



- GENERAL NOTES
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE • CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'
- O DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY

BUILDING USE

legend

BUILDING USE		
	HOTEL	
	HOTEL FACILITIES	
	LOADING, PLANT	
	LIFTS, FIRE STAIRS, SERVICES	
	ANCILLARY, BOH	
	CIRCULATION	
	NEIGHBOURHOOD CENTRE	
	RETAIL	
	FOOD & BEVERAGE	
	RESIDENTIAL	
	RESIDENTIAL FACILITIES	

SITE BOUNDARY

EXISTING BUILT FORM

EXISTING BUILT FORM

EXTENT OF CAR STACKER BELOW

EXTEND OF MODIFICATION 13 WORK AS SHOWN ON FJMT DOCUMENT. RIFER TO DWP DRAWING FOR FULL EXTEND & DEMARCATION OF MODIFICATION 13 WORK.

NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN



Certificate Number: Assessor Name: Accreditation number: Certificate date: Dwelling address: 20-80 Pyrmont St, Pyrmont NSW 2009 www.nathers.gov.au



DA01	2/11/18	Response to Submissions	JRS	SMP
rev	date	name	by	chk
sydne	y melbourne	uk t t +61 2 9251 7077 ₩ fjmtstudio.com	ijm	It
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Mo	dificatio	n 19		

Modification 13 80 PYRMONT STREET PYRMONT NSW 2009

title

project code

SM13

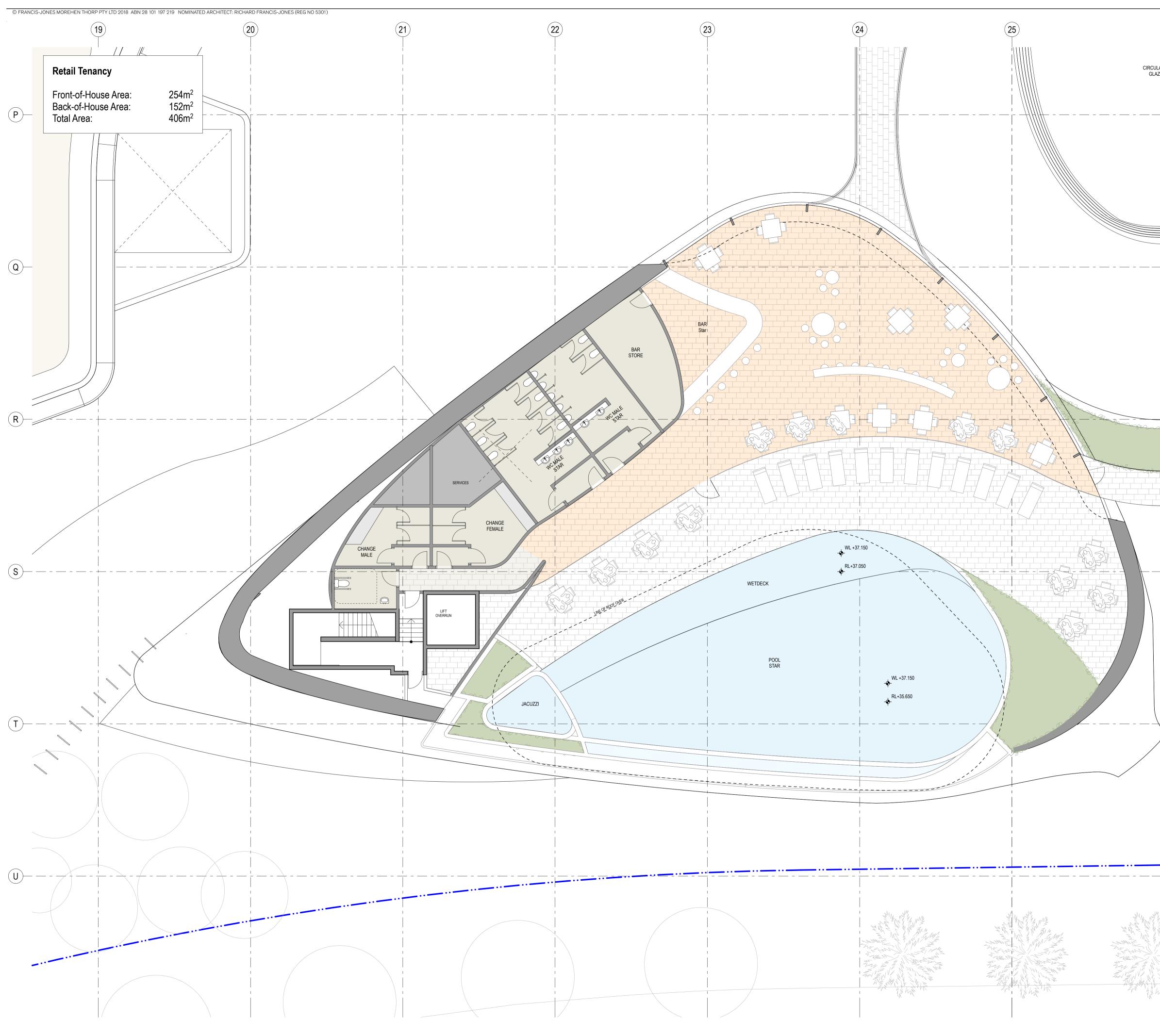
Fit Out Plans Level 05 FFE Sky Terrace

scale 1:100 @ A1 first i

first issued 2/11/18

sheet no.
AF3004

revision



CIRCULA GLAZE



legend

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	CIRCULATION	
	NEIGHBOURHOOD CENTRE	
	RETAIL	
	FOOD & BEVERAGE	
	RESIDENTIAL	
	RESIDENTIAL FACILITIES	

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title Fit Out Plans Level 07 FFE Pool Deck

project code

SM13

scale 1:100 @ A1 first issued sheet no.

revision

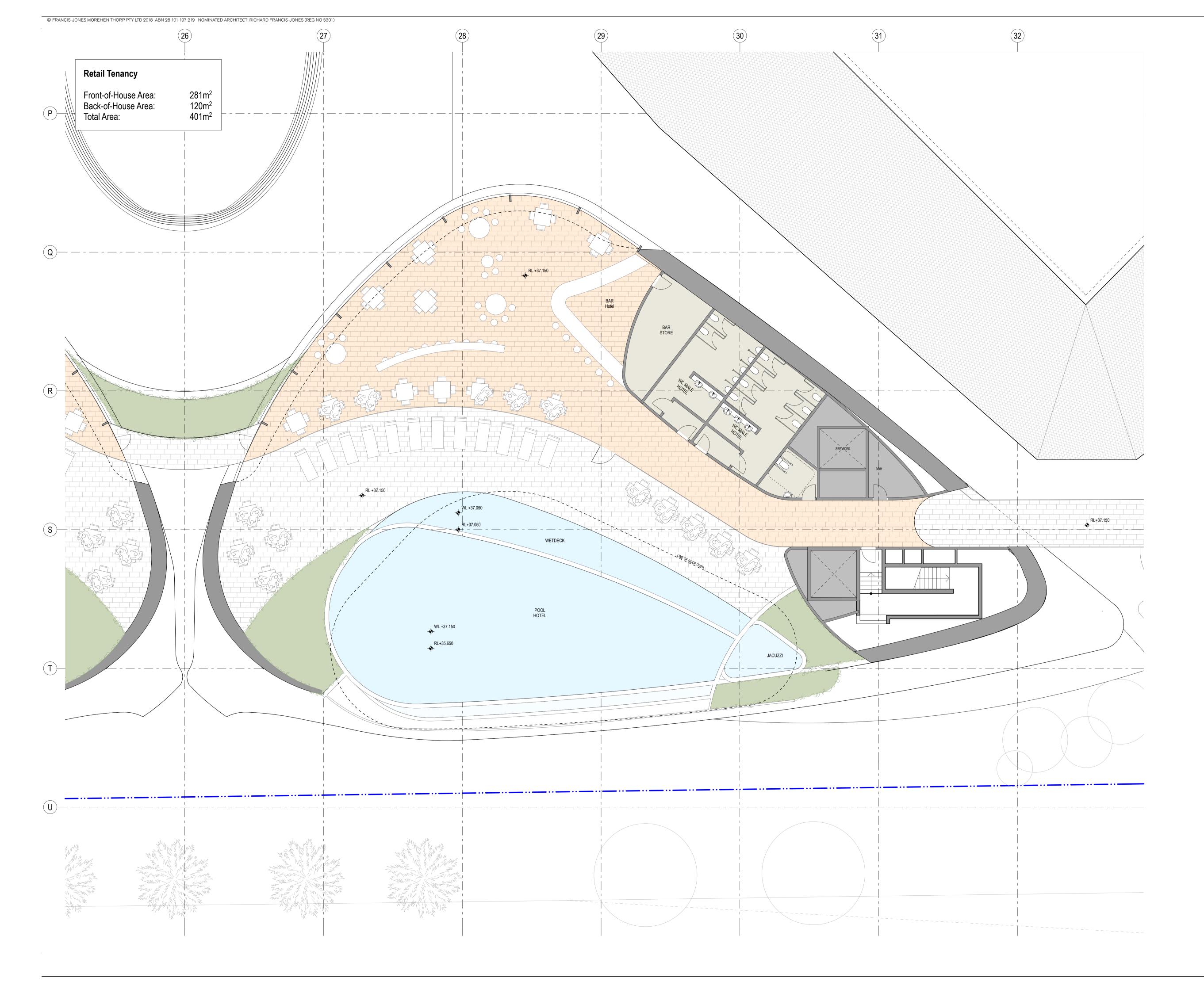
AF3005

DA01

2/11/18









0 1 2 GENERAL NOTES

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DA01	2/11/18	Response to Submissions	JRS	SMP
rev	date	name	by	chk
sydne	y melbourne	ecture interiors landscape urban community e uk vet t +61 2 9251 7077 w fjmtstudio.com	fjn	I
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80 PYRMONT STREET PYRMONT NSW 2009 title

