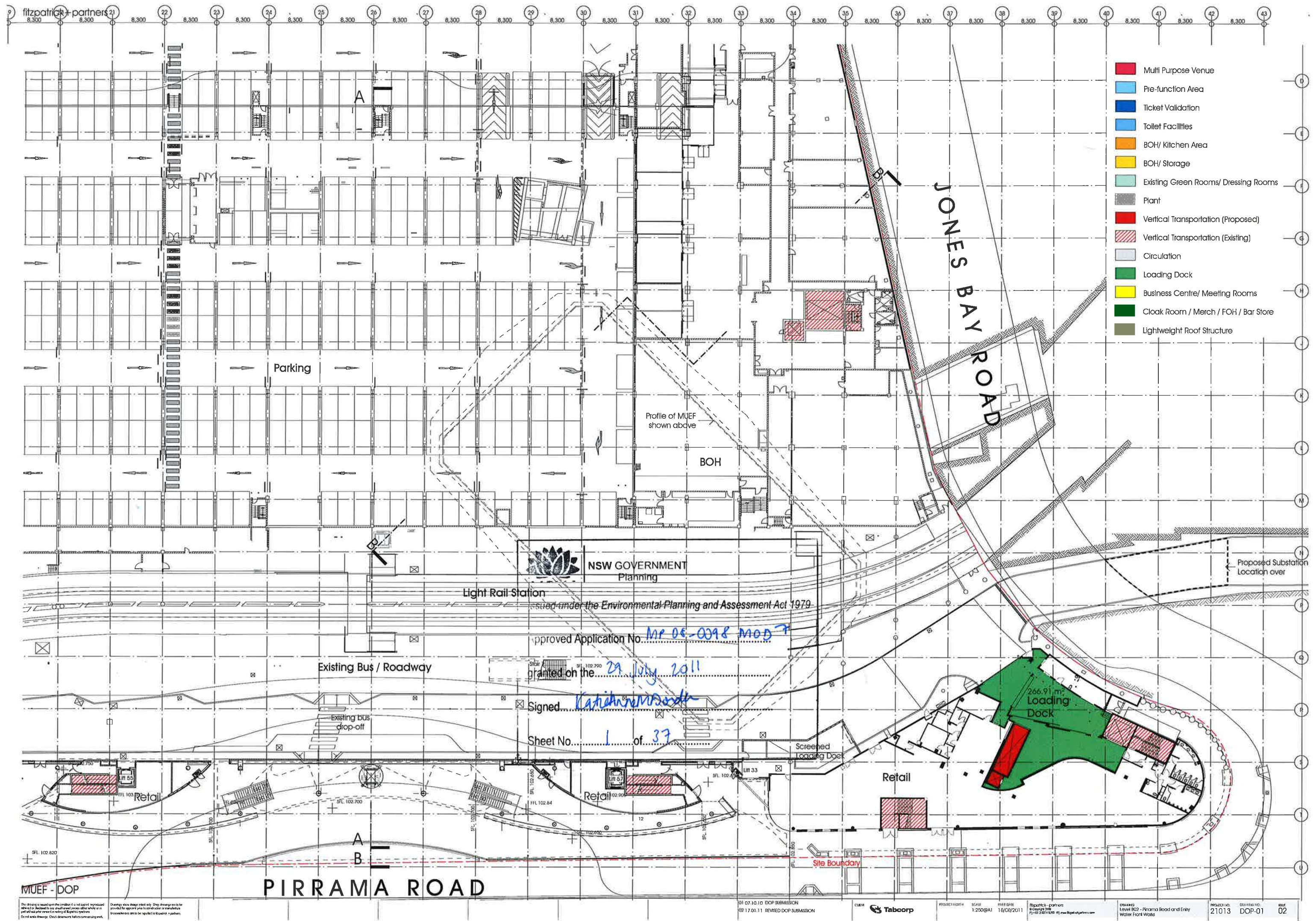
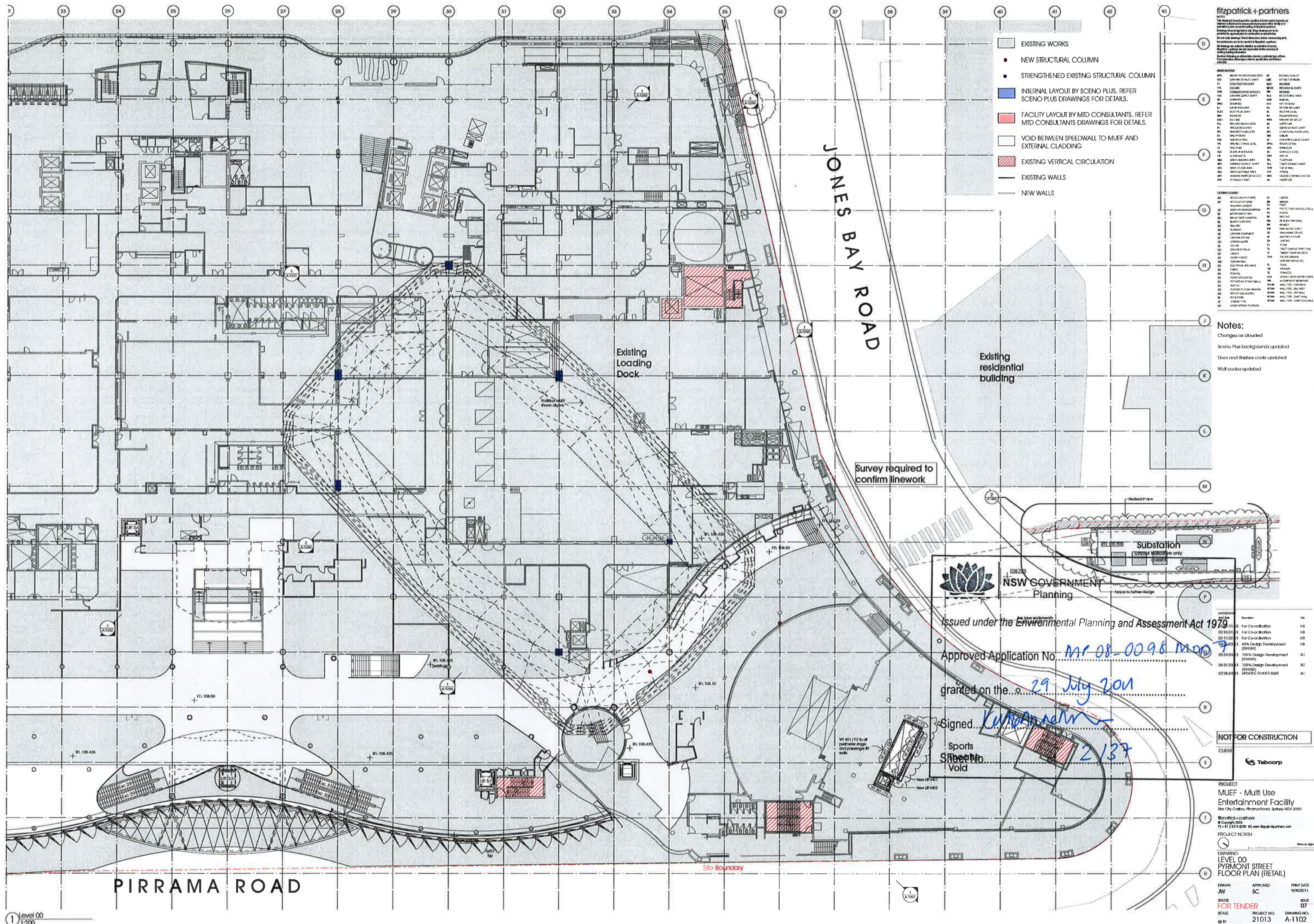
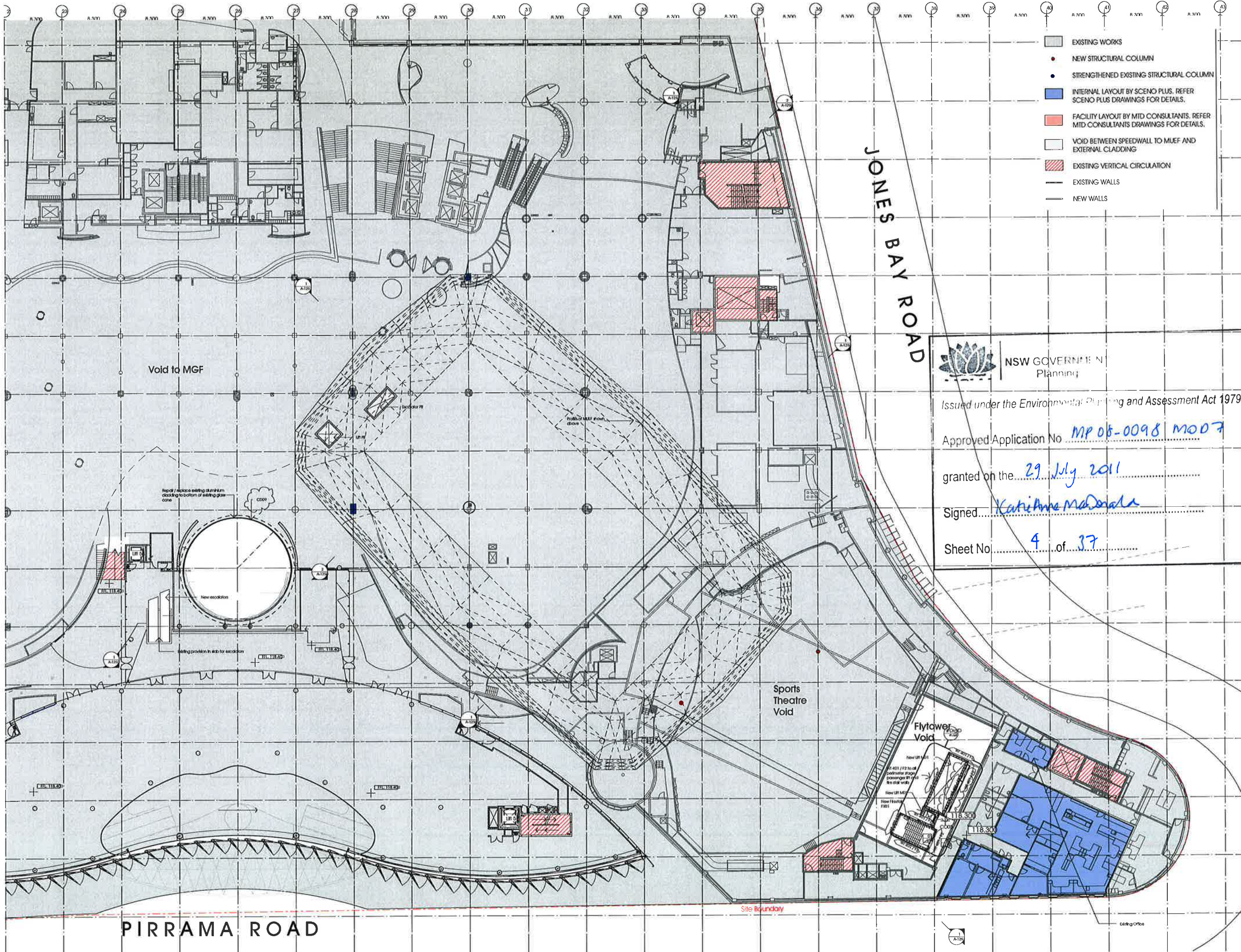




- Multi Purpose Venue
- Pre-function Area
- Ticket Validation
- Toilet Facilities
- BOH/ Kitchen Area
- BOH/ Storage
- Existing Green Rooms/ Dressing Rooms
- Plant
- Vertical Transportation (Proposed)
- Vertical Transportation (Existing)
- Circulation
- Loading Dock
- Business Centre/ Meeting Rooms
- Cloak Room / Merch / FOH / Bar Store
- Lightweight Roof Structure

NSW GOVERNMENT
Planning
issued under the Environmental Planning and Assessment Act 1979
Approved Application No. *MP 05-0098 MOD 7*
granted on the *29 July 2011*
Signed *Katichumsooth*
Sheet No. *1* of *37*





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NOTES:

Changes as clouded

Sceno Plus backgrounds updated

Door and finishes code updated

Wall codes updated

Accessories:

Ref	Description	Ref	Description
01	Accessories	01	Accessories
02	Accessories	02	Accessories
03	Accessories	03	Accessories
04	Accessories	04	Accessories
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43	Accessories	43	Accessories

NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **MP 05-0098 MOD 7**

granted on the **29 July 2011**

Signed **Katrina McDonald**

Sheet No. **4** of **37**

NOT FOR CONSTRUCTION

CLIENT

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PROJECT

MUEF - Multi Use
Entertainment Facility
Star City Casino, Pirrama Road, Sydney NSW 2000

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PROJECT NORTH

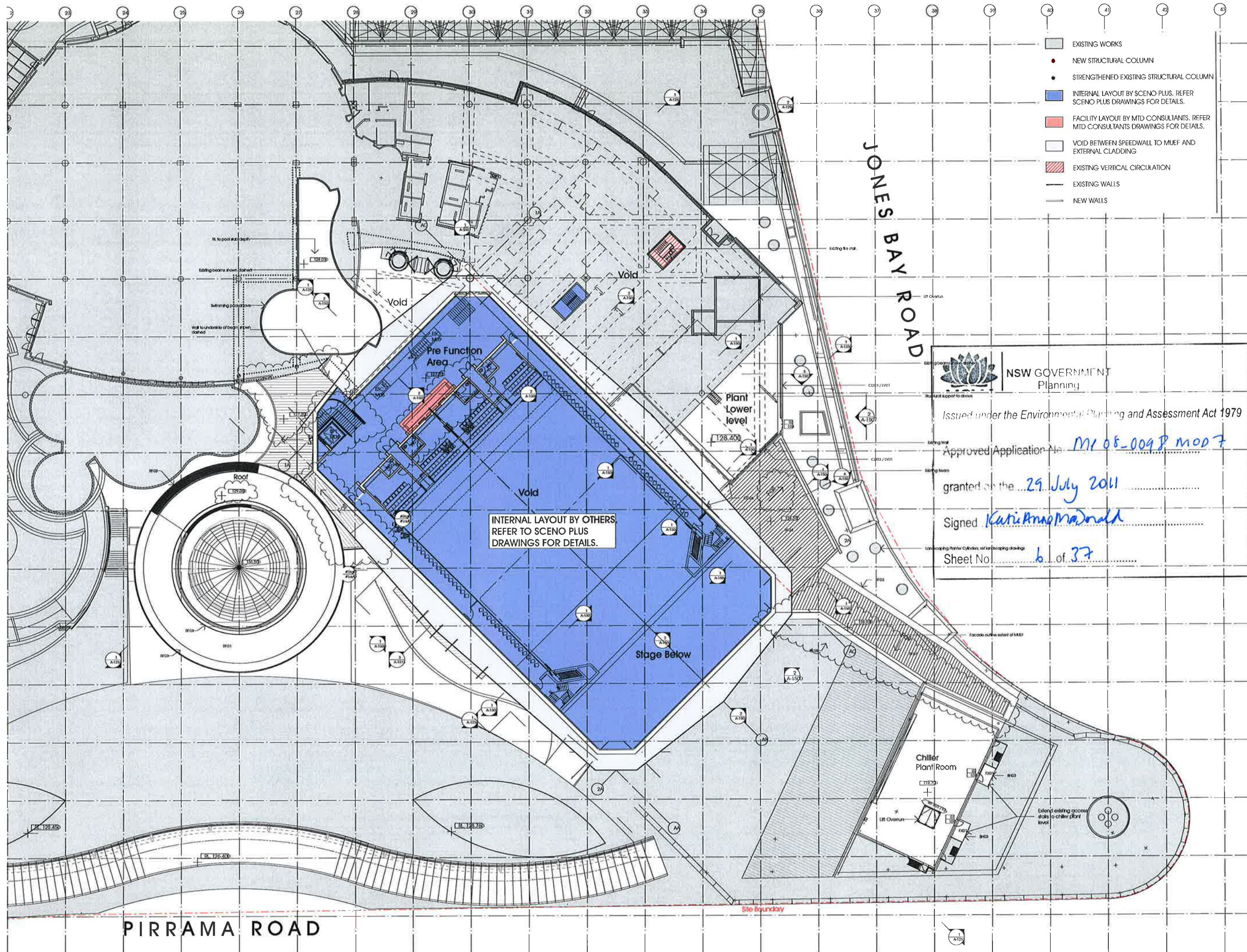
DRAWING

LEVEL 02
FLOOR PLAN
(TERRACE)

