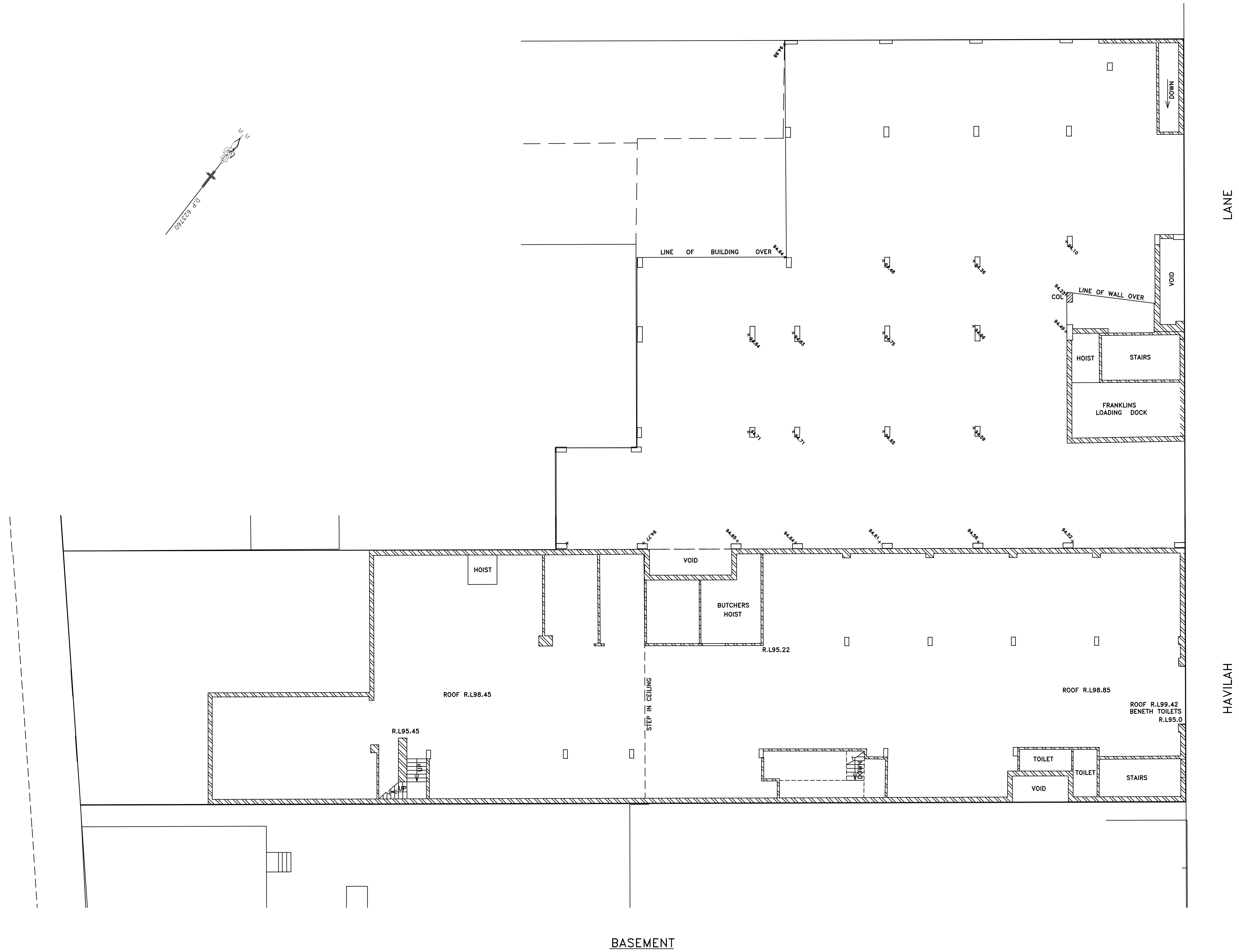


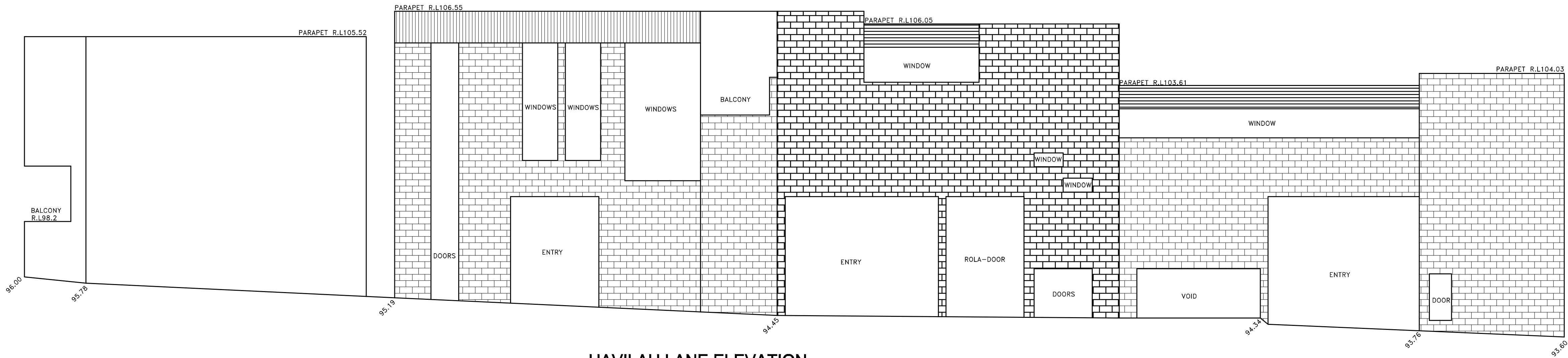


BASEMENT

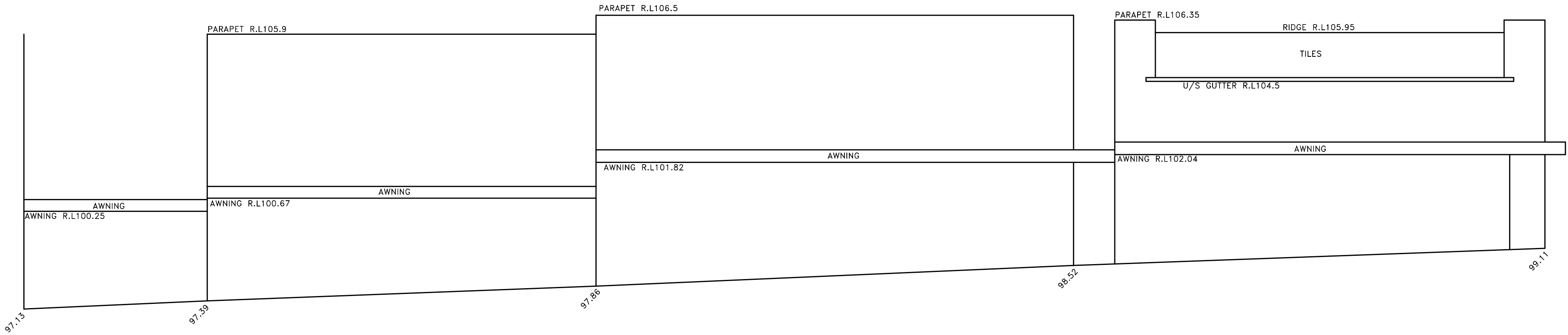
ISSUE	DATE	TITLE: PLAN SHOWING BASEMENT FLOOR LAYOUT "LINDFIELD ARCADE" No. 39-41 LINDFIELD AVE, LINDFIELD		REFERENCE: 21369	
		LGA: KU-RING-GAI	CLIENT: PTI GROUP	DATE: 29-4-08	SHEET 3
