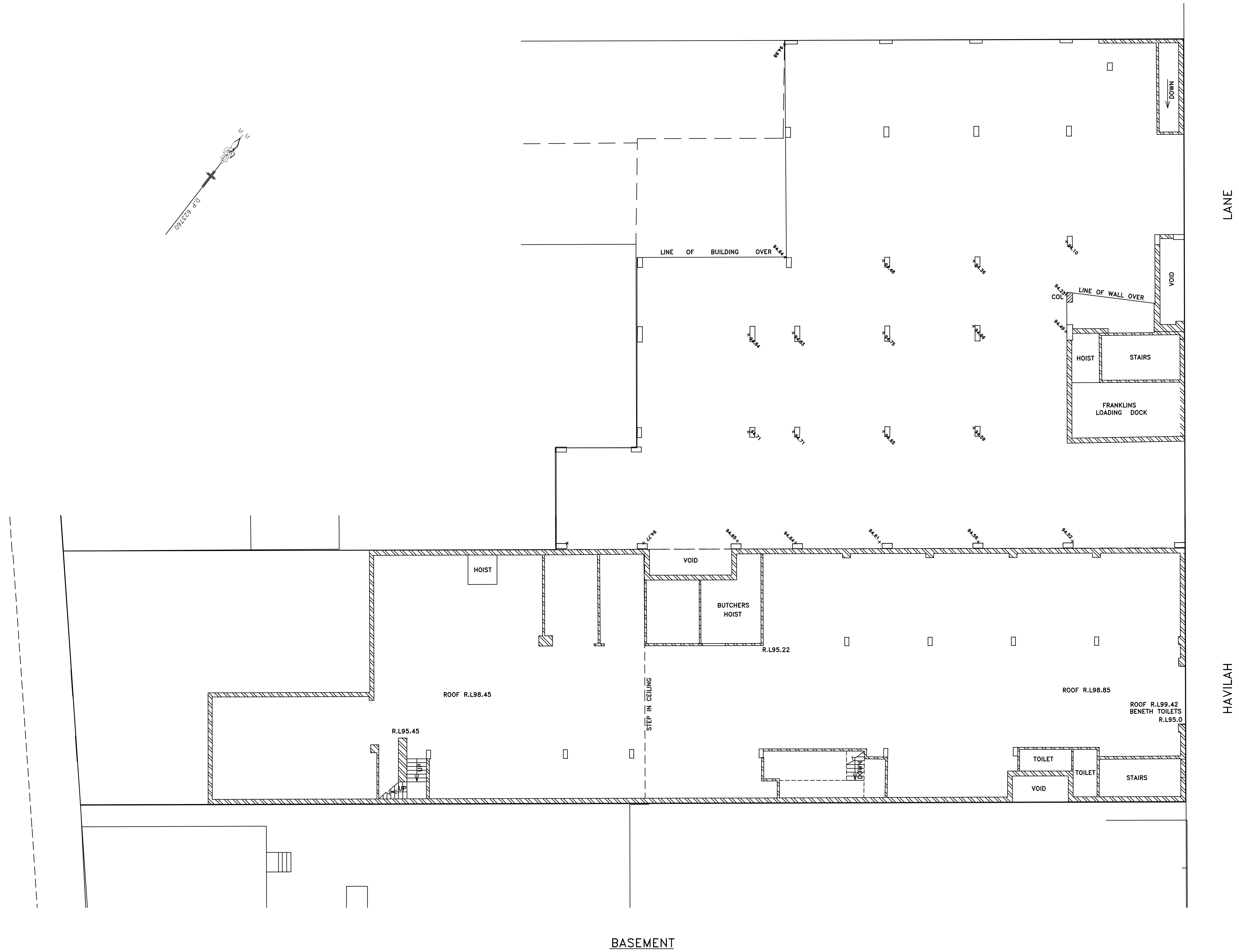


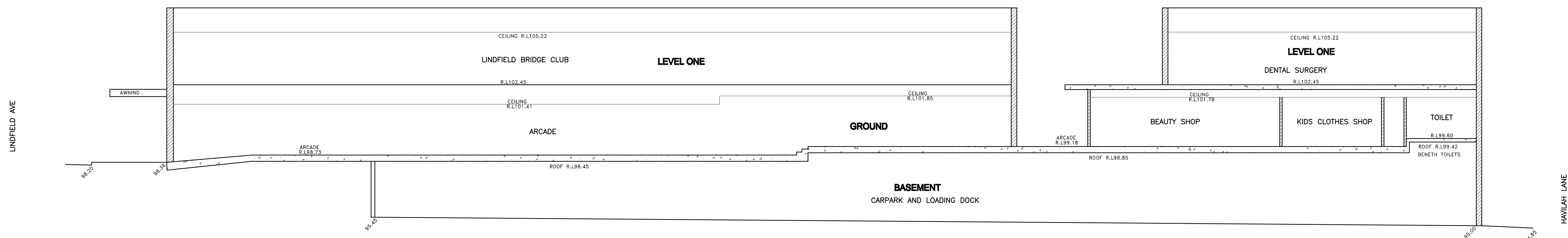
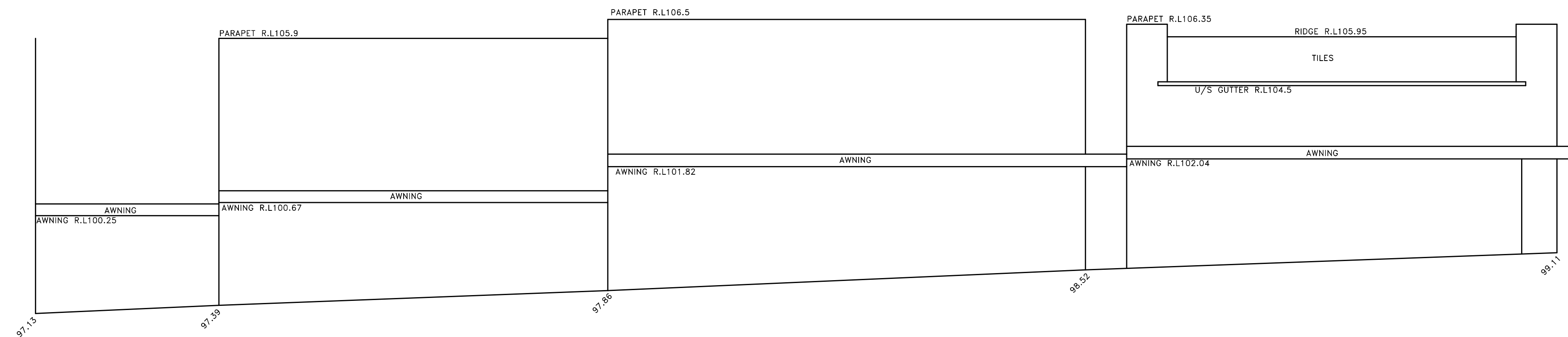
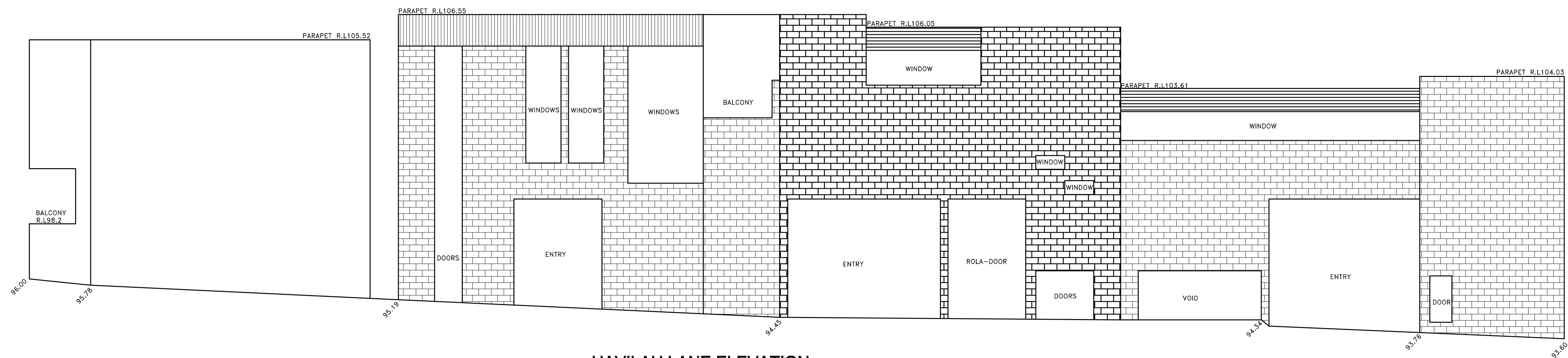


