

Retail Tenancy

Internal Front-of-House Area: 406.2m²
External Front-of-House Area: 67.9m²
Back-of-House Area: 159.2m²
Total Area: 633.3m²

GENERAL NOTES

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- USE FIGURED DIMENSIONS ONLY

- legend
- BUILDING USE**
- HOTEL
 - HOTEL FACILITIES
 - LOADING, PLANT
 - LIFTS, FIRE STAIRS, SERVICES
 - ANCILLARY, BOH
 - CIRCULATION
 - NEIGHBOURHOOD CENTRE
 - RETAIL
 - FOOD & BEVERAGE
 - RESIDENTIAL
 - RESIDENTIAL FACILITIES

--- SITE BOUNDARY

--- EXISTING BUILT FORM

--- EXISTING BUILT FORM

--- EXTENT OF CAR STACKER BELOW

EXTEND OF MODIFICATION 13 WORK AS SHOWN ON FJMT DOCUMENT RIFER TO DWP DRAWING FOR FULL EXTEND & DEMARCATION OF MODIFICATION 13 WORK.

NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN

8.0

Average star rating

NATIONWIDE HOUSE

Quality Standard 2018

www.nathers.gov.au

Certificate Number: GAD1RM2336

Assessor Name: Nicholas Asha

Accreditation number: VIC/BDVH161712

Certificate date: 2 Aug 2018

Dwelling address: 20-80 Pyrmont St, Pyrmont NSW 2009

www.nathers.gov.au

QR Code

https://www.fjmt.com.au/0/GAD1RM2336/0

DA01	2/11/18	Response to Submissions	JRS	SMP
rev	date	name	by	chk

fjmt studio architecture interiors landscape urban community

sydney melbourne uk

Level 5, 70 King Street • +61 2 9251 7077 • fjmtstudio.com

project

Modification 13

80 PYRMONT STREET

PYRMONT NSW 2009

title

Fit Out Plans

Level 05 FFE Sky Terrace

scale

1:100 @ A1

first issued

2/11/18

project code

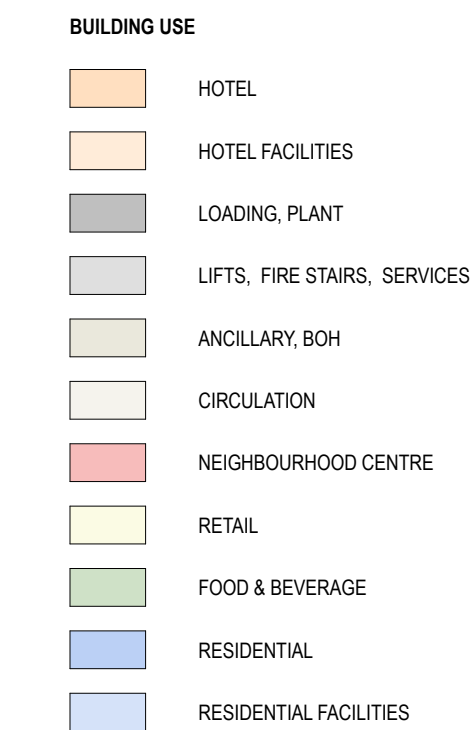
SM13

sheet no.

AF3004

revision

DA01



SITE BOUNDARY

EXISTING BUILT FORM

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EXTENT OF CAR STACKER BELOW

EXTEND OF MODIFICATION 13 WORK AS
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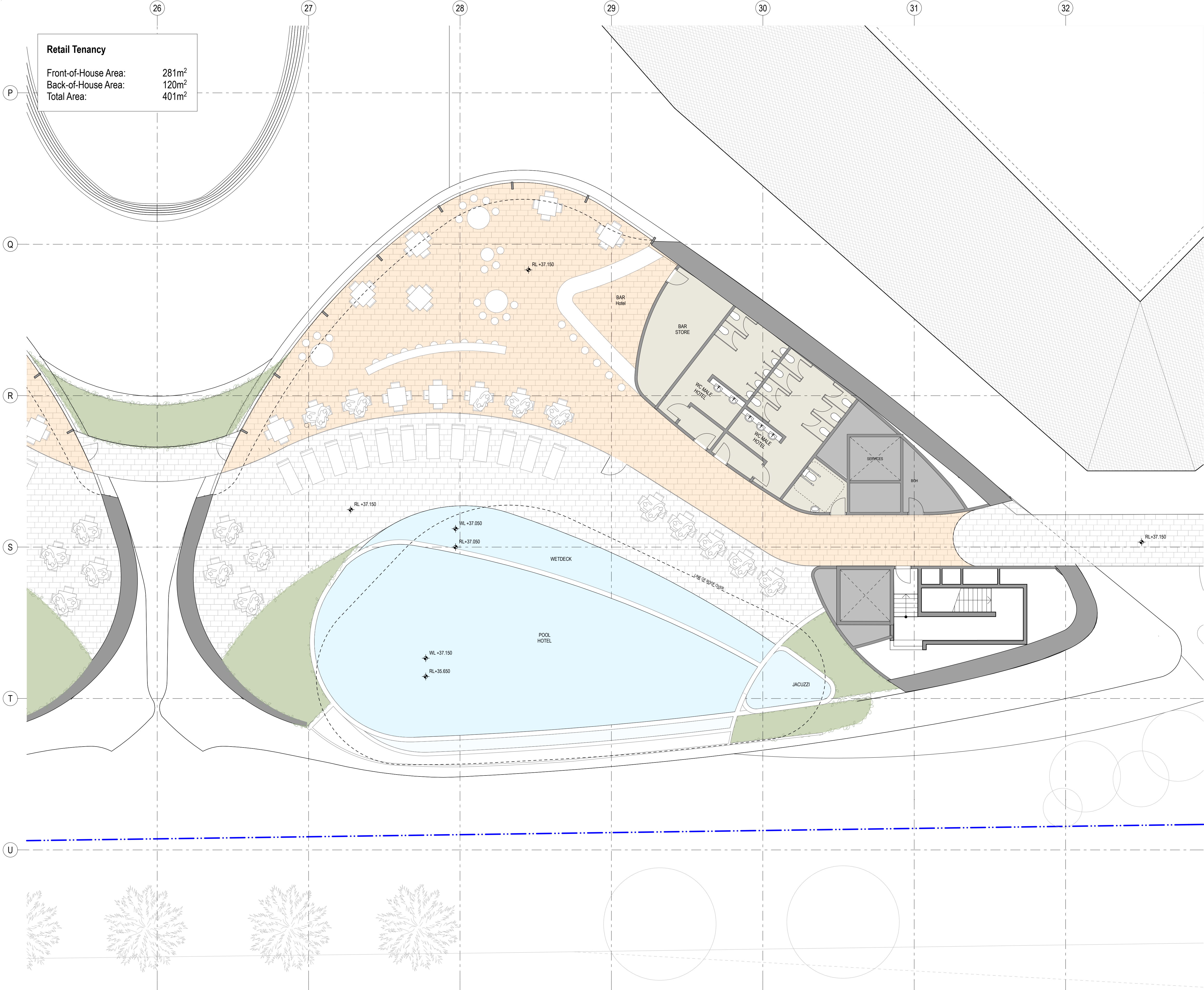
project