		SCALE (AT B1) 1:100	DATUM: AHD	SURVEYOR: JTH	

Higgins Norton Partners
SURVEYORS & PROPERTY CONSULTANTS
A.C.N. 088 186 378
LEVEL 6
149 CASTLEREAGH ST.
SYDNEY 2000

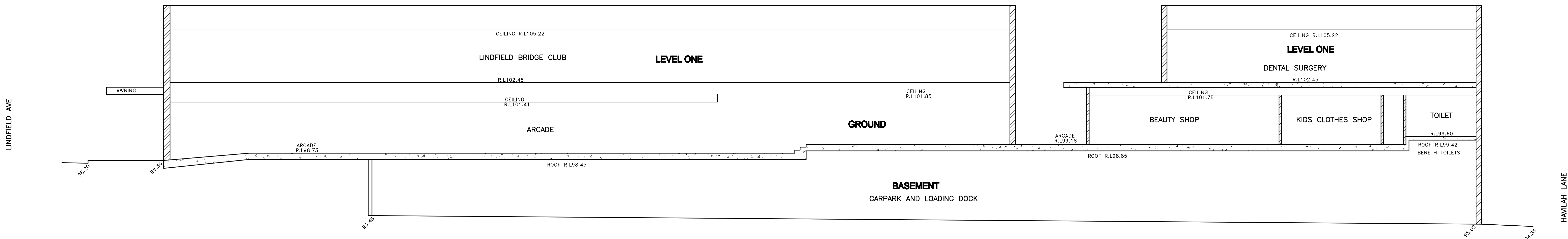
PH +61 2 9264 8044
FAX +61 2 9267 5468
admin@hnpartners.com.au



