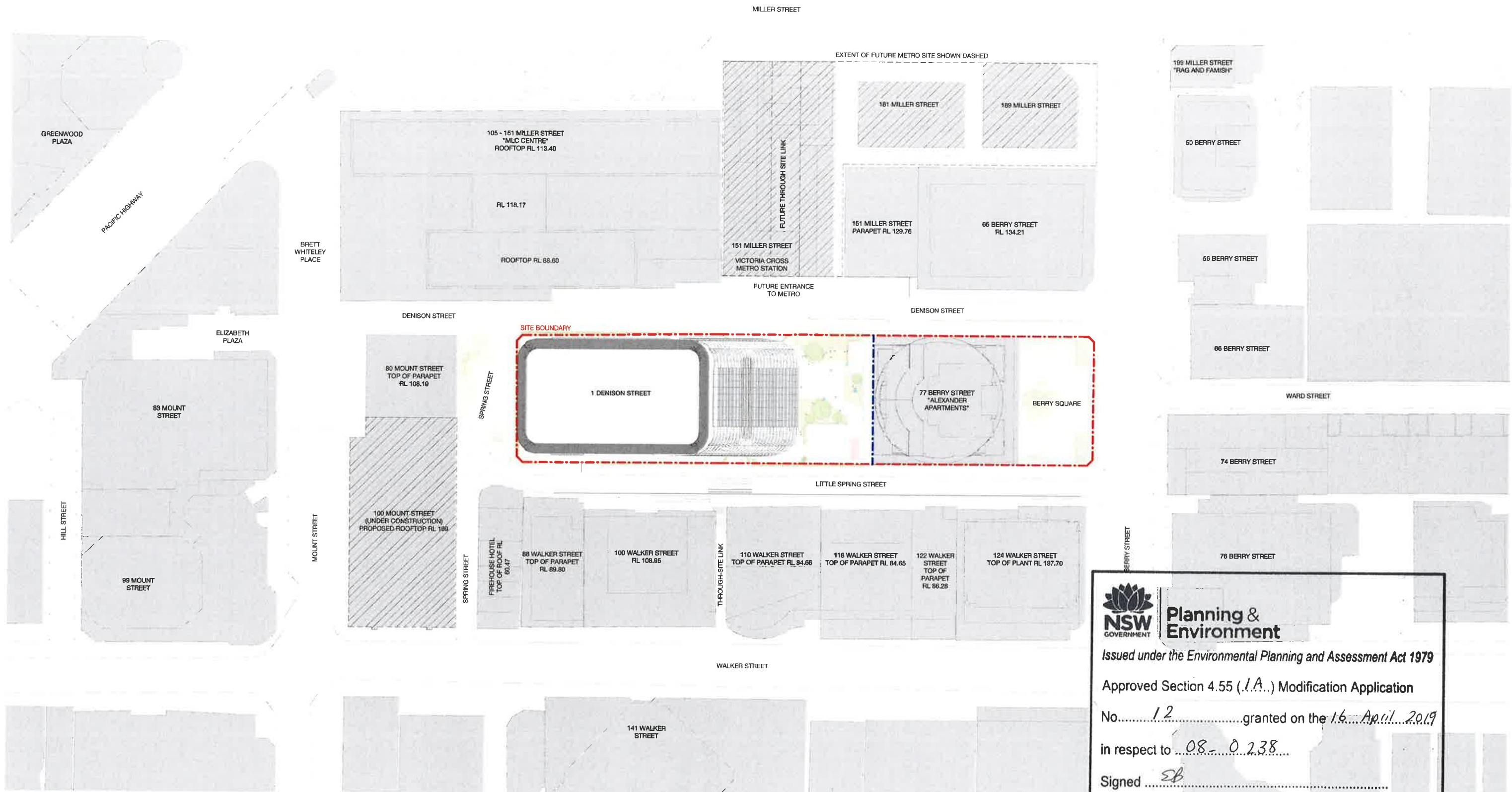




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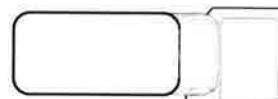
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Client



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4	05.05.17	MP06-0238 MOD 8	MDJ	AD
5	01.03.17	MP06-0238 MOD 7	MDJ	AD
6	11.11.16	MP06-0238 MOD 6	MDJ	AD

1 Denison Street
North Sydney, NSW 2060
Site Plan



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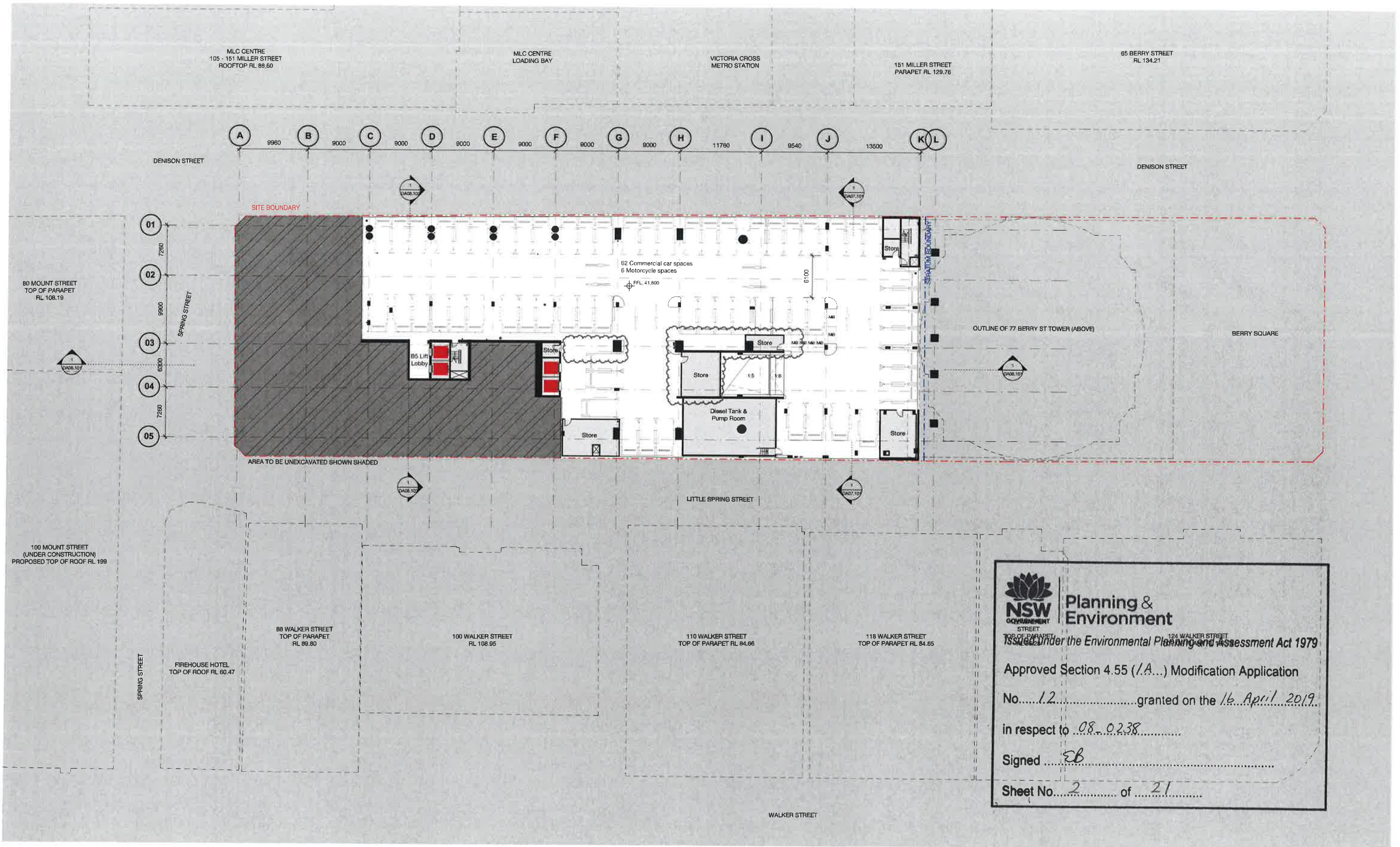
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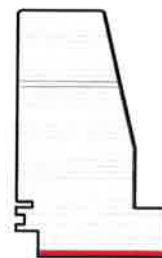


CARPARKING KEY

C - COURIER
L - LOADING (MAIN TENANCY)
R - RETAIL
S - CAR SHARE
P - PUBLIC

Revision	Date	Description	Drawn	Checked
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3	08/12/17	MP08-0238 MOD 9	MDJ	AD
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5	01/05/17	MP08-0238 MOD 7	MDJ	AD
6	11/11/16	MP08-0238 MOD 7	MDJ	AD