Modification 13
80 PYRMONT STREET
PYRMONT NSW 2009

Fit Out Plans

Level 07 FFE Pool Deck

scale	1:100 @ A1	first issued	2/11/18
project code	sheet no.	revision	
SM13	AF3005	DA01	



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- NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN**

Average star rating **8.0**

NATIONWIDE HOUSE
Trusted national brand

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Certificate Number: GAD1RM2336
Assessor Name: Nicholas Asha
Accreditation number: VIC/BDVH161712
Certificate date: 2 Aug 2018
Dwelling address: 20-80 Pyrmont St, Pyrmont NSW 2009
www.nathers.gov.au

QR code linking to the certificate information.

DA01	2/11/18	Response to Submissions	JRS	SMP
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fjmt studio architecture interiors landscape urban community
sydney melbourne uk
Level 5, 70 King Street E +61 2 9251 7077 [www.fjmtstudio.com](http://fjmtstudio.com)

project
Modification 13
80 PYRMONT STREET
PYRMONT NSW 2009

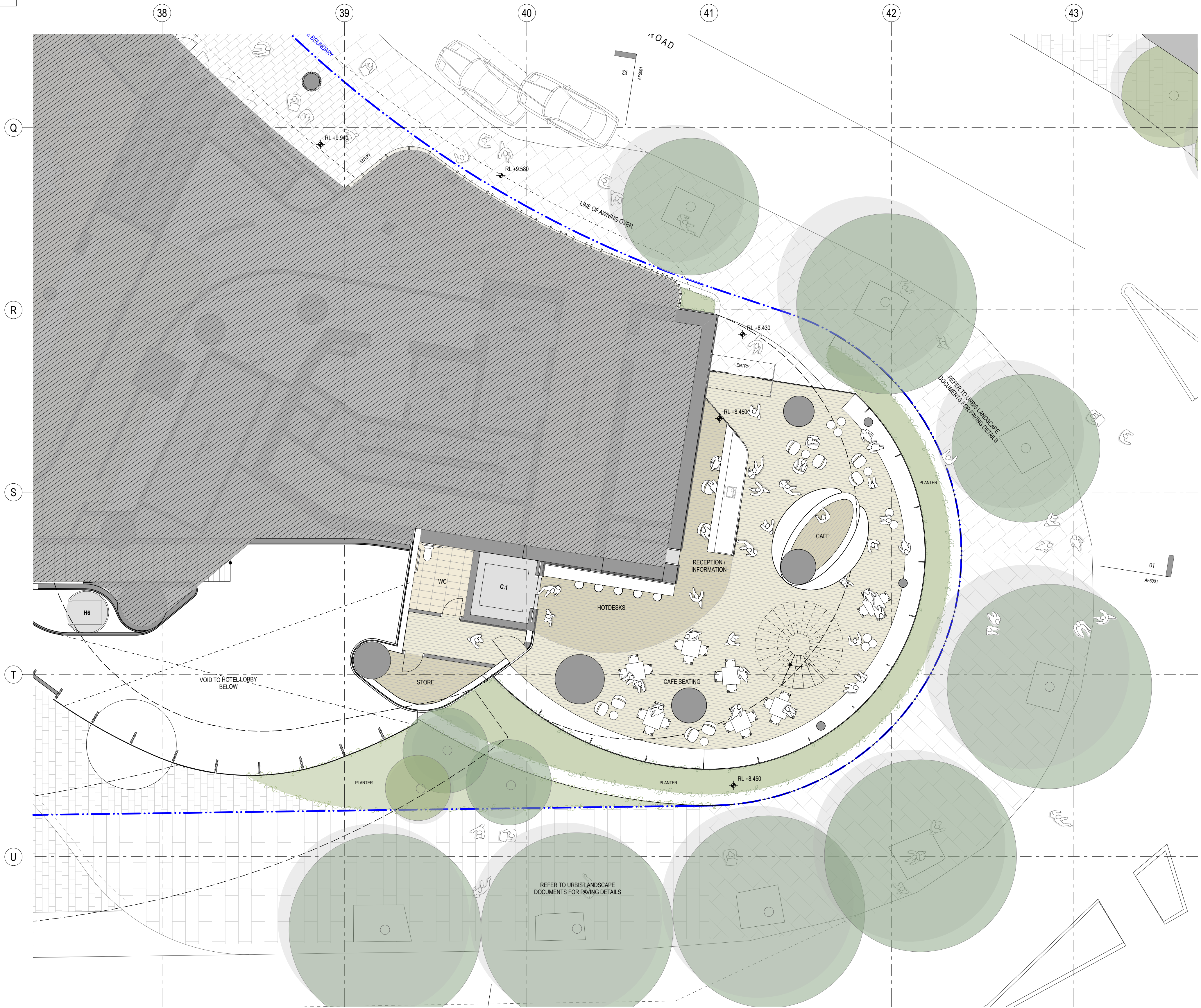
title
Fit Out Plans
Level 07 FFE Pool Deck

scale	1:100 @ A1	first issued	2/11/18
project code	sheet no.	revision	
SM13	AF3006	DA01	