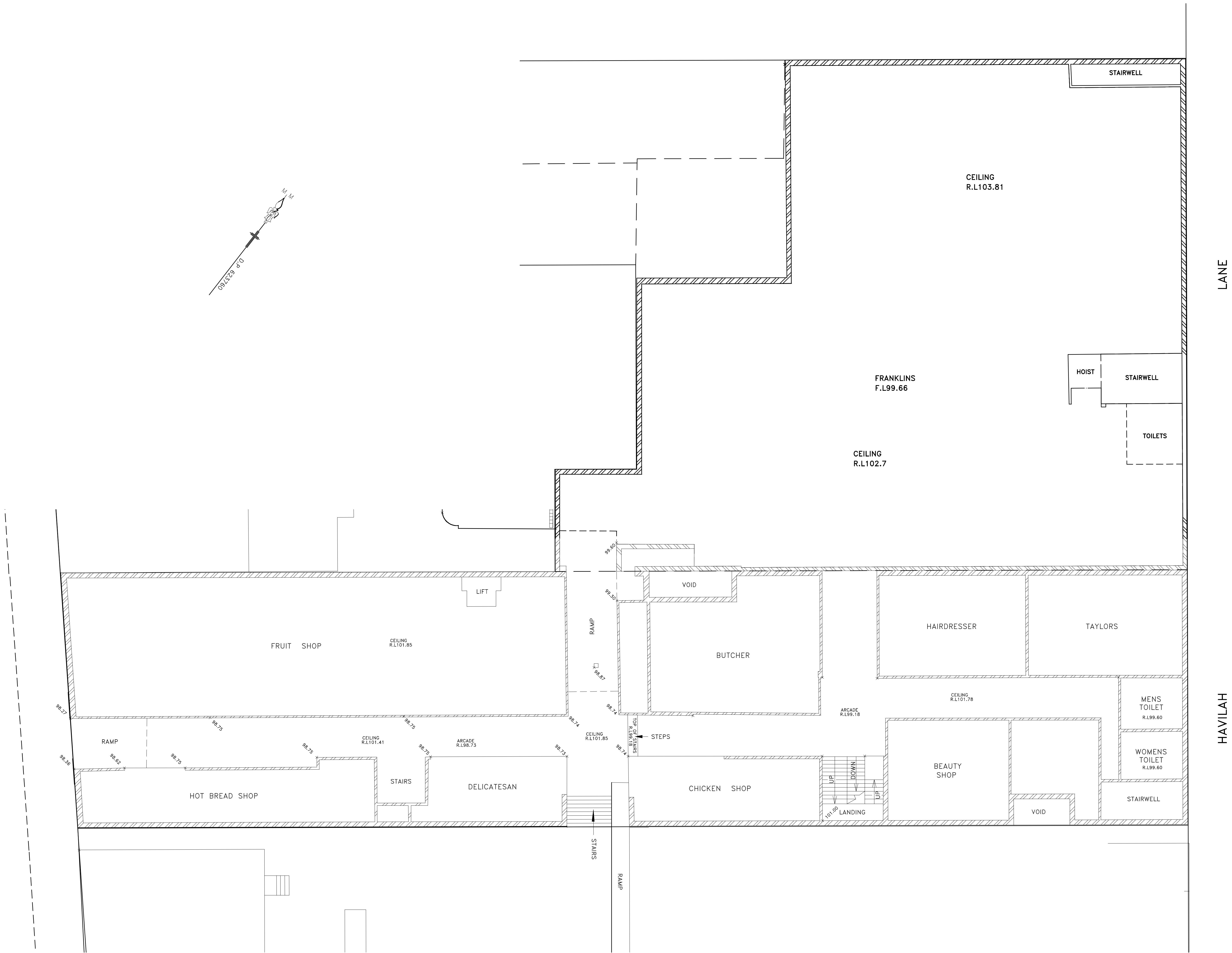
HAVILAH LANE ELEVATION



LINDFIELD AVE ELEVATION



SECTION A-A

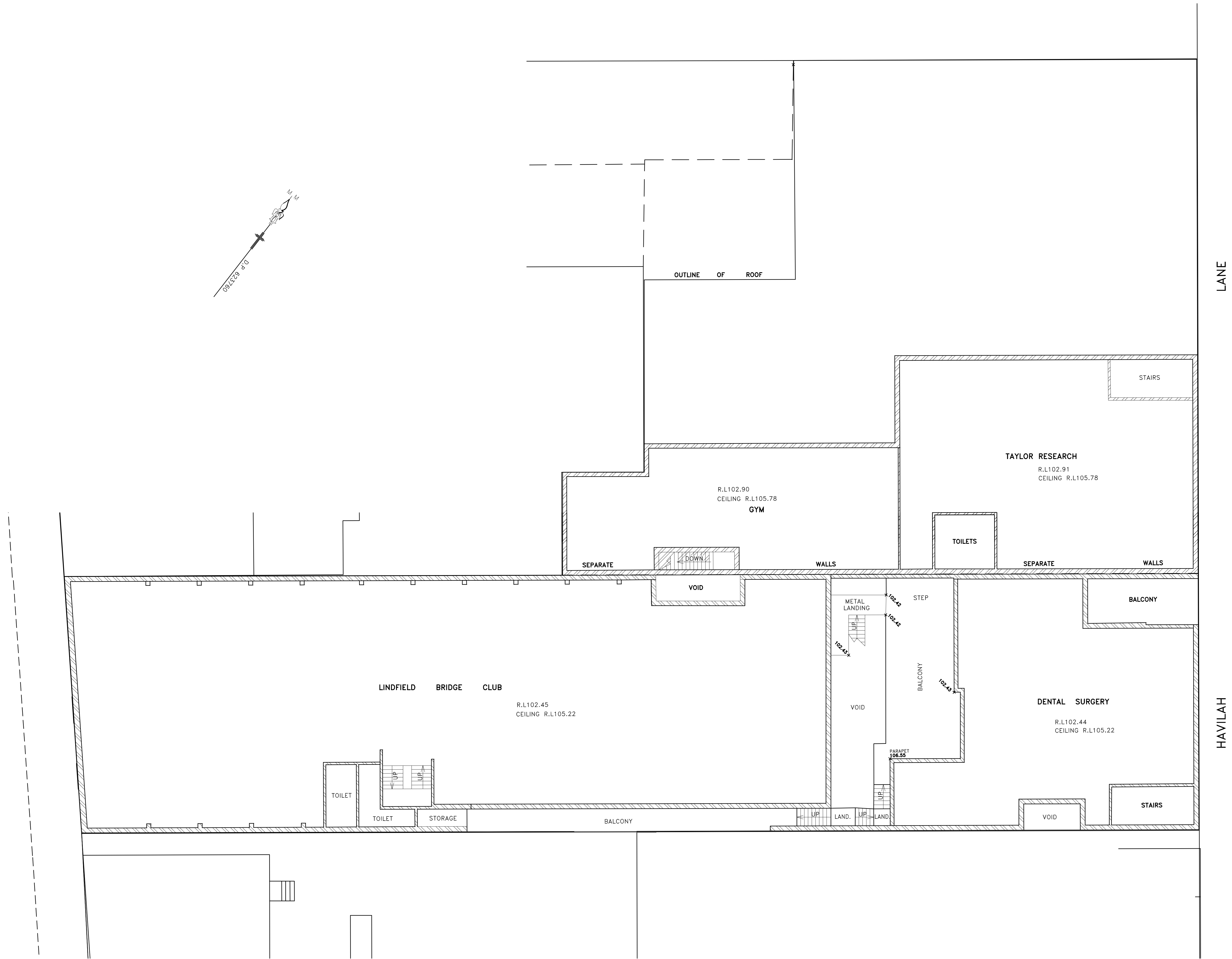


GROUND FLOOR

ISSUE	DATE		TITLE: PLAN SHOWING GROUND FLOOR LAYOUT "LINDFIELD ARCADE" No.39-41 LINDFIELD AVE, LINDFIELD			
			LGA: KJ-RING-GAI	REFERENCE: 21369		
			CLIENT: PTI GROUP	DATE: 29-4-08	SHEET	
			SCALE (AT B1) 1:100	DATUM: AHD	SURVEYOR: JTH	4