B5



1 Denison Street
North Sydney, NSW 2060

General Arrangement Plan
Basement 05 - Parking

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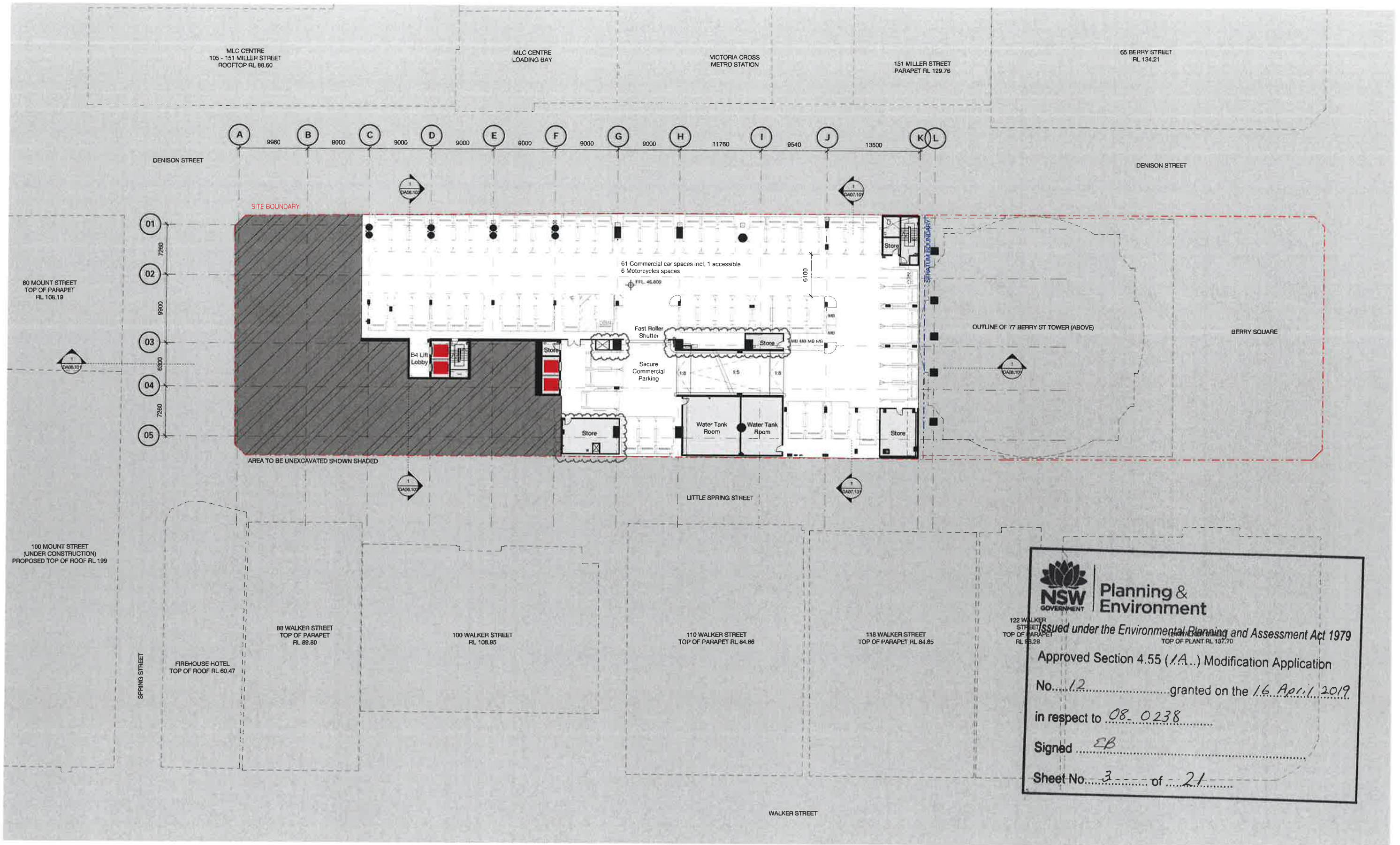
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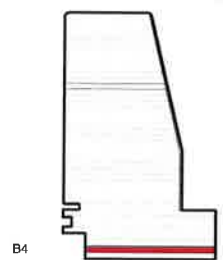
Sheet No. 3 of 21

Client: WINTEN PROPERTY GROUP

CARPARKING KEY

C - COURIER
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S - CAR SHARE
P - PUBLIC

#	Date	Description	By	Check
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6	11/11/19	MP08-0238 MOD 17	MDJ	AD



1 Denison Street
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General Arrangement Plan
Basement 04 - Parking

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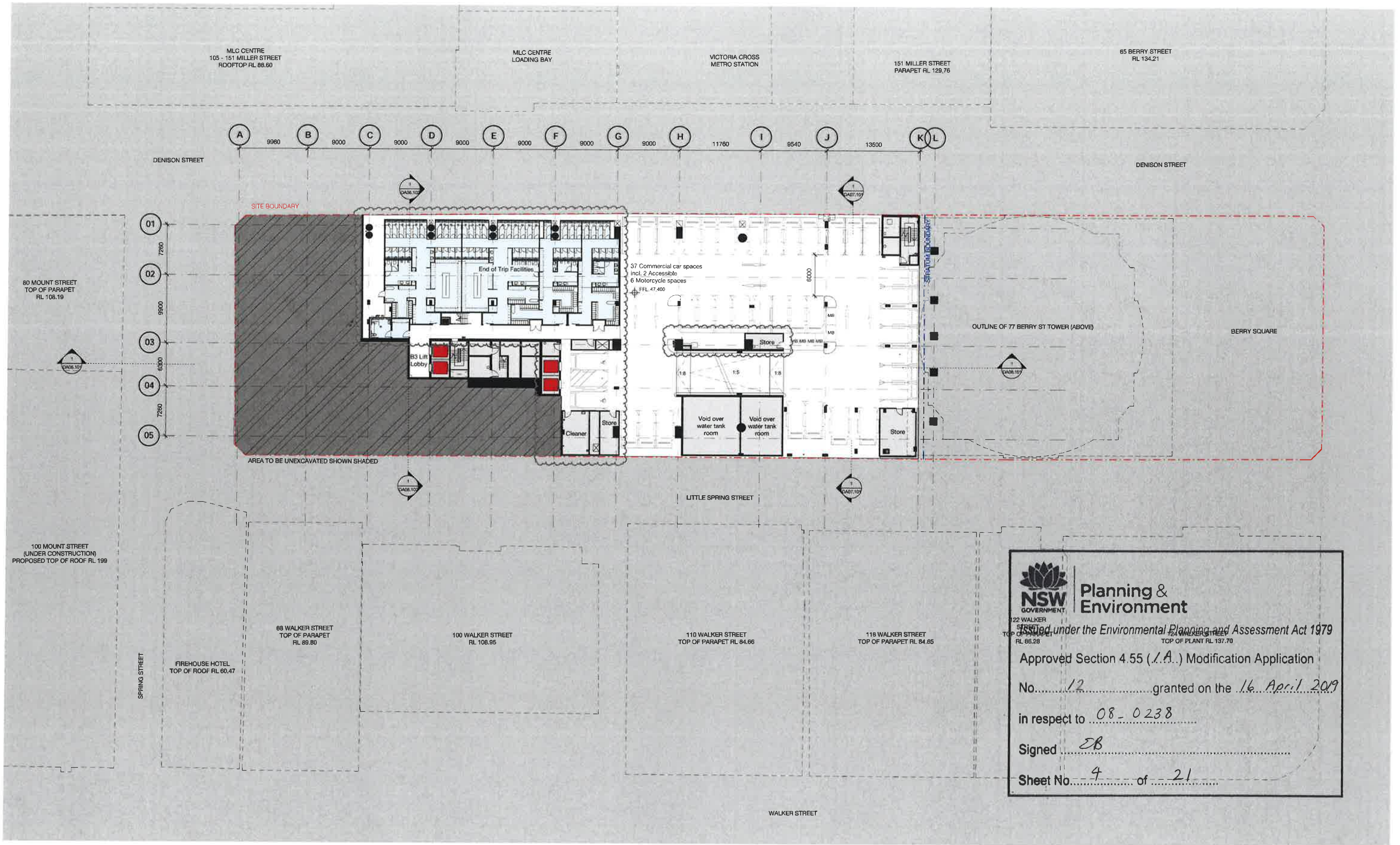
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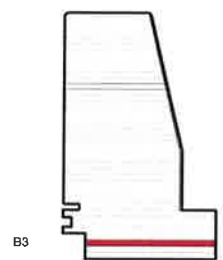
Sheet No. 4 of 21

Client: **WINTEN** PROPERTY GROUP

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C - COURIER
L - LOADING (MAIN TENANCY)
R - RETAIL
S - CAR SHARE
P - PUBLIC

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5	01/05/17	MP08-0238 MOD 7	MDJ	AD
6	11/11/16	MP08-0238 MOD 1	MDJ	AD