Neighbourhood Centre Level 00

Front-of-House Area: 218m²
Back-of-House Area: 32m²
Total Area: 250m²

Total Occupancy: 218 persons



GENERAL NOTES
ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE
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project
Modification 13
80 PYRMONT STREET
PYRMONT NSW 2009

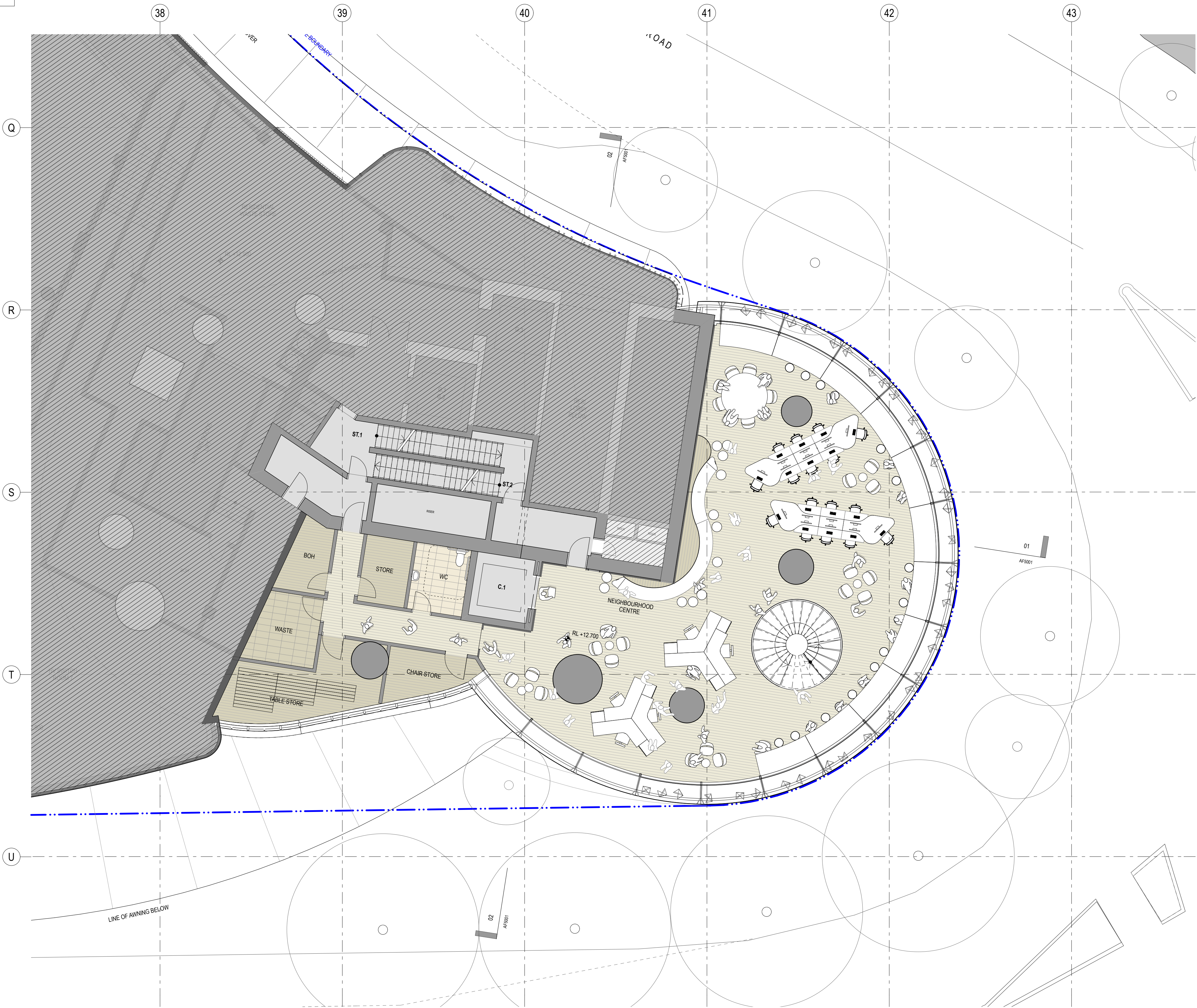
title
Neighbourhood Centre
Level 00 Social Enterprise Cafe

scale	1:150 @ A1	first issued	2/11/18
project code	sheet no.	revision	
SM13	AF3100	DA01	

Neighbourhood Centre Level 01

Front-of-House Area: 258m²
Back-of-House Area: 77m²
Total Area: 335m²

Total Occupancy: 258 persons



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8.0

Average star rating

NATIONWIDE HOUSE

Quality National Standard

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Certificate Number: GAD1RM2336