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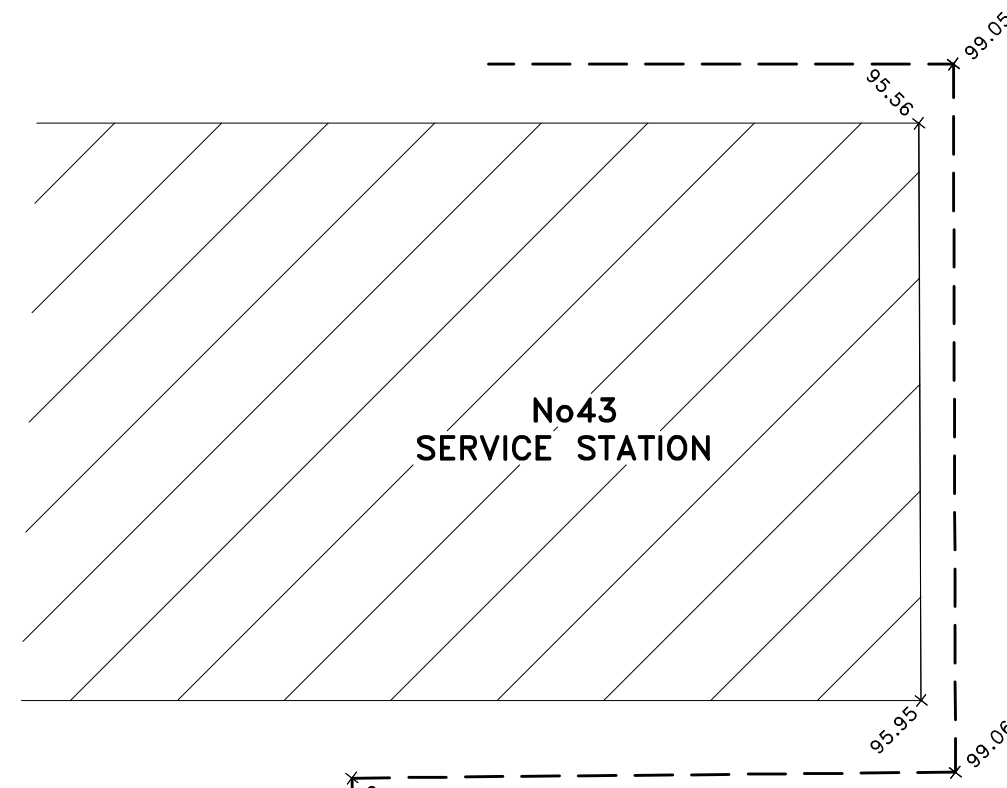
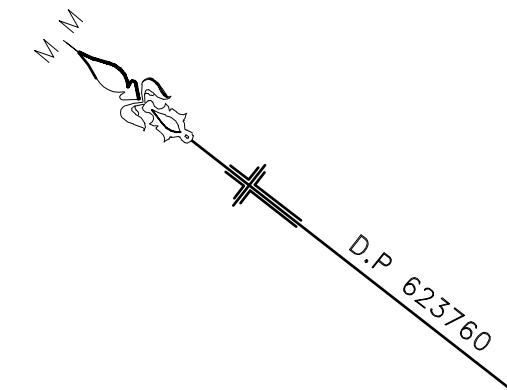


LEVEL 1

ISSUE	DATE	TITLE: PLAN SHOWING LEVEL 1 - FLOOR LAYOUT "LINDFIELD ARCADE" No. 39-41 LINDFIELD AVE, LINDFIELD			
		LGA: KU-RING-GAI	REFERENCE: 21369		
		CLIENT: PTI GROUP	DATE: 29-4-06	SHEET	
		SCALE (AT B1) 1:100	DATUM: AHD	SURVEYOR: JTH	5

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149 CASTLEREAGH ST.
SYDNEY 2000

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FAX +61 2 9267 5468
admin@hnpartners.com.au