1 Denison Street
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General Arrangement Plan
Basement 03 - Parking

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Project no: s12055

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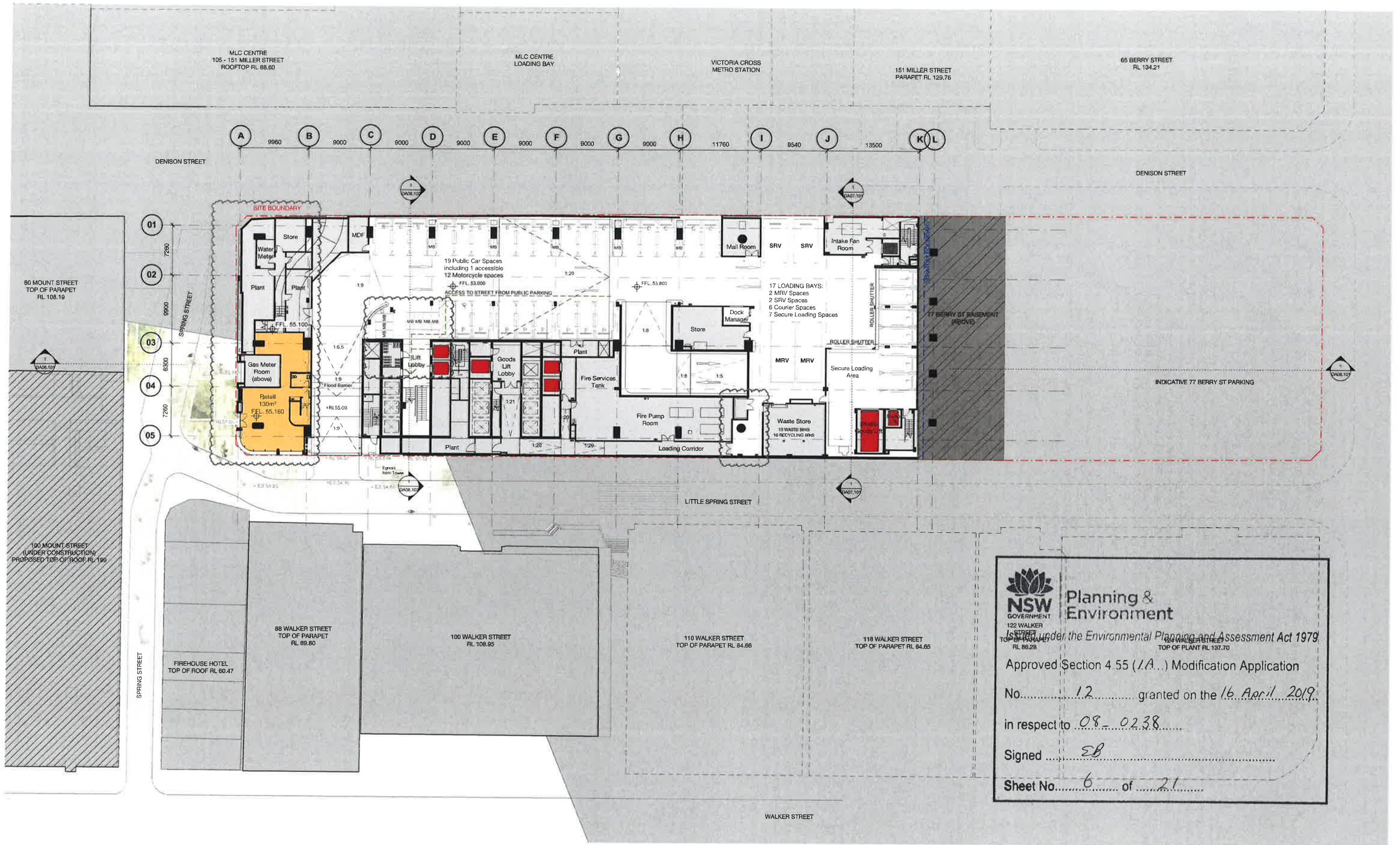
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TOP OF PARAPET RL 86.28

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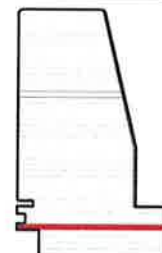


CARPARKING KEY

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L - LOADING (MAIN TENANCY)
R - RETAIL
S - CAR SHARE
P - PUBLIC

Revision	Date	Description	By	Checked
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5	01/03/17	MP08-0238 MOD 7	MDJ	AD
6	11/11/16	MP08-0238 MOD 6	MDJ	AD

B1



1 Denison Street
North Sydney, NSW 2060

General Arrangement Plan
Basement 01 - Parking

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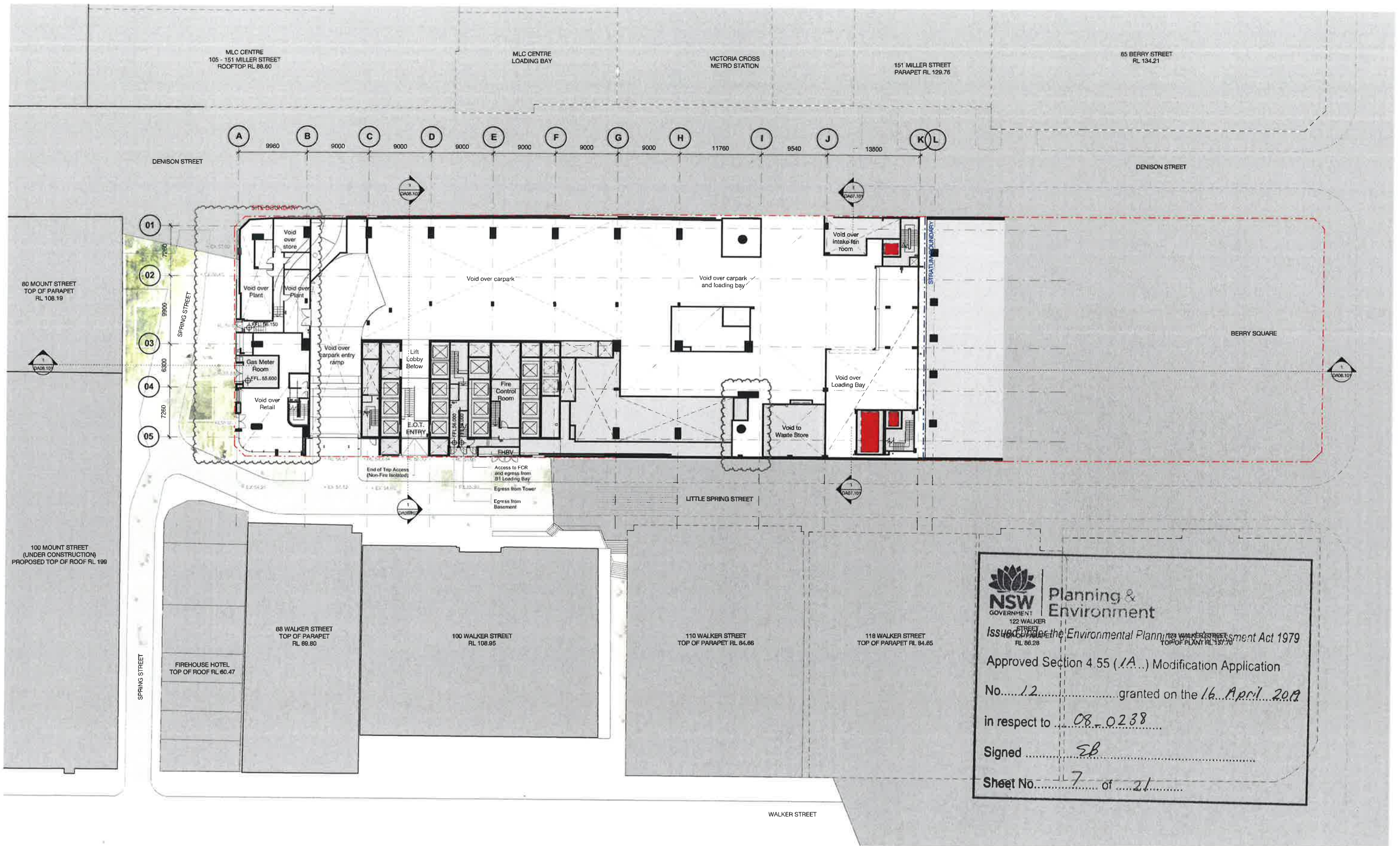
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Revision	Date	Description	By	Checked
1	13/02/19	MP08-0238 MCO 12	JL	AD
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5	01/05/17	MP08-0238 MCO 7	MDJ	AD
6	11/11/16	MP08-0238 MCO 7	MDJ	AD