Assessor Name: Nicholas Asha

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Modification 13
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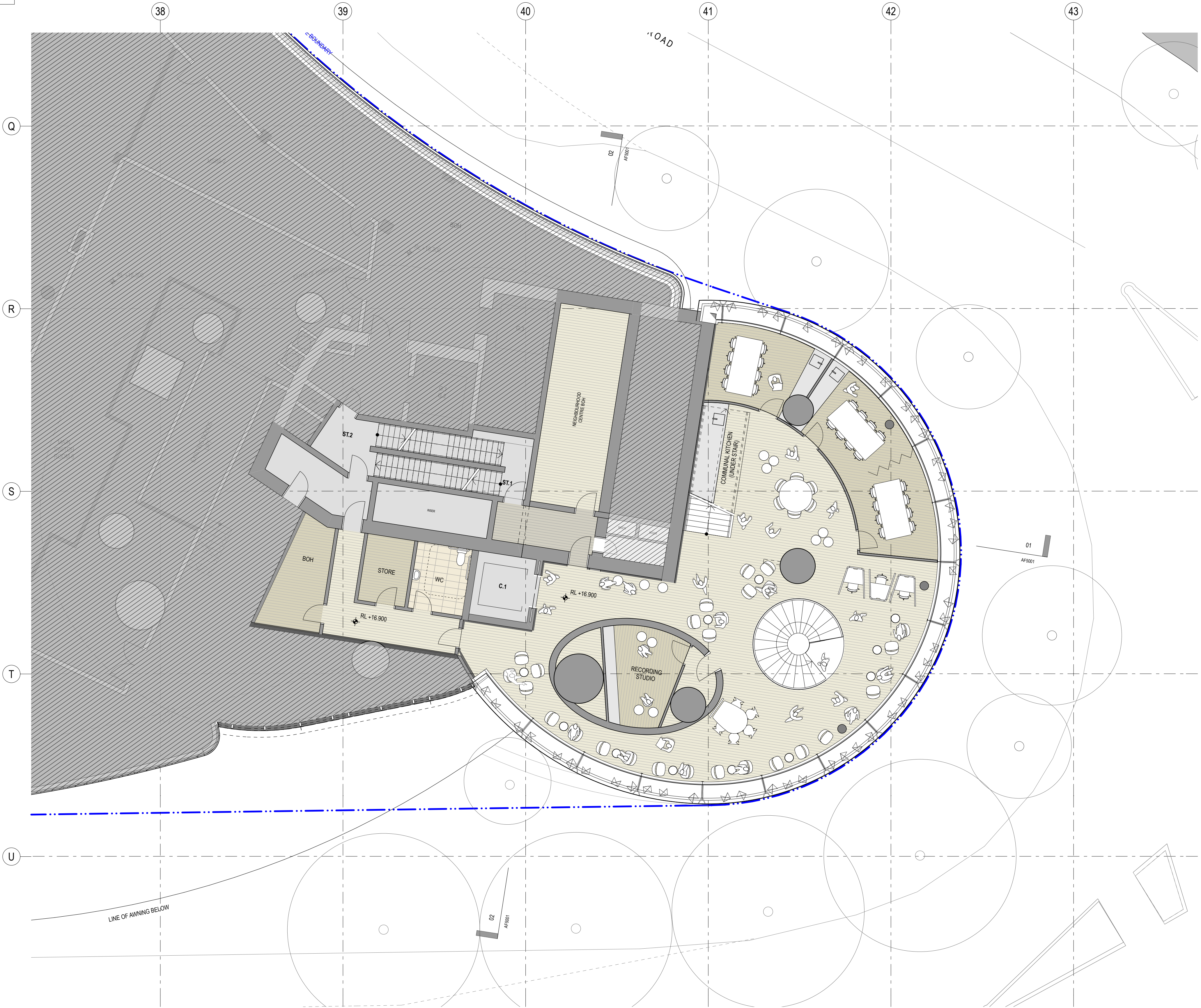
title
Neighbourhood Centre
Level 01 Pirrama Reading Room

scale	1:150 @ A1	first issued	2/11/18
project code	sheet no.	revision	
SM13	AF3101	DA01	

Neighbourhood Centre Level 02

Front-of-House Area: 261m²
Back-of-House Area: 79m²
Total Area: 340m²

Total Occupancy: 261 persons



GENERAL NOTES
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SITE BOUNDARY

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rev	date	name	by	chk

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project
Modification 13
80 PYRMONT STREET
PYRMONT NSW 2009