DRAWN	APPROVED	PERIT DATE
JW	SC	9/06/2011

STATUS	PROJECT NO.	DRAWING NO.
FOR TENDER	21013	A-1104

SCALE	PROJECT NO.	DRAWING NO.
1:200	21013	A-1104



-  EXISTING WORKS
-  NEW STRUCTURAL COLUMN
-  STRENGTHENED EXISTING STRUCTURAL COLUMN
-  INTERNAL LAYOUT BY SCENO PLUS. REFER SCENO PLUS DRAWINGS FOR DETAILS.
-  FACILITY LAYOUT BY MTD CONSULTANTS. REFER MTD CONSULTANTS DRAWINGS FOR DETAILS.
-  VOID BETWEEN SPEEDWALL TO MUEF AND EXTERNAL CLADDING
-  EXISTING VERTICAL CIRCULATION
-  EXISTING WALLS
-  NEW WALLS

[illegible]

Notes:
Changes as clouded
Sceno Plus backgrounds updated
Door and finishes code updated
Wall codes updated

 NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. MP 08-0098 mod 7

granted on the 29 July 2011

Signed Katie Anne McDonald

Sheet No. 6 of 37

AUTHORITY'S Ref. No.	Description	OS
01.17.1.10	For Co-ordination	1A
02.24.01.11	For Co-ordination	1B
03.11.02.11	For Co-ordination	1B
04.01.03.11	65% Design Development (TENDER)	1B
05.24.03.11	100% Design Development (TENDER)	1C
06.31.03.11	100% Design Development (TENDER)	1C
07.26.04.11	UPDATED TENDER ISSUE	1C

NOT FOR CONSTRUCTION

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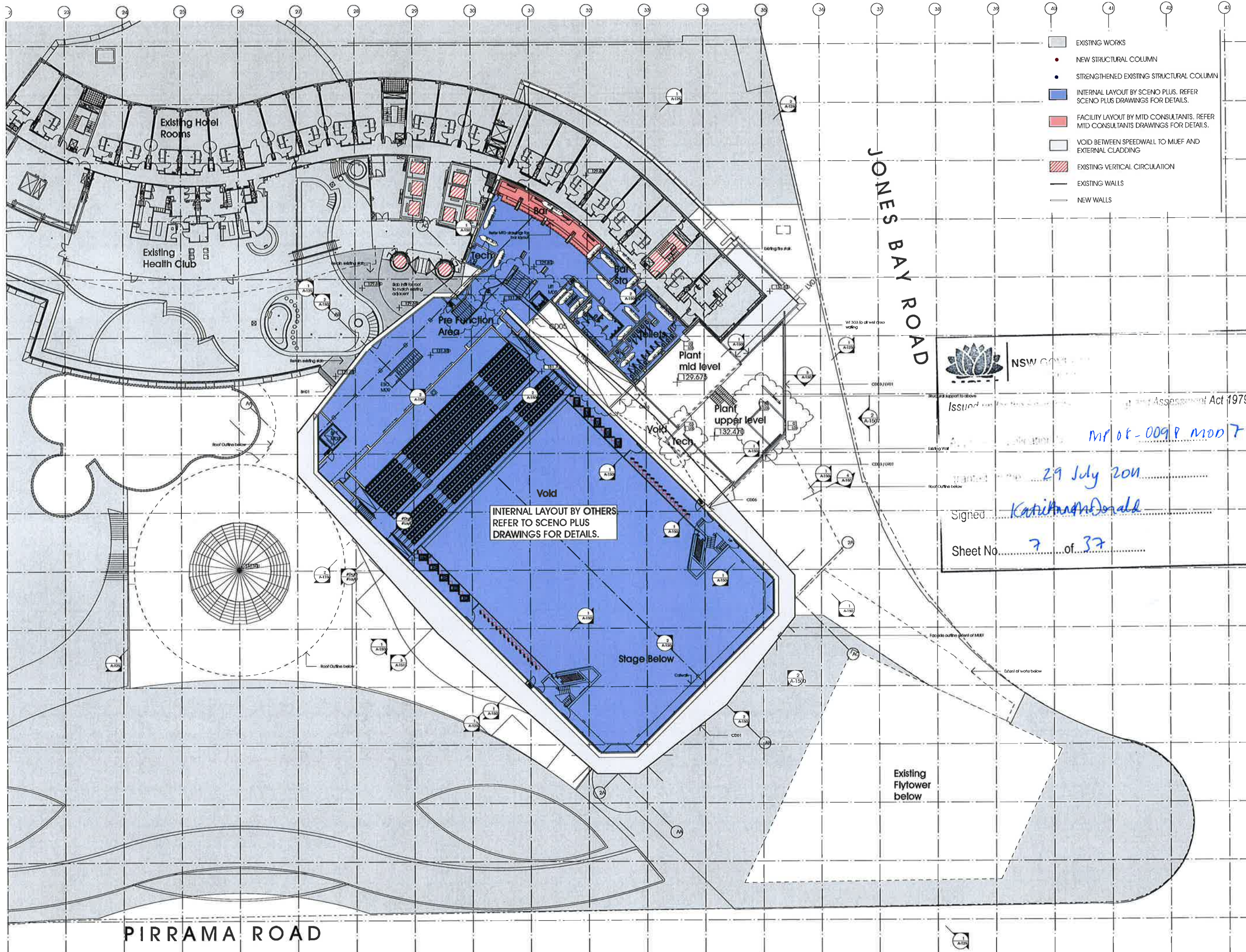
PROJECT
MUEF - Multi Use
Entertainment Facility
Star City Casino, Pirrama Road, Sydney NSW 2000

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PROJECT NORTH

DRAWING
LEVEL 04
COVERED DECK
& ROOF PLAN

DRAWN JW	APPROVED SC	PRINT DATE 9/08/2011
STATUS FOR TENDER		ISSUE 07
SCALE @ B1	PROJECT NO. 21013	DRAWING NO. A-1106



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NOTES

This drawing is based upon the conditions listed and required, specified and indicated or described in the project contract papers after study or in just stated prior agreement in writing by Registered architect.

Drawings show design intent. Your drawings are to be provided for approval prior to construction and are not to be used without the consent of the Registered architect.

Do not scale drawings. Check dimensions before commencing work. Inconveniences will be required by Registered architect.

All drawings are subject to detailed verification at owner's expense. Registered architect does not responsible for the accuracy of existing building information.

Drawings following an initial review are not a particular type of office. For explanation of office types refer to specific office and building.

[illegible]

Notes:

- Changes as clouded
- Sceno Plus backgrounds updated
- Door and finishes code updated
- Wall codes updated

 NSW GOVERNMENT

Statutory support to above

Issued under Environmental Protection Act 1979

MR OF - 0098 MOD 7

29 July 2011

Signed: Katrina McDonald

Sheet No. 7 of 37

Announcements And Date	Description	DA
01.12.13.10	For Co-ordination	NB
02.04.01.11	For Co-ordination	NB
03.11.02.11	For Co-ordination	NB
04.01.03.11	65% Design Development (TENDER)	NB
05.04.03.11	100% Design Development (TENDER)	SC
06.01.03.11	100% Design Development (TENDER)	SC
07.28.04.11	UPDATED TENDER ISSUE	SC

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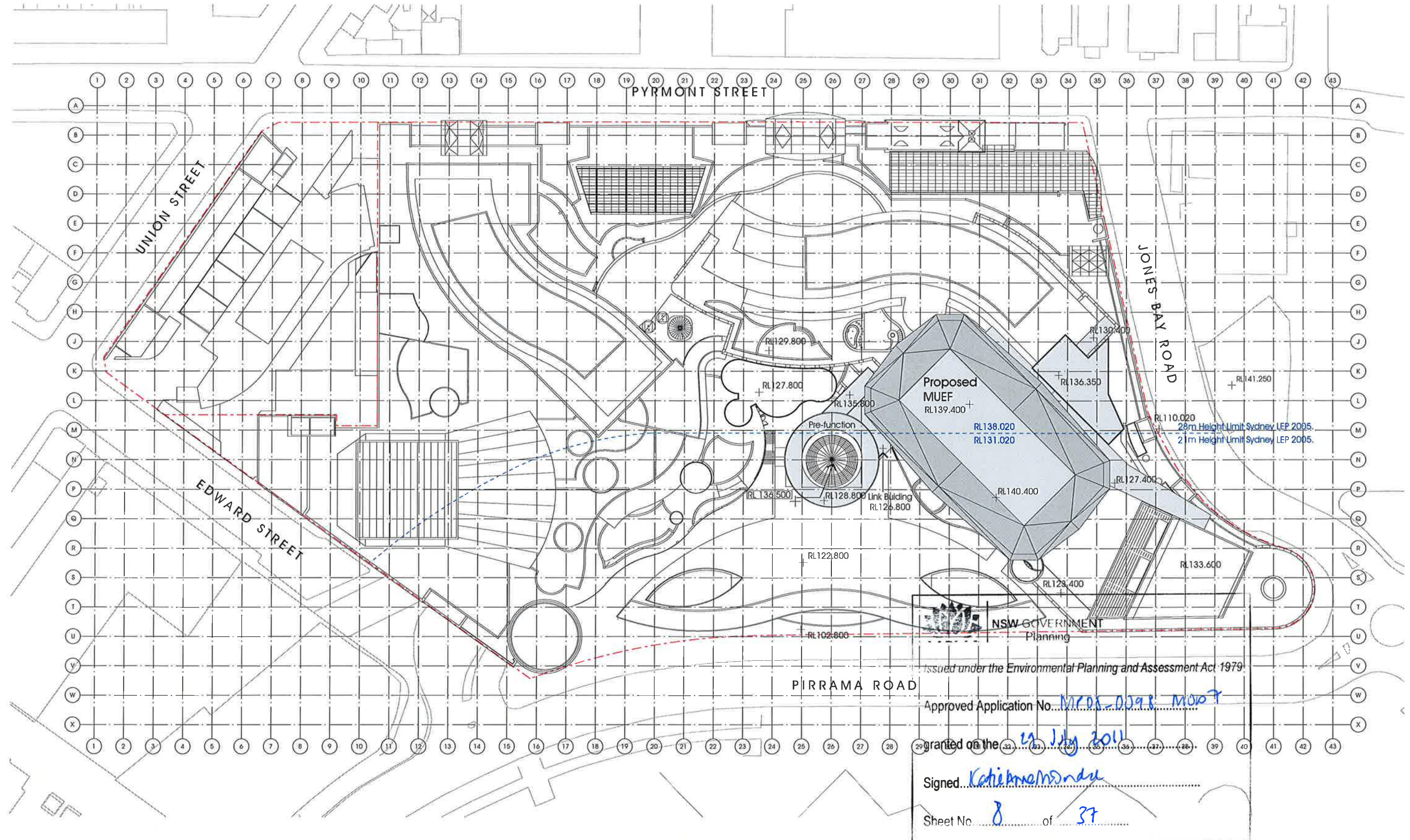
PROJECT
MUEF - Multi Use
Entertainment Facility
Star City Casino, Pirrama Road, Sydney NSW 2000
Ikapalika & partners
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PROJECT NO. 1

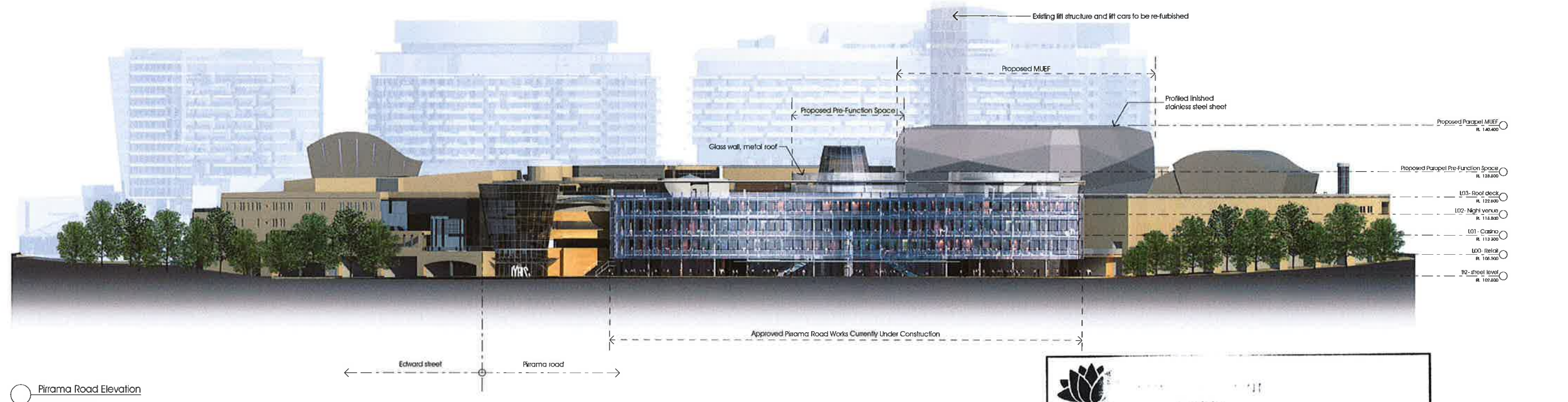
PROJECT NORTH

DRAWING
LEVEL 05
ROOF LEVEL PLAN

DRAWN JW	APPROVED SC	PRINT DATE 9/08/2011
STATUS FOR TENDER		ISSUE 07
SCALE	PROJECT NO. 21013	DRAWING NO. A-1107

① Level 05
1:200







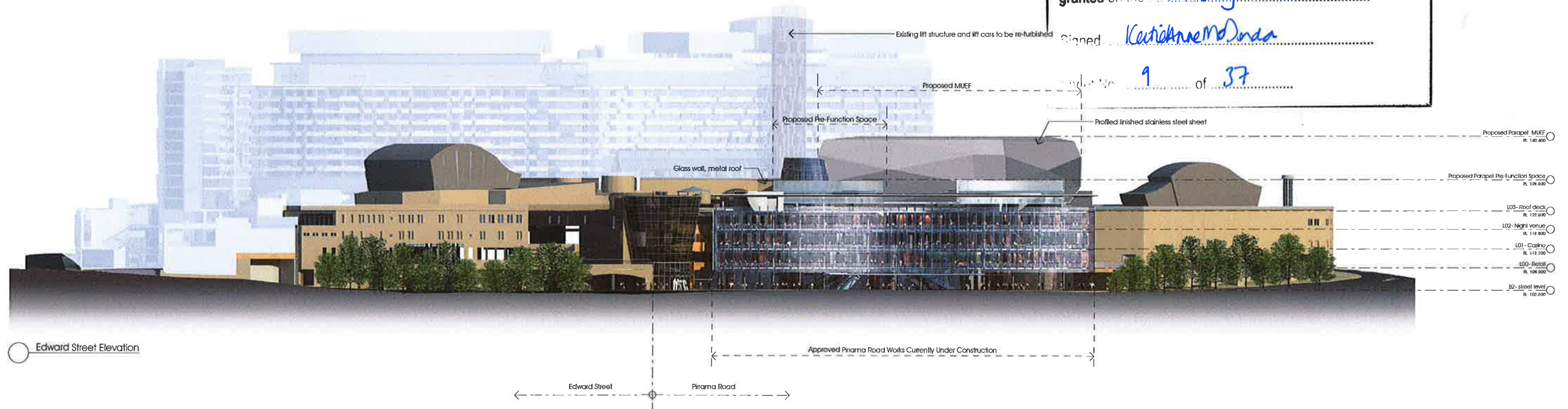
Issued under the Planning and Assessment Act 1979