LG



1 Denison Street
North Sydney, NSW 2060

General Arrangement Plan
Lower Ground

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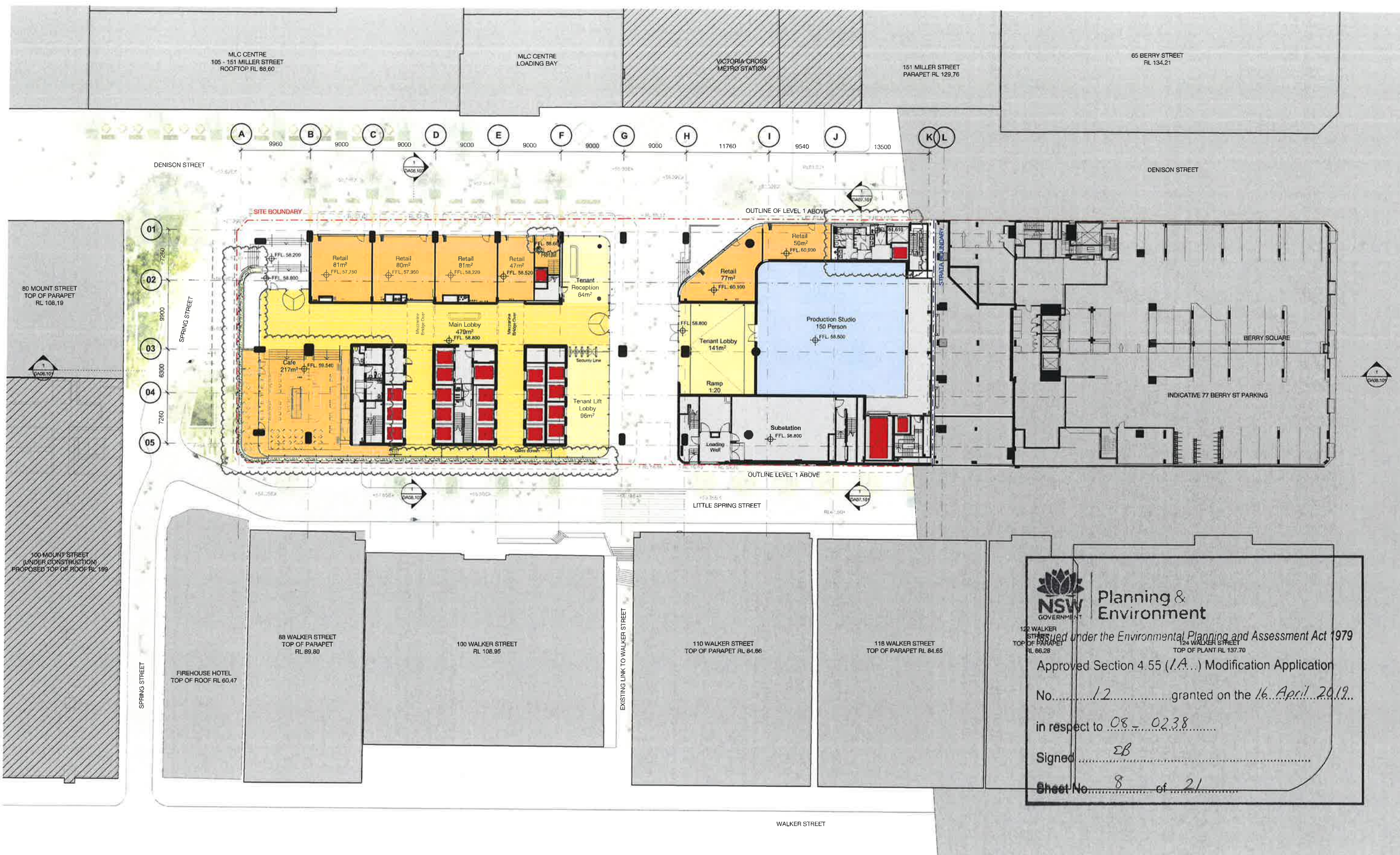
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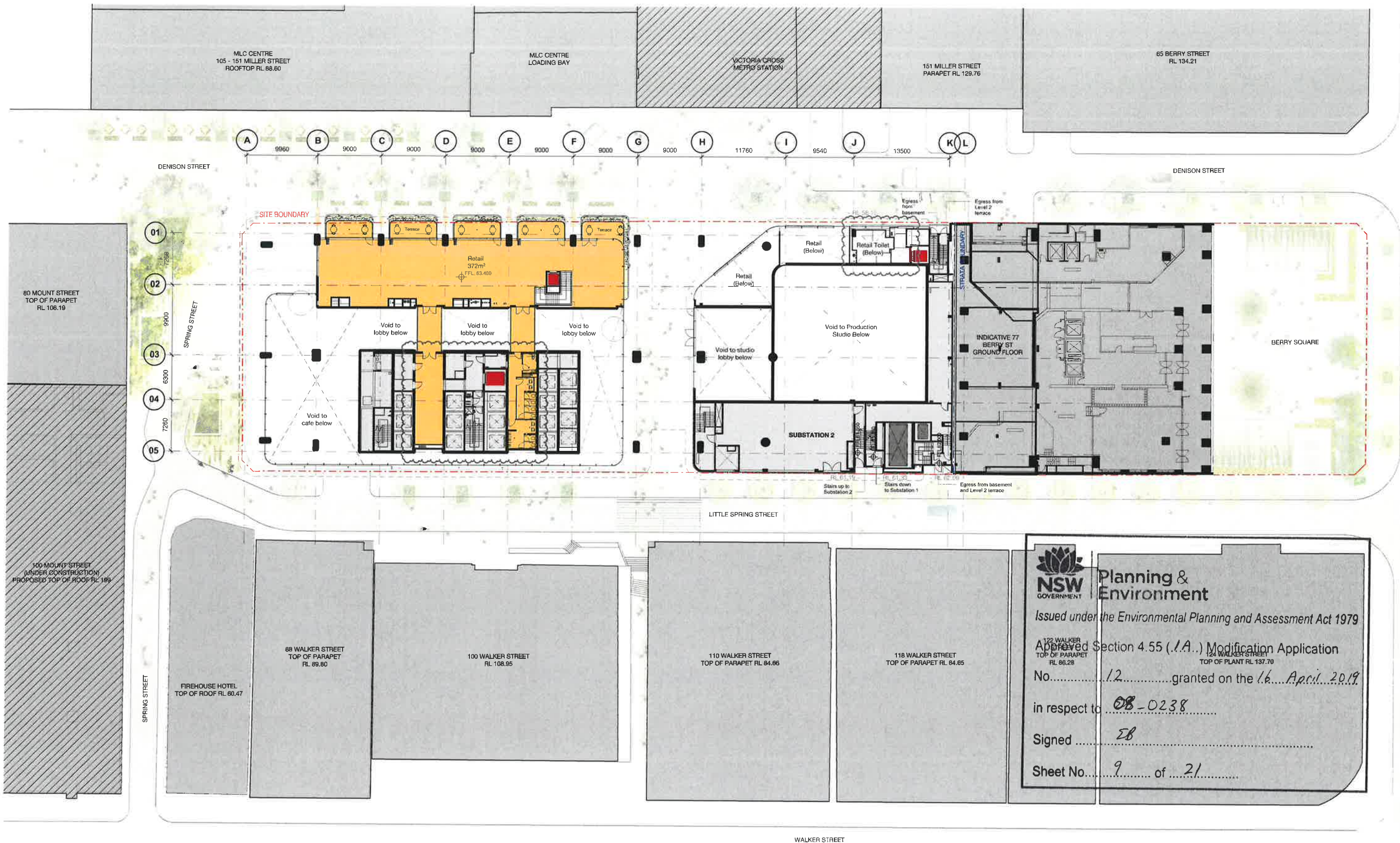
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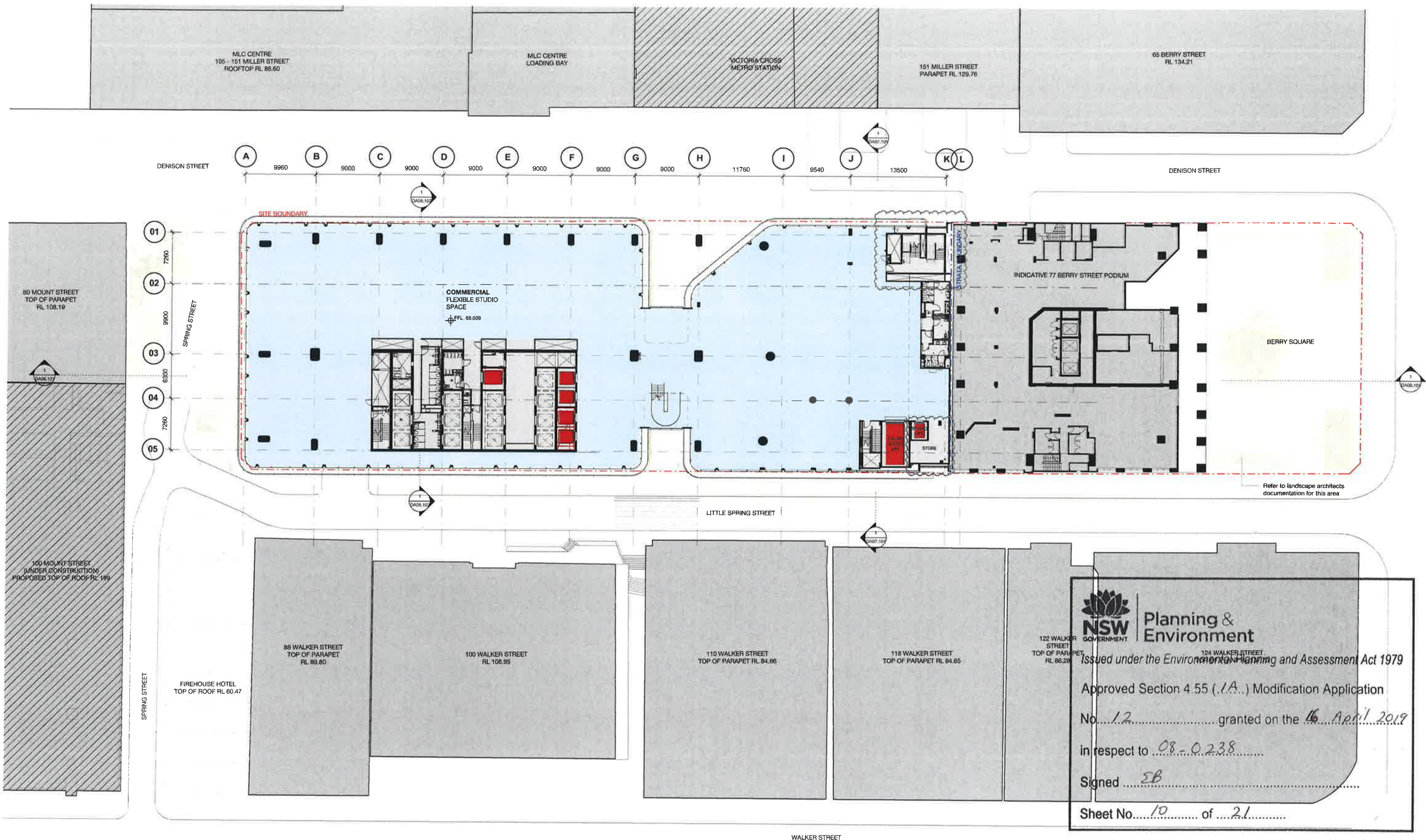
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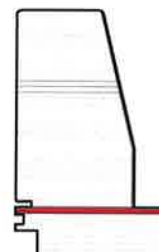