title
**Neighbourhood Centre
Level 02 Darling Collaborative Hub**

scale 1:150 @ A1 first issued 2/11/18

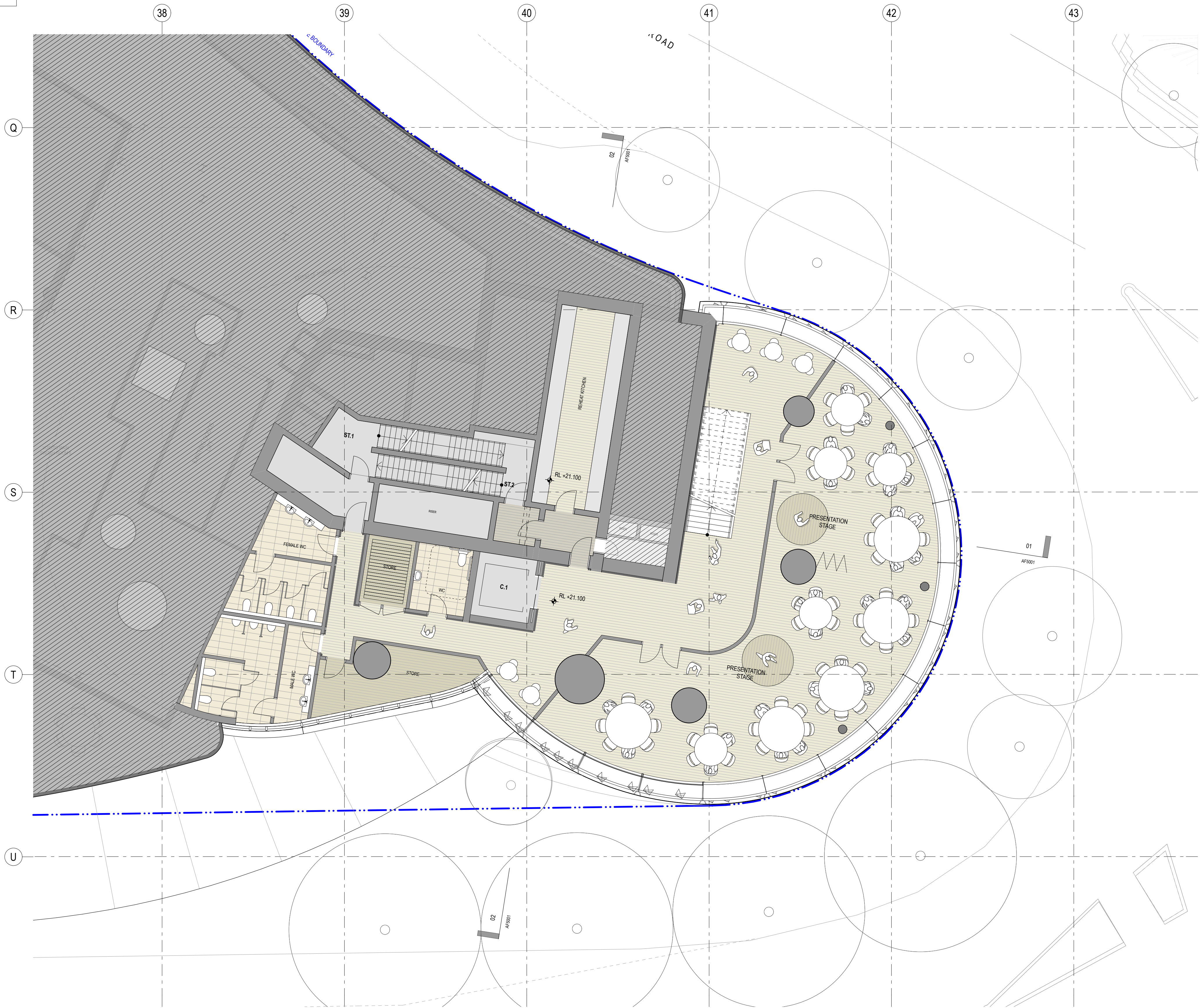
project code sheet no. revision

SM13 AF3102 DA01

Neighbourhood Centre Level 03

Front-of-House Area: 245m²
Back-of-House Area: 132m²
Total Area: 377m²

Total Occupancy: 245 persons



GENERAL NOTES

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Legend

BUILDING USE

- HOTEL
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rev	date	name	by	chk

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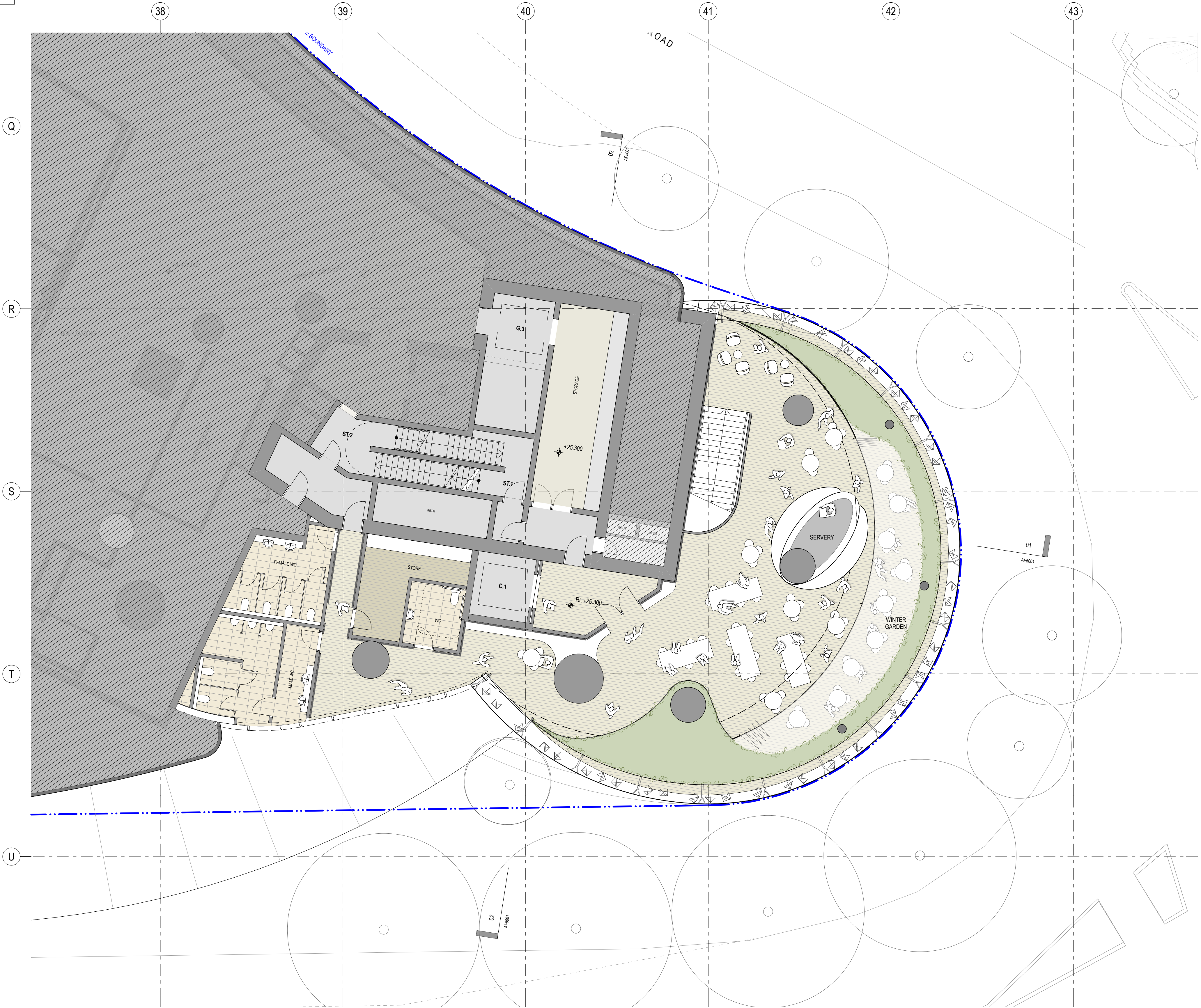
title
**Neighbourhood Centre
Level 03 Pyrmont Forum**

scale	1:150 @ A1	first issued	2/11/18
project code	sheet no.	revision	
SM13	AF3103	DA01	

Neighbourhood Centre Level 04

Front-of-House Area: 170m²
Back-of-House Area: 106m²
Total Area: 276m²

Total Occupancy: 170 persons



GENERAL NOTES
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legend

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- HOTEL
 - HOTEL FACILITIES
 - LOADING, PLANT
 - LIFTS, FIRE STAIRS, SERVICES
 - ANCILLARY, BOH
 - CIRCULATION
 - NEIGHBOURHOOD CENTRE
 - RETAIL
 - FOOD & BEVERAGE
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 - RESIDENTIAL FACILITIES