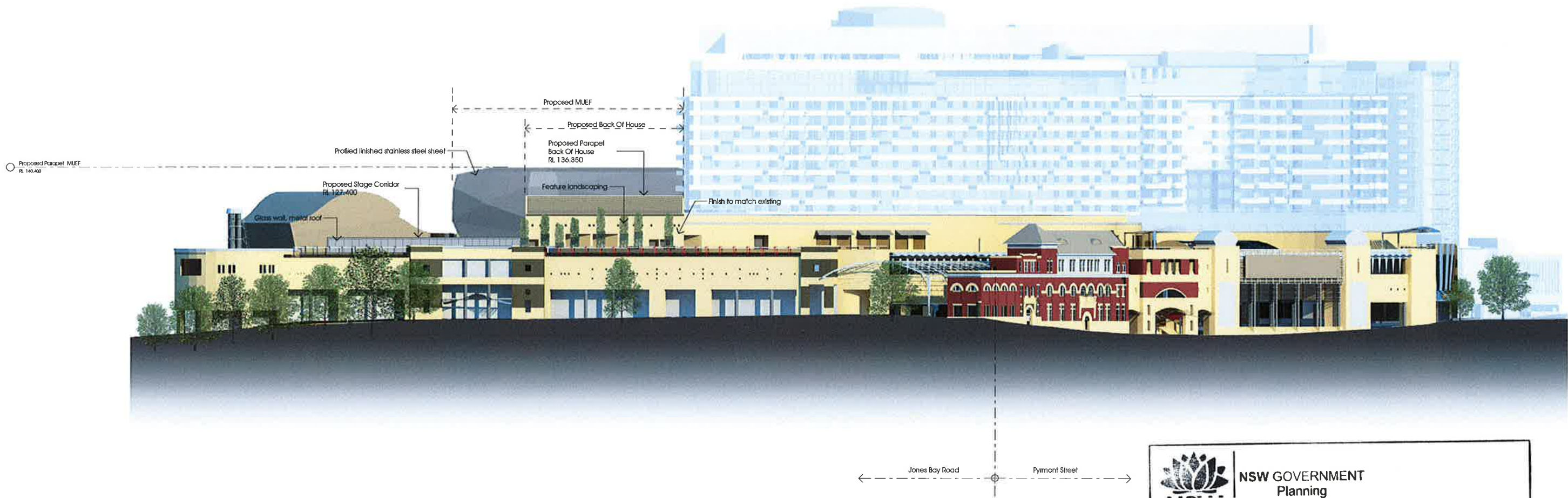
Approved Application No. MP 08-0098 Mod 7

granted on the 21 July 2011

Signed Keritha Mendonca

Page No. 9 of 37







NSW GOVERNMENT
Planning

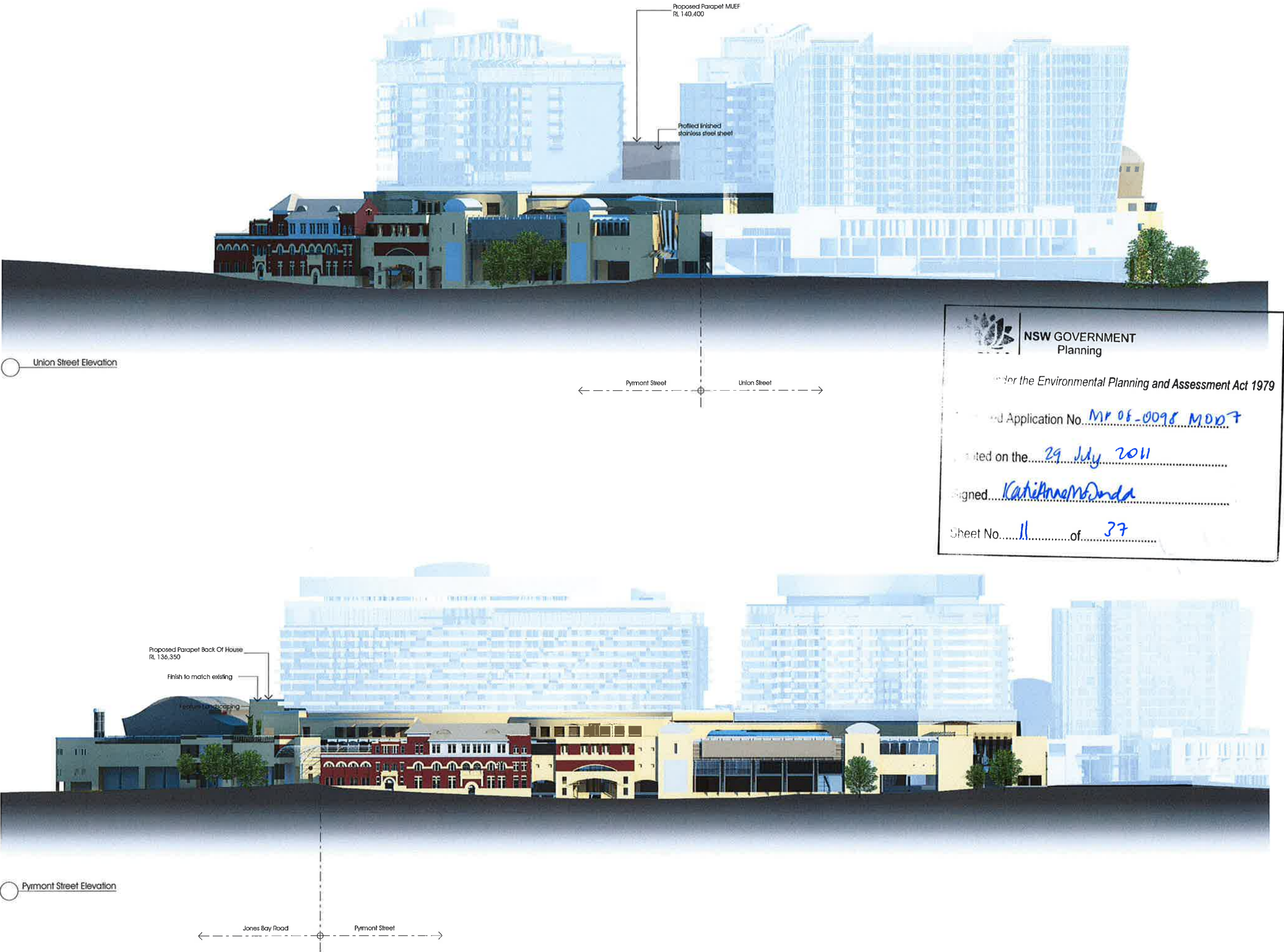
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. Mr 08-0098 MOD 7

granted on the 29 July 2011

Signed Kathleen McDermott

Sheet No. 10 of 37



 **NSW GOVERNMENT**
Planning

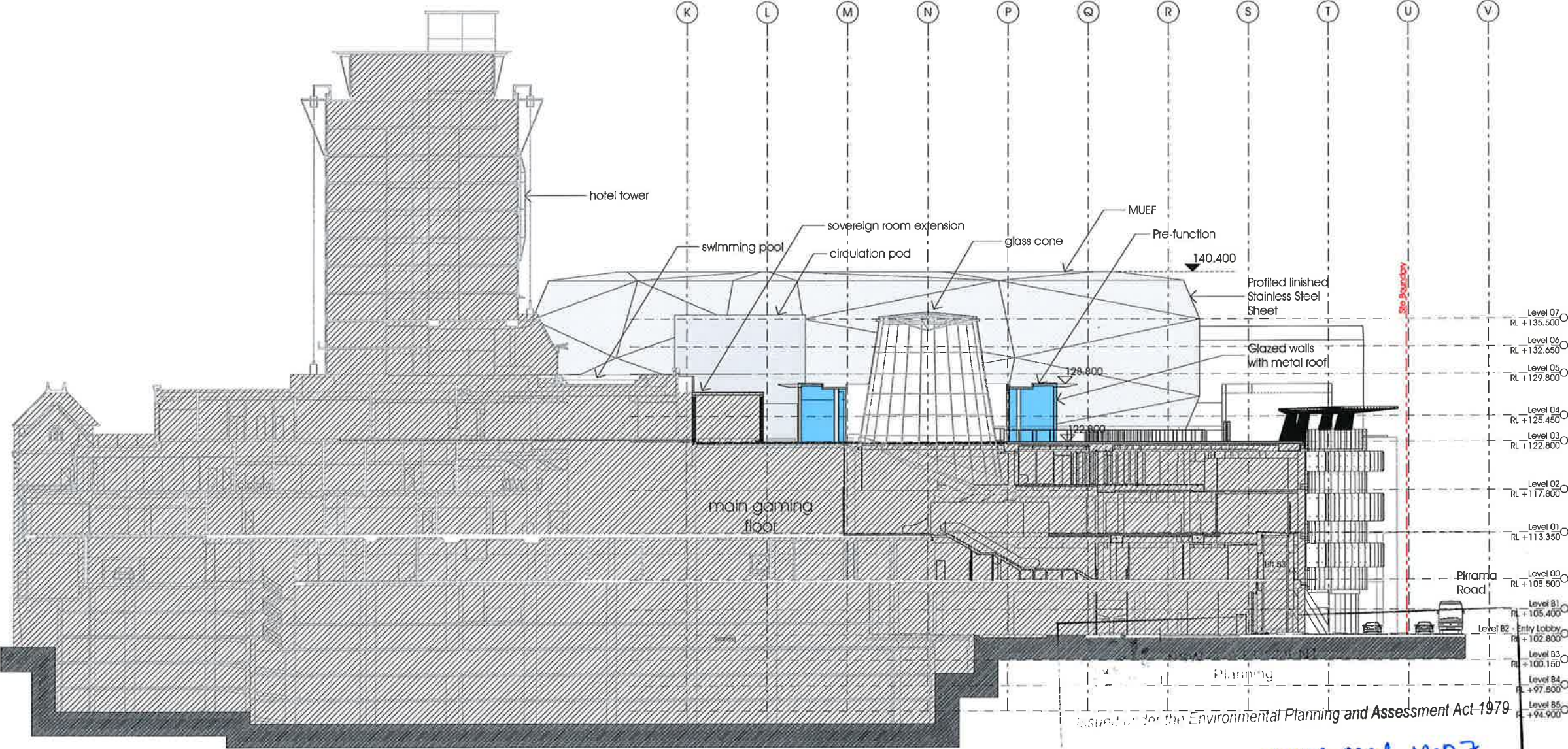
Under the *Environmental Planning and Assessment Act 1979*

Development Application No. MP 08-0098 M.D.D.7

Submitted on the 29 July 2011

Signed Kathleen McDunda

Sheet No. 11 of 37



Issued under the Environmental Planning and Assessment Act 1979

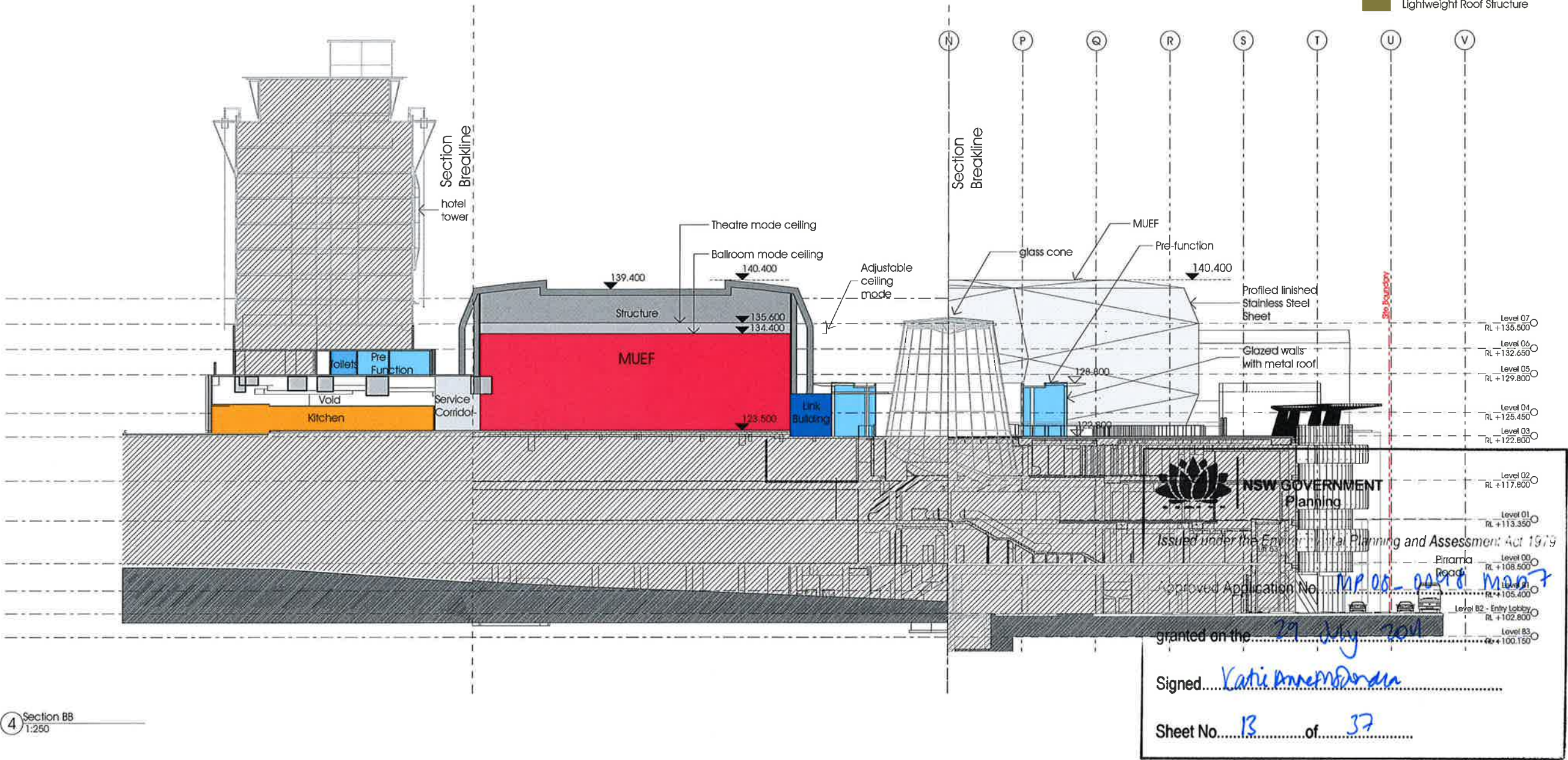
Approved Application No. MP 08-0098 MOD 7

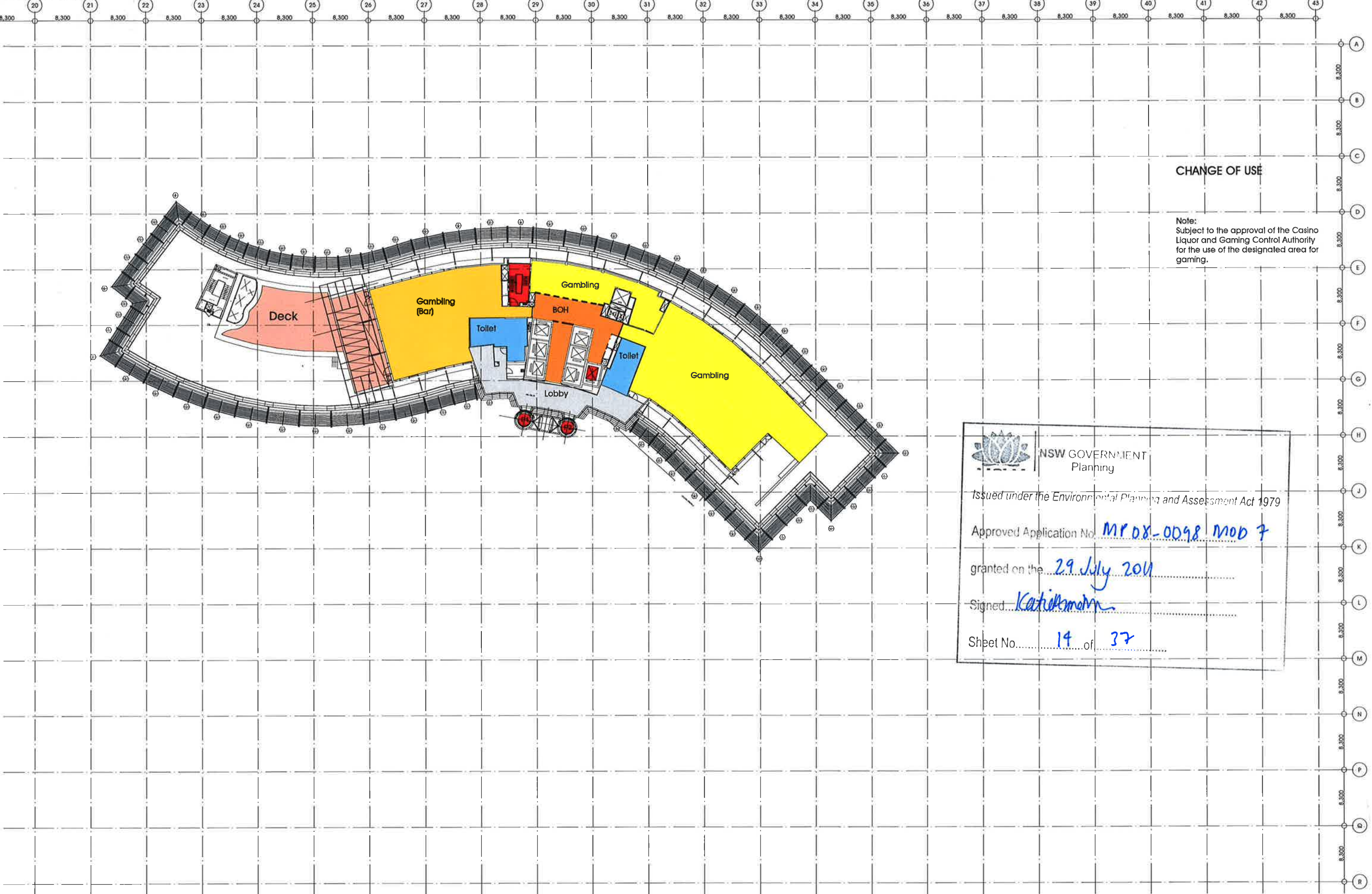
granted on the 29 July 2011

Signed Katrina M. Dando

Sheet No. 12 of 37

- Multi Purpose Venue
- Pre-function Area
- Ticket Validation
- Toilet Facilities
- BOH/ Kitchen Area
- BOH/ Storage
- Existing Green Rooms/ Dressing Rooms
- Plant
- Vertical Transportation (Proposed)
- Vertical Transportation (Existing)
- Circulation
- Loading Dock
- Business Centre/ Meeting Rooms
- Cloak Room / Merch / FOH / Bar Store
- Lightweight Roof Structure





CHANGE OF USE

Note:
Subject to the approval of the Casino
Liquor and Gaming Control Authority
for the use of the designated area for
gaming.

 NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. MPO8-0098 MOD 7

granted on the 29 July 2011

Signed [Signature]

Sheet No. 14 of 37

This drawing is issued upon the condition it is not copied, reproduced, retained or disclosed to any unauthorized person either wholly or in part without prior consent in writing of Elapstick Systems.

Drawings show design intent only. They do not serve as to be provided for approval prior to construction or manufacture.

Inconsistencies are to be reported to Elapstick Systems.

Do not scale drawings. Check dimensions before commencing work.

01	07.10.10	DOP SUBMISSION
02	17.01.11	REVISED DOP SUBMISSION



PROJECT NORTH SCALE
NTS

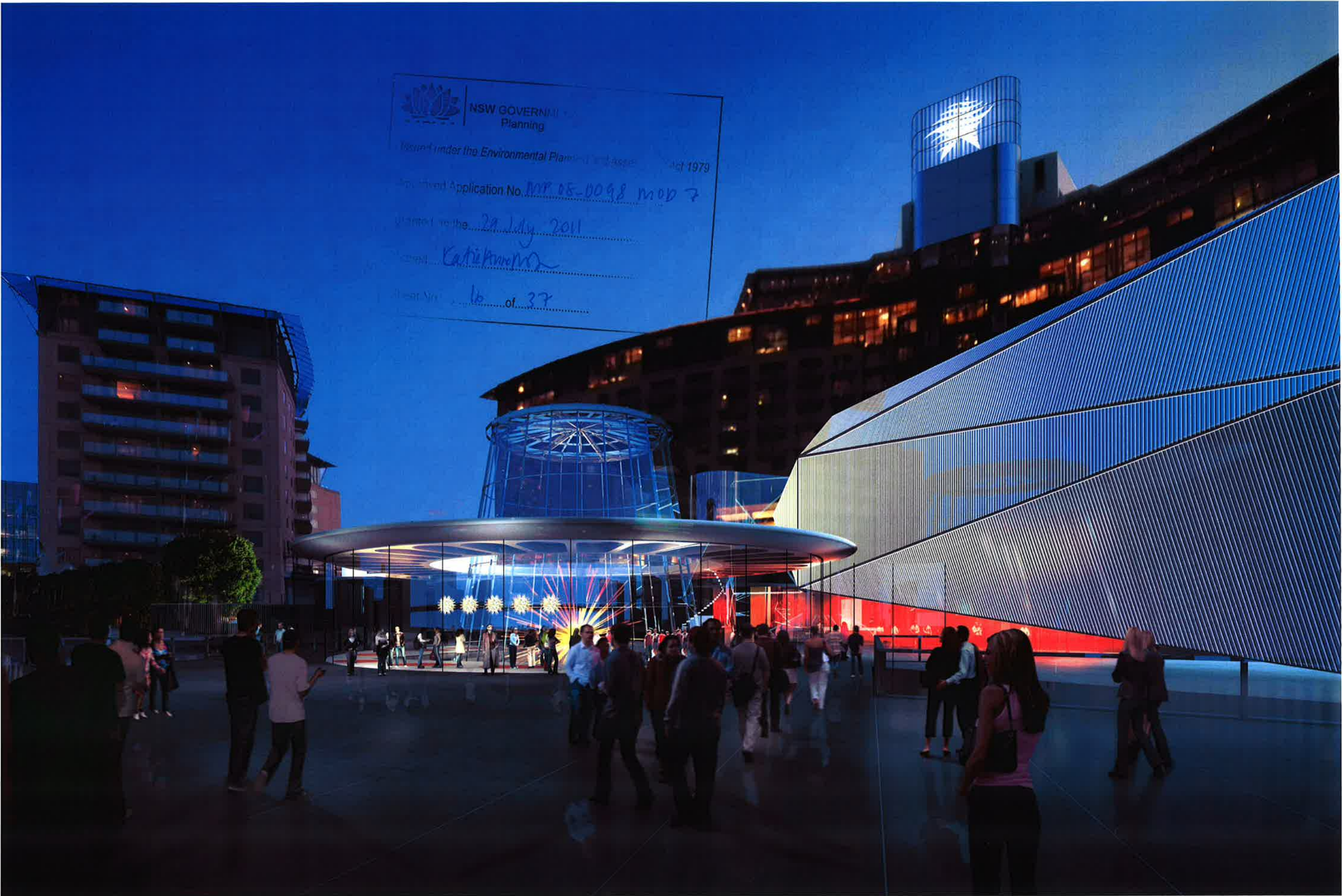
PRINT DATE
14/01/2011

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 07-11-2008 10:00 AM www.fazalicharters.com

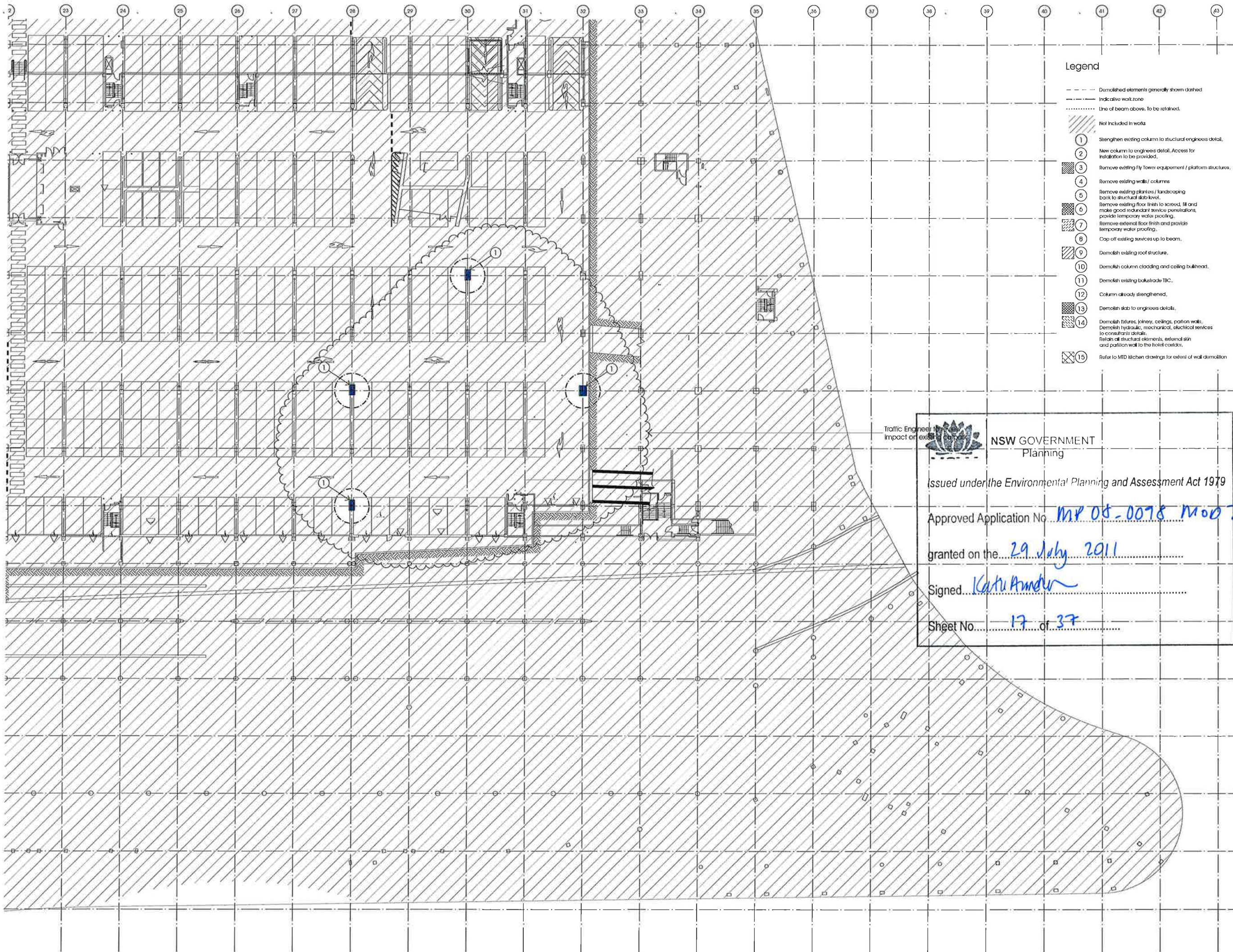
CRAWLING Aerial Perspective

ARTIST IMPRESSION ONLY

PROJECT NO.	DRAWING NO.	ISSUE
21013	DOP-22	02



MUEF - DOP



- Legend**
- Demolished elements generally shown dashed
 - - - Indicative work zone
 - Line of beam above, to be retained.
 - Not Included in Works
 - 1 Strengthen existing column to structural engineers detail.
 - 2 New column to engineers detail. Access for installation to be provided.
 - 3 Remove existing Fly Tower equipment / platform structures.
 - 4 Remove existing walls / columns
 - 5 Remove existing planters / landscaping back to structural slab level.
 - 6 Remove existing floor finish to screed, fill and make good redundant service penetrations, provide temporary water proofing.
 - 7 Remove external floor finish and provide temporary water proofing.
 - 8 Cap off existing services up to beam.
 - 9 Demolish existing roof structure.
 - 10 Demolish column cladding and ceiling bulkhead.
 - 11 Demolish existing balustrade TBC.
 - 12 Column already strengthened.
 - 13 Demolish slab to engineers details.
 - 14 Demolish fixtures, joinery, ceilings, partition walls. Demolish hydraulic, mechanical, electrical services to consultants details. Retain all structural elements, external skin and partition wall to the hotel exterior.
 - 15 Refer to MTD kitchen drawings for extent of wall demolition

Traffic Engineer Impact on existing road

NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **MP 05-0078 MOD 7**

granted on the **29 July 2011**

Signed **Katrina Anderson**

Sheet No. **17** of **37**

fitzpatrick+partners
Architects

Notes
Working zone allowance in the building and proposed access routes TBC between builder and casino.
Hoarding line for interface between public and staff TBC between builder and casino.
Protection of elements not to be demolished within demolition zone TBC between builder and casino.
Tiles around pool to be kept for reinstatement.
Refer to structural engineers, hydraulic, fire services, electrical and mechanical consultants documentation for detailed scope of work.

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PROJECT
MUEF - Multi Use Entertainment Facility
Star City Casino, Princes Road, Sydney NSW 2009

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PROJECT NORTH

DRAWING
PLANS - EARLY WORKS / DEMOLITION
B5

DRAWN
JW

APPROVED
SC

FOR TENDER

STATUS

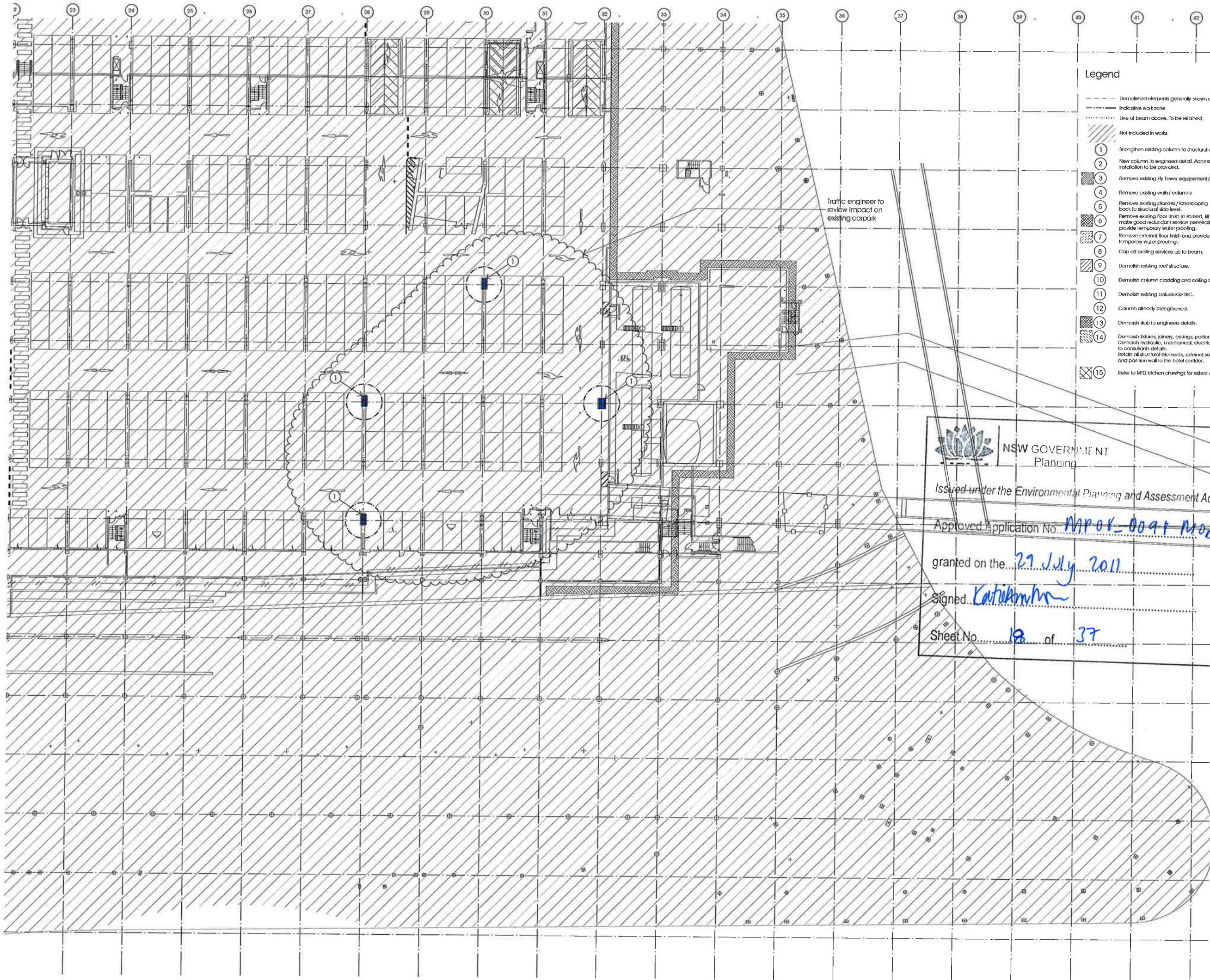
SCALE

PROJECT NO.
21013

DRAWING NO.
A-1010

DATE
20/04/2011

ISSUE
D8



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The drawing is a view from the front and is a perspective representation intended to give any unaided person a fair understanding of the actual work you intend to make use of in your design.