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6	12.12.16	MP08-0238 MOD 6	MDJ	AD

L1



1 Denison Street
North Sydney, NSW 2060

General Arrangement Plan
Level 01 - Commercial



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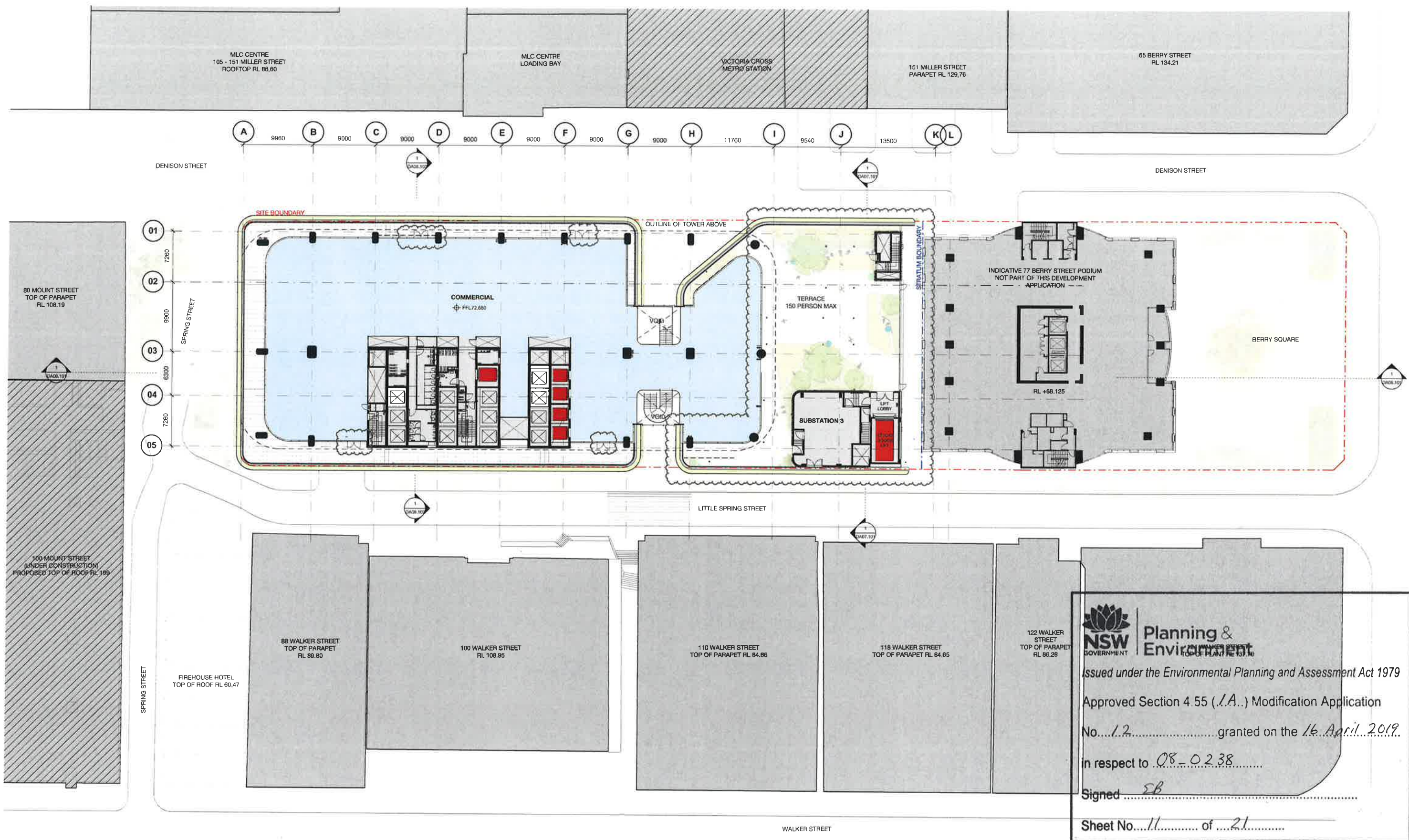
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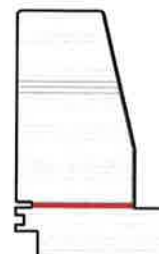
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L2



1 Denison Street
North Sydney, NSW 2060

General Arrangement Plan
Level 02 - Commercial & Terrace

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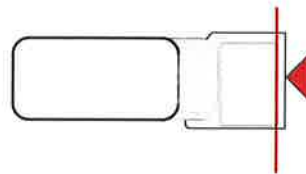
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1	11/11/16	MP08-0238 MOD 7	MBU	AD
Revision	Date	Description	Initial	Checked



1 Denison Street
North Sydney, NSW 2060
Building Elevation
North

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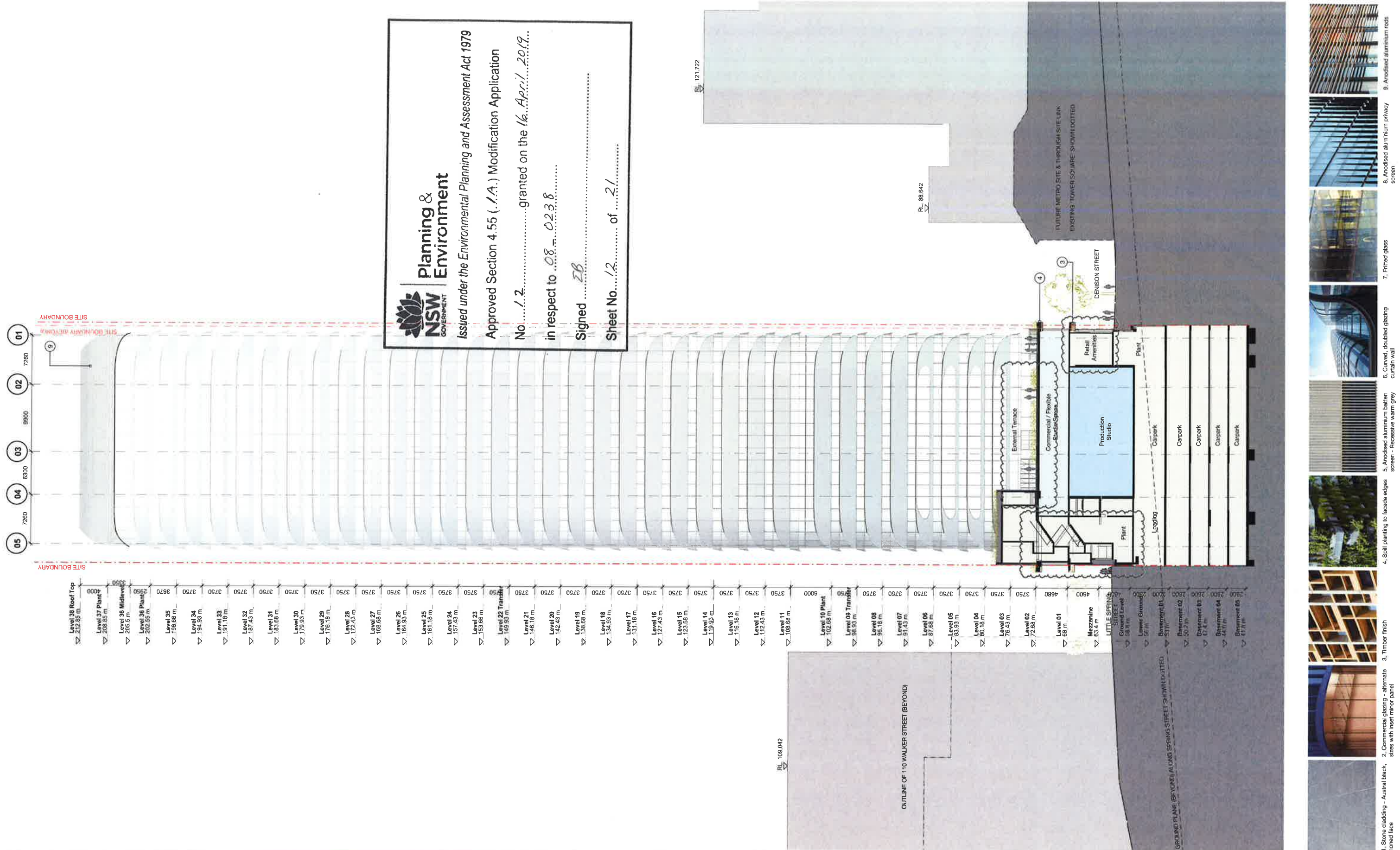
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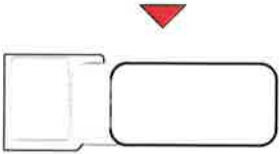
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Year	Country	Population (millions)	Population growth rate (%)
1990	China	1.11	1.1
2000	China	1.22	1.0
2010	China	1.35	0.9
2020	China	1.45	0.8
2030	China	1.55	0.7
2040	China	1.65	0.6
2050	China	1.75	0.5
2060	China	1.85	0.4
2070	China	1.95	0.3
2080	China	2.05	0.2
2090	China	2.15	0.1
2100	China	2.25	0.0

[illegible]