AWNING

D.P. 502955



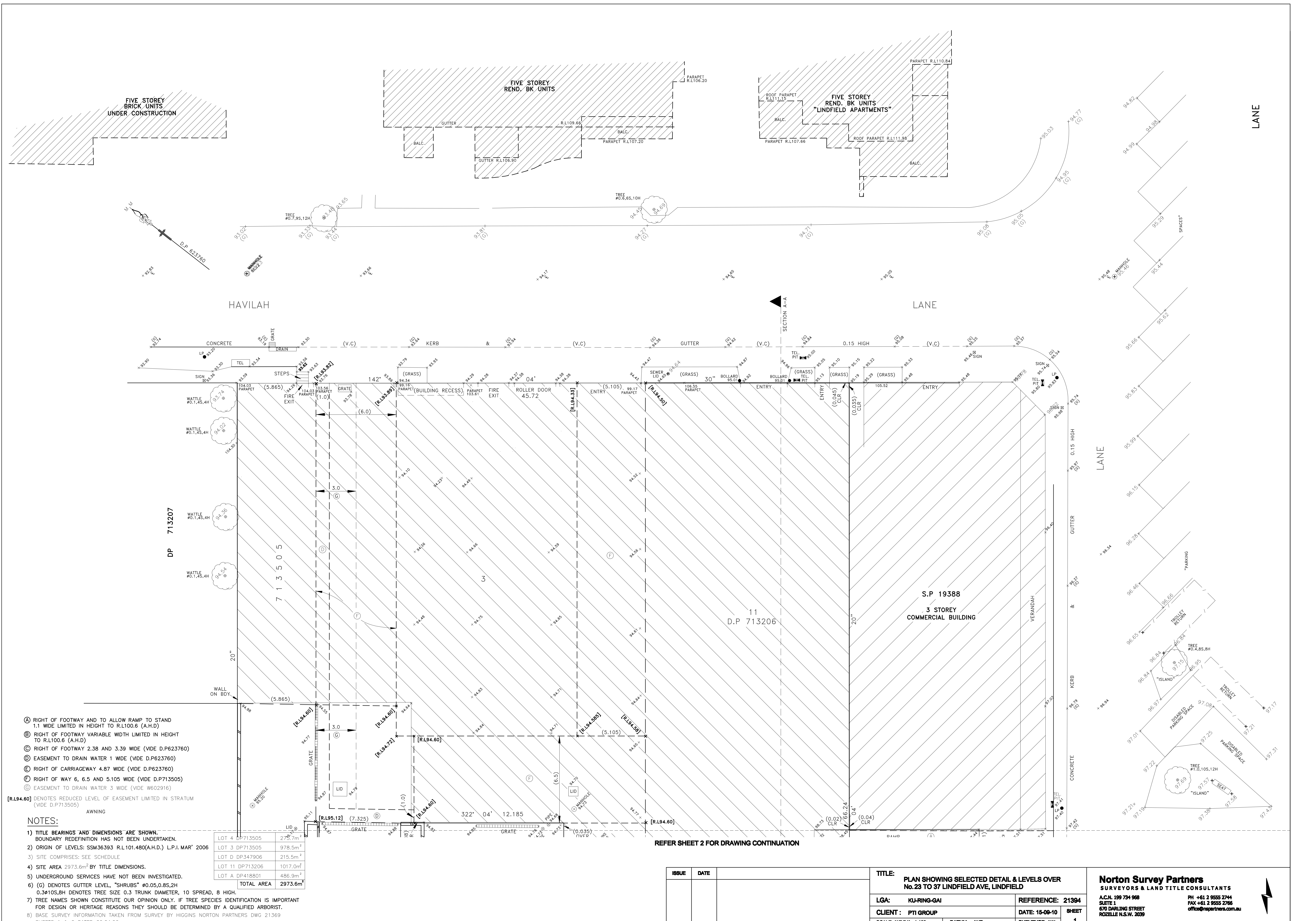
- (A) RIGHT OF FOOTWAY AND TO ALLOW RAMP TO STAND 1.1 WIDE LIMITED IN HEIGHT TO R.L100.6 (A.H.D.)
(B) RIGHT OF FOOTWAY VARIABLE WIDTH LIMITED IN HEIGHT TO R.L100.6 (A.H.D.)
(C) RIGHT OF FOOTWAY 2.38 AND 3.39 WIDE (VIDE D.P623760)
(D) EASEMENT TO DRAIN WATER 1 WIDE (VIDE D.P623760)
(E) RIGHT OF CARRIAGEWAY 4.87 WIDE (VIDE D.P623760)
(F) RIGHT OF WAY 6, 6.5 AND 5.105 WIDE (VIDE D.P713505)
(G) EASEMENT TO DRAIN WATER 3 WIDE (VIDE W602916)

[R.L94.60] DENOTES REDUCED LEVEL OF EASEMENT LIMITED IN STRATUM (VIDE D.P713505)

NOTES:

- 1) TITLE BEARINGS AND DIMENSIONS ARE SHOWN. BOUNDARY REDEFINITION HAS NOT BEEN UNDERTAKEN.
- 2) ORIGIN OF LEVELS: SSM36393 R.L101.480(A.H.D.) L.P.I. MAR' 2006
- 3) SITE COMPRISES: LOT D DP 347906, LOT 11 DP 713206, LOTS 3&4 DP 713505
- 4) SITE AREA 2487 m² BY TITLE DIMENSIONS.
- 5) UNDERGROUND SERVICES HAVE NOT BEEN INVESTIGATED.
- 6) (G) DENOTES GUTTER LEVEL. 0.3*10S,8H DENOTES TREE SIZE 0.3 TRUNK DIAMETER, 10 SPREAD, 8 HIGH.
- 7) TREE NAMES SHOWN CONSTITUTE OUR OPINION ONLY. IF TREE SPECIES IDENTIFICATION IS IMPORTANT FOR DESIGN OR HERITAGE REASONS THEY SHOULD BE DETERMINED BY A QUALIFIED ARBORIST.

ISSUE	DATE	TITLE: PLAN SHOWING SELECTED DETAIL & LEVELS OVER No.27 TO 31, 39 & 41 LINDFIELD AVE, LINDFIELD		Higgins Norton Partners SURVEYORS & PROPERTY CONSULTANTS	
		LGA: KJURING-GAI	REFERENCE: 21369	A.C.N. 088 186 378 LEVEL 6 149 CASTLEREAGH ST. SYDNEY 2000	
		CLIENT: PTI GROUP	DATE: 29-4-08	SHEET	
		SCALE (AT B1) 1:100	DATUM: AHD	SURVEYOR: JTH	1



- Ⓐ RIGHT OF FOOTWAY AND TO ALLOW RAMP TO STAND 1.1 WIDE LIMITED IN HEIGHT TO R.L100.6 (A.H.D)
- Ⓑ RIGHT OF FOOTWAY VARIABLE WIDTH LIMITED IN HEIGHT TO R.L100.6 (A.H.D)
- Ⓒ RIGHT OF FOOTWAY 2.38 AND 3.39 WIDE (VIDE D.P623760)
- Ⓓ EASEMENT TO DRAIN WATER 1 WIDE (VIDE D.P623760)
- Ⓔ RIGHT OF CARRIAGEWAY 4.87 WIDE (VIDE D.P623760)
- Ⓕ RIGHT OF WAY 6, 6.5 AND 5.105 WIDE (VIDE D.P713505)
- Ⓖ EASEMENT TO DRAIN WATER 3 WIDE (VIDE W602916)

[R.L94.60] DENOTES REDUCED LEVEL OF EASEMENT LIMITED IN STRATUM (VIDE D.P713505)