SITE BOUNDARY

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EXISTING BUILT FORM

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DA01	2/11/18	Response to Submissions	JRS	SMP
rev	date	name	by	chk

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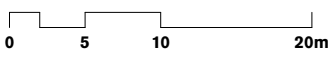
project
Modification 13
80 PYRMONT STREET
PYRMONT NSW 2009

title
Neighbourhood Centre
Level 04 Pyrmont Forum Terrace

scale	1:150 @ A1	first issued	2/11/18
project code	sheet no.	revision	
SM13	AF3104	DA01	

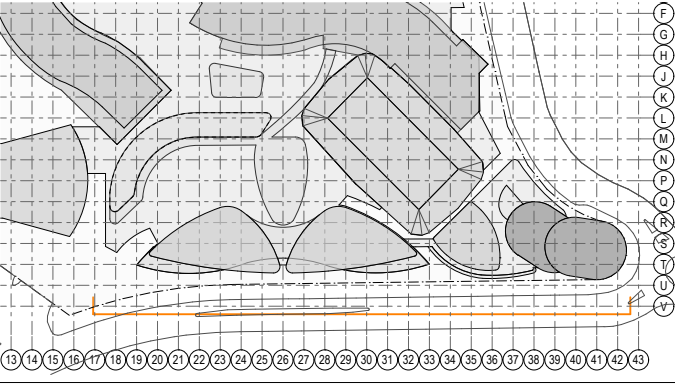


Pirrama Rd Elevation



- GENERAL NOTES**
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keyplan



legend

SITE BOUNDARY

EXISTING BUILT FORM

FACADE TYPES

- FT01 HOTEL FACADE**
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel.
- FT02 RESIDENTIAL FACADE**
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel. In 500-750mm randomised modules. Slot grille in spandrel for apartment horizontal ventilation. For location of fixed medium tinted horizontal shading louvre with building integrated PV panels to top side and various spandrel heights refer to detail elevations AF4103, AF4104 and AF2000 series plans.
- FT03 SKY LOBBY**
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT04 CLUB LOUNGE**
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT05 VERTICAL SLOT - EASTERN**
Dark coloured utilised cladding material
- FT06 CORE CLADDING**
Utilised medium tinted cladding with planters and grow wires located on specified levels to create a 'green seam'. See AF2000 plans and AF4003 for planter details.
- FT07 NEIGHBOURHOOD FACADE**
Point fixed framed high performance glazing with operable vertical timber shading elements.
- FT08 SANDSTONE PODIUM FACADE**
Sandstone or medium tinted sandstone coloured precast concrete facade panels and louvres on structural steel support.
- FT09 SHELL / RIBBON FACADE**
Opaque solid cladding panels on timber grid structure
- FT10 PODIUM GLAZING**
Aluminium framed high performance glazing units with concealed/exposed spandrel
- FT11 GREEN WALL**
Living green wall - plant selection to future details
- FT12 TOWER PLANT FACADE**
Aluminium framed fixed glass louvres with aluminium plant louvres behind
- FT13 PODIUM PLANT FACADE**
Stainless steel rolled bars with aluminium plant louvres behind
- FT14 JONES BAY WINDOW FACADE**
Aluminium framed high performance glazing with exposed feature spandrel
- FT15 GLAZED AWNING**
Steel framed glazed awning
- FT16 PERGOLA**
Australian hardwood or medium tinted powder coated aluminium deck pergola or similar
- LV01 PLANT LOUVRES**
Large format light coloured aluminium plant louvres with matt finish to reduce reflectivity. Medium tinted sandstone coloured aluminium spandrel details
- LV02 PLANT LOUVRES AUTOMATED**
Large format automated aluminium plant louvres as per LV01 (above) on automated northern BMU unit



DA02	2/11/18	Response to Submissions	JRS	SMP
DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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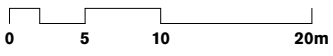
project
Modification 13
80 PYRMONT STREET
PYRMONT NSW 2009

Overall Elevations
Pirrama Road Elevation

scale	1:500 @ A1	first issued	1/9/17
project code	sheet no.	revision	
SM13	AF4001	DA02	