BASEMENT

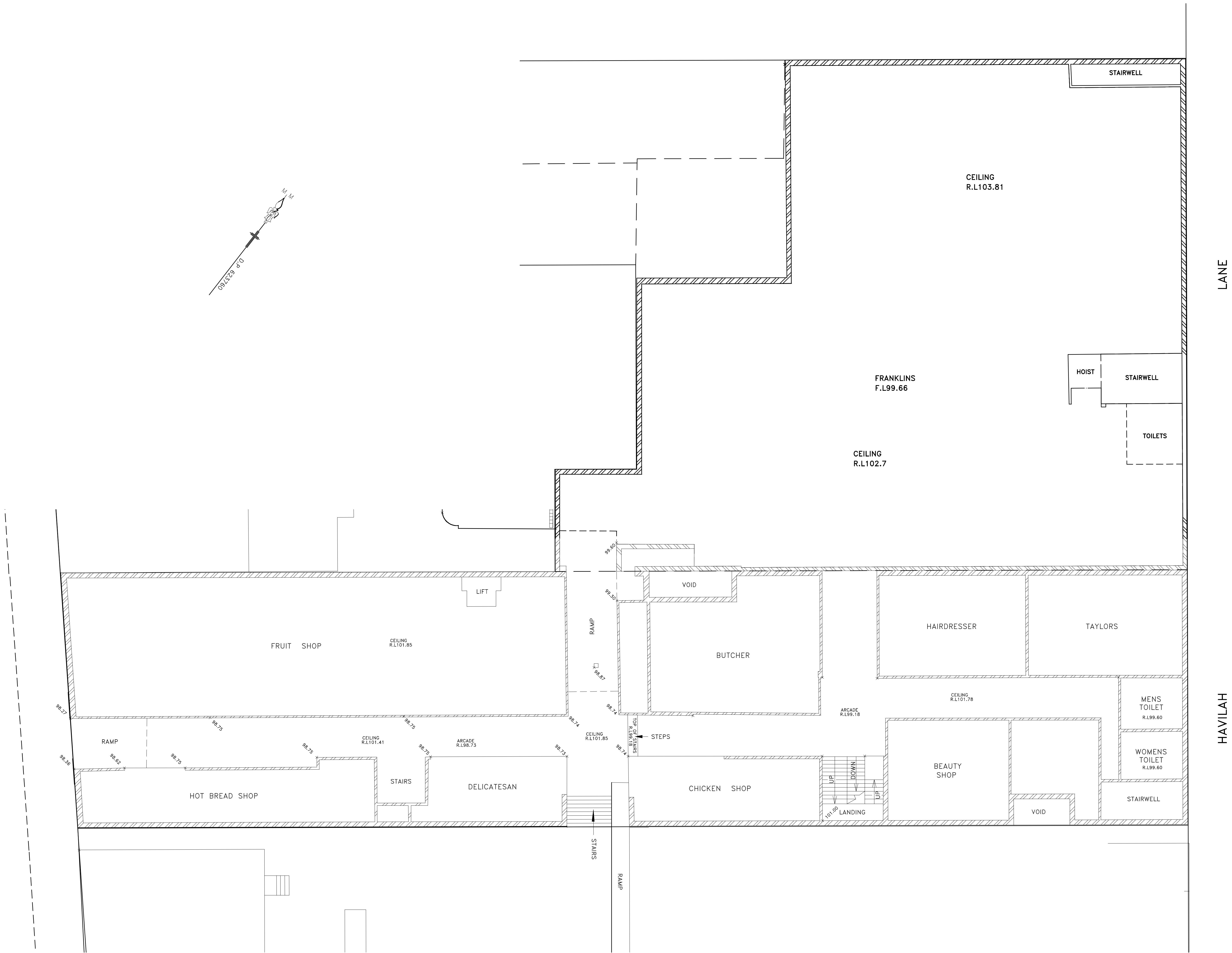
ISSUE		DATE	TITLE: PLAN SHOWING BASEMENT FLOOR LAYOUT "LINDFIELD ARCADE" No.39-41 LINDFIELD AVE, LINDFIELD	
			LGA: KU-RING-GAI	REFERENCE: 21369
			CLIENT: PTI GROUP	DATE: 29-4-08
			SCALE (AT B1) 1:100	DATUM: AHD
				SURVEYOR: JTH
				SHEET 3

Higgins Norton Partners
SURVEYORS & PROPERTY CONSULTANTS
A.C.N. 088 186 378
LEVEL 6
149 CASTLEREAGH ST.
SYDNEY 2000

PH +61 2 9264 8044
FAX +61 2 9267 5468
admin@hnpartners.com.au



ISSUE	DATE		TITLE:		Higgins Norton Partners SURVEYORS & PROPERTY CONSULTANTS	
			PLAN SHOWING SELECTED ELEVATIONS & SECTIONS OVER NO.27 TO 31, 39 & 41 LINDFIELD AVE, LINDFIELD		A.C.N. 086 186 378 LEVEL 6 149 CASTLEREAGH ST. SYDNEY 2000	
			LGA:	KU-RING-GAI	REFERENCE:	21369
			CLIENT:	PTI GROUP	DATE:	29-4-06
			SCALE (AT B4):	1:100	DATUM:	AMD
					SURVEYOR:	ITH
						6