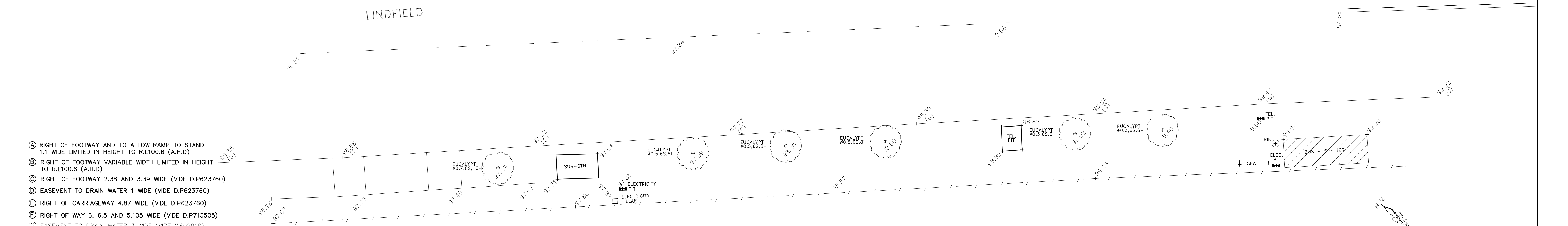
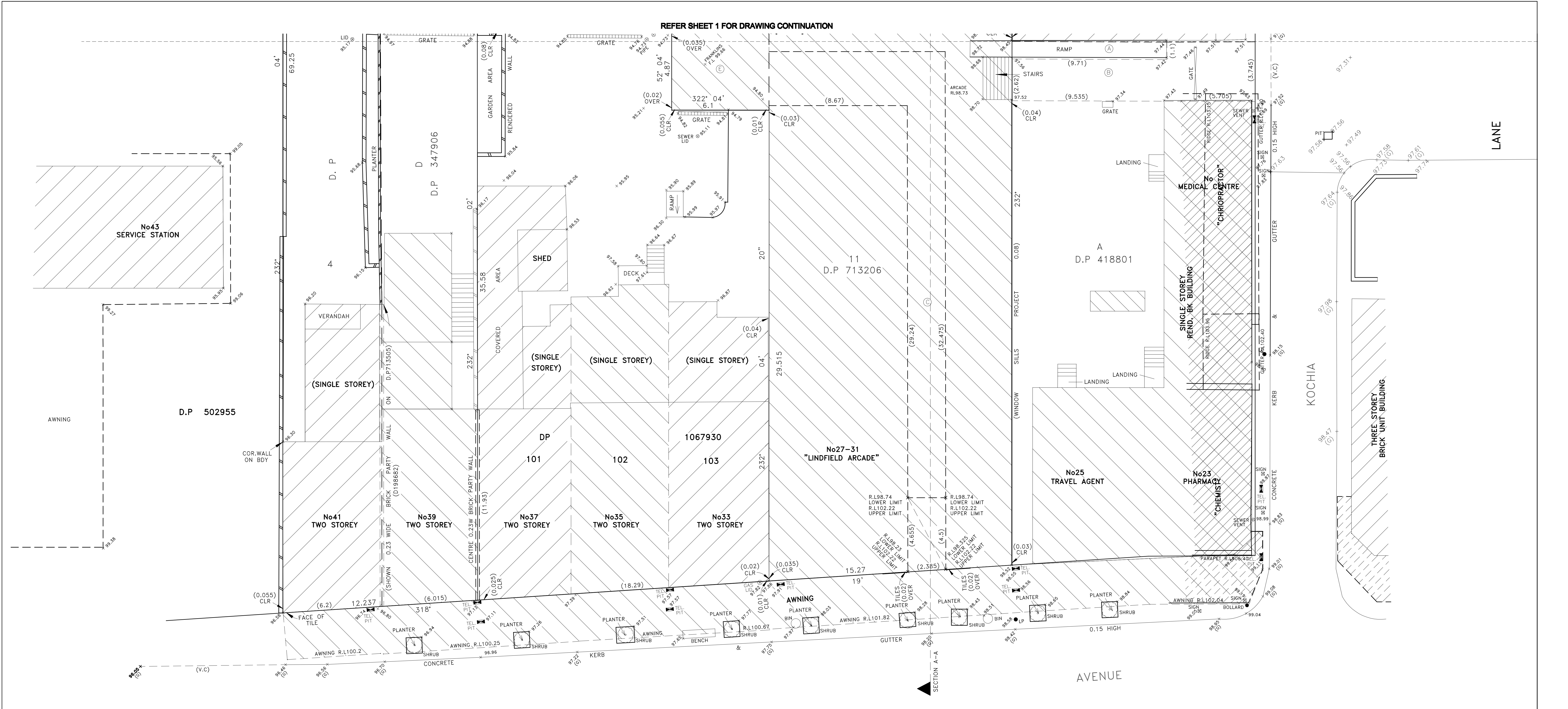
NOTES:

- 1) TITLE BEARINGS AND DIMENSIONS ARE SHOWN. BOUNDARY REDEFINITION HAS NOT BEEN UNDERTAKEN.
- 2) ORIGIN OF LEVELS: SSM36393 R.L101.480(A.H.D.) L.P.I. MAR' 2006
- 3) SITE COMPRISES: SEE SCHEDULE
- 4) SITE AREA 2973.6m² BY TITLE DIMENSIONS.
- 5) UNDERGROUND SERVICES HAVE NOT BEEN INVESTIGATED.
- 6) (G) DENOTES GUTTER LEVEL, "SHRUBS" Ø0.05,0.8S,2H 0.3Ø10S,8H DENOTES TREE SIZE 0.3 TRUNK DIAMETER, 10 SPREAD, 8 HIGH.
- 7) TREE NAMES SHOWN CONSTITUTE OUR OPINION ONLY. IF TREE SPECIES IDENTIFICATION IS IMPORTANT FOR DESIGN OR HERITAGE REASONS THEY SHOULD BE DETERMINED BY A QUALIFIED ARBORIST.
- 8) BASE SURVEY INFORMATION TAKEN FROM SURVEY BY HIGGINS NORTON PARTNERS DWG 21369 SHEETS 1 & 2 DATED 29.04.06