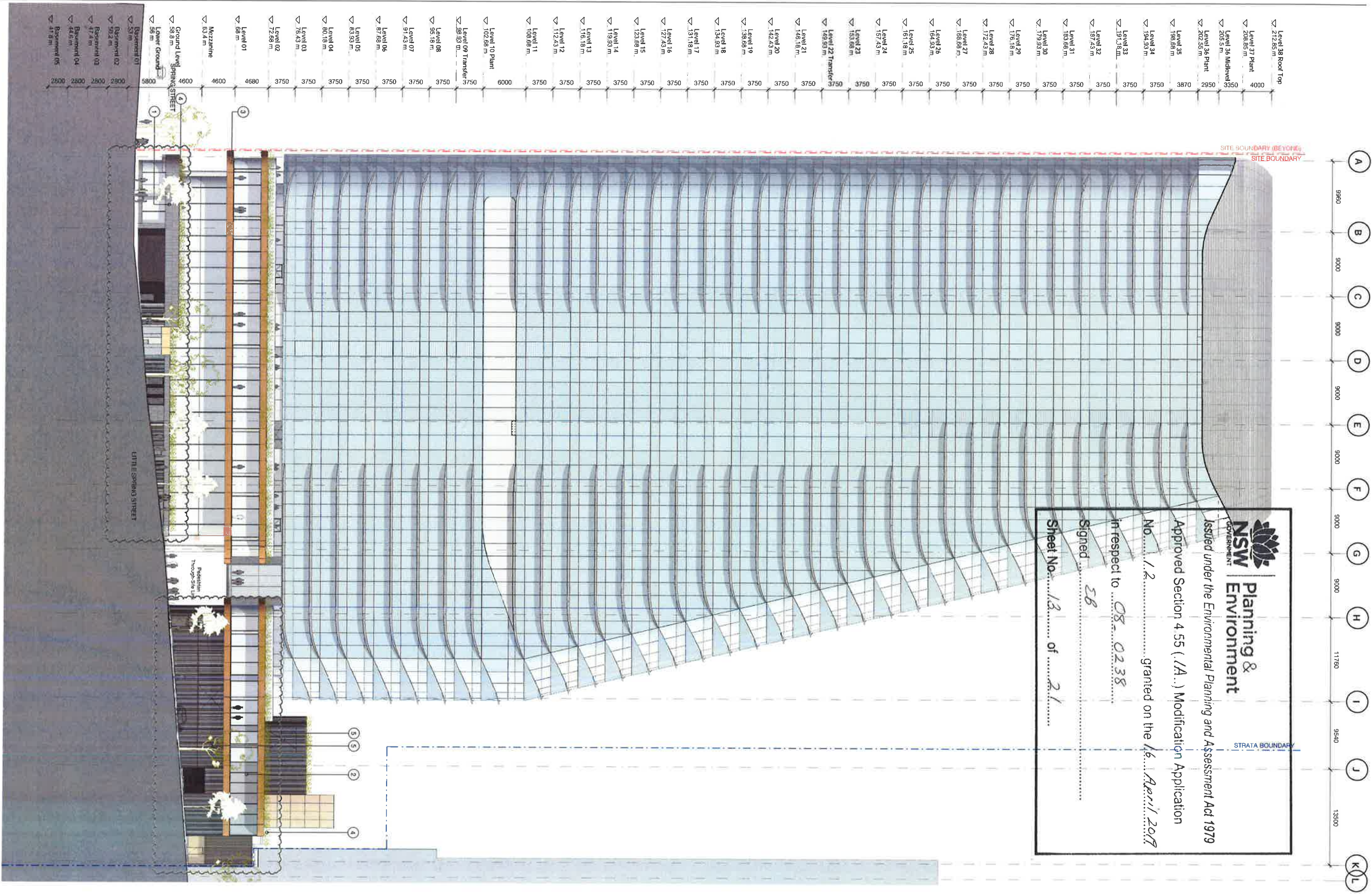
1 Denison Street
North Sydney, NSW 2060
Building Elevation
East

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Status	Draft	
Plot Date	13/02/2015 1:56:54 PM	
BW	10EN/SONO_B5_A/NC/1	
Drawing no.		Revision
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1. Stone clad honed face

2. Commercial glazing - alternate sizes with inset minor panel

3. Timber finish

4. Spill planting to facade edges

5. Anodised aluminium batten screen - Recessive warm grey

6. Curved, doubled glazing curtain wall

7. Fritted glass

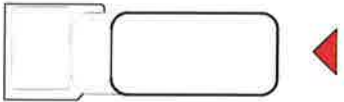
8. Anodised aluminium privacy screen

9. Anodised aluminium rods

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2	01.05.17	WNS-028 MCO 7
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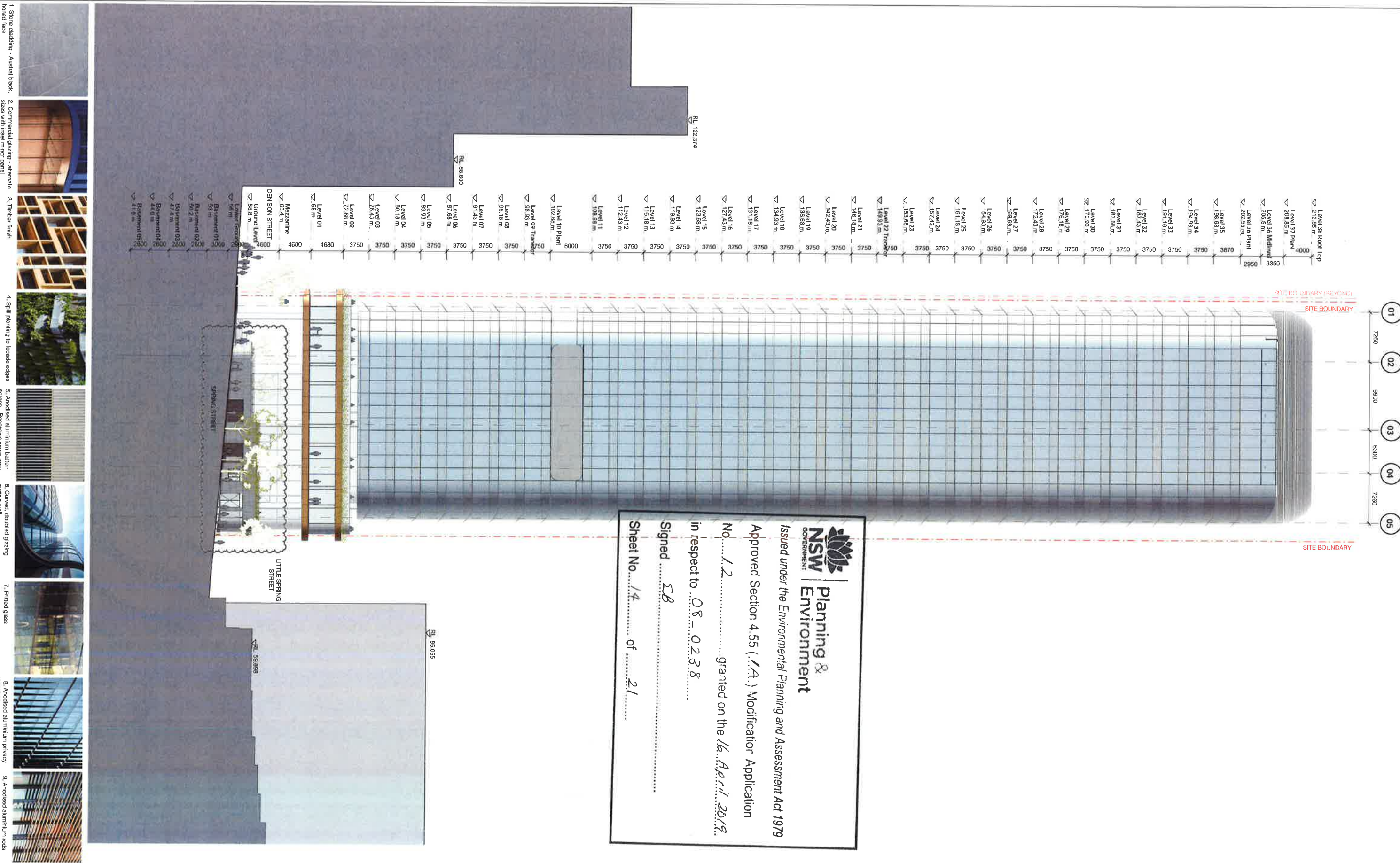


1 Denison Street
North Sydney, NSW 2060
Building Elevation
South

Check all dimensions and site conditions prior to construction of any work. The architect is not responsible for any errors or omissions in the information provided by the client. Any dimensions and materials shall be subject to the architect's discretion.