Give your design a title. The drawings are to be prepared by you, or by a draftsman or manufacturer.

Do not scale drawings. Once dimensions for the connecting work have been set, the design is fixed. A drawing is a picture.

All drawings are subject to the discretion of the jury. Inquiries about drawings are referred to the jury for the authority of scaling and drawing.

There is a drawing of a drawing in the following type of form for the selection of the type of drawing to be used in the design.

[illegible]

COUNTRIES			
AD	ANDORRA	EU	EUROPE
AE	UNITED ARAB EMIRATES	PA	PACIFIC
AF	AFGHANISTAN	PC	PACIFIC
AG	ANTIGUA AND BARBUDA	PC	PACIFIC
AI	ANGUILLA	PC	PACIFIC
AL	ALBANIA	EU	EUROPE
AM	ARMENIA	EU	EUROPE
AN	NETHERLANDS ANTILLES	CA	CARIBBEAN
AO	ANGOLA	AF	AFRICA
AR	ARGENTINA	SA	SOUTH AMERICA
AS	ASIA	SA	SOUTH AMERICA
AT	AUSTRIA	EU	EUROPE
AU	AUSTRALIA	OC	OCEANIA
AX	ALAND ISLANDS	EU	EUROPE
BA	BOSNIA AND HERZEGOVINA	EU	EUROPE
BB	BARBADOES	CA	CARIBBEAN
BD	BAHRAIN	AS	ASIA
BE	BELGIUM	EU	EUROPE
BF	BURKINA FASO	AF	AFRICA
BG	BULGARIA	EU	EUROPE
BH	BAHRAIN	AS	ASIA
BI	BURUNDI	AF	AFRICA
BJ	BENIN	AF	AFRICA
BM	BERMUDA	CA	CARIBBEAN
BN	BRUNEI DARUSSALAM	AS	ASIA
BO	BOLIVIA	SA	SOUTH AMERICA
BR	BRAZIL	SA	SOUTH AMERICA
BS	BAHAMAS	CA	CARIBBEAN
BT	BHUTAN	AS	ASIA
BV	BONIN ISLANDS	EU	EUROPE
BW	BOTSWANA	AF	AFRICA
BY	BYELARRUSIA	EU	EUROPE
BZ	BERMUDA	CA	CARIBBEAN
CA	CANADA	NA	NORTH AMERICA
CC	COCOS (KEELING) ISLANDS	OC	OCEANIA
CD	CONGO (KINSHASA)	AF	AFRICA
CE	CENTRAL AMERICA	NA	NORTH AMERICA
CF	CONGO (BRAZAVILLE)	AF	AFRICA
CG	CAMEROON	AF	AFRICA
CH	CHINA	AS	ASIA
CI	COTE D'IVOIRE	AF	AFRICA
CK	COKES ISLAND	OC	OCEANIA
CL	CHILE	SA	SOUTH AMERICA
CM	CAMEROON	AF	AFRICA
CN	CHINA	AS	ASIA
CO	COLOMBIA	SA	SOUTH AMERICA
CR	COSTA RICA	CA	CARIBBEAN
CU	CUBA	CA	CARIBBEAN
CV	CAPVERDE ISLANDS	AF	AFRICA
CY	CYPRUS	EU	EUROPE
CZ	CZECH REPUBLIC	EU	EUROPE
DE	GERMANY	EU	EUROPE
DF	DENMARK	EU	EUROPE
DG	DJIBOUTI	AF	AFRICA
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DK	DENMARK	EU	EUROPE
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DU	DUTCH GUAYANA	SA	SOUTH AMERICA
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ES	SPAIN	EU	EUROPE
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EV	EVANSELIN ISLANDS	OC	OCEANIA
EW	WESTERN SAHARA	AF	AFRICA
EX	EUROPE	EU	EUROPE

Notes

Working zone allowance in the building and proposed access routes TBC between builder and casino.

Hoarding line for interface
between public and staff TBC
between builder and customer

Protection of elements not to be demolished within demolition zone TBC between builder and casino.

Tiles around pool to be kept for reinstatement.

Refer to structural engineers, hydraulic, fireservices, electrical and mechanical consultants documentation for detailed scope of work.

Scope of work:

0

)

)

ARTSOutput
ARTS Date: Displayed:

01/01/12/10	For Co-ordination
02/08/12/10	For Co-ordination
03/22/12/10	For Tender
04/20/11/10	For Tender + changes as clou

05.28.03.10	For Tender - changes as cloud
06.01.03.11	65% Design Development (TENDER)
07.31.03.11	100% Design Development (TENDER)

06.28.04.11 UPDATED TENDER ISSUE

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CLIENT



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PROJECT
MUEF - Multi Use

Entertainment Facility
Star City Casino, Pittman Road, Sydney NSW

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PROJECT NORTH

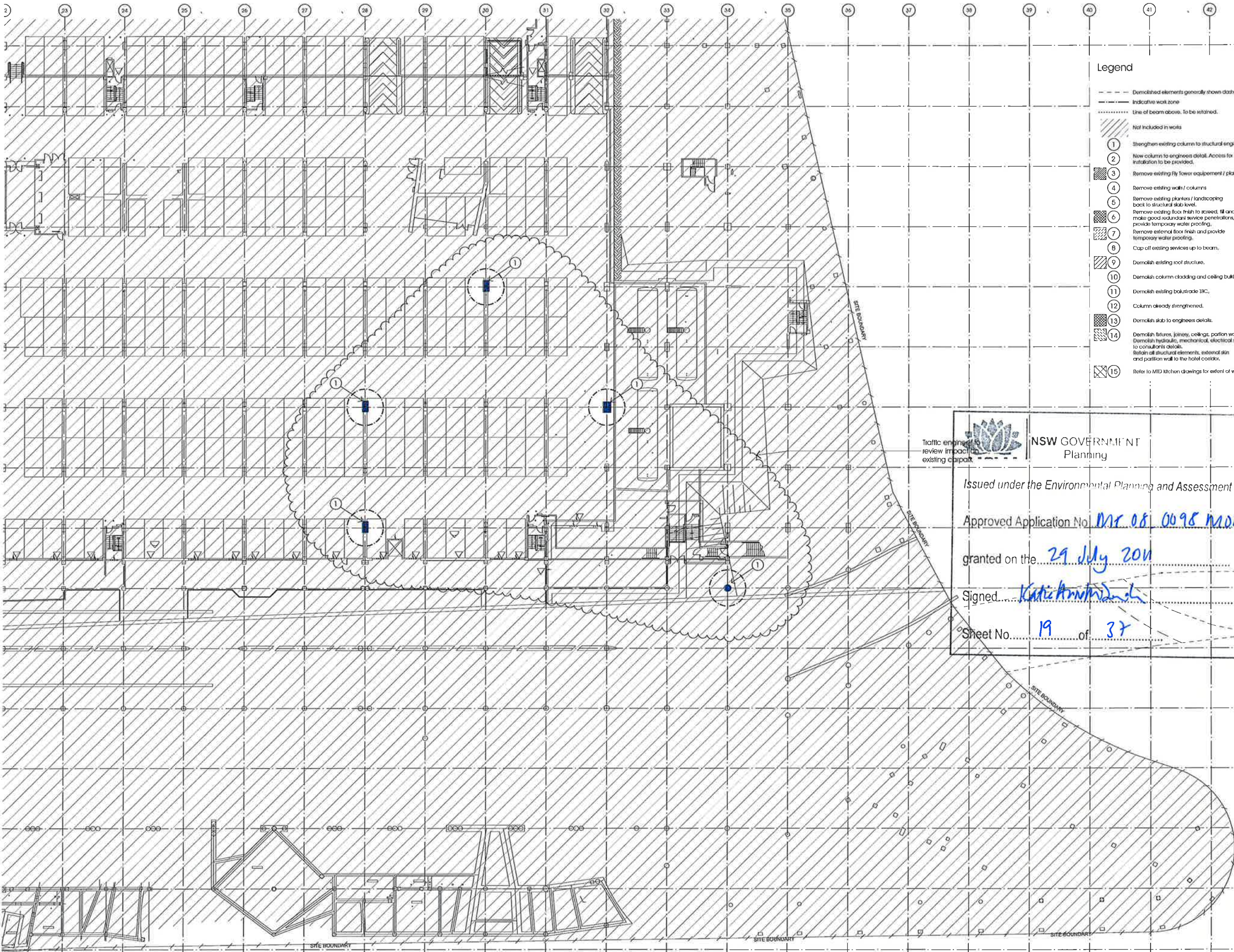
 DRAWING

PLANS - EARLY WORKS,
DEMOLITION
B4

DRAWN JW	APPROVED SC	1 2
-------------	----------------	--------

STATUS
FOR TENDER

21013 A-



- Legend**
- Demolished elements generally shown dashed
 - Indicative work zone
 - Line of beam above, to be retained
 - Not included in works
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 - 14 Demolish fixtures, joinery, ceilings, partition walls. Demolish hydraulic, mechanical, electrical services to consultants details. Retain all structural elements, external skin and partition wall to the hotel corridor.
 - 15 Refer to MID kitchen drawings for extent of wall demolition

 **NSW GOVERNMENT Planning**

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **MP 08 0098 MOD 7**

granted on the **29 July 2011**

Signed **Katie Annand**

Sheet No. **19** of **37**

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fitzpatrick+partners is a leading architectural and interior design firm, specialising in commercial, residential, and public sector projects. We have a proven track record of delivering high-quality, innovative designs that meet our clients' needs and exceed their expectations. Our team of experienced professionals is dedicated to providing exceptional service and ensuring the success of every project.

Legend

APL: Accessory Plant Room
CL: Corridor
CO: Common Office
CP: Car Park
CR: Corridor
CS: Corridor
CU: Corridor
DA: Display Area
DR: Dressing Room
E: Elevator
F: Foyer
G: Gallery
H: Hotel
I: Information
J: Joinery
K: Kitchen
L: Lounge
M: Meeting Room
N: Niche
O: Office
P: Plant Room
R: Reception
S: Staircase
T: Terrace
U: Utility Room
V: Vestibule
W: Workshop
X: X-ray Room
Y: Yoga Room
Z: Zone

Notes

Working zone allowance in the building and proposed access routes TBC between builder and casino.

Hoarding line for interface between public and staff TBC between builder and casino.

Protection of elements not to be demolished within demolition zone TBC between builder and casino.

Tiles around pool to be kept for reinstatement.

Refer to structural engineers, hydraulic, mechanical, electrical and mechanical consultants documentation for detailed scope of work.

REVISIONS

Rev	Date	Description	By	Check
01	01.12.10	For Coordination	MB	
02	01.12.10	For Coordination	MB	
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99	01.12.10	For Tender - changes as detailed	MB	
100	01.12.10	For Tender - changes as detailed	MB	

NOT FOR CONSTRUCTION

CLIENT: **Tubcorp**

PROJECT: **MUEF - Multi Use Entertainment Facility**
Bar City Casino, Promenade Road, Sydney NSW 2000

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PROJECT NORTH

DRAWING: **PLANS - EARLY WORKS / DEMOLITION**

SCALE: **AS SHOWN**

DRAWN: **JW**

APPROVED: **SC**

FOR TENDER

PROJECT NO: **21013**

DATE: **29/04/2011**

ISSUE: **08**

SCALE: **A-1012**



Legend

- Demolished elements generally shown dashed
- Indicative work zone
- Line of beam above, to be retained
- Not included in works
- Strengthen existing column to structural engineers detail
- New column to engineers detail. Access for installation to be provided
- Remove existing R/L tower equipment / platform structures
- Remove existing walls / columns
- Remove existing slabs / landscaping back to structural slab level
- Remove existing floor finish to screed, fill and make good redundant service penetrations, provide temporary water proofing
- Remove external floor finish and provide temporary water proofing
- Cap off existing services up to beam
- Demolish existing roof structure
- Demolish column cladding and ceiling bulkhead
- Demolish existing balustrade TBC
- Column already strengthened
- Demolish slab to engineers details
- Demolish fixtures, joinery, ceilings, partition walls, Demolish hydraulic, mechanical, electrical services to consultants details, Retain all structural elements, external skin and partition wall to the hotel corridor
- Refer to MID kitchen drawings for extent of wall demolition

NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **M108-0098 MOD 7**

granted on the **29 July 2011**

Signed **Katie Annis**

Sheet No. **21** of **37**

Buslane

fitzpatrick+partners

This drawing is a preliminary design and is not to be used for construction. It is for information only and is not a contract. The client is responsible for the accuracy of the information provided. The client is responsible for the accuracy of the information provided. The client is responsible for the accuracy of the information provided.

NOT FOR CONSTRUCTION

CLIENT: **Tabcorp**

PROJECT: **MUEF - Multi Use Entertainment Facility**
100 City Casino, Pyrmont Road, Sydney NSW 2009

fitzpatrick+partners
100 City Casino, Pyrmont Road, Sydney NSW 2009
P: +61 2 9274 8299 W: www.fitzpatrickpartners.com

PROJECT NORTH

DRAWING: **PLANS - EARLY WORKS / DEMOLITION LEVEL 00**

DRAWN: **JW** APPROVED: **SC** PROJECT DATE: **29/04/2011**

STATUS: **FOR TENDER** ISSUE: **09**

SCALE: PROJECT NO. **21013** DRAWING NO. **A-1015**

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Notes

Working zone allowance in the building and proposed access routes TBC between builder and casino.

Hoarding line for interface between public and staff TBC between builder and casino.

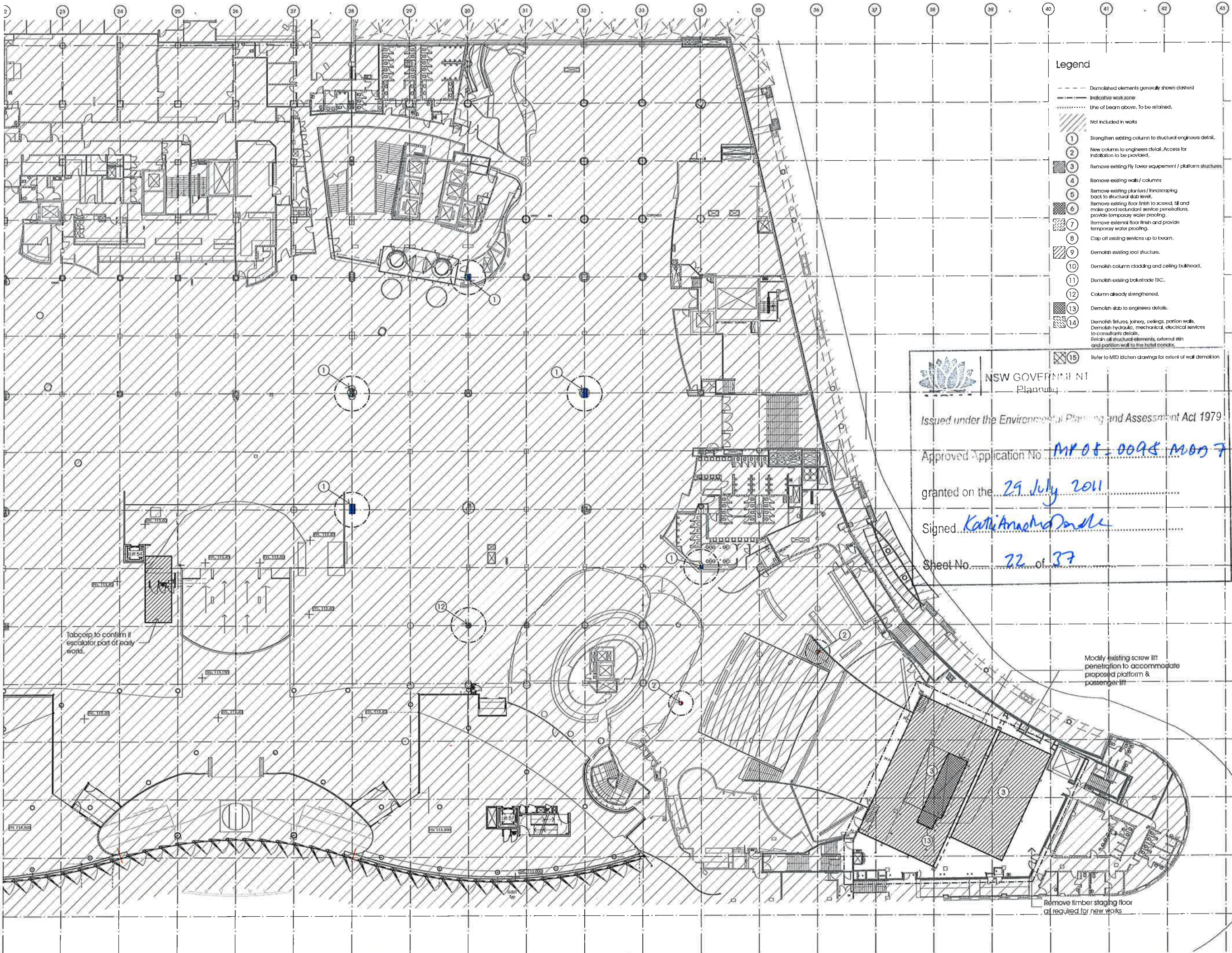
Protection of elements not to be demolished within demolition zone TBC between builder and casino.