Fit Out Plans Level 07 FFE Pool Deck

scale 1:100 @ A1 first issued

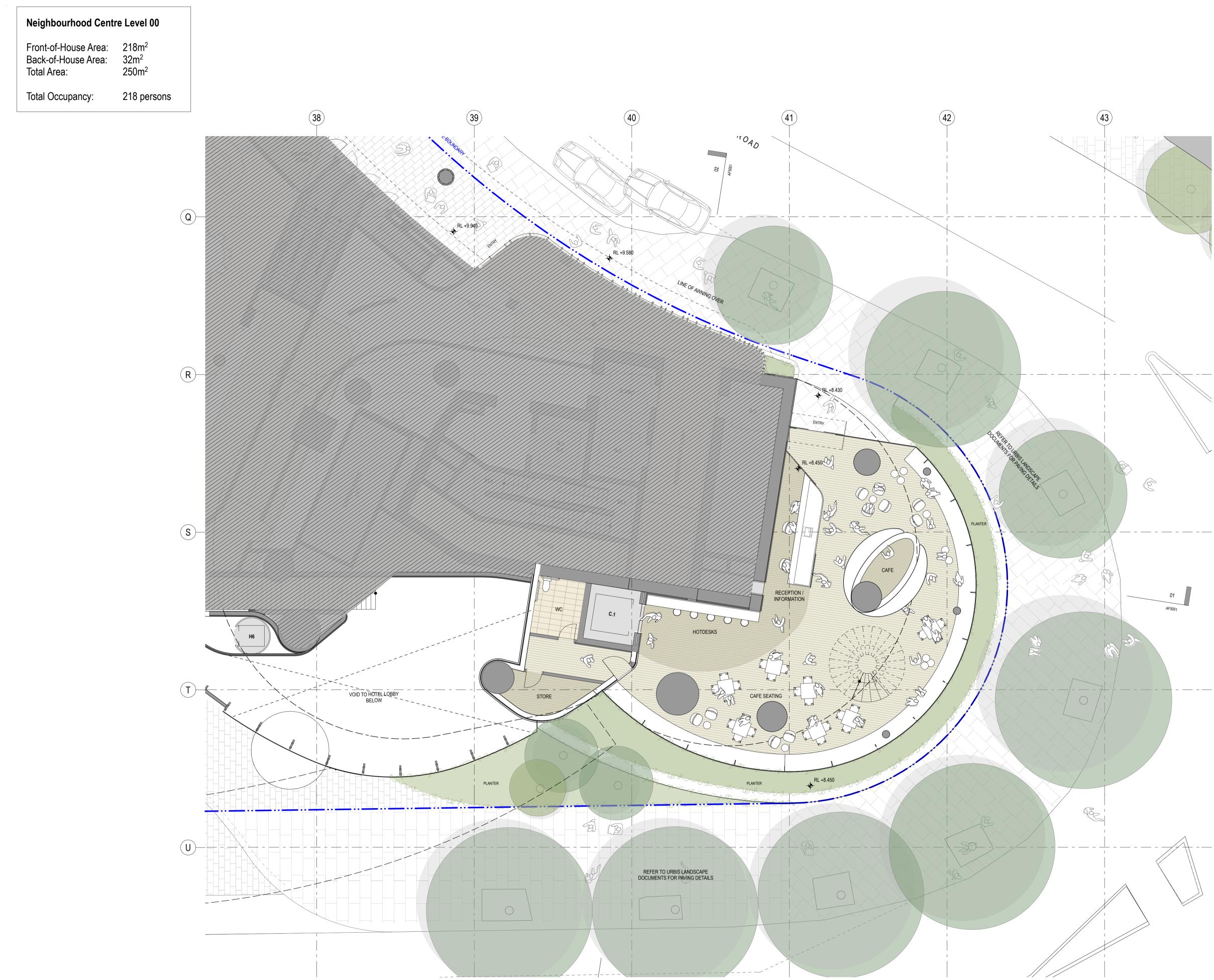
2/11/18

sheet no.

revision **DA**01

project code SM13

AF3006





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rev	date	name	by	chk

fjmt fjmt studio architecture interiors landscape ur sydney melbourne uk Level 5, 70 King Street t +61 2 9251 7077 w fjmtstudio.com

project Modification 13 80 PYRMONT STREET PYRMONT NSW 2009

SM13

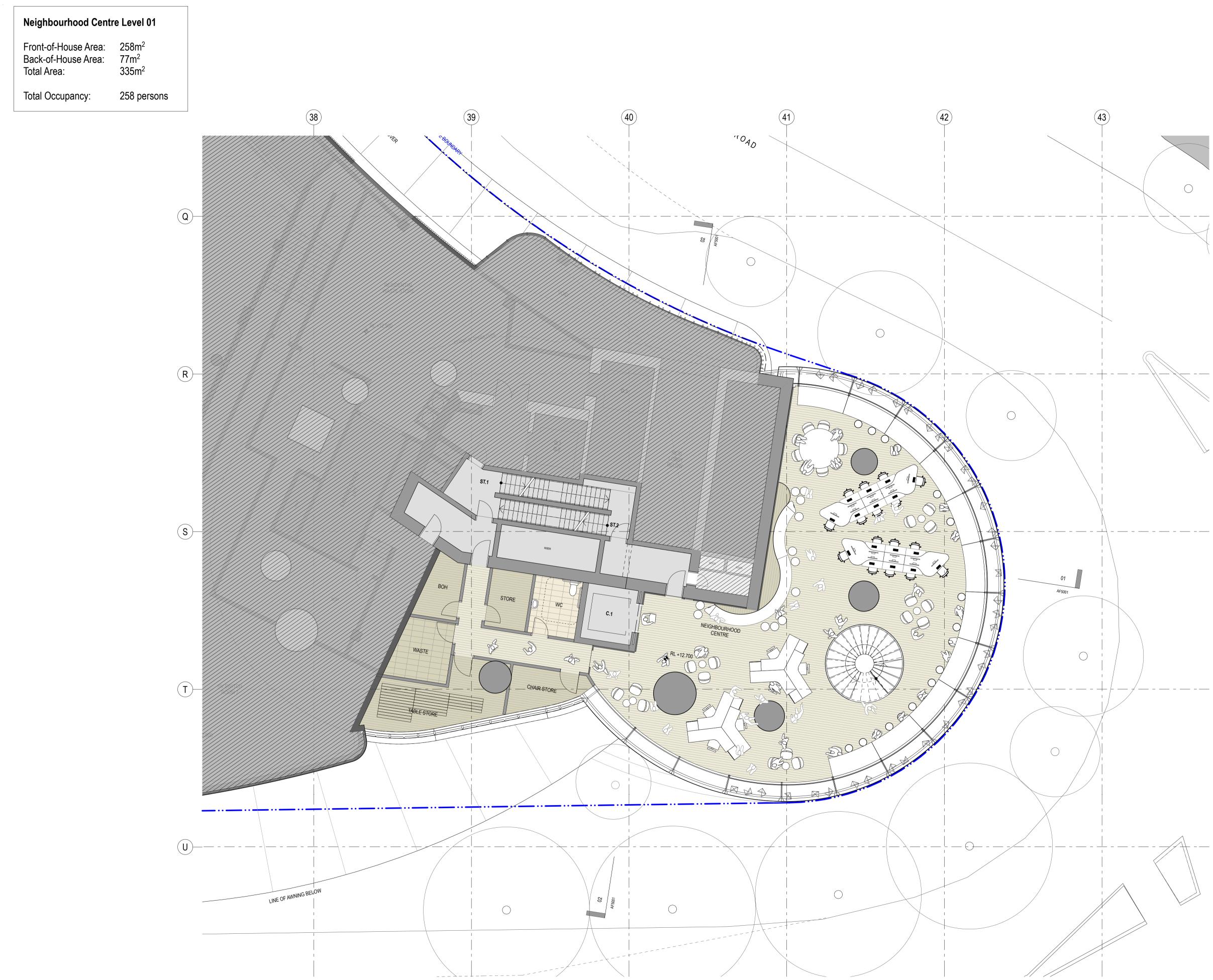
title Neighbourhood Centre Level 00 Social Enterprise Cafe