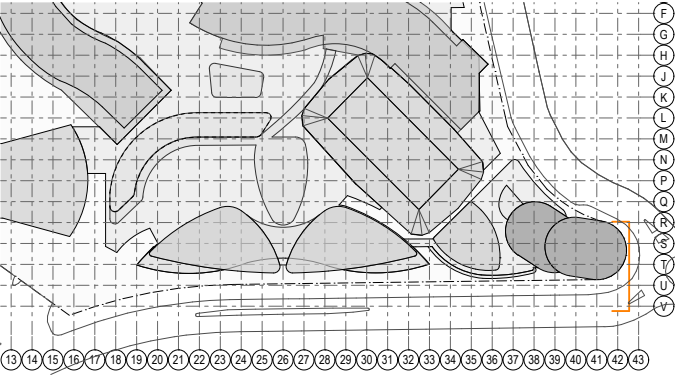
Northern Elevation



GENERAL NOTES

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keyplan



legend

SITE BOUNDARY

EXISTING BUILT FORM

FAÇADE TYPES

- FT01 HOTEL FAÇADE**
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel.
- FT02 RESIDENTIAL FAÇADE**
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel. In 500-750mm randomised modules. Slot grille in spandrel for apartment horizontal ventilation. For location of fixed medium tinted horizontal shading louvre with building integrated PV panels to top side and various spandrel heights refer to detail elevations AF4103, AF4104 and AF2000 series plans.
- FT03 SKY LOBBY**
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT04 CLUB LOUNGE**
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT05 VERTICAL SLOT - EASTERN**
Dark coloured utilised cladding material
- FT06 CORE CLADDING**
Utilised medium tinted cladding with planters and grow wires located on specified levels to create a 'green seam'. See AF2000 plans and AF4003 for planter details.
- FT07 NEIGHBOURHOOD FAÇADE**
Point fixed framed high performance glazing with operable vertical timber shading elements.
- FT08 SANDSTONE PODIUM FAÇADE**
Sandstone or medium tinted sandstone coloured precast concrete facade panels and louvres on structural steel support.
- FT09 SHELL / RIBBON FAÇADE**
Opaque solid cladding panels on timber grid structure
- FT10 PODIUM GLAZING**
Aluminium framed high performance glazing units with concealed/exposed spandrel
- FT11 GREEN WALL**
Living green wall - plant selection to future details
- FT12 TOWER PLANT FAÇADE**
Aluminium framed fixed glass louvres with aluminium plant louvres behind
- FT13 PODIUM PLANT FAÇADE**
Stainless steel rolled bars with aluminium plant louvres behind
- FT14 JONES BAY WINDOW FAÇADE**
Aluminium framed high performance glazing with exposed feature spandrel
- FT15 GLAZED AWNING**
Steel framed glazed awning
- FT16 PERGOLA**
Australian hardwood or medium tinted powder coated aluminium deck pergola or similar
- LV01 PLANT LOUVRES**
Large format light coloured aluminium plant louvres with matt finish to reduce reflectivity. Medium tinted sandstone coloured aluminium spandrel details
- LV02 PLANT LOUVRES AUTOMATED**
Large format automated aluminium plant louvres as per LV01 (above) on automated northern BMU unit

8.0
Average star rating
NATIONWIDE HOUSE
Energy and Green Star
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Certificate Number: GAD1RM2336
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https://www.nathers.gov.au/qa/GAD1RM2336/Details

DA02	2/11/18	Response to Submissions	JRS	SMP
DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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project
Modification 13
80 PYRMONT STREET
PYRMONT NSW 2009

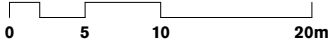
Overall Elevations
Northern Elevation

scale	1:500 @ A1	first issued	1/9/17
project code	sheet no.	revision	
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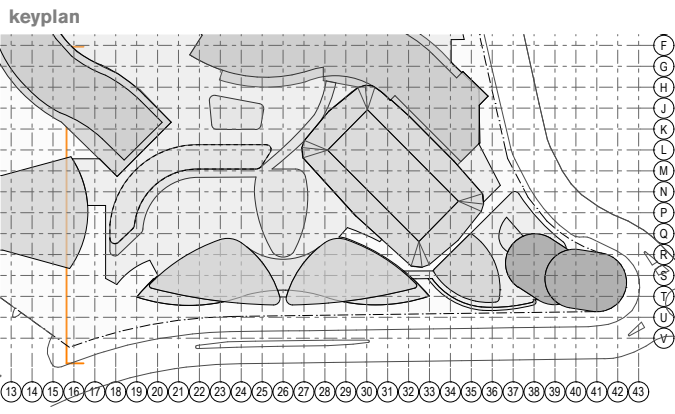




Southern Elevation



- GENERAL NOTES**
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
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SITE BOUNDARY

EXISTING BUILT FORM

FACADE TYPES

- FT01 HOTEL FACADE**
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel.
- FT02 RESIDENTIAL FACADE**
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel. In 500-750mm randomised modules. Slot grille in spandrel for apartment horizontal ventilation. For location of fixed medium tinted horizontal shading louvre with building integrated PV panels to top side and various spandrel heights refer to detail elevations AF4103, AF4104 and AF2000 series plans.
- FT03 SKY LOBBY**
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT04 CLUB LOUNGE**
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT05 VERTICAL SLOT - EASTERN**
Dark coloured utilised cladding material
- FT06 CORE CLADDING**
Utilised medium tinted cladding with planters and grow wires located on specified levels to create a 'green seam'. See AF2000 plans and AF4003 for planter details.
- FT07 NEIGHBOURHOOD FACADE**
Point fixed framed high performance glazing with operable vertical timber shading elements.
- FT08 SANDSTONE PODIUM FACADE**
Sandstone or medium tinted sandstone coloured precast concrete facade panels and louvres on structural steel support.
- FT09 SHELL / RIBBON FACADE**
Opaque solid cladding panels on timber grid structure
- FT10 PODIUM GLAZING**
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- FT11 GREEN WALL**
Living green wall - plant selection to future details
- FT12 TOWER PLANT FACADE**
Aluminium framed fixed glass louvres with aluminium plant louvres behind
- FT13 PODIUM PLANT FACADE**
Stainless steel rolled bars with aluminium plant louvres behind
- FT14 JONES BAY WINDOW FACADE**
Aluminium framed high performance glazing with exposed feature spandrel
- FT15 GLAZED AWNING**
Steel framed glazed awning
- FT16 PERGOLA**
Australian hardwood or medium tinted powder coated aluminium deck pergola or similar
- LV01 PLANT LOUVRES**
Large format light coloured aluminium plant louvres with matt finish to reduce reflectivity. Medium tinted sandstone coloured aluminium spandrel details
- LV02 PLANT LOUVRES AUTOMATED**
Large format automated aluminium plant louvres as per LV01 (above) on automated northern BMU unit