Ties around pool to be kept for reinstatement.

Refer to structural engineers, hydraulic, fire services, electrical and mechanical consultants documentation for detailed scope of work.

REVISIONS

Rev	Date	Description	By	Check
01	19.11.10	For Co-ordination	MB	MB
02	01.12.10	For Co-ordination	MB	MB
03	08.12.10	For Co-ordination	MB	MB
04	22.12.10	For Tender	MB	MB
05	29.01.11	For Tender - changes as clouded	MB	MB
06	28.01.11	For Tender - changes as clouded	MB	MB
07	01.03.11	60% Design Development	MB	MB
08	31.03.11	100% Design Development	SC	SC
09	28.04.11	FOR TENDER ISSUE	SC	SC



- Legend**
- Demolished elements generally shown dashed
 - Indicative work zone
 - Line of beam above, to be retained.
 - Not included in works
 - 1 Strengthen existing column to structural engineers detail.
 - 2 New column to engineers detail. Access for installation to be provided.
 - 3 Remove existing Fly Tower equipment / platform structures.
 - 4 Remove existing walls / columns
 - 5 Remove existing planters / landscaping back to structural slab level.
 - 6 Remove existing floor finish to screed, fill and make good redundant service penetrations, provide temporary water proofing.
 - 7 Remove external floor finish and provide temporary water proofing.
 - 8 Cap off existing services up to beam.
 - 9 Demolish existing roof structure.
 - 10 Demolish column cladding and ceiling bulkhead.
 - 11 Demolish existing balustrade TBC.
 - 12 Column already strengthened.
 - 13 Demolish slab to engineers details.
 - 14 Demolish fixtures, joinery, ceilings, partition walls. Demolish hydraulic, mechanical, electrical services to consultants details. Retain all structural elements, external skin and partition wall to the hotel corridor.
 - 15 Refer to MID kitchen drawings for extent of wall demolition

NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **MP05-0095 M007**

granted on the **29 July 2011**

Signed **Kathi Anna McDaniel**

Sheet No. **22 of 37**

Modify existing screw lift penetration to accommodate proposed platform & passenger lift

Remove timber staging floor as required for new works

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Architects

1/11/10 For Coordination
02/01/10 For Coordination
03/01/10 For Coordination
04/01/10 For Coordination
05/01/10 For Coordination
06/01/10 For Coordination
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42/01/10 For Coordination
43/01/10 For Coordination

NOT FOR CONSTRUCTION

CLIENT: **Tabcorp**

PROJECT: **MUEF - Multi Use Entertainment Facility**
Bar City Casino, Pyrmont Road, Sydney NSW 2009

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PROJECT NORTH

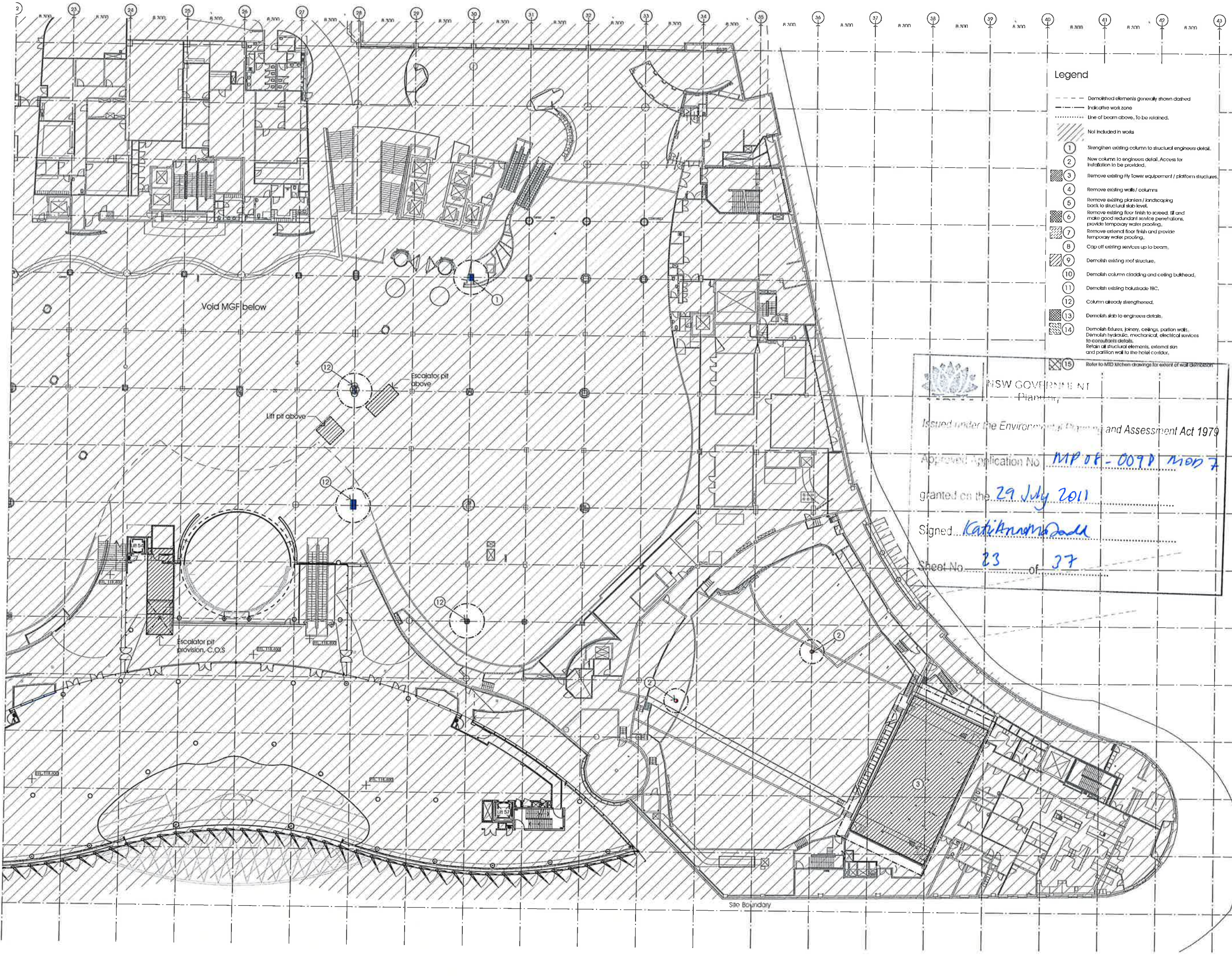
DRAWING: **PLANS - EARLY WORKS / DEMOLITION LEVEL 01**

DRAWN: **JW** APPROVED: **SC** PLOT DATE: **29/04/2011**

STATUS: **FOR TENDER** ISSUE: **09**

SCALE: PROJECT NO: **21013** DRAWING NO: **A-1016**

© 81



- Legend**
- Demolished elements generally shown dashed
 - - - Indicative work zone
 - Line of beam above, to be retained.
 - Not included in works
 - 1 Strengthen existing column to structural engineers detail.
 - 2 New column to engineers detail. Access for installation to be provided.
 - 3 Remove existing fly tower equipment / platform structures.
 - 4 Remove existing walls / columns
 - 5 Remove existing planters / landscaping back to structural slab level.
 - 6 Remove existing floor finish to screed, fill and make good redundant service penetrations, provide temporary water proofing.
 - 7 Remove external floor finish and provide temporary water proofing.
 - 8 Cap off existing services up to beam.
 - 9 Demolish existing roof structure.
 - 10 Demolish column cladding and ceiling bulkhead.
 - 11 Demolish existing balcony IBC.
 - 12 Column already strengthened.
 - 13 Demolish slab to engineers details.
 - 14 Demolish fixtures, joinery, ceilings, partition walls. Demolish hydraulic, mechanical, electrical services to consultants details. Retain all structural elements, external skin and partition wall to the hotel corridor.
 - 15 Refer to MTD kitchen drawings for extent of wall demolition

NSW GOVERNMENT
Planning
Issued under the Environmental Planning and Assessment Act 1979
Approved Application No. **MP08-0090 MOD 7**
granted on the **29 July 2011**
Signed **Katrina Annandale**
Sheet No. **23** of **37**

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Architects

Notes
Working zone allowance in the building and proposed access routes IBC between builder and casino.
Holding line for interface between public and staff IBC between builder and casino.
Protection of elements not to be demolished within demolition zone IBC between builder and casino.
Ties around pool to be kept for reinstatement.
Refer to structural engineers, hydraulic, mechanical, electrical and mechanical consultants documentation for detailed scope of work.

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK
01	19.11.10	For Co-ordination	HB	
02	01.12.10	For Co-ordination	HB	
03	06.12.10	For Co-ordination	HB	
04	12.12.10	For tender - changes as attached	HB	
05	20.01.11	For tender - changes as attached	HB	
06	18.01.11	For tender - changes as attached	HB	
07	01.02.11	100% Design Development (TENDER)	SC	
08	21.03.11	100% Design Development (TENDER)	SC	
09	29.04.11	UPDATED TENDER BOE	SC	

NOT FOR CONSTRUCTION

CLIENT
Tabcorp

PROJECT
MUEF - Multi Use Entertainment Facility
801 City Casino, Panama Road, Sydney NSW 2000

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PROJECT NORTH

DRAWING
PLANS - EARLY WORKS / DEMOLITION
LEVEL 02

DRAWN JW **APPROVED** SC **PROJ DATE** 29/04/2011

STATUS FOR TENDER **ISSUE** D9

SCALE PROJECT NO. 21013 **DRAWING NO.** A-1017



Existing beams shown dashed (All structural beams to remain unless noted otherwise)

NSW GOVERNMENT
Planning

As Level 3
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. MP04-0098 MOD 7

granted on the 29 July 2011

Signed Katrina McKinnon

Sheet No. 25 of 37

Legend

- | | |
|---|--|
| --- | Demolished elements generally shown dashed |
| - - - | Indicative work zone |
| | Line of beam above, to be retained. |
|  | Not included in works |
| ① | Strengthen existing column to structural engineers detail. |
| ② | New column to engineers detail, Access for installation to be provided. |
|  | Remove existing fly tower equipment / platform structures. |
| ④ | Remove existing walls / columns |
| ⑤ | Remove existing planters / landscaping back to structural slab level. |
| ⑥ | Remove existing floor finish to screed, fill and make good redundant service penetrations, provide temporary water proofing. |
|  | Remove existing floor finish and provide temporary water proofing. |
| ⑧ | Cap off existing services up to beam. |
|  | Demolish existing roof structure. |
| ⑩ | Demolish column cladding and ceiling bulkhead. |
| ⑪ | Demolish existing balcony/deck TBC. |
| ⑫ | Column already strengthened. |
|  | Demolish slab to engineers details. |
| ⑭ | Demolish fixtures, joinery, ceilings, partition walls, Demolish hydraulic, mechanical, electrical services to consultants detail |
| | Retain all structural elements, external skin and partition wall to the hotel corridor. |
|  | Refer to MTD kitchen drawings for extent of wall demolition |

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ARCHITECTS[illegible][illegible][illegible]

Notes

Working zone allowance in the building and proposed access routes TBC between builder and casino.

between public and staff TBC
between builder and casino.

Protection of elements not to be demolished within demolition zone TBC between builder and owner.

Tiles around pool to be kept for reinstatement.

Refer to structural engineers, hydraulic, fireservices, electrical and mechanical consultants documentation for detailed scope of work.

AMOUNT	Date	Description	Dr
01.01.11.10		For Co-ordination	NB
02.01.12.10		For Co-ordination	NB
03.06.12.10		For Co-ordination	NB
04.02.12.10		For Tender	NB
05.02.01.10		For Tender - changes as clouded	NB
06.28.01.10		For Tender - changes as clouded	NB
07.01.03.11		65% Design Development (TENDER)	NB
06.31.03.11		100% Design Development (TENDER)	SC
09.28.04.11		UPDATED TENDER ISSUE	SC

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PROJECT
MUEF - Multi Use
Entertainment Facility
Star City Casino, Pirrama Road, Sydney NSW 2000

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PROJECT NORTH

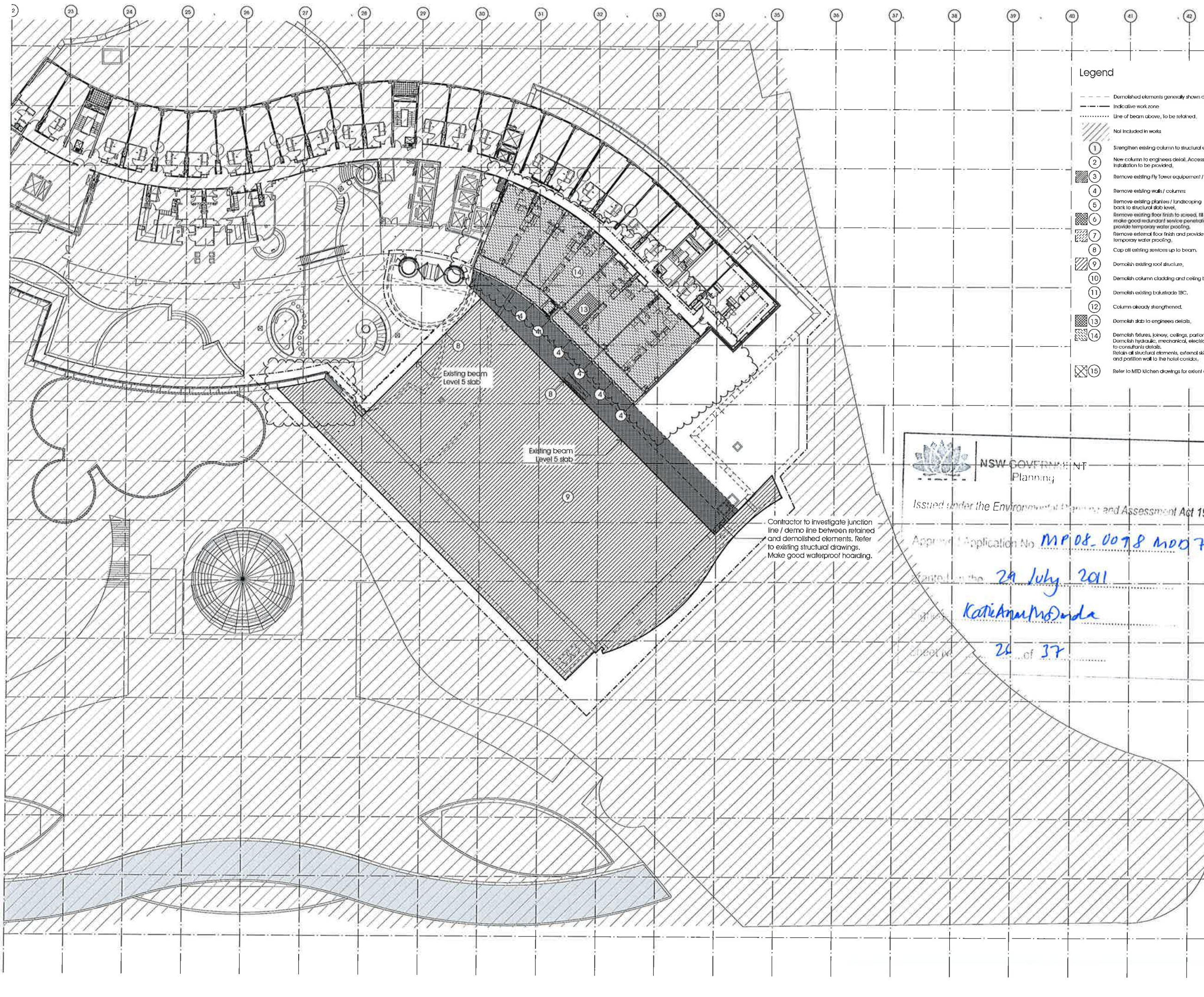
 DRAWING

PLANS - EARLY WORKS /
DEMOLITION
LEVEL 04

DRAWN	APPROVED	PRINT DATE
JW	SC	29/04/2011

STATUS
FOR TENDER

DATE	PROJECT NO.	DESIGN NO.
6/1	21013	A-1019



- Legend**
- Demolished elements generally shown dashed
 - Indicative work zone
 - Line of beam above, to be retained
 - Not included in works
 - Strengthen existing column to structural engineers detail.
 - New column to engineers detail. Access for installation to be provided.
 - Remove existing Fly Tower equipment / platform structures.
 - Remove existing walls / columns
 - Remove existing planters / landscaping back to structural slab level.
 - Remove existing floor finish to screed, fill and make good redundant service penetrations, provide temporary water proofing, remove external floor finish and provide temporary water proofing.
 - Cap off existing services up to beam.
 - Demolish existing roof structure.
 - Demolish column cladding and ceiling bulkhead.
 - Demolish existing bulkheads TBC.
 - Column already strengthened.
 - Demolish slab to engineers details.
 - Demolish fixtures, joinery, ceilings, partition walls, Demolish hydraulic, mechanical, electrical services to consultants details. Retain all structural elements, external skin and partition wall to the hotel corridor.
 - Refer to MTD kitchen drawings for extent of wall demolition

NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No **MP08/0078 MOD7**

Control No **29 July 2011**

Signature **KatieAnna McDermott**

Sheet No **20 of 37**

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Notes

Working zone allowance in the building and proposed access routes TBC between builder and casino.

Hoarding line for interface between public and staff TBC between builder and casino.

Protection of elements not to be demolished within demolition zone TBC between builder and casino.

Ties around pool to be kept for reinstatement.

Refer to structural engineers, hydraulic, mechanical, electrical and mechanical consultants documentation for detailed scope of work.

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CLIENT

PROJECT
MUEF - Multi Use Entertainment Facility
Rue City Casino, Panama Road, Sydney NSW 2000

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PROJECT NORTH

DRAWINGS
PLANS - EARLY WORKS / DEMOLITION LEVEL 05

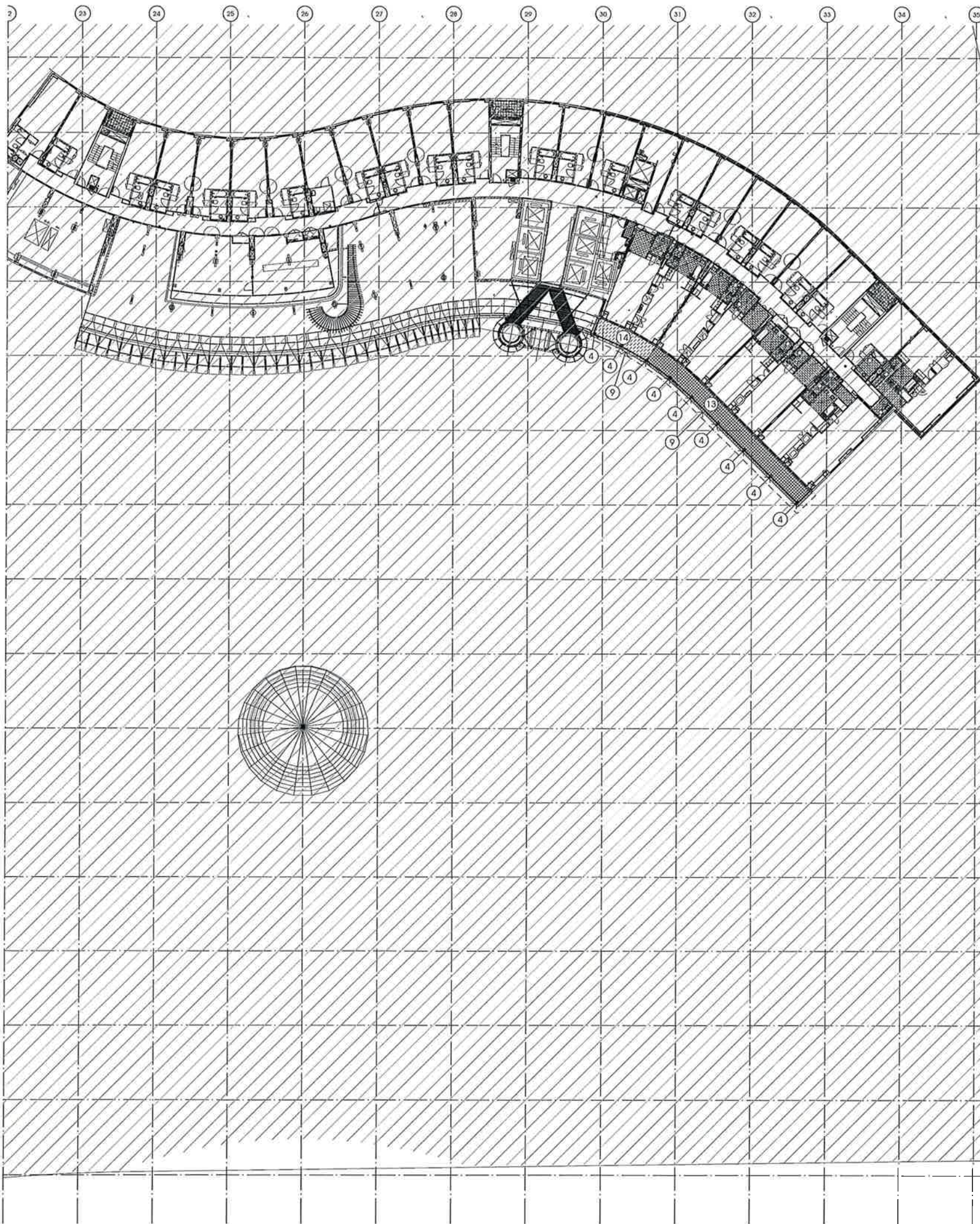
DRAWN
JW

APPROVED
SC

PRINT DATE
29/04/2011

STATUS
FOR TENDER

SCALE
PROJECT NO. 21013
DRAWING NO. A-1020



Legend

- Demolished elements generally shown dashed
- - - Indicative work zone
- Line of beam above, to be retained
- [Hatching] Not included in works
- 1 Strengthen existing column to structural engineers detail
- 2 New column to engineers detail. Access for installation to be provided
- 3 Remove existing fly tower equipment / platform structures
- 4 Remove existing walls / columns
- 5 Remove existing planters / landscaping back to structural slab level
- 6 Remove existing floor finish to access, fill and make good redundant service penetrations, provide temporary water proofing
- 7 Remove external floor finish and provide temporary water proofing
- 8 Cap off existing services up to beam
- 9 Demolish existing roof structure
- 10 Demolish column cladding and ceiling bulkhead
- 11 Demolish existing balcony TBC
- 12 Column already strengthened
- 13 Demolish slab to engineers details
- 14 Demolish fixtures, joinery, ceilings, partition walls. Demolish hydraulic, mechanical, electrical services to consultants details. Retain all structural elements, external skin and partition wall to the hotel corridor
- 15 Refer to MTD kitchen drawings for extent of wall demolition

Notes

The following shall apply to the demolition of the existing structure and the construction of the new structure. The demolition of the existing structure shall be carried out in accordance with the demolition schedule. The construction of the new structure shall be carried out in accordance with the construction schedule. The demolition of the existing structure shall be carried out in accordance with the demolition schedule. The construction of the new structure shall be carried out in accordance with the construction schedule.

Legend

1	Strengthen existing column to structural engineers detail	16	Demolish existing roof structure
2	New column to engineers detail. Access for installation to be provided	17	Demolish column cladding and ceiling bulkhead
3	Remove existing fly tower equipment / platform structures	18	Demolish existing balcony TBC
4	Remove existing walls / columns	19	Column already strengthened
5	Remove existing planters / landscaping back to structural slab level	20	Demolish slab to engineers details
6	Remove existing floor finish to access, fill and make good redundant service penetrations, provide temporary water proofing	21	Demolish fixtures, joinery, ceilings, partition walls. Demolish hydraulic, mechanical, electrical services to consultants details. Retain all structural elements, external skin and partition wall to the hotel corridor
7	Remove external floor finish and provide temporary water proofing	22	Refer to MTD kitchen drawings for extent of wall demolition
8	Cap off existing services up to beam		
9	Demolish existing roof structure		
10	Demolish column cladding and ceiling bulkhead		
11	Demolish existing balcony TBC		
12	Column already strengthened		
13	Demolish slab to engineers details		
14	Demolish fixtures, joinery, ceilings, partition walls. Demolish hydraulic, mechanical, electrical services to consultants details. Retain all structural elements, external skin and partition wall to the hotel corridor		
15	Refer to MTD kitchen drawings for extent of wall demolition		

Notes

Working zone clearance in the building and proposed access routes TBC between builder and casino.

Hoarding line for interface between public and staff TBC between builder and casino.

Protection of elements not to be demolished within demolition zone TBC between builder and casino.

Ties around pool to be kept for reinstatement.

Refer to structural engineers, hydraulic, mechanical, electrical and mechanical consultants documentation for detailed scope of work.

NSW GOVERNMENT Planning

Issued under the Environmental Planning and Assessment Act 1979

Approval Application No. **MP 01-009P 6007**

granted on the **21 July 2011**

Signed **Kate Anne McDulla**

Sheet No. **27** of **27**

REVISIONS

Rev	Date	Description	By
01	01.02.11	65% Design Development	HB
02	21.03.11	100% Design Development	SC
03	28.04.11	UPDATED TENDER ISSUE	SC

NOT FOR CONSTRUCTION

CLIENT

Tabcorp

PROJECT

MUEF - Multi Use Entertainment Facility

Star City Casino, Pirrama Road, Sydney NSW 2000

Prepared by: **fitzpatrick+partners**

Project No: **P1-11-2-0274-0290** W/ www.fitzpatrickpartners.com

PROJECT NORTH

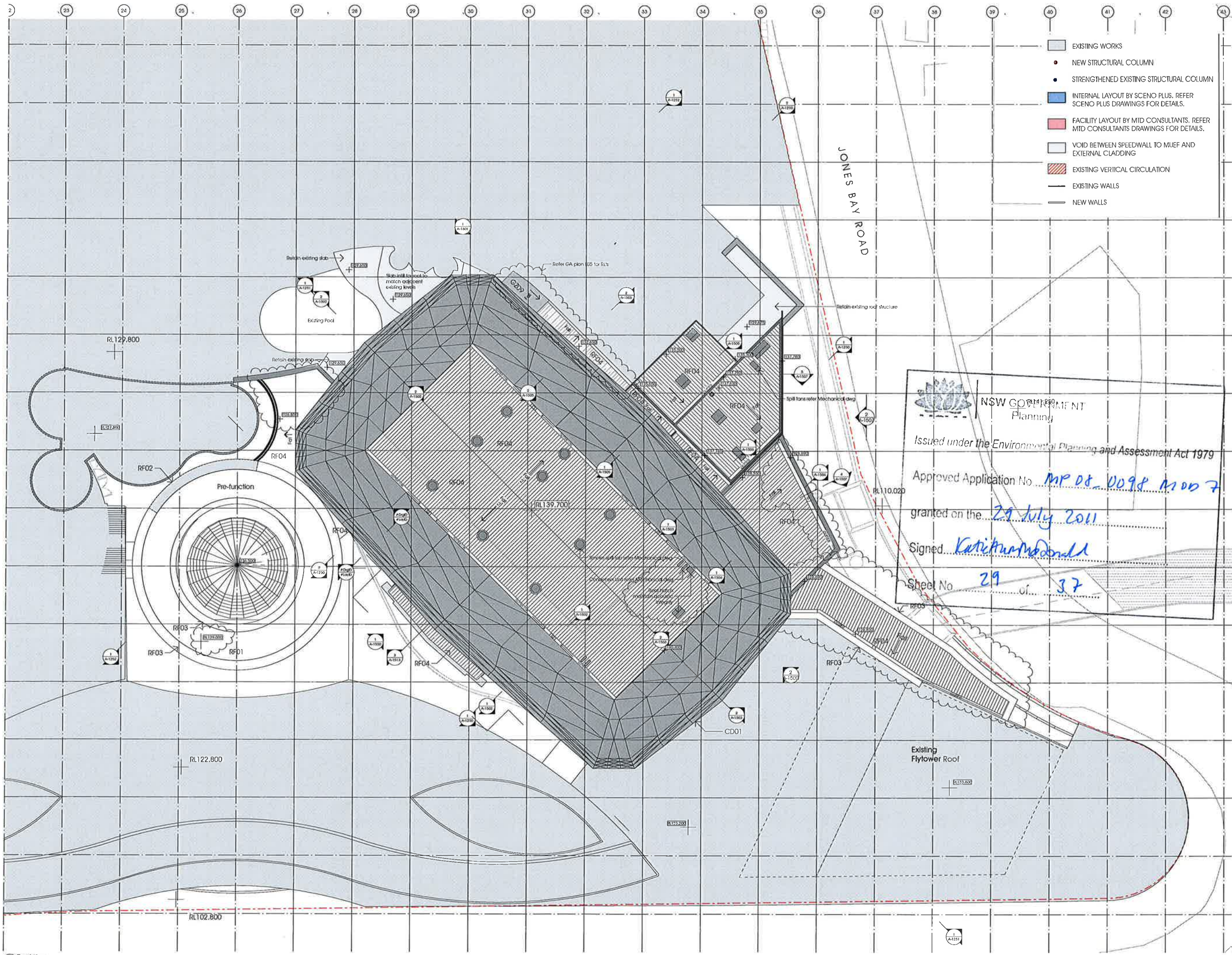
DRAWING

PLANS - EARLY WORKS / DEMOLITION LEVEL 06

DESIGNED: **JW** APPROVED: **SC** PREPARED: **26/04/2011**

STATUS: **FOR TENDER** ISSUE: **03**

SCALE: PROJECT NO: **21013** DRAWING NO: **A-1021**



fitzpatrick+partners
Architects

Notes:
Changes as clouded
Sceno Plus backgrounds updated
Door and finishes code updated
Wall codes updated