LOT 4 DP713505	275.7m ²
LOT 3 DP713505	978.5m ²
LOT D DP347906	215.5m ²
LOT 11 DP713206	1017.0m ²
LOT A DP418801	486.9m ²
TOTAL AREA	2973.6m ²

REFER SHEET 2 FOR DRAWING CONTINUATION

ISSUE	DATE	TITLE: PLAN SHOWING SELECTED DETAIL & LEVELS OVER No.23 TO 37 LINDFIELD AVE, LINDFIELD		Norton Survey Partners SURVEYORS & LAND TITLE CONSULTANTS	
		LGA: KURRING-GAI	REFERENCE: 21394	A.C.N. 199 734 968 SUITE 1 670 DARLING STREET ROZELLE N.S.W. 2039	
		CLIENT: PTI GROUP	DATE: 15-09-10	SHEET	PH +61 2 9555 2744 FAX +61 2 9555 2766 office@npartners.com.au
		SCALE (AT B1) 1:100	DATUM: AHD	SURVEYOR: AW	1



NOTES:

- TITLE BEARINGS AND DIMENSIONS ARE SHOWN. BOUNDARY REDEFINITION HAS NOT BEEN UNDERTAKEN.
- ORIGIN OF LEVELS: SSM36393 R.L101.480(A.H.D.) L.P.I. MAR '2006
- SITE COMPRISES: SEE SCHEDULE
- SITE AREA 2973.6m² BY TITLE DIMENSIONS.
- UNDERGROUND SERVICES HAVE NOT BEEN INVESTIGATED.
- (G) DENOTES GUTTER LEVEL, "SHRUBS" Ø0.05,0.85,2H 0.3Ø105,8H DENOTES TREE SIZE 0.3 TRUNK DIAMETER, 10 SPREAD, 8 HIGH.
- TREE NAMES SHOWN CONSTITUTE OUR OPINION ONLY. IF TREE SPECIES IDENTIFICATION IS IMPORTANT FOR DESIGN OR HERITAGE REASONS THEY SHOULD BE DETERMINED BY A QUALIFIED ARBORIST.
- BASE SURVEY INFORMATION TAKEN FROM SURVEY BY HIGGINS NORTON PARTNERS DWG 21369 SHEETS 1 & 2 DATED 29.04.06

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LOT 11 DP713206	1017.0m ²
LOT A DP418801	486.9m ²
TOTAL AREA	2973.6m²

REFER SHEET 2 FOR DRAWING CONTINUATION

ISSUE	DATE

TITLE: PLAN SHOWING SELECTED DETAIL & LEVELS OVER No.23 TO 37 LINDFIELD AVE, LINDFIELD	
LGA: KJ-RING-GAI	REFERENCE: 21394
CLIENT: PTI GROUP	DATE: 15-09-10 SHEET 2
SCALE (AT B1): 1:100	DATUM: AHD SURVEYOR: AW

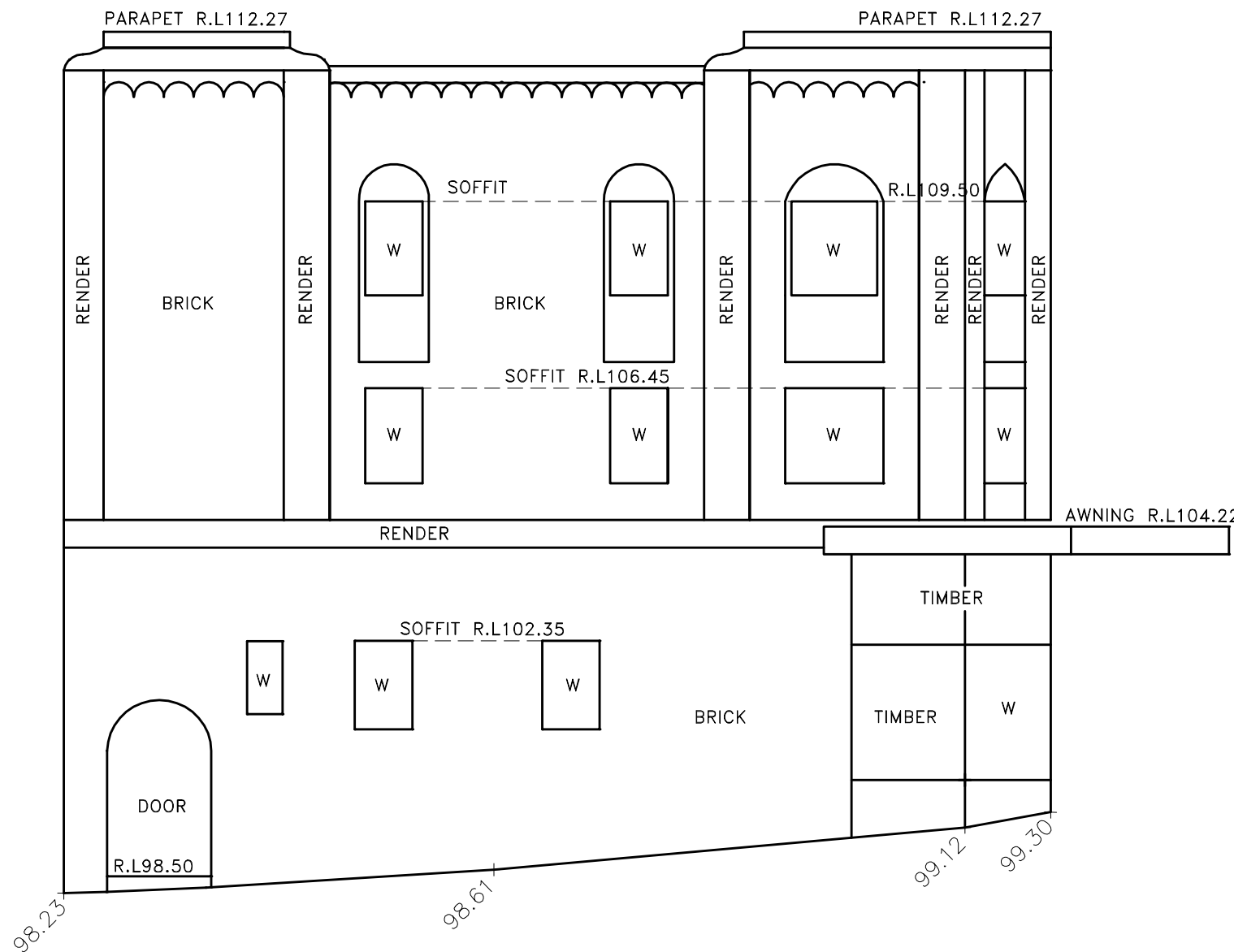
Norton Survey Partners
SURVEYORS & LAND TITLE CONSULTANTS