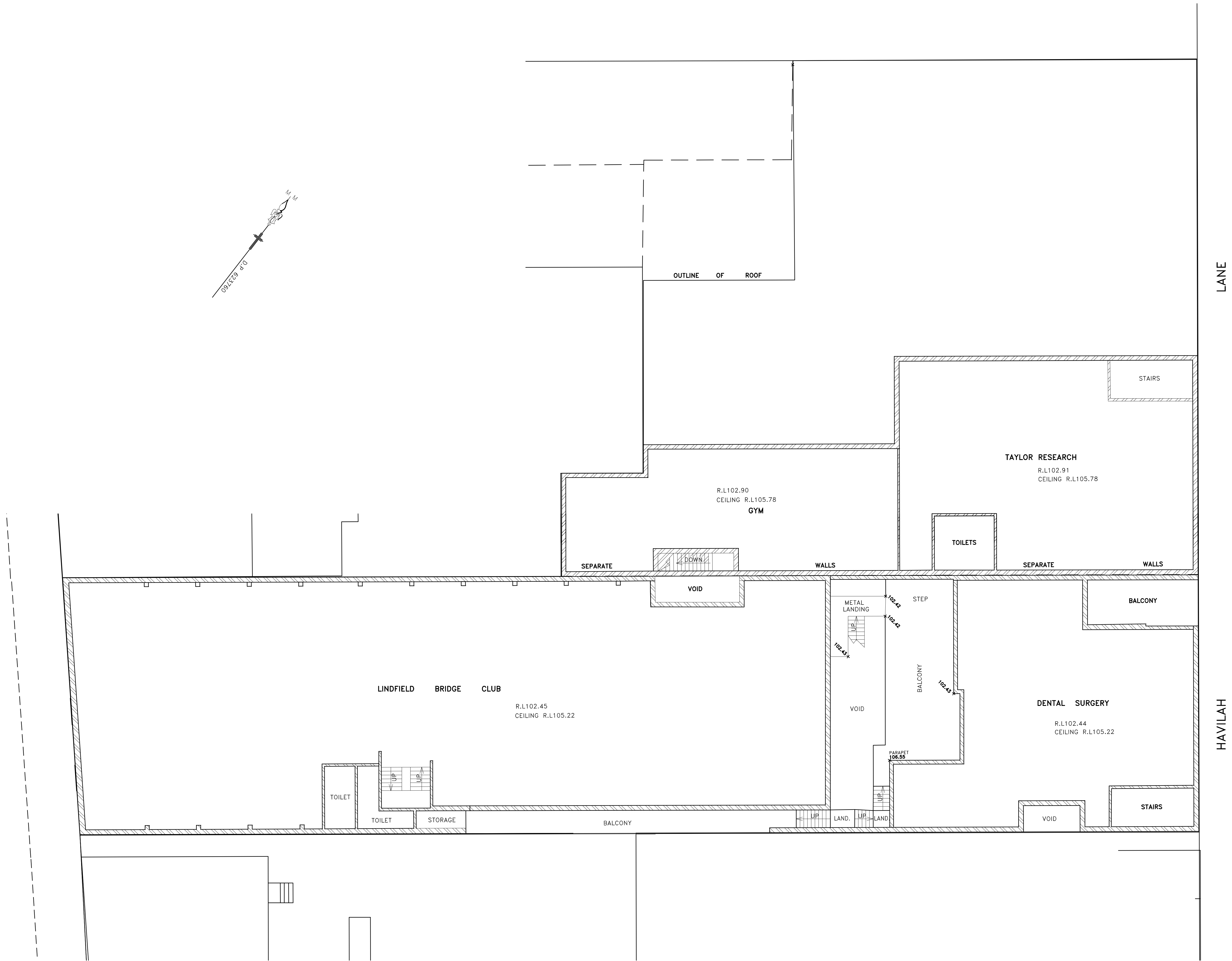


GROUND FLOOR

ISSUE	DATE	TITLE: PLAN SHOWING GROUND FLOOR LAYOUT "LINDFIELD ARCADE" No.39-41 LINDFIELD AVE, LINDFIELD		REFERENCE: 21369	
		LGA: KU-RING-GAI	CLIENT: PTI GROUP	DATE: 29-4-08	SHEET 4
		SCALE (AT B1) 1:100	DATUM: AHD	SURVEYOR: JTH	

Higgins Norton Partners
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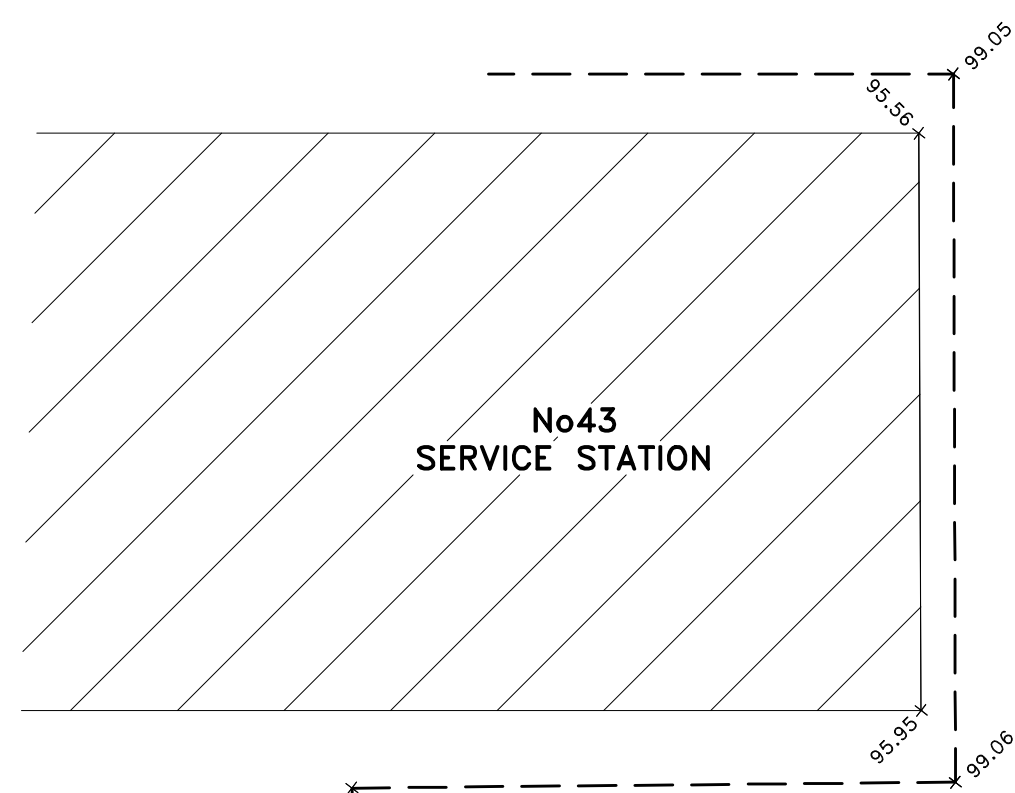
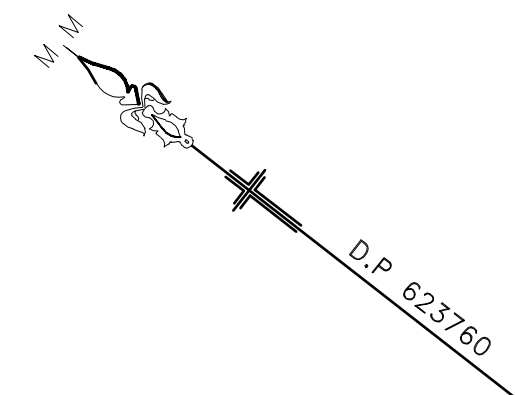