scale 1:150 @ A1 first issued 2/11/18 project code

sheet no. AF3100

DA01

revision





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	RETAIL	
	FOOD & BEVERAGE	
	RESIDENTIAL	
	RESIDENTIAL FACILITIES	

_____ SITE BOUNDARY

_____ EXISTING BUILT FORM

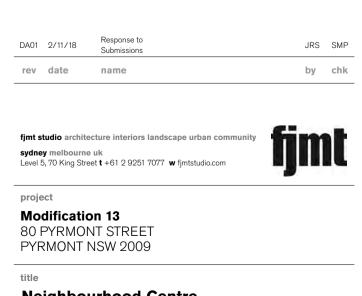
EXISTING BUILT FORM

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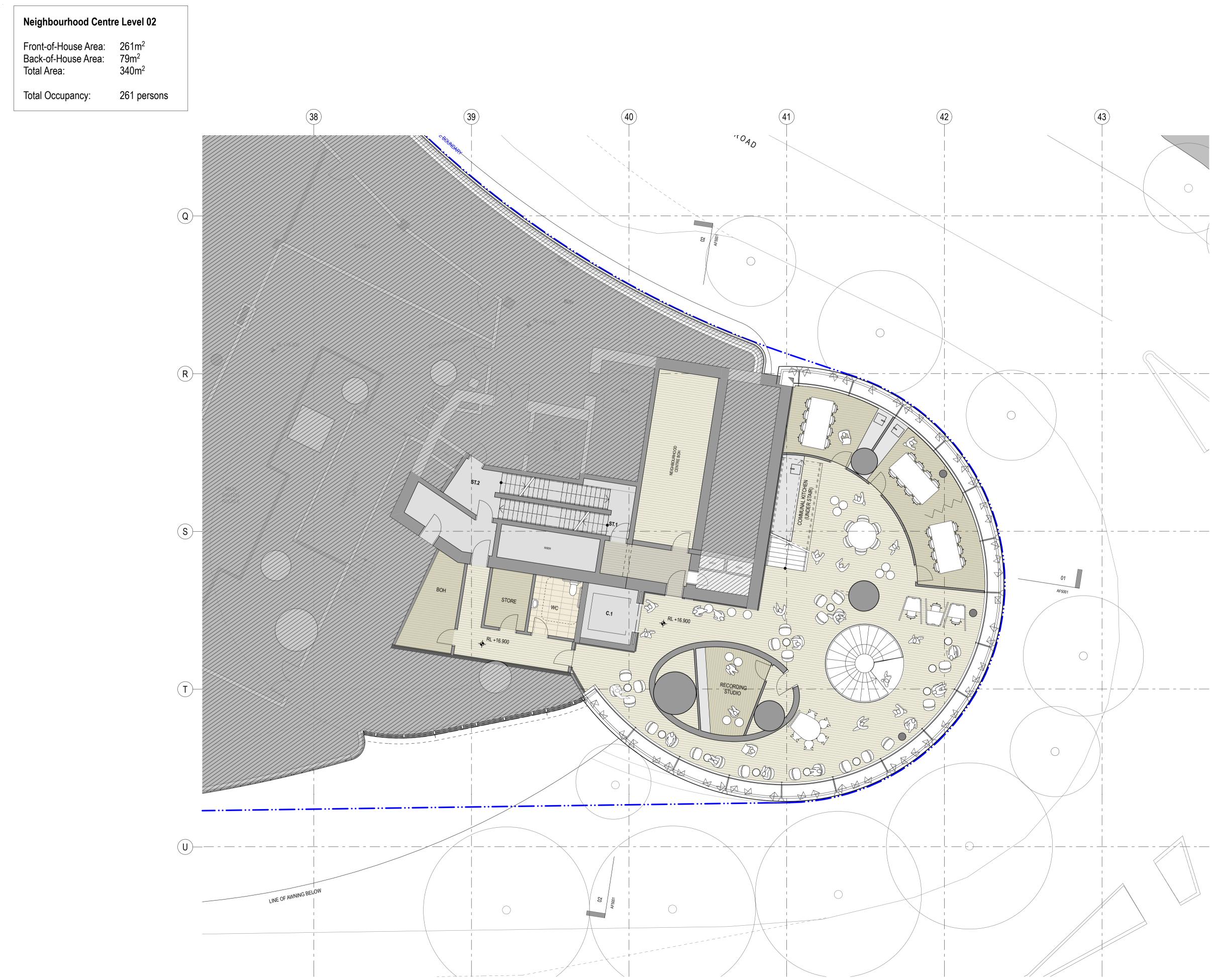
Neighbourhood Centre Level 01 Pirrama Reading Room

SM13

scale	1:150 @ A1	first issued	2/11/18
proje	ect code	sheet no.	revision

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	CIRCULATION	
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	RESIDENTIAL FACILITIES	

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DA01 2/11	1/18 R S	Response to Submissions	JRS	SMP
rev dat	te n	ame	by	chk

fjmt fjmt studio architecture interiors landscape ur sydney melbourne uk Level 5, 70 King Street t +61 2 9251 7077 w fjmtstudio.com

project Modification 13 80 PYRMONT STREET PYRMONT NSW 2009

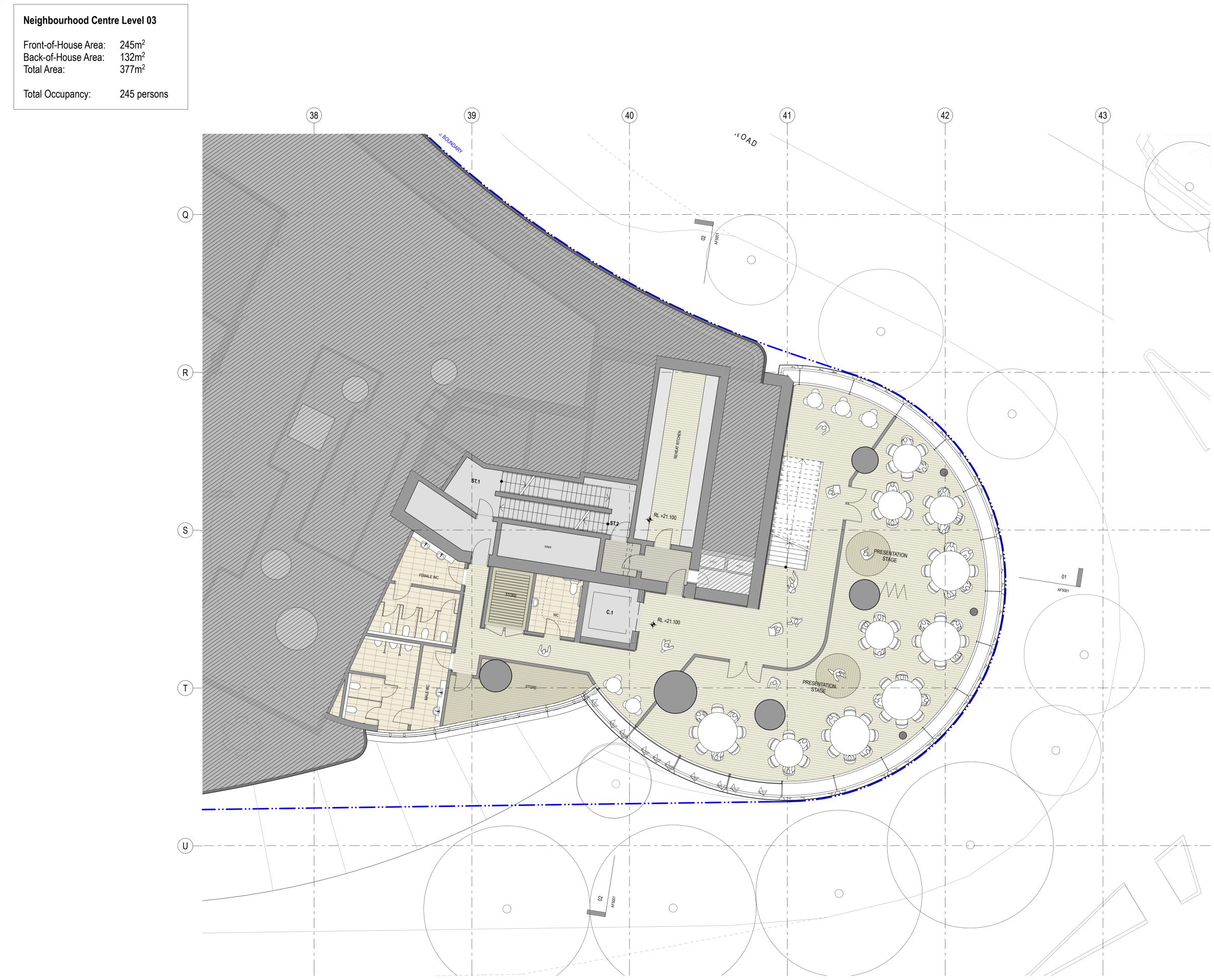
SM13

title Neighbourhood Centre Level 02 Darling Collaborative Hub

scale 1:150 @ A1 2/11/18 first issued project code sheet no.