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Author	Author
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Status	Draft
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Drawing no.	DA07.103
Revision	6



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L O K

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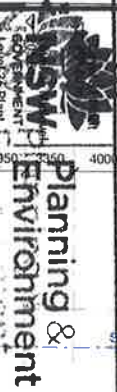
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No. 12 granted on the 16 April 2019

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Sheet No. 15 of 21

Project No. 150429

Level 28

Level 27

Level 26

Level 25

Level 24

Level 23

Level 22 Transfer

Level 21

Level 20

Level 19

Level 18

Level 17

Level 16

Level 15

Level 14

Level 13

Level 12

Level 11

Level 10 Plant

Level 09 Transfer

Level 08

Level 07

Level 06

Level 05

Level 04

Level 03

Level 02

Level 01

Mezzanine

Ground Level

Lower Ground

Basement 01

Basement 02

Basement 03

Basement 04

Basement 05

Basement 06

Basement 07

Basement 08

Basement 09

Basement 10

Basement 11

Basement 12

Basement 13

Basement 14

Basement 15

Basement 16

Basement 17

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Basement 20

Basement 21

Basement 22

Basement 23

Basement 24

Basement 25

Basement 26

Basement 27

Basement 28

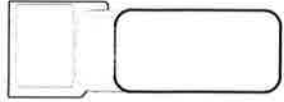
Basement 29

Level 28 Roof Top

STRATUM BOUNDARY

SITE BOUNDARY BEYOND SITE BOUNDARY

1 Denison Street
North Sydney, NSW 2060
Building Elevation
West



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The architect is not responsible for the preparation of shop drawings or the location of any components.

Revisions	Date	Author	Checked
1	13/02/2019	MD	MD
2	13/02/2019	MD	MD
3	13/02/2019	MD	MD
4	13/02/2019	MD	MD
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39	13/02/2019	MD	MD
40	13/02/2019	MD	MD

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Drawing no: DA07.104
Project no: 150429
Author: MD
Checked: MD
Status: Draft
Date: 13/02/2019 2 11 35 PM
Revision: 6

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1. Stone cladding - Austral black, honed face

2. Commercial glazing - alternate steel with heat mirror panel

3. Timber finish

4. Split planting to facade edges

5. Anodised aluminium battens screen - recessive warm grey

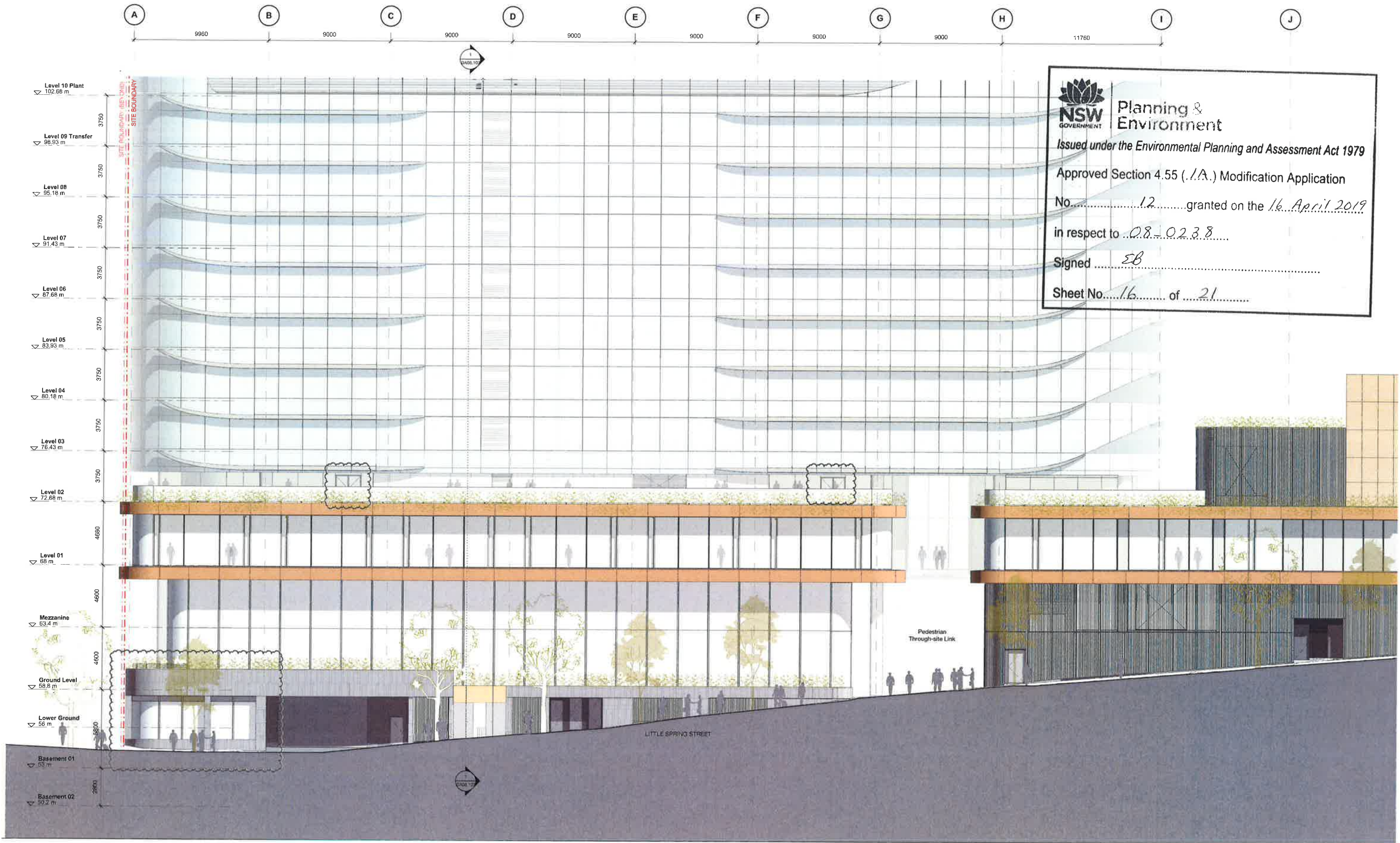
6. Curved, doubled glazing curtain wall

7. Fritted glass

8. Anodised aluminium privacy screen

9. Anodised aluminium rods

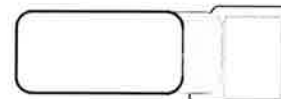
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Client



Revision	Date	Description	Initial	Checked
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3	08/12/17	MP08-0238 MCD 9	MLU	AD
4	05/02/17	MP08-0238 MCD 8	MLU	AD
5	31/03/17	MP08-0238 MCD 7	MLU	AD
6	11/11/16	MP08-0238 MCD 6	MLU	AD



1 Denison Street
 North Sydney, NSW 2060
 Detailed Street Elevation
 Little Spring Street

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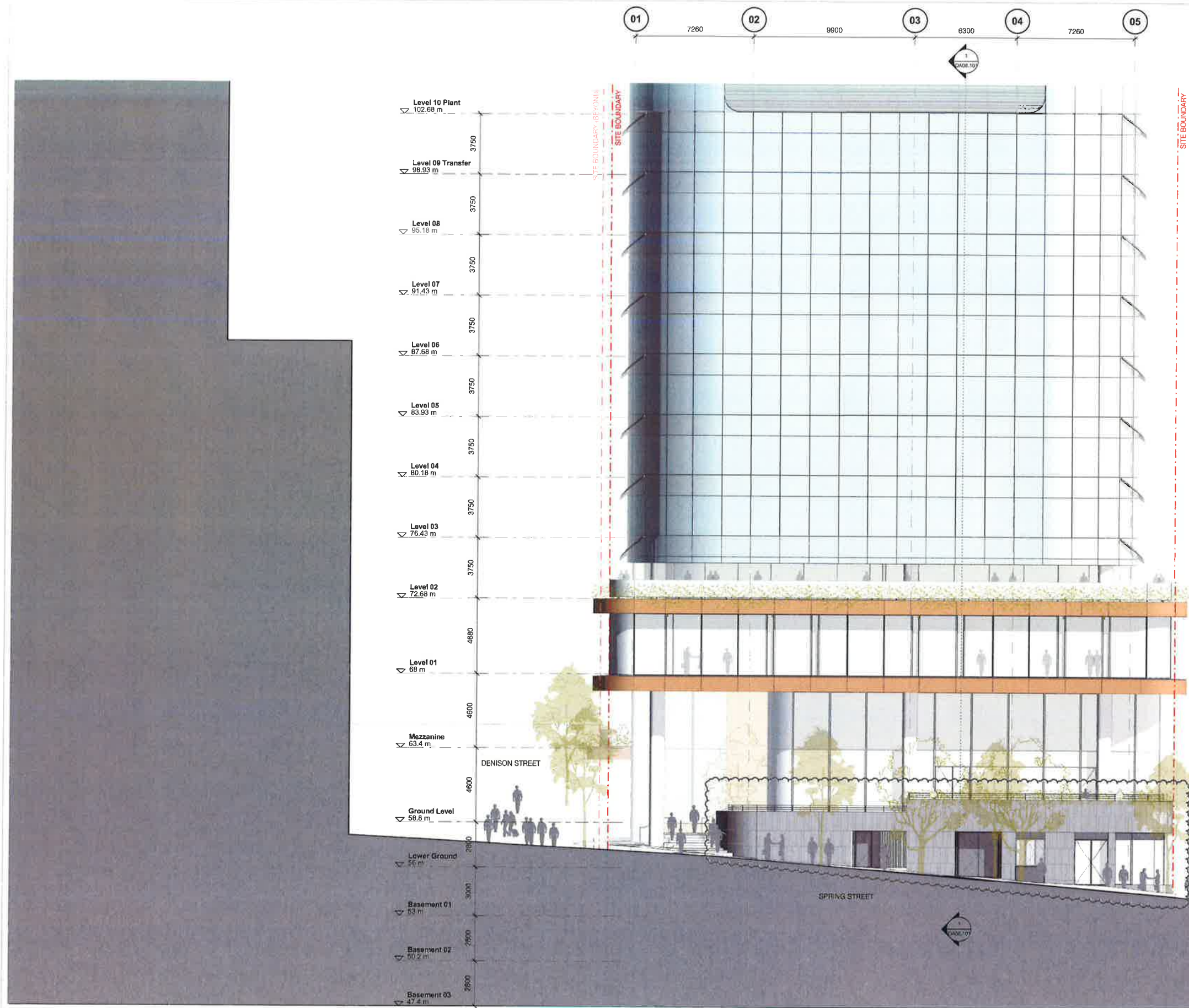
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Project no.	s12055
Status	Draft
Plot Date	13/02/2019 2:15:57 PM
DM	1DENISON_BS_ARCH
Drawing no.	DA07.202
Revision	6

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 Sheet No.....1.7..... of21.....