A.C.N. 199 734 968
SUITE 1
670 DARLING STREET
ROZELLE N.S.W. 2039

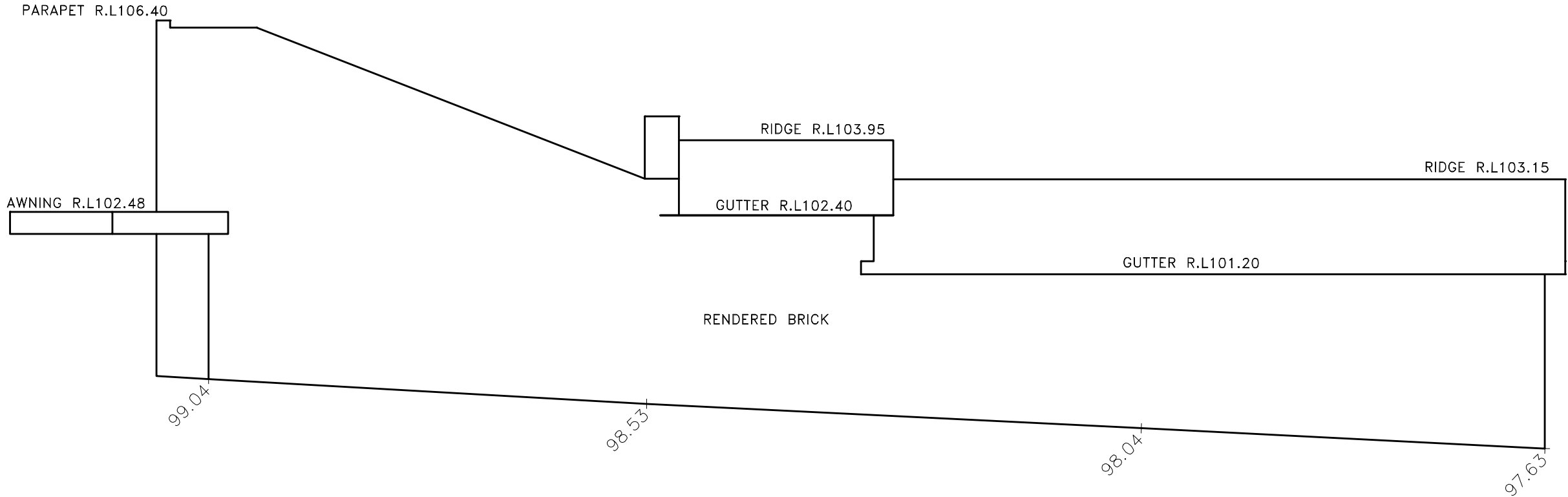
PH +61 2 9555 2744
FAX +61 2 9555 2766
office@nspartners.com.au

REFER SHEET 1 FOR DRAWING CONTINUATION

LANE



NORTH WESTERN ELEVATION OF THE VILLAGE PHARMACY



SOUTH EASTERN ELEVATION OF No.23 (CHEMIST AND CHIROPRACTOR)

- Ⓐ RIGHT OF FOOTWAY AND TO ALLOW RAMP TO STAND 1.1 WIDE LIMITED IN HEIGHT TO R.L100.6 (A.H.D)
- Ⓑ RIGHT OF FOOTWAY VARIABLE WIDTH LIMITED IN HEIGHT TO R.L100.6 (A.H.D)
- Ⓒ RIGHT OF FOOTWAY 2.38 AND 3.39 WIDE (VIDE D.P623760)
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- Ⓔ RIGHT OF CARRIAGEWAY 4.87 WIDE (VIDE D.P623760)
- Ⓕ RIGHT OF WAY 6, 6.5 AND 5.105 WIDE (VIDE D.P713505)
- Ⓖ EASEMENT TO DRAIN WATER 3 WIDE (VIDE W602916)

[R.L94.60] DENOTES REDUCED LEVEL OF EASEMENT LIMITED IN STRATUM (VIDE D.P713505)

NOTES:

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BOUNDARY REDEFINITION HAS NOT BEEN UNDERTAKEN.
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- 6) (G) DENOTES GUTTER LEVEL, "SHRUBS" Ø0.05,0.8S,2H
0.3Ø10S,8H DENOTES TREE SIZE 0.3 TRUNK DIAMETER, 10 SPREAD, 8 HIGH.
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SHEETS 1 & 2 DATED 29.04.06

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TOTAL AREA	2973.6m ²

ISSUE	DATE

TITLE:	
PLAN SHOWING SELECTED DETAIL & LEVELS OVER No.23 TO 37 LINDFIELD AVE, LINDFIELD	
LGA: KJ-RING-GAI	REFERENCE: 21394
CLIENT : PTI GROUP	DATE: 15-09-10 SHEET
SCALE (AT B1) 1:100	DATUM : AHD
SURVEYOR: AW	3

Norton Survey Partners
SURVEYORS & LAND TITLE CONSULTANTS
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