AF3102

revision **DA**01





GENERAL NOTES

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DA01	2/11/18	Response to Submissions	JRS	SN
rev	date	name	by	ch
sydne	y melbourn	ecture interiors landscape urban community e uk set t +61 2 9251 7077 w fjmtstudio.com	fjn	
sydne	y melbourn 5, 70 King Stre	e uk	fjn	

Neighbourhood Centre Level 03 Pyrmont Forum

scale 1:150 @ A1 first issued project code sheet no.

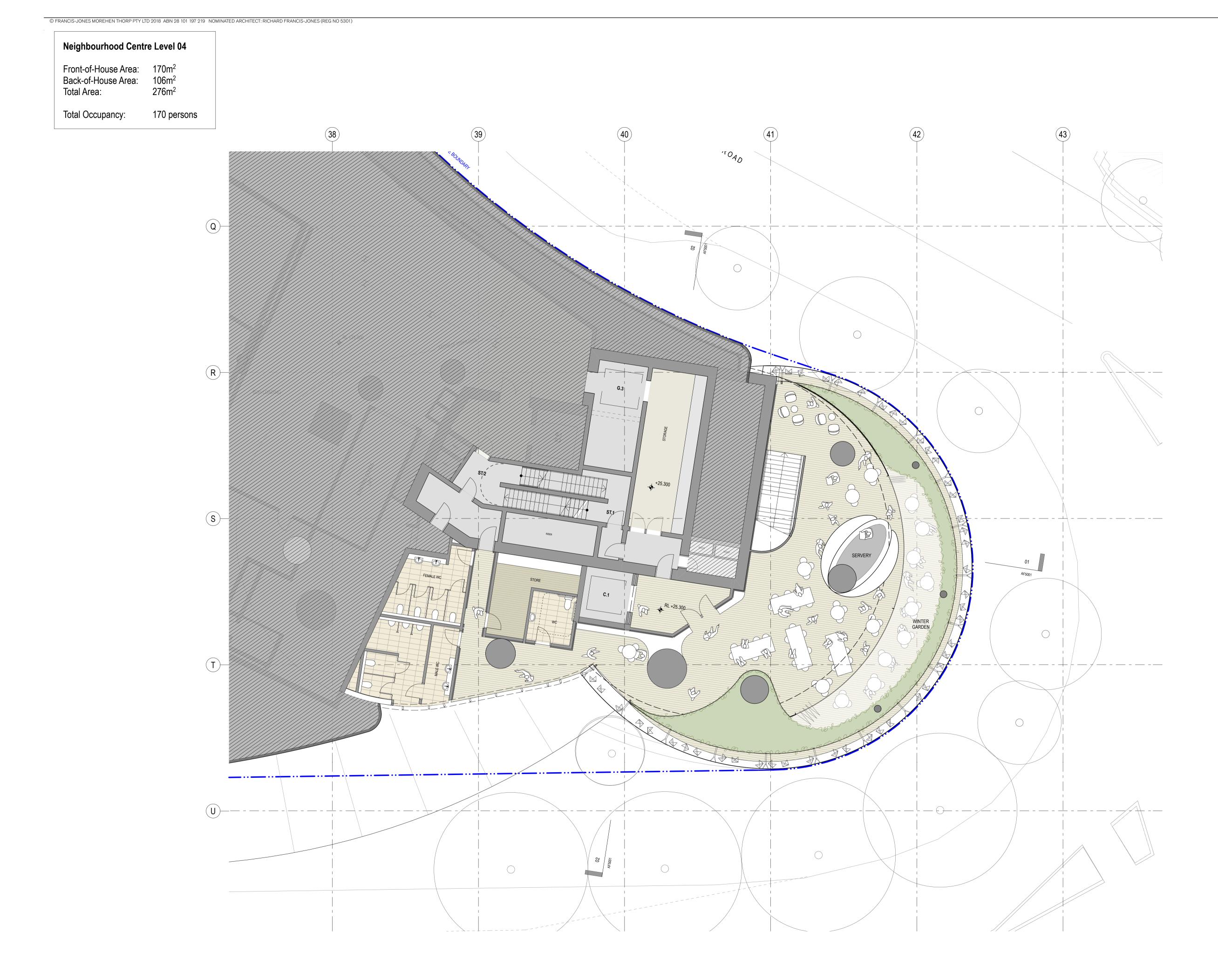
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revision **DA**01

2/11/18

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GENERAL NOTES

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	LIFTS, FIRE STAIRS, SERVICES			
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	CIRCULATION			
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	RETAIL			
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Neighbourhood Centre Level 04 Pyrmont Forum Terrace

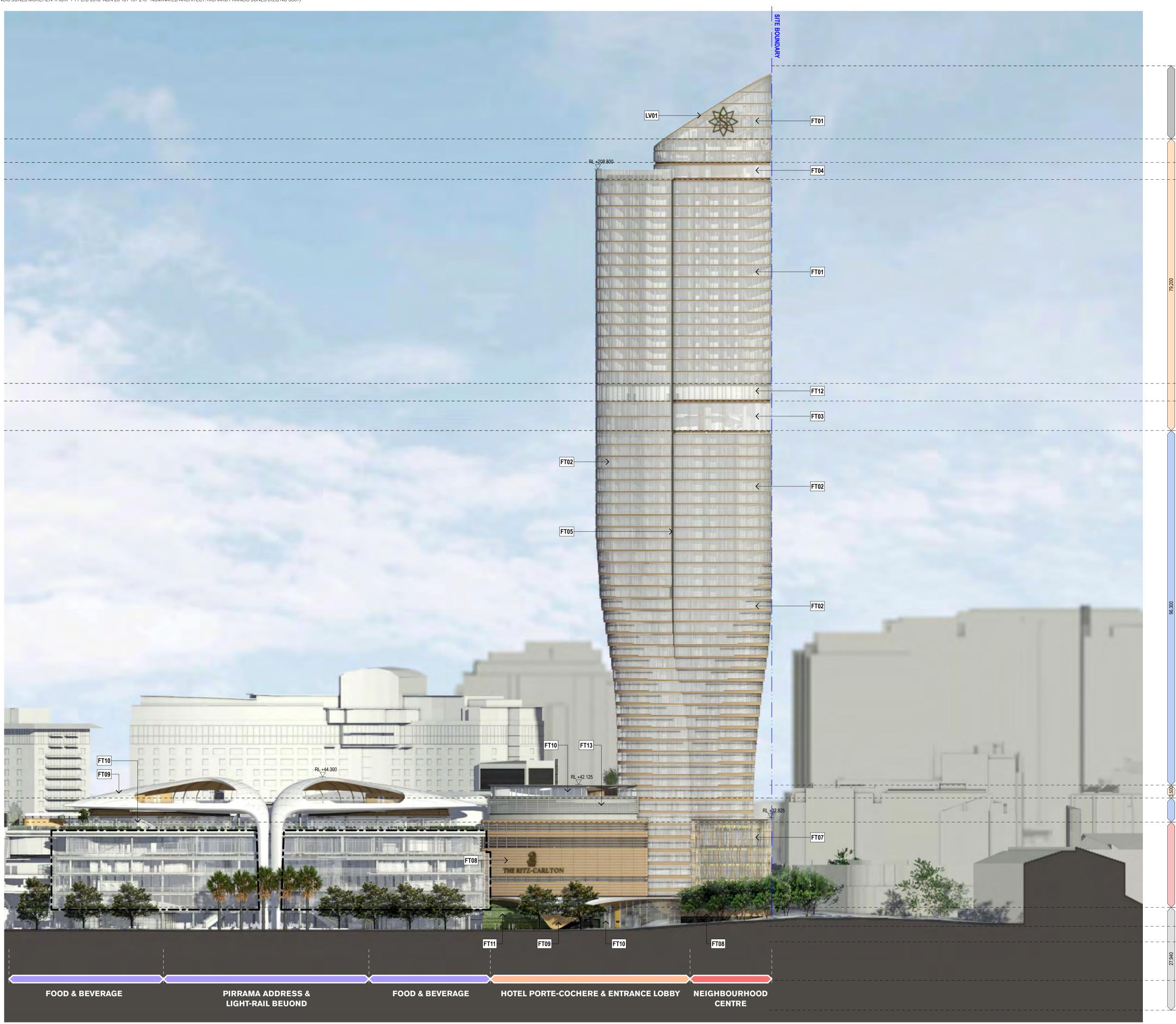
SM13

scale	1:150 @ A1	first issued	
 project	code	sheet no.	