LEVEL 1

ISSUE	DATE	TITLE: PLAN SHOWING LEVEL 1 - FLOOR LAYOUT "LINDFIELD ARCADE" No. 39-41 LINDFIELD AVE, LINDFIELD			
		LGA: KU-RING-GAI	REFERENCE: 21369		
		CLIENT: PTI GROUP	DATE: 29-4-06	SHEET	
		SCALE (AT B1) 1:100	DATUM: AHD	SURVEYOR: JTH	5

Higgins Norton Partners
SURVEYORS & PROPERTY CONSULTANTS
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149 CASTLEREAGH ST.
SYDNEY 2000

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admin@hnpartners.com.au



AWNING

D.P. 502955

D. P. 347906

11
D.P. 713206

A
D.P. 418801

No41
TWO STOREY

No39
TWO STOREY

No37
TWO STOREY

No35
TWO STOREY

No33
TWO STOREY

No27-31
"LINDFIELD ARCADE"

No25
TRAVEL AGENT

No23
PHARMACY

No
MEDICAL CENTRE

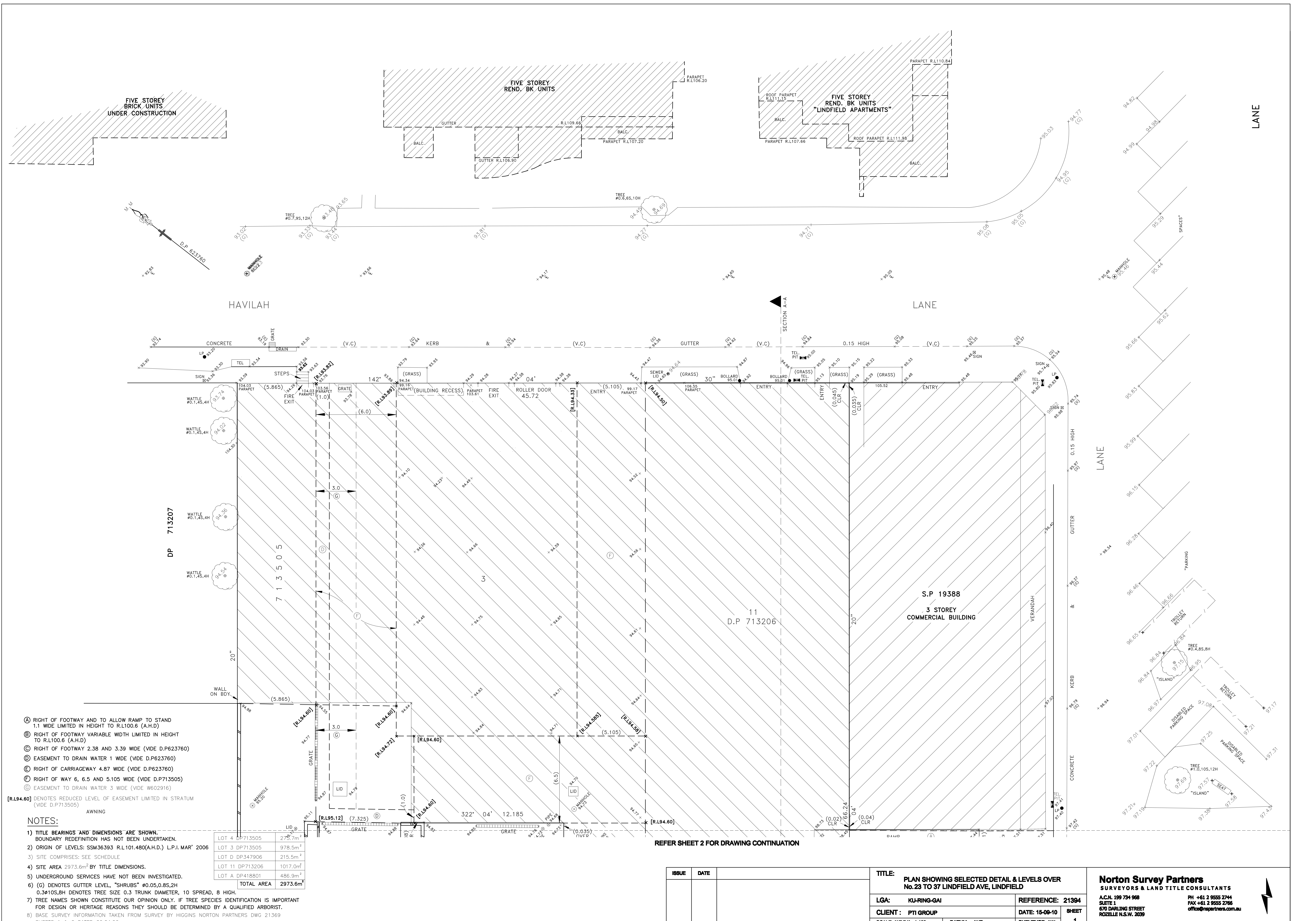
- (A) RIGHT OF FOOTWAY AND TO ALLOW RAMP TO STAND 1.1 WIDE LIMITED IN HEIGHT TO R.L100.6 (A.H.D.)
(B) RIGHT OF FOOTWAY VARIABLE WIDTH LIMITED IN HEIGHT TO R.L100.6 (A.H.D.)
(C) RIGHT OF FOOTWAY 2.38 AND 3.39 WIDE (VIDE D.P623760)
(D) EASEMENT TO DRAIN WATER 1 WIDE (VIDE D.P623760)
(E) RIGHT OF CARRIAGEWAY 4.87 WIDE (VIDE D.P623760)
(F) RIGHT OF WAY 6, 6.5 AND 5.105 WIDE (VIDE D.P713505)
(G) EASEMENT TO DRAIN WATER 3 WIDE (VIDE W602916)