Client

Rev	Date	Description	By	Check
1	13/02/19	MP08-0238 MCO 12	JL	AD
2	09/05/19	MP08-0238 MCO 10	MDJ	AD
3	08/12/17	MP08-0238 MCO 9	MDJ	AD
4	05/05/17	MP08-0238 MCO 8	MDJ	AD
5	01/03/17	MP08-0238 MCO 7	MDJ	AD
6	11/11/16	MP08-0238 MCO 7	MDJ	AD

1 Denison Street
 North Sydney, NSW 2060
 Detailed Street Elevation
 Spring Street

Scale	1 : 125	@ A1
Drawn	MDJ	Checked AD
Project no.	s12055	
Status	Draft	
Plot Date	19/03/2019 2:20:20 PM	
BIM	1DENISON_BS_ARCH	
Drawing no.	DA07.203	Revision 6

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No. 12 granted on the 16 April 2019

in respect to 08-0238

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Sheet No. 18 of 21

Level 06
▽ 87.66 m

Level 05
▽ 83.93 m

Level 04
▽ 80.16 m

Level 03
▽ 76.43 m

Level 02
▽ 72.68 m

Level 01
▽ 68 m

Mezzanine
▽ 63.4 m

Ground Level
▽ 58.8 m

Lower Ground
▽ 56 m

Basement 01
▽ 53 m

Basement 02
▽ 50.2 m

Pedestrian
Through-site Link

DENISON STREET

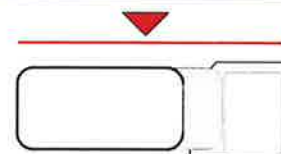
SPRING STREET

GROUND PLANE (BEYOND) ALONG LITTLE SPRING STREET SHOWN DOTTED

Client



Rev	Date	Description	By	Check
1	13/02/18	MP08-0238 MOD 13	MLU	AD
2	06/06/18	MP08-0238 MOD 14	MLU	AD
3	06/12/17	MP08-0238 MOD 8	MLU	AD
4	06/06/17	MP08-0238 MOD 8	MLU	AD
5	01/03/17	MP08-0238 MOD 7	MLU	AD
6	11/11/16	MP08-0238 MOD 7	MLU	AD



1 Denison Street
North Sydney, NSW 2060

Detailed Street Elevation
Denison Street

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Project no	s12055	
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Plot Date	13/02/2018 2:26:29 PM	
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Drawing no	DA07.204	Revision 6

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Sheet No. 19 of 21

STRATUM BOUNDARY

24.7m BUILDING SETBACK



SITE BOUNDARY

Level 38 Roof Top 212.85 m
Level 37 Plant 208.85 m
Level 36 Midlevel 205.5 m
Level 36 Plant 202.55 m
Level 35 199.69 m
Level 34 194.93 m
Level 33 181.10 m
Level 32 167.43 m
Level 31 163.68 m
Level 30 179.93 m
Level 29 176.10 m
Level 28 172.43 m
Level 27 168.68 m
Level 26 164.93 m
Level 25 161.18 m
Level 24 157.45 m
Level 23 153.68 m
Level 22 Transfer 149.93 m
Level 21 146.18 m
Level 20 142.43 m
Level 19 138.68 m
Level 18 134.93 m
Level 17 131.18 m
Level 16 127.43 m
Level 15 123.68 m
Level 14 119.93 m
Level 13 116.18 m
Level 12 112.43 m
Level 11 108.68 m
Level 10 Plant 102.68 m
Level 09 Transfer 98.93 m
Level 08 95.18 m
Level 07 91.43 m
Level 06 87.68 m
Level 05 83.93 m
Level 04 80.18 m
Level 03 76.43 m
Level 02 72.68 m
Level 01 68.93 m
Mezzanine 65.18 m
Ground Level 61.43 m
SPRINGS STREET Lower Ground 57.68 m
Basement 01 53.93 m
Basement 02 50.18 m
Basement 03 46.43 m
Basement 04 42.68 m
Basement 05 38.93 m

OUTLINE OF 100 MOUNT STREET (BEYOND)

Outline of substation in foreground

External Terrace

Commercial

Production Studio

Loading

Carpark

Carpark

Carpark

Carpark

Tenant Lobby

Pedestrian Through-Site Link

Carpark

Carpark

E.O.T. Entry

Plant

Gas Meter Room

Retail

Carpark Entry Ramp

Plant

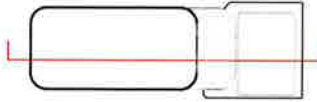
EXTENT OF BASEMENT (BEYOND)

STORMWATER DRAIN

Client



Rev	Date	Description	Drawn	Checked
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2	08.05.19	MP08-0238 MOD 10	MDJ	AD
3	08.12.17	MP08-0238 MOD 9	MDJ	AD
4	05.05.17	MP08-0238 MOD 8	MDJ	AD
5	21.03.17	MP08-0238 MOD 7	MDJ	AD
6	11.11.16	MP08-0238 MOD 6	MDJ	AD



1 Denison Street
North Sydney, NSW 2060

Building Section
A-A

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Drawing no.	DA08.101
Revision	6

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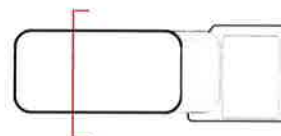
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3	08/12/17	MP06-0238 MOD 9	NDU	AD
4	05/05/17	MP06-0238 MOD 8	NDU	AD
5	01/03/17	MP06-0238 MOD 7	NDU	AD
6	11/11/16	MP06-0238 MOD 7	NDU	AD



1 Denison Street
North Sydney, NSW 2060

Building Section
B-B

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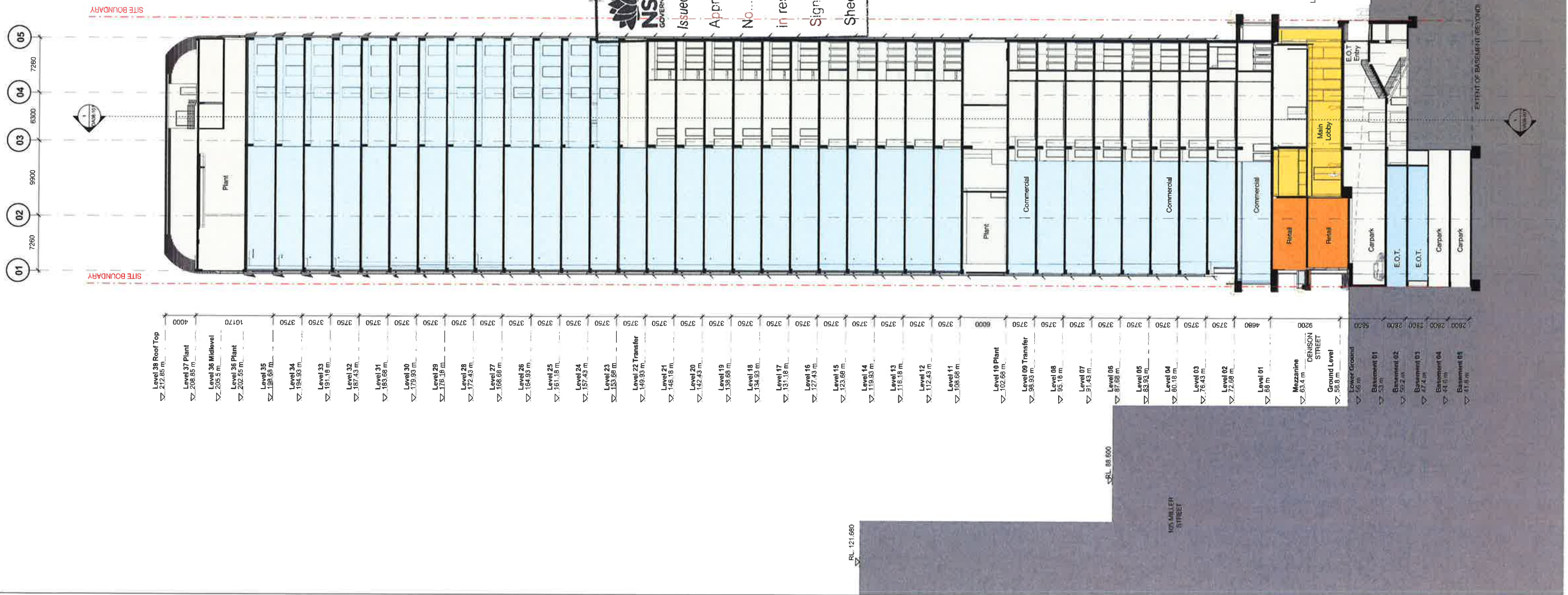
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Drawing no.	DA08.102	Revision 6

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LEGEND

..... 1 Denison Street development boundary



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