AF3104

revision **DA**01

2/11/18



Pirrama Rd Elevation

GENERAL NOTES

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RL +237.000 📿

_____ SITE BOUNDARY

EXISTING BUILT FORM

FACADE	E TYPES
FT01	HOTEL FACADE Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel.
FT02	RESIDENTIAL FACADE Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel, in 500-750mm randomised modules. Slot grille in spandrel for apartment horizontal ventilation. For location of fixed medium tinted horizontal shading louvre with building integrated PV panels to top side and various spandrel heights refer to detail elevations AF4103, AF4104 and AF2000 series plans.
FT03	SKY LOBBY Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
FT04	CLUB LOUNGE Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
FT05	VERTICAL SLOT - EASTERN Dark coloured unitised cladding material
FT06	CORE CLADDING Unitised medium tinted cladding with planters and grow wires located on specified levels to create a 'green seam'. See AF2000 plans and AF4003 for planter details.
FT07	NEIGHBOURHOOD FACADE Point fixed framed high performance glazing with operable vertical timber shading elements.
FT08	SANDSTONE PODIUM FACADE Sandstone or medium tinted sandstone coloured precast concrete facade panels and louvres on structural steel support.
FT09	SHELL / RIBBON FACADE Opaque solid cladding panels on timber grid structure
FT10	PODIUM GLAZING Aluminium framed high performance glazing units with concealed/exposed spandrel
FT11	GREEN WALL Living green wall - plant selection to future details
FT12	TOWER PLANT FACADE Aluminium framed fixed glass louvres with aluminium plant louvres behind
FT13	PODIUM PLANT FACADE Stainless steel rolled bars with aluminium plant louvres behind
FT14	JONES BAY WINDOW FACADE Aluminium framed high performance glazing with exposed feature spandrel
FT15	GLAZED AWNING Steel framed glazed awning
FT16	PERGOLA Australian hardwood or medium tinted powder coated aluminium deck pergola or similar
LV01	PLANT LOUVRES Large format light coloured aluminium plant louvres with matt finish to reduce reflectivity. Medium tinted sandstone coloured aluminium spandrel details
LV02	PLANT LOUVRES AUTOMATED Large format automated aluminium plant louvres as per LV01 (above) on automated northern BMU unit
ating 2	ertificate Number: ssessor Name: ccreditation number: tertificate date: welling address: 0-80 Pyrmont St, yrmont NSW 2009 www.nathers.gov.au GAD1RM2336 Nicholas Asha VIC/BDAV/16/1712 2 Aug 2018

DA02	2/11/18	Response to Submissions	JRS	SMP
DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
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sydney melbourne uk Level 5, 70 King Street t +61 2 9251 7077 w fjmtstudio.com	IJIII
project	

Modification 13 80 PYRMONT STREET PYRMONT NSW 2009

scale 1:500 @ A1

project code

SM13

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title

Overall Elevations Pirrama Road Elevation

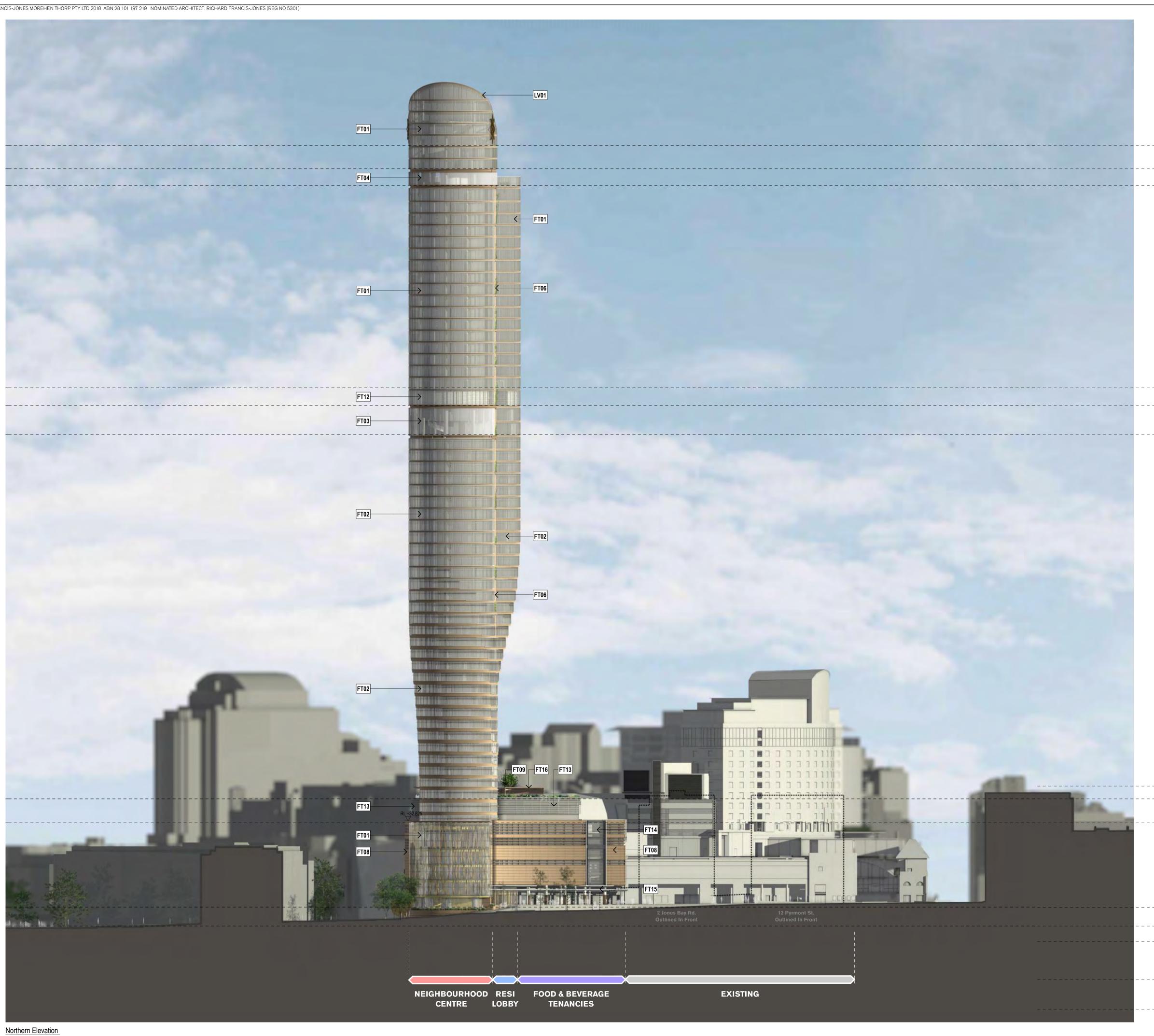
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1/9/17

sheet no. AF4001

revision **DA02**

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		-		RL +186.250	∇
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			L 41	RL +145.950	∇
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		-	3 200	RL +131.250	∇
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			L B3	RL -0.900	∇
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7	RL +202.250 🗸	legend
6	RL +199.050 🗸	
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legend			
SITE BOU	INDARY		
	BUILT FORM		
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FT01	HOTEL FACADE Aluminium framed high p operable interstitial light s sandstone coloured spar	sheer curtain and medium tinted	
FT02	interstitial light sheer curl coloured spandrel, in 500 Slot grille in spandrel for For location of fixed med louvre with building integ	erformance glazing with operable ain and medium tinted sandstone 0-750mm randomised modules. apartment horizontal ventilation. ium tinted horizontal shading rated PV panels to top side and refer to detail elevations AF4103,	
FT03		performance glazing with sandstone coloured spandrel.	
FT04		performance glazing with sandstone coloured spandrel.	
FT05	VERTICAL SLOT - I Dark coloured unitised cl		
FT06		ladding with planters and grow d levels to create a 'green seam'. F4003 for planter details.	
FT07	NEIGHBOURHOOD Point fixed framed high p vertical timber shading el	erformance glazing with operable	
FT08		UM FACADE ted sandstone coloured precast ind louvres on structural steel	
FT09	SHELL / RIBBON F/ Opaque solid cladding pa	ACADE anels on timber grid structure	
FT10	PODIUM GLAZING Aluminium framed high p concealed/exposed span	erformance glazing units with drel	
FT11	GREEN WALL Living green wall - plant s	selection to future details	
FT12	TOWER PLANT FA Aluminium framed fixed g louvres behind	CADE glass louvres with aluminium plant	:
FT13	PODIUM PLANT FA Stainless steel rolled bar behind	CADE s with aluminium plant louvres	
FT14	JONES BAY WINDO Aluminium framed high p feature spandrel	OW FACADE erformance glazing with exposed	
FT15	GLAZED AWNING Steel framed glazed awn	ing	
FT16	PERGOLA Australian hardwood or n aluminium deck pergola	nedium tinted powder coated or similar	
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LV02	PLANT LOUVRES A Large format automated LV01 (above) on automa	aluminium plant louvres as per	
***	Certificate Number: Assessor Name: Accreditation number: Certificate date: Dwelling address:	GAD1RM2336 Nicholas Asha VIC/BDAV/16/1712 2 Aug 2018	
Star rating	20-80 Pyrmont St, Pyrmont NSW 2009 www.nathers.gov.au	X = 100 mm m m m m m m m m m m m m m m m m	
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-	DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
	DA02	2/11/18	Response to Submissions	JRS	SMP