[R.L94.60] DENOTES REDUCED LEVEL OF EASEMENT LIMITED IN STRATUM (VIDE D.P713505)

NOTES:

- 1) TITLE BEARINGS AND DIMENSIONS ARE SHOWN. BOUNDARY REDEFINITION HAS NOT BEEN UNDERTAKEN.
- 2) ORIGIN OF LEVELS: SSM36393 R.L101.480(A.H.D.) L.P.I. MAR' 2006
- 3) SITE COMPRISES: LOT D DP 347906, LOT 11 DP 713206, LOTS 3&4 DP 713505
- 4) SITE AREA 2487 m² BY TITLE DIMENSIONS.
- 5) UNDERGROUND SERVICES HAVE NOT BEEN INVESTIGATED.
- 6) (G) DENOTES GUTTER LEVEL. 0.3*10S,8H DENOTES TREE SIZE 0.3 TRUNK DIAMETER, 10 SPREAD, 8 HIGH.
- 7) TREE NAMES SHOWN CONSTITUTE OUR OPINION ONLY. IF TREE SPECIES IDENTIFICATION IS IMPORTANT FOR DESIGN OR HERITAGE REASONS THEY SHOULD BE DETERMINED BY A QUALIFIED ARBORIST.

ISSUE	DATE	TITLE: PLAN SHOWING SELECTED DETAIL & LEVELS OVER No.27 TO 31, 39 & 41 LINDFIELD AVE, LINDFIELD		Higgins Norton Partners SURVEYORS & PROPERTY CONSULTANTS	
		LGA: KJURING-GAI	REFERENCE: 21369	A.C.N. 088 186 378 LEVEL 6 149 CASTLEREAGH ST. SYDNEY 2000	
		CLIENT: PTI GROUP	DATE: 29-4-08	SHEET	
		SCALE (AT B1) 1:100	DATUM: AHD	SURVEYOR: JTH	1



- Ⓐ RIGHT OF FOOTWAY AND TO ALLOW RAMP TO STAND 1.1 WIDE LIMITED IN HEIGHT TO R.L100.6 (A.H.D)
- Ⓑ RIGHT OF FOOTWAY VARIABLE WIDTH LIMITED IN HEIGHT TO R.L100.6 (A.H.D)
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- Ⓖ EASEMENT TO DRAIN WATER 3 WIDE (VIDE W602916)

[R.L94.60] DENOTES REDUCED LEVEL OF EASEMENT LIMITED IN STRATUM (VIDE D.P713505)

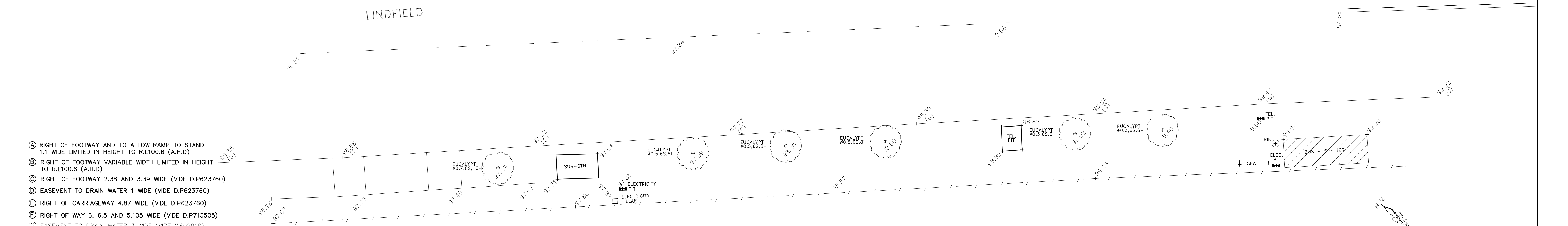
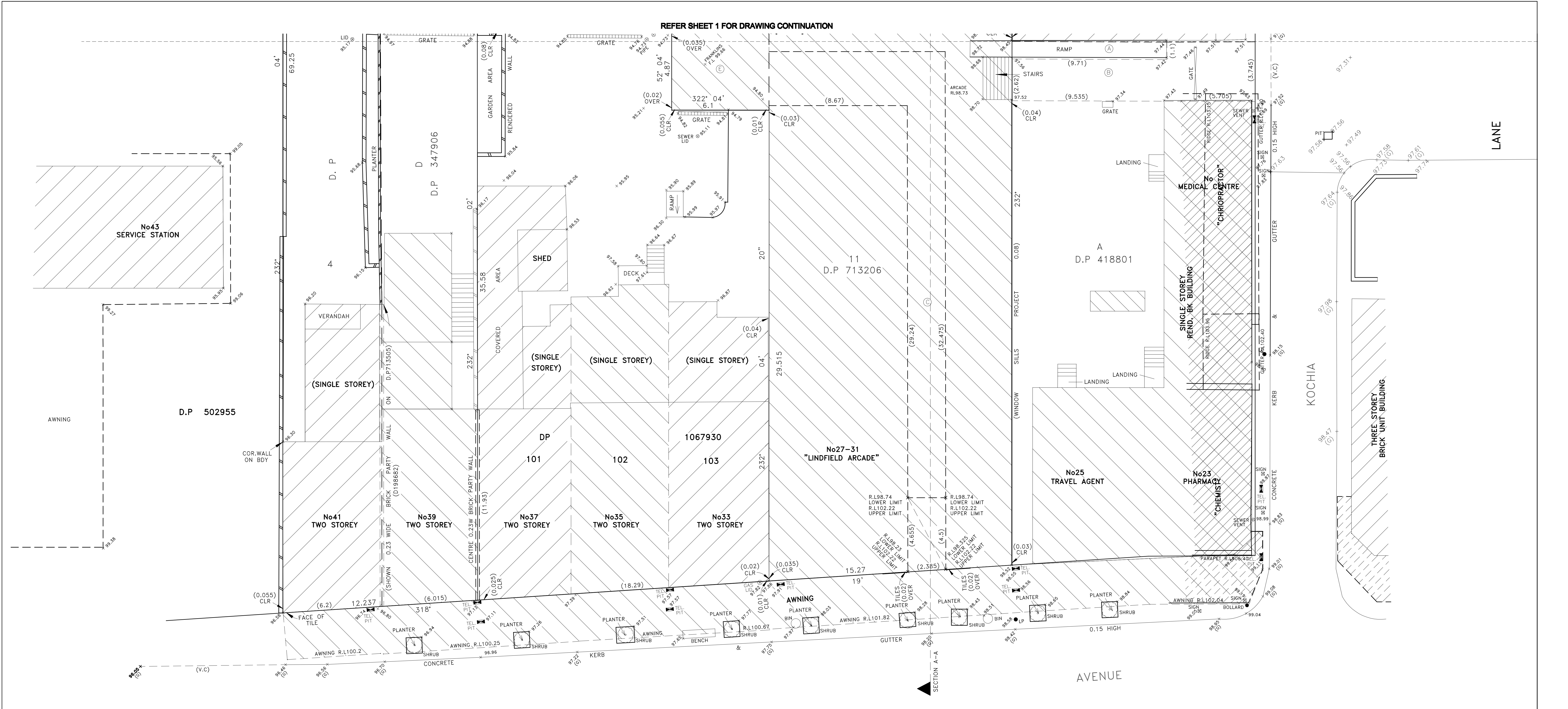
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- 3) SITE COMPRISES: SEE SCHEDULE
- 4) SITE AREA 2973.6m² BY TITLE DIMENSIONS.
- 5) UNDERGROUND SERVICES HAVE NOT BEEN INVESTIGATED.
- 6) (G) DENOTES GUTTER LEVEL, "SHRUBS" Ø0.05,0.8S,2H 0.3Ø10S,8H DENOTES TREE SIZE 0.3 TRUNK DIAMETER, 10 SPREAD, 8 HIGH.
- 7) TREE NAMES SHOWN CONSTITUTE OUR OPINION ONLY. IF TREE SPECIES IDENTIFICATION IS IMPORTANT FOR DESIGN OR HERITAGE REASONS THEY SHOULD BE DETERMINED BY A QUALIFIED ARBORIST.
- 8) BASE SURVEY INFORMATION TAKEN FROM SURVEY BY HIGGINS NORTON PARTNERS DWG 21369 SHEETS 1 & 2 DATED 29.04.06