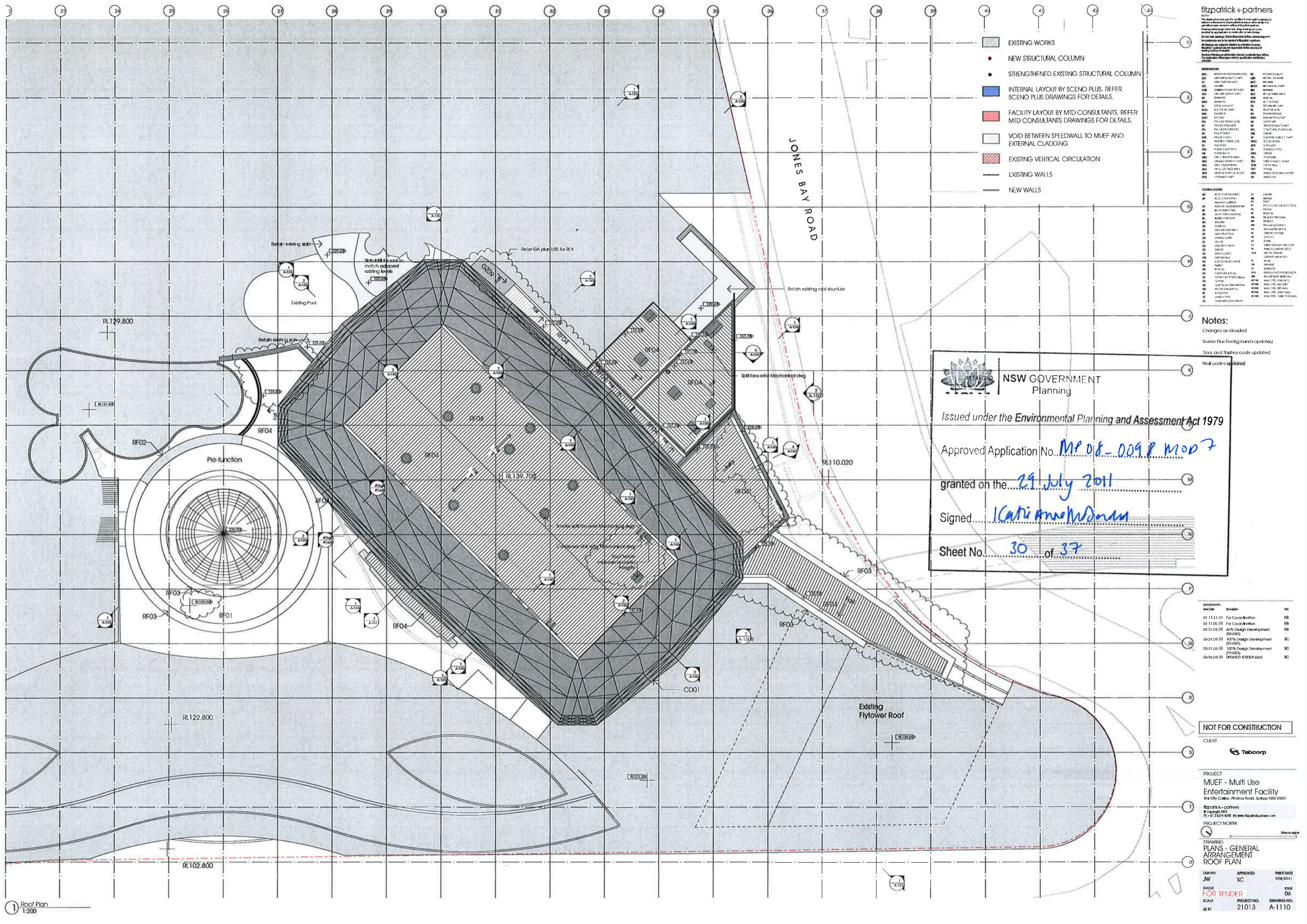
Legend:
EXISTING WORKS
NEW STRUCTURAL COLUMN
STRENGTHENED EXISTING STRUCTURAL COLUMN
INTERNAL LAYOUT BY SCENO PLUS. REFER SCENO PLUS DRAWINGS FOR DETAILS.
FACILITY LAYOUT BY MID CONSULTANTS. REFER MID CONSULTANTS DRAWINGS FOR DETAILS.
VOID BETWEEN SPEEDWALL TO MUEF AND EXTERNAL CLADDING
EXISTING VERTICAL CIRCULATION
EXISTING WALLS
NEW WALLS

Client: Tabcorp

Project: MUEF - Multi Use Entertainment Facility
201 City Centre, Picrama Road, Sydney NSW 2000

Drawn: JW
Approved: SC
For Tender:
Scale: 1:200
Product No: 21013
Drawn No: A-1109

Revision:
01.12.11.01 For Co-ordination
02.11.02.11 For Co-ordination
03.01.03.11 50% Design Development
04.24.03.11 100% Design Development
05.31.03.11 100% Design Development
06.28.04.11 UPDATED REFLECTOR ISSUE



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Legend:

- EXISTING WORKS
- NEW STRUCTURAL COLUMN
- STRENGTHENED EXISTING STRUCTURAL COLUMN
- INTERNAL LAYOUT BY SCENO PLUS. REFER SCENO PLUS DRAWINGS FOR DETAILS.
- FACILITY LAYOUT BY MTD CONSULTANTS. REFER MTD CONSULTANTS DRAWINGS FOR DETAILS.
- VOID BETWEEN SPEEDWALL TO MUEF AND EXTERNAL CLADDING
- EXISTING VERTICAL CIRCULATION
- EXISTING WALLS
- NEW WALLS

Notes:
Changes as clouded
Sceno Plus backgrounds updated
Door and Frames code updated
Wall codes updated

NSW GOVERNMENT Planning
Issued under the *Environmental Planning and Assessment Act 1979*
Approved Application No. **MP08-0098 Mod 7**
granted on the **29 July 2011**
Signed **Kati Amos**
Sheet No. **30** of **37**

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CLIENT
Tabcorp

PROJECT
MUEF - Multi Use Entertainment Facility
Sea City Casino, Pittwater Road, Sydney NSW 2000

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www.flitzpatrick.com.au

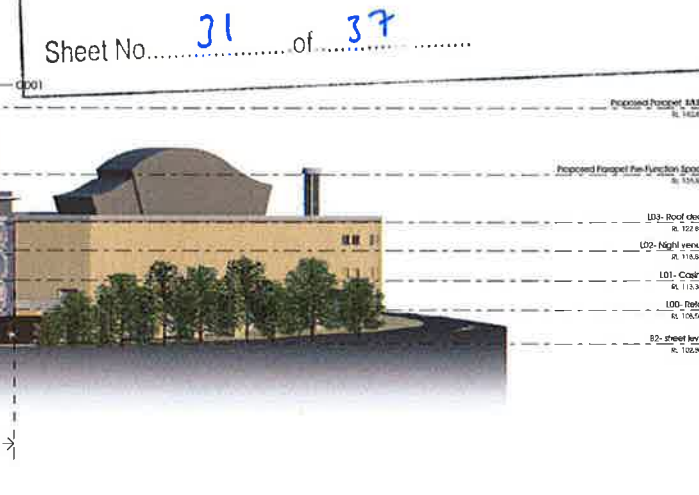
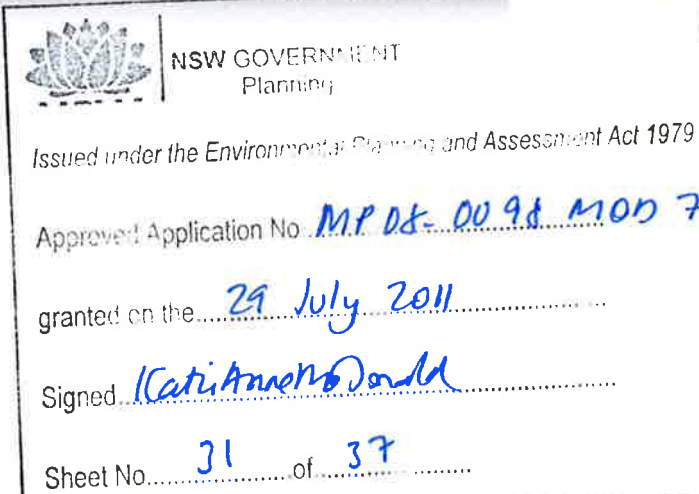
PROJECT NORTH

DRAWING PLANS - GENERAL ARRANGEMENT ROOF PLAN

REVISIONS

And Date	Description	By
01.12.11.10	For Co-ordination	MB
02.11.02.11	For Co-ordination	MB
03.01.03.11	60% Design Development (REVISED)	MB
04.24.03.11	100% Design Development (REVISED)	SC
05.31.03.11	100% Design Development (REVISED)	SC
06.28.04.11	UPDATED TENDER ISSUE	SC

DRAWN JW **APPROVED** SC **PRINT DATE** 09/06/2011
STATUS FOR TENDER **SCALE** 1:200 **PROJECT NO.** 21013 **DRAWING NO.** A-1110

[illegible][illegible]

Amendment	Description	DA
01.01.03.11	65% Design Development (TENDER)	NB
02.31.03.11	100% Design Development (TENDER)	SC
03.28.04.11	UPDATED TENDER ISSUE	SC

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DRAWING
ELEVATIONS
Pirrama Rd & Edward St

DESIGN	APPROVED	PRINT DATE
JW	SC	2/04/2011
STATUS		ISSUE
FOR TENDER		03
SCALE	PROJECT NO.	EXAMINING NO.
@ 81	21013	A-1200



[illegible][illegible]

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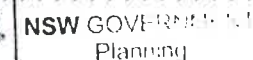
DRAWING
ELEVATIONS
Jones Bay Rd

DRAWN JW	APPROVED SC	PRINT DATE 2/04/2011
STATUS FOR TENDER		ISSUE 03
SCALE @ 81	PROJECT NO. 21013	DRAWING NO. A-1202

FACILITY LAYOUT BY MTD CONSULTANTS, REFER
MTD CONSULTANTS DRAWINGS FOR DETAILS.



Changes as clouded
Scene Plus backgrounds updated
Door and finishes code updated
Wall codes updated



Approved Application No. MP 08-0098 M007

granted on the 29 July 2011

Signed ^{RFO4} Katie Anne M

Sheet No. 34 of 35



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DRAWING
SECTIONS
GENERAL SECTION

DRAWN JW	APPROVED SC	PRINT DATE 5/08/2011
STATUS FOR TENDER		ISSUE 03
SCALE (= 1)	PROJECT NO. 21013	DRAWING NO. A-1250

Architectural section drawing of a building, showing existing hotel rooms, pre-function areas, and a break out space. The drawing includes various level markers (L.03 to L.08) and room labels (EXISTING HOTEL ROOMS, PRE-FUNCTION AREA, BREAK OUT SPACE). It also shows structural elements like beams and stairs, and a note indicating internal layout by others.

Labels and dimensions visible in the drawing:

- EXISTING HOTEL ROOMS L.08
- EXISTING HOTEL ROOMS L.07
- EXISTING HOTEL ROOMS L.06
- EXISTING HOTEL ROOMS L.05
- PRE-FUNCTION AREA
- PRE-FUNCTION AREA
- PRE-FUNCTION AREA
- PRE-FUNCTION AREA
- BREAK OUT SPACE
- Existing Beam Structure
- Existing Beam Structure
- Stairs Beyond
- MUEF
- Lift Overrun Height TBC
- Grid RL 135.850
- Low Balcony RL 131.700
- INTERNAL LAYOUT BY OTHERS. REFER TO SCENO PLUS DRAWINGS FOR DETAILS.
- Current Ceiling Height
- Level 03 RL +122.800
- Level 04 RL +132.450
- Level 05 RL +132.900
- Level 06 RL +132.950
- Level 07 RL +133.800
- Level 08 RL +134.350
- 1:100

NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No MP08-0098 Mod 7

granted on the 27 July 2011

Signed Katie Ann McDonald

Sheet No 36 of 32

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[illegible]

ADRESSES			
APPL	APPLS IN CHARGE OF APPL	FE	FE IN CHARGE OF APPL
CAF	CAF IN CHARGE OF APPL	LIBR	LIBR IN CHARGE OF APPL
COL	COL IN CHARGE OF APPL	MECH	MECH IN CHARGE OF APPL
COLL	COLL IN CHARGE OF APPL	NEON	NEON IN CHARGE OF APPL
COM	COM IN CHARGE OF APPL	REI	REI IN CHARGE OF APPL
CON	CON IN CHARGE OF APPL	RT	RT IN CHARGE OF APPL
COPI	COPI IN CHARGE OF APPL	SC	SC IN CHARGE OF APPL
CP	CP IN CHARGE OF APPL	SH	SH IN CHARGE OF APPL
CPH	CPH IN CHARGE OF APPL	SL	SL IN CHARGE OF APPL
CPH2	CPH2 IN CHARGE OF APPL	SM	SM IN CHARGE OF APPL
CPH3	CPH3 IN CHARGE OF APPL	SP	SP IN CHARGE OF APPL
CPH4	CPH4 IN CHARGE OF APPL	ST	ST IN CHARGE OF APPL
CPH5	CPH5 IN CHARGE OF APPL	SW	SW IN CHARGE OF APPL
CPH6	CPH6 IN CHARGE OF APPL	TX	TX IN CHARGE OF APPL
CPH7	CPH7 IN CHARGE OF APPL	YB	YB IN CHARGE OF APPL
CPH8	CPH8 IN CHARGE OF APPL	YD	YD IN CHARGE OF APPL
CPH9	CPH9 IN CHARGE OF APPL	ZE	ZE IN CHARGE OF APPL
CPH10	CPH10 IN CHARGE OF APPL	ZF	ZF IN CHARGE OF APPL
CPH11	CPH11 IN CHARGE OF APPL	ZG	ZG IN CHARGE OF APPL
CPH12	CPH12 IN CHARGE OF APPL	ZH	ZH IN CHARGE OF APPL
CPH13	CPH13 IN CHARGE OF APPL	ZI	ZI IN CHARGE OF APPL
CPH14	CPH14 IN CHARGE OF APPL	ZJ	ZJ IN CHARGE OF APPL
CPH15	CPH15 IN CHARGE OF APPL	ZK	ZK IN CHARGE OF APPL
CPH16	CPH16 IN CHARGE OF APPL	ZL	ZL IN CHARGE OF APPL
CPH17	CPH17 IN CHARGE OF APPL	ZM	ZM IN CHARGE OF APPL
CPH18	CPH18 IN CHARGE OF APPL	ZN	ZN IN CHARGE OF APPL
CPH19	CPH19 IN CHARGE OF APPL	ZO	ZO IN CHARGE OF APPL
CPH20	CPH20 IN CHARGE OF APPL	YP	YP IN CHARGE OF APPL
CPH21	CPH21 IN CHARGE OF APPL	YQ	YQ IN CHARGE OF APPL
CPH22	CPH22 IN CHARGE OF APPL	YR	YR IN CHARGE OF APPL
CPH23	CPH23 IN CHARGE OF APPL	YS	YS IN CHARGE OF APPL
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CPH26	CPH26 IN CHARGE OF APPL	YV	YV IN CHARGE OF APPL
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CPH29	CPH29 IN CHARGE OF APPL	YY	YY IN CHARGE OF APPL
CPH30	CPH30 IN CHARGE OF APPL	YZ	YZ IN CHARGE OF APPL
CPH31	CPH31 IN CHARGE OF APPL	ZA	ZA IN CHARGE OF APPL
CPH32	CPH32 IN CHARGE OF APPL	ZB	ZB IN CHARGE OF APPL
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CPH38	CPH38 IN CHARGE OF APPL	ZH	ZH IN CHARGE OF APPL
CPH39	CPH39 IN CHARGE OF APPL	ZI	ZI IN CHARGE OF APPL
CPH40	CPH40 IN CHARGE OF APPL	ZJ	ZJ IN CHARGE OF APPL
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CPH45	CPH45 IN CHARGE OF APPL	ZO	ZO IN CHARGE OF APPL
CPH46	CPH46 IN CHARGE OF APPL	YP	YP IN CHARGE OF APPL
CPH47	CPH47 IN CHARGE OF APPL	YQ	YQ IN CHARGE OF APPL
CPH48	CPH48 IN CHARGE OF APPL	YR	YR IN CHARGE OF APPL
CPH49	CPH49 IN CHARGE OF APPL	YS	YS IN CHARGE OF APPL
CPH50	CPH50 IN CHARGE OF APPL	YT	YT IN CHARGE OF APPL
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CPH68	CPH68 IN CHARGE OF APPL	ZL	ZL IN CHARGE OF APPL
CPH69	CPH69 IN CHARGE OF APPL	ZM	ZM IN CHARGE OF APPL
CPH70			

[illegible]

Announcement and Date	Description	Case
01.01.03.11	65% Design Development (TENDER)	NB
02.31.03.11	100% Design Development (TENDER)	SC
03.28.04.11	UPDATED TENDER ISSUE	SC

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PROJECT NORTH
DRAWING
SECTIONS
GENERAL SECTION

DRAWN JW	APPROVED SC	PRINT DATE 2/10/2011
STATUS FOR TENDER		DATE 03
SCALE	PROJECT NO. 21013	DRAWING NO. A-1252
BY JW		