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sydney melbourne uk Level 5, 70 King Street t +61 2 9251 7077 w fjmtstudio.com	

project Modification 13 80 PYRMONT STREET PYRMONT NSW 2009

scale 1:500 @ A1

project code

SM13

title

Overall Elevations Northern Elevation

first issued

1/9/17

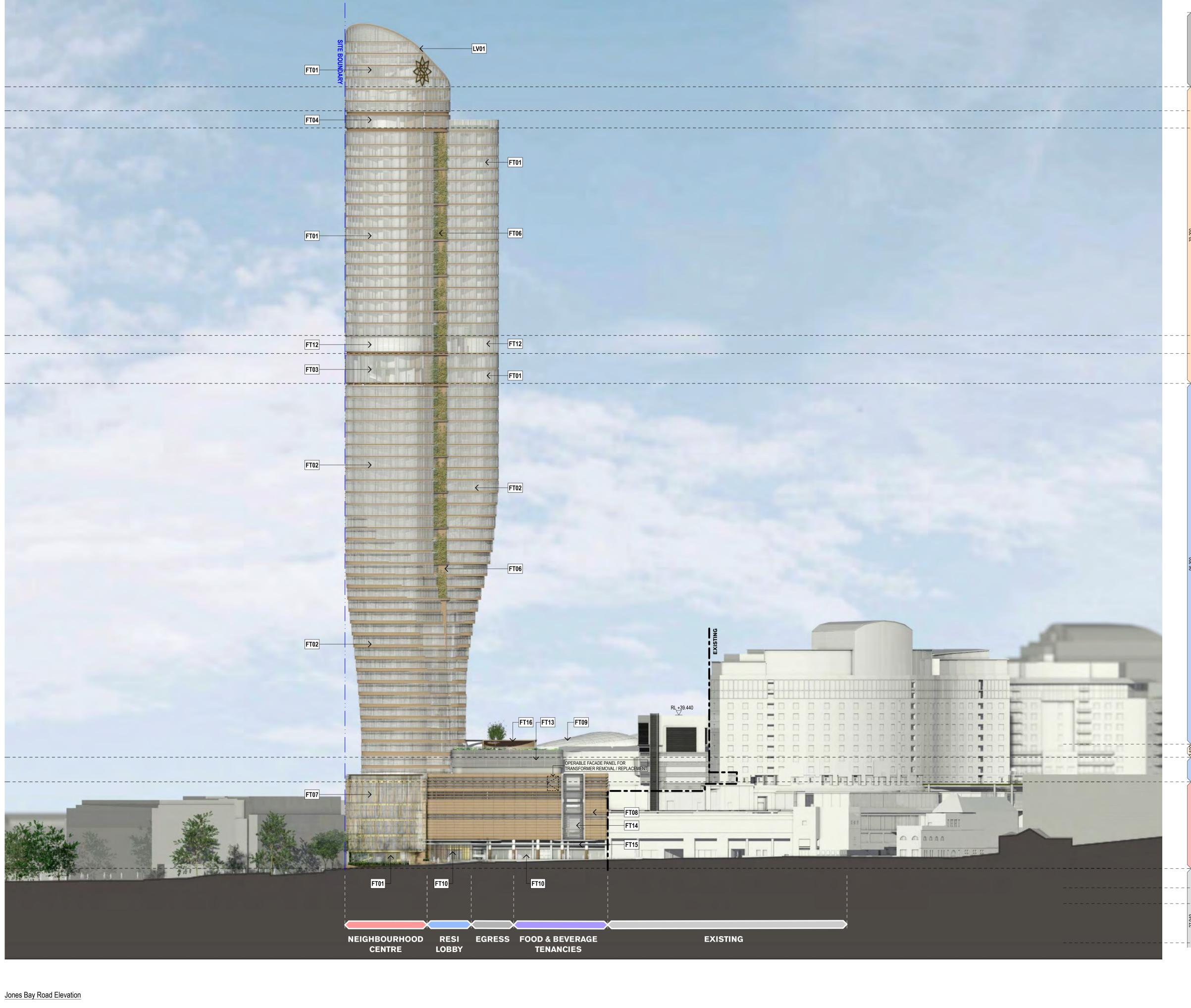
fjmt

sheet no. AF4002

revision **DA02**

- PLANT PLANT 	3,200 3,200 3,200 3,200 4,600	. 64 . 63 . 62 . 61 H19 . 60 H18 . 59 . 58 H17 . 57 H16 . 56 H15 . 55 H14 . 54 H13 . 53 H12 . 52 H11 . 51 H10	RL +223.550 RL +220.350 RL +217.150 RL +213.950 RL +210.750 RL +206.150 RL +202.250 RL +199.050 RL +195.850 RL +195.850 RL +189.450 RL +186.250 RL +183.050		
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	3,200 3,200 4,600 4,600 3,900 3,200 3,	61 H19 60 H18 59 58 H17 57 H16 56 H15 55 H14 54 H13 53 H12 52 H11	RL +213.950 RL +210.750 RL +206.150 RL +202.250 RL +199.050 RL +195.850 RL +192.650 RL +189.450 RL +186.250		
- 	3,200 4,600 3,900 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200	. 60 H18 . 59 . 58 H17 . 57 H16 . 56 H15 . 55 H14 . 54 H13 . 53 H12 . 52 H11	RL +210.750 RL +206.150 RL +202.250 RL +199.050 RL +195.850 RL +192.650 RL +189.450 RL +186.250		
	3,900 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200	59 58 H17 57 H16 56 H15 55 H14 54 H13 53 H12 52 H11	RL +206.150 RL +202.250 RL +199.050 RL +195.850 RL +192.650 RL +189.450 RL +186.250		
	3,900 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200 3,200	58 H17 57 H16 56 H15 55 H14 54 H13 53 H12 52 H11	RL +202.250 RL +199.050 RL +195.850 RL +192.650 RL +189.450 RL +186.250		
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-			RL +179.850	∇	
-	L	<u>50 H9</u>	RL +176.650	∇	
-	3,200	<u>49 H8</u>	RL +173.450		
-	3,200	<u>. 48 H7</u> . 47 H6	RL +170.250 RL +167.050	∇	
-	3,200	_ 46 H5	RL +163.850	∇	
_	3,200	45 H4	RL +160.650	∇	
	3,200	<u>44 H3</u>	RL +157.450	\Box	
-	3,200 +	<u>43 H2</u>	RL +154.250	∇	
	3,500 L	<u>42 H1</u>	RL +150.750	∇	
	4,800	_ 41	RL +145.950	∇	
_	4,000	_ 40	RL +141.950	∇	
	4,000	_ 39	RL +137.950	\bigtriangledown	
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_	3,200 L	<u>. 36 A28</u>	RL +128.050	∇	
-	3,200 3,200	. 35 A27	RL +124.850	∇	
-	3,200 L	<u>. 34 A26</u>	RL +121.650		
-	3,200	<u>33 A25</u> 32 A24	RL +118.450 RL +115.250	∇	
-	3,200		RL +112.050	∇	
-	3,200 L	_ 30 A22	RL +108.850	∇	
-	3,200 3,200	_29 A21	RL +105.650	\square	
-		<u>28 A20</u>			
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-	3,200	_ 25 A17	RL +92.850		
_	3,200	_24 A16	RL +89.650	∇	
-	3,200 +	<u>23 A15</u>	RL +86.450	∇	
-	\	22 A14	RL +83.250	\Box	
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NEIGHBOURHC	4,250 5,130 L 4,220 4,200 4,200	. 00 . B1 . B2 . B3 . B4	RL +8.450 RL +5.400 RL +3.320 RL -0.900 RL -5.100		
NEIGHBOURHC	4,250 5,130 L 4,220 4,200 4,200 3,200	. 00 . B1 . B2 . B3 . B4 . B5	RL +8.450 RL +5.400 RL +3.320 RL -0.900 RL -5.100 RL -8.300		
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	<u>م</u>	3,200 L 64	RL +223.550	∇
		3,200 L 62	RL +220.350 RL +217.150	
	_	3,200 3,200 3,200	RL +213.950	∇
		4,600	RL +210.750	\Box
		3,900	RL +206.150	\square
	-	3,200 L 57 H16	RL +202.250 RL +199.050	
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	_	3,200 <u>L 55 H14</u> 3,200 <u>L 54 H13</u>	RL +192.650 RL +189.450	∇
	_	3,200 L 53 H12	RL +186.250	∇
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79,200	-	3,200 3,200 L 50 H9	RL +179.850 RL +176.650	
	_	3,200 L 49 H8	RL +173.450	\square
	-	3,200 3,200 L 47 H6	RL +170.250 RL +167.050	
	_	3,200 L 46 H5	RL +163.850	∇
	-	3,200 3,200 3,200 L 44 H3	RL +160.650 RL +157.450	∇
	_	3,200 L 43 H2	RL +154.250	∇
		3,500 L 42 H1	RL +150.750	∇
		4,800 L 41	RL +145.950	∇
	_	4,000 L 40 4,000	RL +141.950	∇
)]	3.500	RL +137.950	\square
	-	3,200 L 37 A29	RL +134.450 RL +131.250	
	_	3,200 L 36 A28	RL +128.050	∇
	_	3,200 L 35 A27 3,200 J L 34 A26	RL +124.850 RL +121.650	∇
	_	3,200 L 33 A25	RL +118.450	∇
	_	3,200 L 32 A24 3,200 L 31 A23	RL +115.250 RL +112.050	∇
	-	3,200 L 30 A22	RL +108.850	∇
	_	3,200	RL +105.650	\square
	-	3,200 L 27 A19	RL +102.450 RL +99.250	
	_	3,200 L 26 A18	RL +96.050	∇
96,300	-	3,200 L 25 A17 3,200	RL +92.850 RL +89.650	
96 [,]	_	3,200 L 23 A15	RL +86.450	∇
	_	3,200 L 22 A14 3,200 L 21 A13	RL +83.250 RL +80.050	∇
	_	3,200 L 20 A12	RL +76.850	
	_	3,200 L 19 A11 3,200	RL +73.650	\square
		3,200 L 18 A10 3,200 L 17 A9	RL +70.450 RL +67.250	
	_	3,200 L 16 A8	RL +64.050	∇
	-	3,200 L 15 A7 3,200 L 14 A6	RL +60.850 RL +57.650	∇
	_	3,200 L 12 A5	RL +54.450	∇
	_	3,200 L 11 A4	RL +51.250	
	_	3,200 L 9 A2	RL +48.050 RL +44.850	
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	- RESI	3,200 L 5 A00	RL +31.600	
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		4,250 L 00	RL +8.450	
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	+	4,220	RL +3.320	~
 ę		4,200 L B4	RL -5.100	
27,940	_	3,200 L B5	RL -8.300	
		3,100 L B6	RL -11.400	\Box

GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'
- O NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY

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legend

_____ SITE BOUNDARY

EXISTING BUILT FORM FACADE TYPES

FACAI	DE TYPES			
FT01	HOTEL FACADE Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel.			
FT02	RESIDENTIAL FACADE Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel, in 500-750mm randomised modules. Slot grille in spandrel for apartment horizontal ventilation. For location of fixed medium tinted horizontal shading louvre with building integrated PV panels to top side and various spandrel heights refer to detail elevations AF4103, AF4104 and AF2000 series plans.			
FT03	SKY LOBBY Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.			
FT04	CLUB LOUNGE Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.			
FT05	VERTICAL SLOT - EASTERN Dark coloured unitised cladding material			
FT06	CORE CLADDING Unitised medium tinted cladding with planters and grow wires located on specified levels to create a 'green seam'. See AF2000 plans and AF4003 for planter details.			
FT07	NEIGHBOURHOOD FACADE Point fixed framed high performance glazing with operable vertical timber shading elements.			
FT08	SANDSTONE PODIUM FACADE Sandstone or medium tinted sandstone coloured precast concrete facade panels and louvres on structural steel support.			
FT09	SHELL / RIBBON FACADE Opaque solid cladding panels on timber grid structure			
FT10	PODIUM GLAZING Aluminium framed high performance glazing units with concealed/exposed spandrel			
FT11	GREEN WALL Living green wall - plant selection to future details			
FT12	TOWER PLANT FACADE Aluminium framed fixed glass louvres with aluminium plant louvres behind			
FT13	PODIUM PLANT FACADE Stainless steel rolled bars with aluminium plant louvres behind			
FT14	JONES BAY WINDOW FACADE Aluminium framed high performance glazing with exposed feature spandrel			
FT15	GLAZED AWNING Steel framed glazed awning			
FT16	PERGOLA Australian hardwood or medium tinted powder coated aluminium deck pergola or similar			
LV01	PLANT LOUVRES Large format light coloured aluminium plant louvres with matt finish to reduce reflectivity. Medium tinted sandstone coloured aluminium spandrel details			
LV02	PLANT LOUVRES AUTOMATED Large format automated aluminium plant louvres as per LV01 (above) on automated northern BMU unit			
8.0 Average star rating NATION WIDE HOUSE ENERGY RATING SCHEME	Certificate Number: Assessor Name: Accreditation number: Certificate date: Dwelling address: 20-80 Pyrmont St, Pyrmont NSW 2009 www.nathers.gov.au			
www.nathers.gov.au	Https://www.construction.com			

DA02	2/11/18	Response to Submissions	JRS	SMP
DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

fjmt fjmt studio architecture interiors landscape sydney melbourne uk Level 5, 70 King Street t +61 2 9251 7077 wfjmtstudio.com

project

Modification 13 80 PYRMONT STREET PYRMONT NSW 2009 title

scale 1:500 @ A1

project code

SM13

Overall Elevations Jones Bay Road Elevation

first issued

sheet no.

AF4003

1/9/17

revision **DA02**



			RL +237.000	∇
	PLANT			
		<u>L 64</u>	RL +223.550	\Box
		3,200 L 63 3,200 1,00	RL +220.350	∇
	 	3,200 J L 61 H19	RL +217.150 RL +213.950	∇
		3,200 L 60 H18	RL +210.750	∇
		4,600 <u>L 59</u>	RL +206.150	∇
	_	3,900 L 58 H17	RL +202.250	∇
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		3,200 L 48 H7	RL +170.250	∇
	_	3,200 L 47 H6	RL +167.050	∇
	_	3,200 1,200 3,200 45,114	RL +163.850	\Box
	_	3 200	RL +160.650 RL +157.450	
		3,200 L 43 H2	RL +154.250	∇
		3,500 L 42 H1	RL +150.750	∇
		4,800 L41	RL +145.950	∇
	_	4,000 L 40	RL +141.950	∇
		4,000 L 39	RL +137.950	∇
	_	3,500 L 38 A30	RL +134.450	∇
	_	3 200	RL +131.250	∇
	_	3,200 J L 35 A28	RL +128.050 RL +124.850	∇
		3,200 L 34 A26	RL +121.650	∇
	_	3,200 L 33 A25	RL +118.450	∇
	_	3 200	RL +115.250	∇
	_	3 200	RL +112.050 RL +108.850	
	_	3,200 L 29 A21	RL +105.650	∇
	_	3,200 L 28 A20 3,200	RL +102.450	∇
	_	3,200 J L 27 A19 J L 26 A18	RL +99.250 RL +96.050	∇
		3,200 L 25 A17	RL +92.850	
96,300	_	3,200 L 24 A16	RL +89.650	∇
0	_	3,200 L 23 A15 3,200	RL +86.450	
	_	3,200 3,200 L 22 A14 L 21 A13	RL +83.250 RL +80.050	∇
		3,200 L 20 A12	RL +76.850	∇
	_	3,200 L 19 A11	RL +73.650	∇
	_	3,200 L 18 A10 3,200	RL +70.450	\square
		3,200 L 16 A8	RL +67.250 RL +64.050	∇
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	_	3,200 1 L 12 A5 3,200 L 11 A4	RL +54.450 RL +51.250	∇
		3,200 L 10 A3	RL +51.250 RL +48.050	
	_	3,200 L 9 A2	RL +44.850	
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		4,200 <u>L 3</u>	RL +21.100	∇
		4,200 <u>L 2</u>	RL +16.900	∇
		4,200 L 1	RL +12.700	∇
]	4,250	RL +8.450	∇
		5,130 L B1	RL +5.400 RL +3.320	∇
		4,220 LB3	RL -0.900	$\overline{\nabla}$
		4,200 ↓ LB4	RL -5.100	~
27,940		3,200 L B5	RL -5.100 RL -8.300	∇
		3,100 L B6	RL -11.400	∇
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CARSTACKER RL -19.490 V

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- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM' O NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY

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_____ SITE BOUNDARY

FACADE TYPES

EXISTING BUILT FORM

FT01	HOTEL FACADE Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel.
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FT14	JONES BAY WINDOW FACADE Aluminium framed high performance glazing with exposed feature spandrel
FT15	GLAZED AWNING Steel framed glazed awning
FT16	PERGOLA Australian hardwood or medium tinted powder coated aluminium deck pergola or similar
LV01	PLANT LOUVRES Large format light coloured aluminium plant louvres with matt finish to reduce reflectivity. Medium tinted sandstone coloured aluminium spandrel details
LV02	PLANT LOUVRES AUTOMATED Large format automated aluminium plant louvres as per LV01 (above) on automated northern BMU unit
*****	Certificate Number: GAD1RM2336 Assessor Name: Nicholas Asha Accreditation number: VIC/BDAV/16/1712 Certificate date: 2 Aug 2018 Dwelling address:
Average star rating	20-80 Pyrmont St, Pyrmont NSW 2009
ENERGY RATING SCHEME www.nathers.gov.au	20-80 Pyrmont St, Pyrmont NSW 2009 www.nathers.gov.au

DA	02	2/11/18	Response to Submissions	JRS	SMP
DA	01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
re	v	date	name	by	chk

fjmt studio architecture interiors landscape sydney melbourne uk Level 5, 70 King Street t +61 2 9251 7077 wfjmtstudio.com

project

Modification 13 80 PYRMONT STREET PYRMONT NSW 2009 title

Overall Elevations Southern Elevation

scale 1:500 @ A1

project code

SM13

first issued

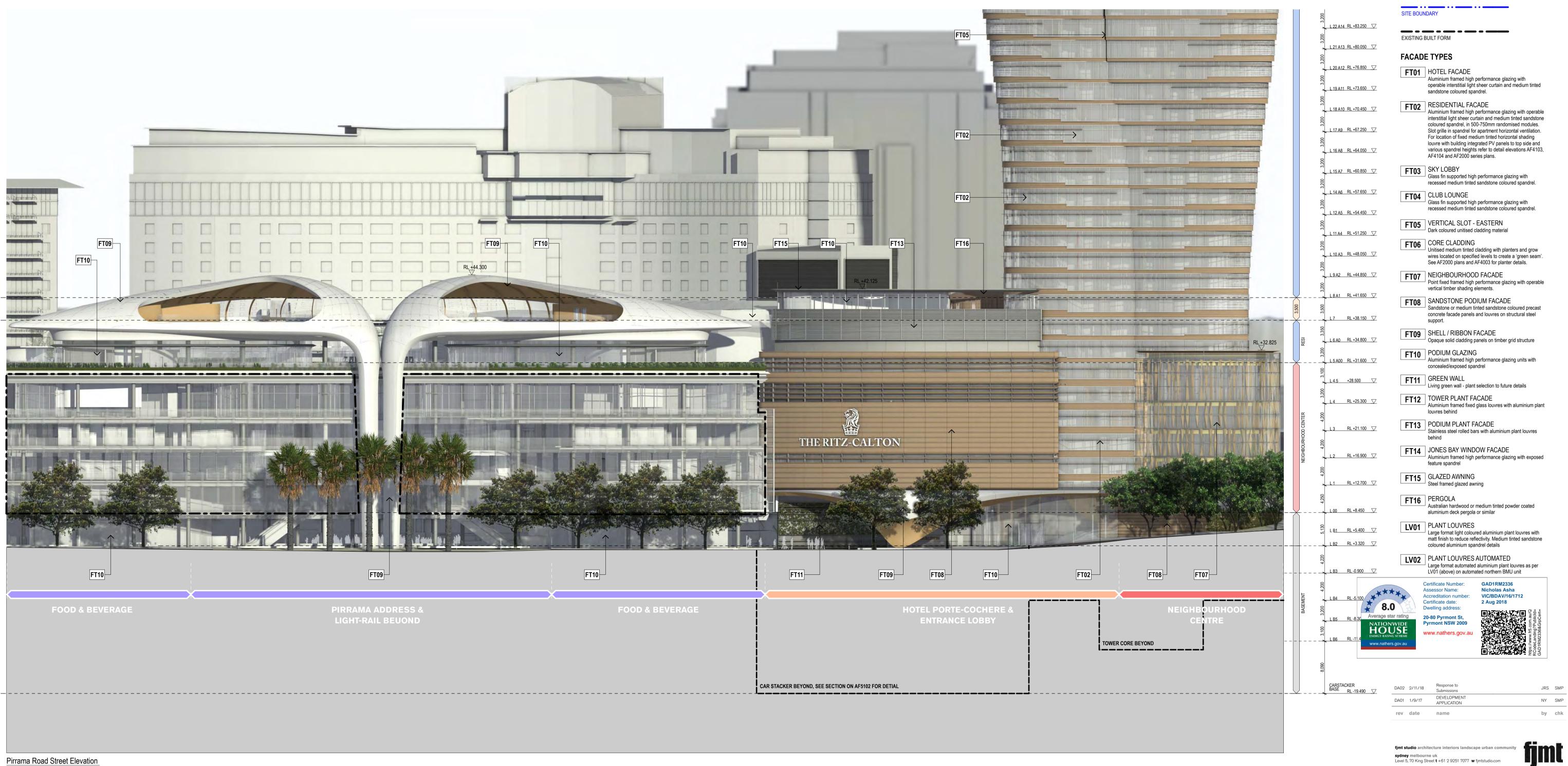
sheet no.

AF4004

1/9/17

fjmt

revision DA02



Pirrama Road Street Elevation

GENERAL NOTES ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE • CHECKED AND VERIFIED BY THE CONTRACTOR

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- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM' DO NOT SCALE DRAWINGS.
- ° USE FIGURED DIMENSIONS ONLY

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project Modification 13 **80 PYRMONT STREET**

title

project code

SM13

PYRMONT NSW 2009

Detail Elevations Pirrama Road Street Elevation

scale 1:300 @ A1 1/9/17 first issued sheet no. revision AF4101 **DA**02

JRS SMP

NY SMP

by chk



Jones Bay Road Street Elevation

GENERAL NOTES

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legend

_____ SITE BOUNDARY

EXISTING BUILT FORM

	DE TYPES		
FT01	HOTEL FACADE Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel.		
FT02	RESIDENTIAL FACADE Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel, in 500-750mm randomised modules. Slot grille in spandrel for apartment horizontal ventilation. For location of fixed medium tinted horizontal shading louvre with building integrated PV panels to top side and various spandrel heights refer to detail elevations AF4103, AF4104 and AF2000 series plans.		
FT03	Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.		
FT04	CLUB LOUNGE Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.		
FT05	VERTICAL SLOT - EASTERN Dark coloured unitised cladding material		
FT06	CORE CLADDING Unitised medium tinted cladding with planters and grow wires located on specified levels to create a 'green seam'. See AF2000 plans and AF4003 for planter details.		
FT07	NEIGHBOURHOOD FACADE Point fixed framed high performance glazing with operable vertical timber shading elements.		
FT08	SANDSTONE PODIUM FACADE Sandstone or medium tinted sandstone coloured precast concrete facade panels and louvres on structural steel support.		
FT09	SHELL / RIBBON FACADE Opaque solid cladding panels on timber grid structure		
FT10	PODIUM GLAZING Aluminium framed high performance glazing units with concealed/exposed spandrel		
FT11	GREEN WALL Living green wall - plant selection to future details		
FT12	TOWER PLANT FACADE Aluminium framed fixed glass louvres with aluminium plar louvres behind		
FT13	PODIUM PLANT FACADE Stainless steel rolled bars with aluminium plant louvres behind		
FT14	JONES BAY WINDOW FACADE Aluminium framed high performance glazing with exposed feature spandrel		
FT15	GLAZED AWNING Steel framed glazed awning		
FT16	PERGOLA Australian hardwood or medium tinted powder coated aluminium deck pergola or similar		
LV01	PLANT LOUVRES Large format light coloured aluminium plant louvres with matt finish to reduce reflectivity. Medium tinted sandstone coloured aluminium spandrel details		
LV02	PLANT LOUVRES AUTOMATED Large format automated aluminium plant louvres as per LV01 (above) on automated northern BMU unit		
* Ya	Certificate Number: GAD1RM2336 Assessor Name: Nicholas Asha Accreditation number: VIC/BDAV/16/1712 Certificate date: 2 Aug 2018 Dwelling address:		
ating	20-80 Pyrmont St,		





DA02	2/11/18	Response to Submissions	JRS	SMP
DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

fjmt studio architecture interiors landscape urban community	fimit
sydney melbourne uk Level 5, 70 King Street t +61 2 9251 7077 wfjmtstudio.com	ŋmc

project Modification 13 80 PYRMONT STREET PYRMONT NSW 2009

SM13

title **Detail Elevations** Jones Bay Road Street Elevation

scale 1:300 @ A1 1/9/17 first issued project code sheet no.

AF4102

revision **DA02**

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L 3 RL +21.100 ▽

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