LOT 4 DP713505	275.7m ²
LOT 3 DP713505	978.5m ²
LOT D DP347906	215.5m ²
LOT 11 DP713206	1017.0m ²
LOT A DP418801	486.9m ²
TOTAL AREA	2973.6m ²

REFER SHEET 2 FOR DRAWING CONTINUATION

ISSUE	DATE	TITLE: PLAN SHOWING SELECTED DETAIL & LEVELS OVER No.23 TO 37 LINDFIELD AVE, LINDFIELD		Norton Survey Partners SURVEYORS & LAND TITLE CONSULTANTS	
		LGA: KURRING-GAI	REFERENCE: 21394	A.C.N. 199 734 968 SUITE 1 670 DARLING STREET ROZELLE N.S.W. 2039	
		CLIENT: PTI GROUP	DATE: 15-09-10	SHEET	PH +61 2 9555 2744 FAX +61 2 9555 2766 office@npartners.com.au
		SCALE (AT B1) 1:100	DATUM: AHD	SURVEYOR: AW	1



NOTES:

- TITLE BEARINGS AND DIMENSIONS ARE SHOWN. BOUNDARY REDEFINITION HAS NOT BEEN UNDERTAKEN.
- ORIGIN OF LEVELS: SSM36393 R.L101.480(A.H.D.) L.P.I. MAR '2006
- SITE COMPRISES: SEE SCHEDULE
- SITE AREA 2973.6m² BY TITLE DIMENSIONS.
- UNDERGROUND SERVICES HAVE NOT BEEN INVESTIGATED.
- (G) DENOTES GUTTER LEVEL, "SHRUBS" Ø0.05,0.85,2H 0.3Ø105,8H DENOTES TREE SIZE 0.3 TRUNK DIAMETER, 10 SPREAD, 8 HIGH.
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REFER SHEET 2 FOR DRAWING CONTINUATION

ISSUE	DATE

TITLE: PLAN SHOWING SELECTED DETAIL & LEVELS OVER No.23 TO 37 LINDFIELD AVE, LINDFIELD	
LGA: KJURRING-GAI	REFERENCE: 21394
CLIENT: PTI GROUP	DATE: 15-09-10 SHEET 2
SCALE (AT B1): 1:100	DATUM: AHD SURVEYOR: AW

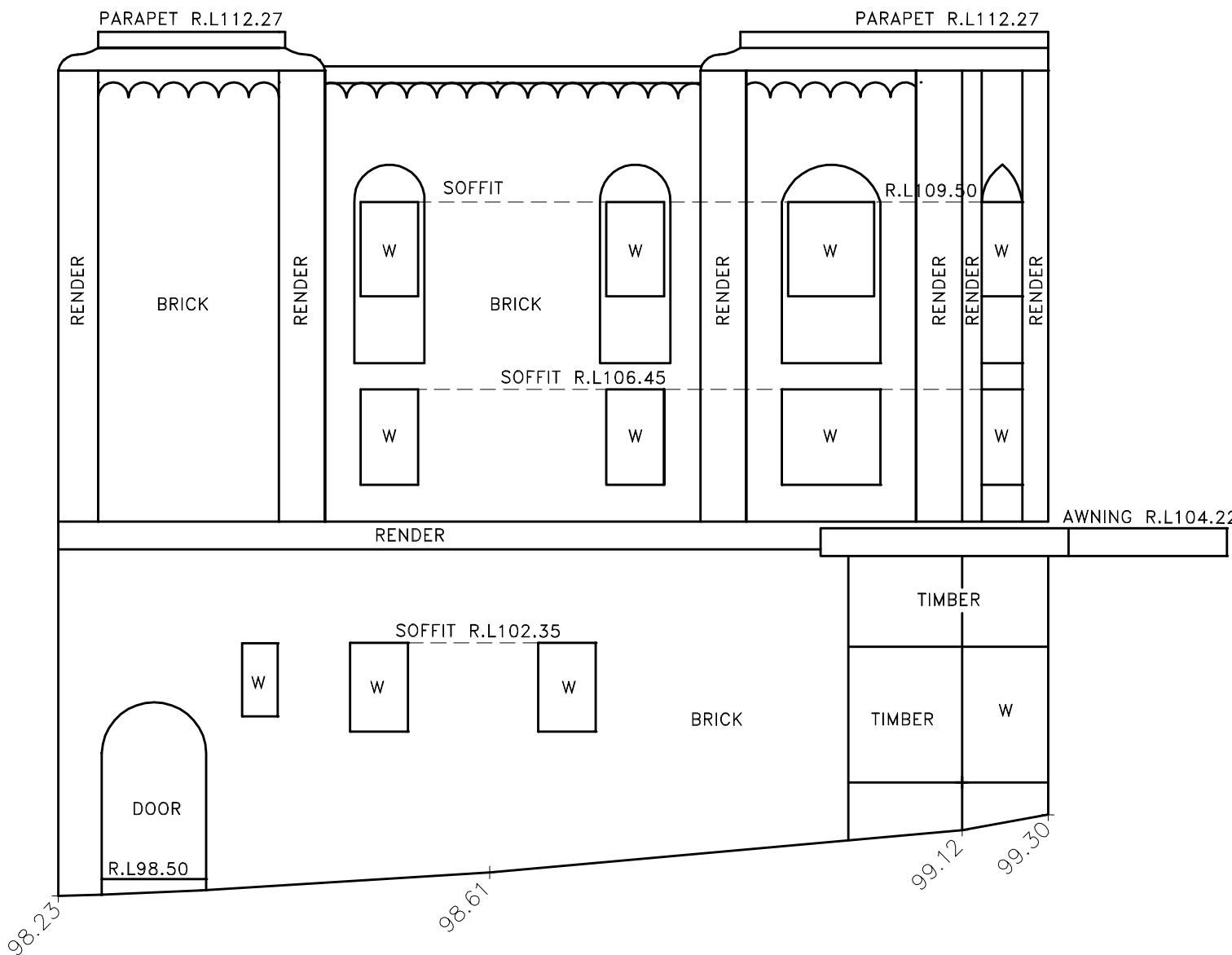
Norton Survey Partners
SURVEYORS & LAND TITLE CONSULTANTS

A.C.N. 199 734 968
SUITE 1
670 DARLING STREET
ROZELLE N.S.W. 2039

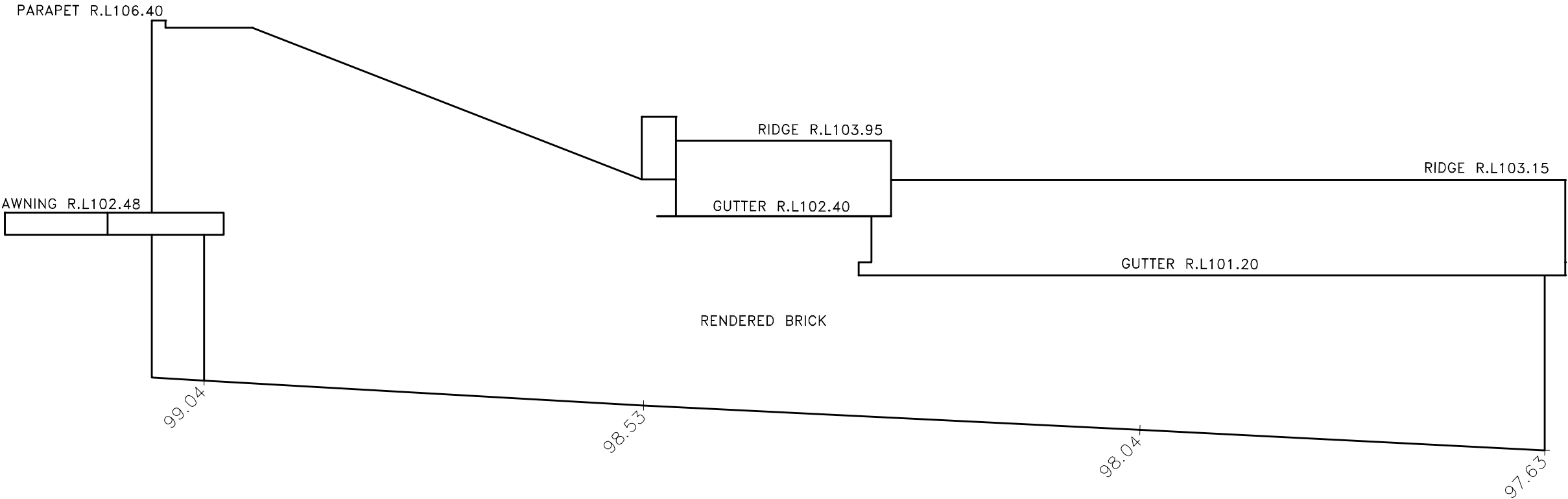
PH +61 2 9555 2744
FAX +61 2 9555 2766
office@nspartners.com.au

REFER SHEET 1 FOR DRAWING CONTINUATION

LANE



NORTH WESTERN ELEVATION OF THE VILLAGE PHARMACY



SOUTH EASTERN ELEVATION OF No.23 (CHEMIST AND CHIROPRACTOR)

- Ⓐ RIGHT OF FOOTWAY AND TO ALLOW RAMP TO STAND 1.1 WIDE LIMITED IN HEIGHT TO R.L100.6 (A.H.D)
- Ⓑ RIGHT OF FOOTWAY VARIABLE WIDTH LIMITED IN HEIGHT TO R.L100.6 (A.H.D)
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ISSUE	DATE	

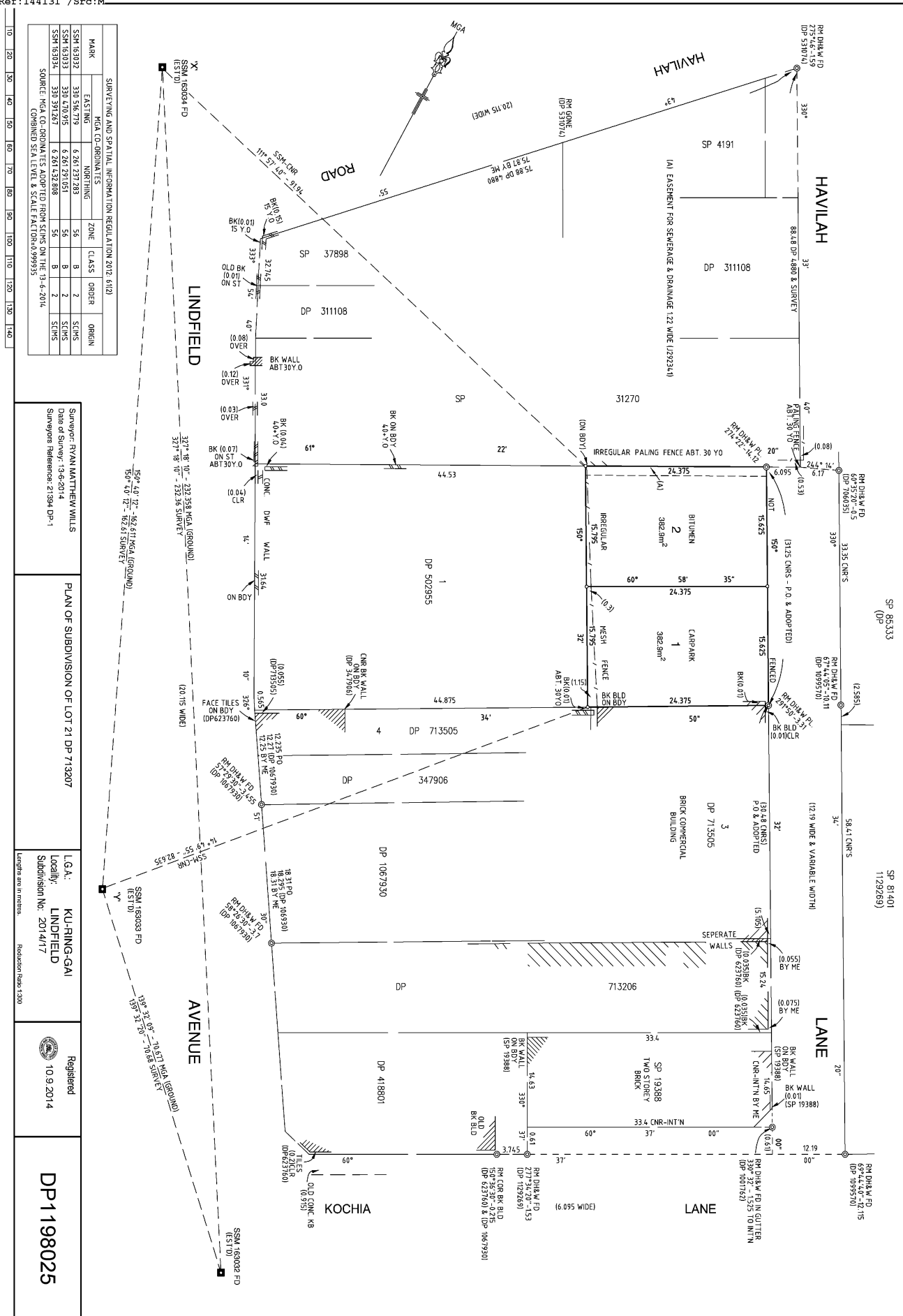
TITLE: PLAN SHOWING SELECTED DETAIL & LEVELS OVER No.23 TO 37 LINDFIELD AVE, LINDFIELD		
LGA: KJ-RING-GAI	REFERENCE: 21394	
CLIENT : PTI GROUP	DATE: 15-09-10	SHEET
SCALE (AT B1) 1:100	DATUM : AHD	SURVEYOR: AW
		3

Norton Survey Partners
SURVEYORS & LAND TITLE CONSULTANTS

A.C.N. 199 734 968
SUITE 1
670 DARLING STREET
ROZELLE N.S.W. 2039

PH +61 2 9555 2744
FAX +61 2 9555 2766
office@nspartners.com.au





DEPOSITED PLAN ADMINISTRATION SHEET		Sheet 1 of 2 sheet(s)																					
Registered: 10.9.2014 Title System: TORRENS Purpose: SUBDIVISION Office Use Only	DP1198025 Office Use Only																						
PLAN OF SUBDIVISION OF LOT 21 DP 713207	LGA: KU-RING-GAI Locality: LINDFIELD Parish: GORDON County: CUMBERLAND																						
Crown Lands NSW/Western Lands Office Approval I, (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given. Signature: Date: File Number: Office:	Survey Certificate I, RYAN MATTHEW WILLS of NORTON SURVEY PARTNERS PTY LTD P.O. BOX 289 ROZELLE NSW 2039 a surveyor registered under the <i>Surveying and Spatial Information Act 2002</i>, certify that: *(a) The land shown in the plan was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2012</i>, is accurate and the survey was completed on 18.06.14 13.06.14 *(b) The part of the land shown in the plan (*being/*excluding ^) was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2012</i>, is accurate and the survey was completed on, the part not surveyed was compiled in accordance with that Regulation. *(c) The land shown in this plan was compiled in accordance with the <i>Surveying and Spatial Information Regulation 2012</i>. Signature: Dated: 18.06.14 13.06.14 Surveyor ID: 8478 Datum Line: "X" - "Y" Type: *Urban/*Rural The terrain is *Level-Undulating / *Steep-Mountainous. *Strike through if inapplicable.																						
Subdivision Certificate I, <u>CORRIE SWANE POOL</u> *Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of s.109J of the <i>Environmental Planning and Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set out herein. Signature: Accreditation number: Consent Authority: <u>KU-RING-GAI COUNCIL</u> Date of endorsement: <u>29-07-2014</u> Subdivision Certificate number: <u>2014/17</u> File number: <u>DA0108/14</u> *Strike through if inapplicable.	Plans used in the preparation of survey/compilation. <table style="width:100%; border: none;"> <tr> <td>DP 2932</td> <td>DP 513074</td> <td>DP 1129269</td> </tr> <tr> <td>DP 4880</td> <td>DP 628379</td> <td>SP 4191</td> </tr> <tr> <td>DP 41880</td> <td>DP 713206</td> <td>SP 19388</td> </tr> <tr> <td>DP 311108</td> <td>DP 713207</td> <td>SP 31270</td> </tr> <tr> <td>DP 338125</td> <td>DP 713505</td> <td>SP 37898</td> </tr> <tr> <td>DP 347906</td> <td>DP 1001762</td> <td></td> </tr> <tr> <td>DP 502955</td> <td>DP 1067930</td> <td></td> </tr> </table> If space is insufficient continue on PLAN FORM 6A		DP 2932	DP 513074	DP 1129269	DP 4880	DP 628379	SP 4191	DP 41880	DP 713206	SP 19388	DP 311108	DP 713207	SP 31270	DP 338125	DP 713505	SP 37898	DP 347906	DP 1001762		DP 502955	DP 1067930	
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DP 311108	DP 713207	SP 31270																					
DP 338125	DP 713505	SP 37898																					
DP 347906	DP 1001762																						
DP 502955	DP 1067930																						
Statements of intention to dedicate public roads, public reserves and drainage reserves.	Surveyor's Reference: 21394 DP-1																						
Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A																							

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 2 of 2 sheet(s)

Registered:



10.9.2014

Office Use Only

Office Use Only

PLAN OF SUBDIVISION OF LOT 21
DP 713207

DP1198025

This sheet is for the provision of the following information as required:

- A schedule of lots and addresses - See 60(c) SSI Regulation 2012
- Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
- Signatures and seals- see 195D Conveyancing Act 1919
- Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

Subdivision Certificate number: 2014/17

Date of Endorsement: 29-7-2014

SCHEDULE OF STREET ADDRESS

LOT	STREET No.	STREET NAME	STREET TYPE	LOCALITY
1	7	HAVILAH	LANE	LINDFIELD
2	9	HAVILAH	LANE	LINDFIELD

Executed by Anka (Civic Center) Pty Ltd ABN 75 114 367 663

in accordance with Sec.127 of the Corporations Act 2001 in the presence of:

Director

Name: Vera Boyarsky

Director/Secretary

Name: Alexander Boyarsky

Executed by Bannaby Investments Pty Ltd ABN 37 074 776 793

in accordance with Sec.127 of the Corporations Act 2001 in the presence of:

Director

Name: Kerra Kellidge

Director/Secretary

Name:

SOLE DIRECTOR/SECRETARY

If space is insufficient use additional annexure sheet

Surveyor's Reference: 21394 DP-1