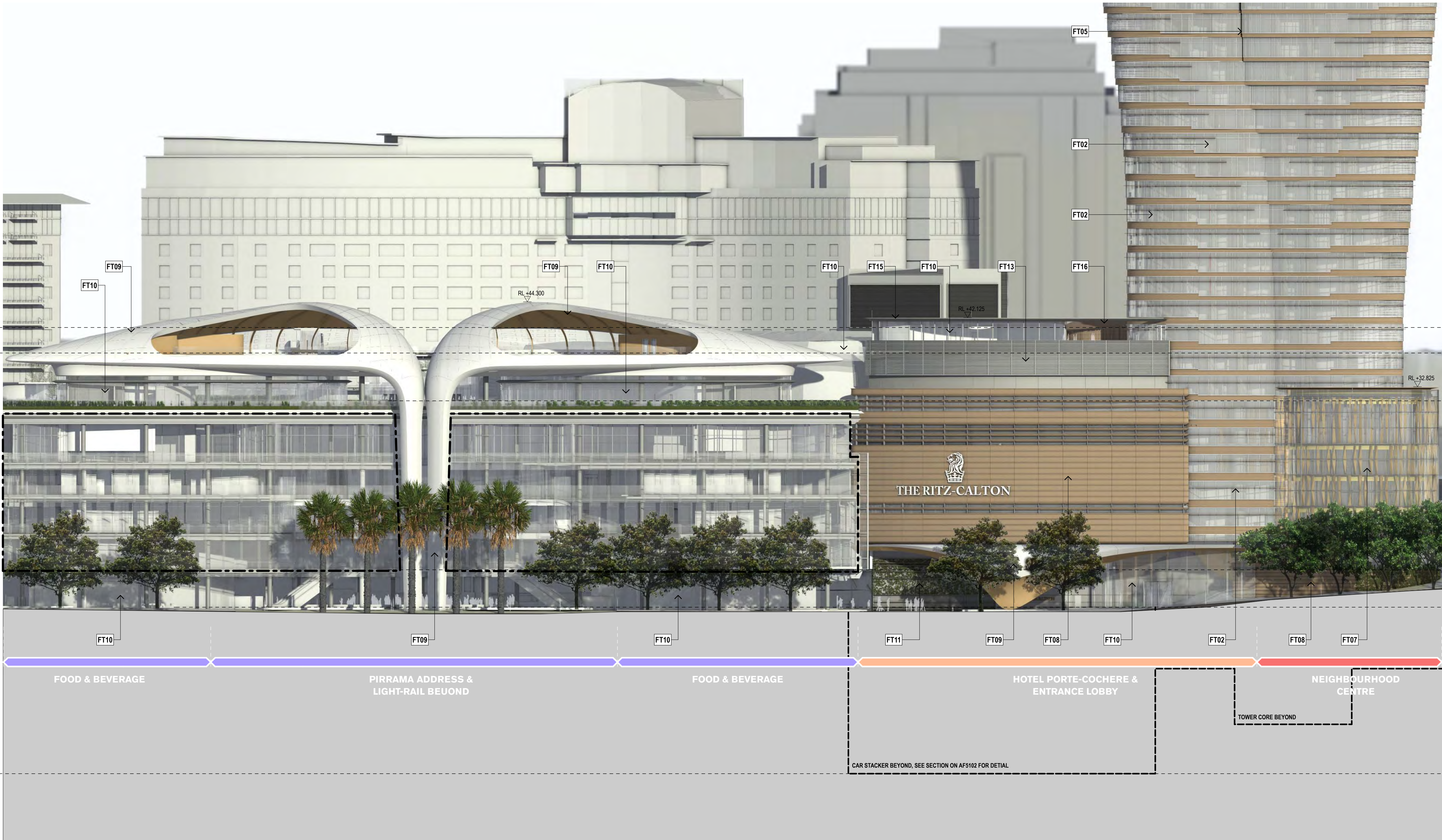
DA02	2/11/18	Response to Submissions	JRS	SMP
DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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project
Modification 13
80 PYRMONT STREET
PYRMONT NSW 2009

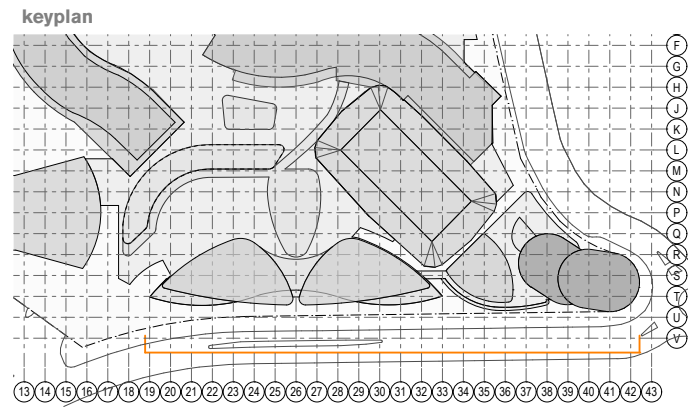
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**Overall Elevations
Southern Elevation**

scale	1:500 @ A1	first issued	1/9/17
project code	sheet no.	revision	
SM13	AF4004	DA02	



Pirrama Road Street Elevation

- GENERAL NOTES**
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
 - ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'
 - DO NOT SCALE DRAWINGS
 - USE FIGURED DIMENSIONS ONLY



legend

SITE BOUNDARY

EXISTING BUILT FORM

FACADE TYPES

- FT01 HOTEL FACADE**
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel.
- FT02 RESIDENTIAL FACADE**
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel. In 500-750mm randomised modules. Slot grille in spandrel for apartment horizontal ventilation. For location of fixed medium tinted horizontal shading louvre with building integrated PV panels to top side and various spandrel heights refer to detail elevations AF4103, AF4104 and AF2000 series plans.
- FT03 SKY LOBBY**
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT04 CLUB LOUNGE**
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT05 VERTICAL SLOT - EASTERN**
Dark coloured utilised cladding material
- FT06 CORE CLADDING**
Utilised medium tinted cladding with planters and grow wires located on specified levels to create a 'green seam'. See AF2000 plans and AF4003 for planter details.
- FT07 NEIGHBOURHOOD FACADE**
Point fixed framed high performance glazing with operable vertical timber shading elements.
- FT08 SANDSTONE PODIUM FACADE**
Sandstone or medium tinted sandstone coloured precast concrete facade panels and louvers on structural steel support.
- FT09 SHELL / RIBBON FACADE**
Opaque solid cladding panels on timber grid structure
- FT10 PODIUM GLAZING**
Aluminium framed high performance glazing units with concealed/exposed spandrel
- FT11 GREEN WALL**
Living green wall - plant selection to future details
- FT12 TOWER PLANT FACADE**
Aluminium framed fixed glass louvres with aluminium plant louvres behind
- FT13 PODIUM PLANT FACADE**
Stainless steel rolled bars with aluminium plant louvres behind
- FT14 JONES BAY WINDOW FACADE**
Aluminium framed high performance glazing with exposed feature spandrel
- FT15 GLAZED AWNING**
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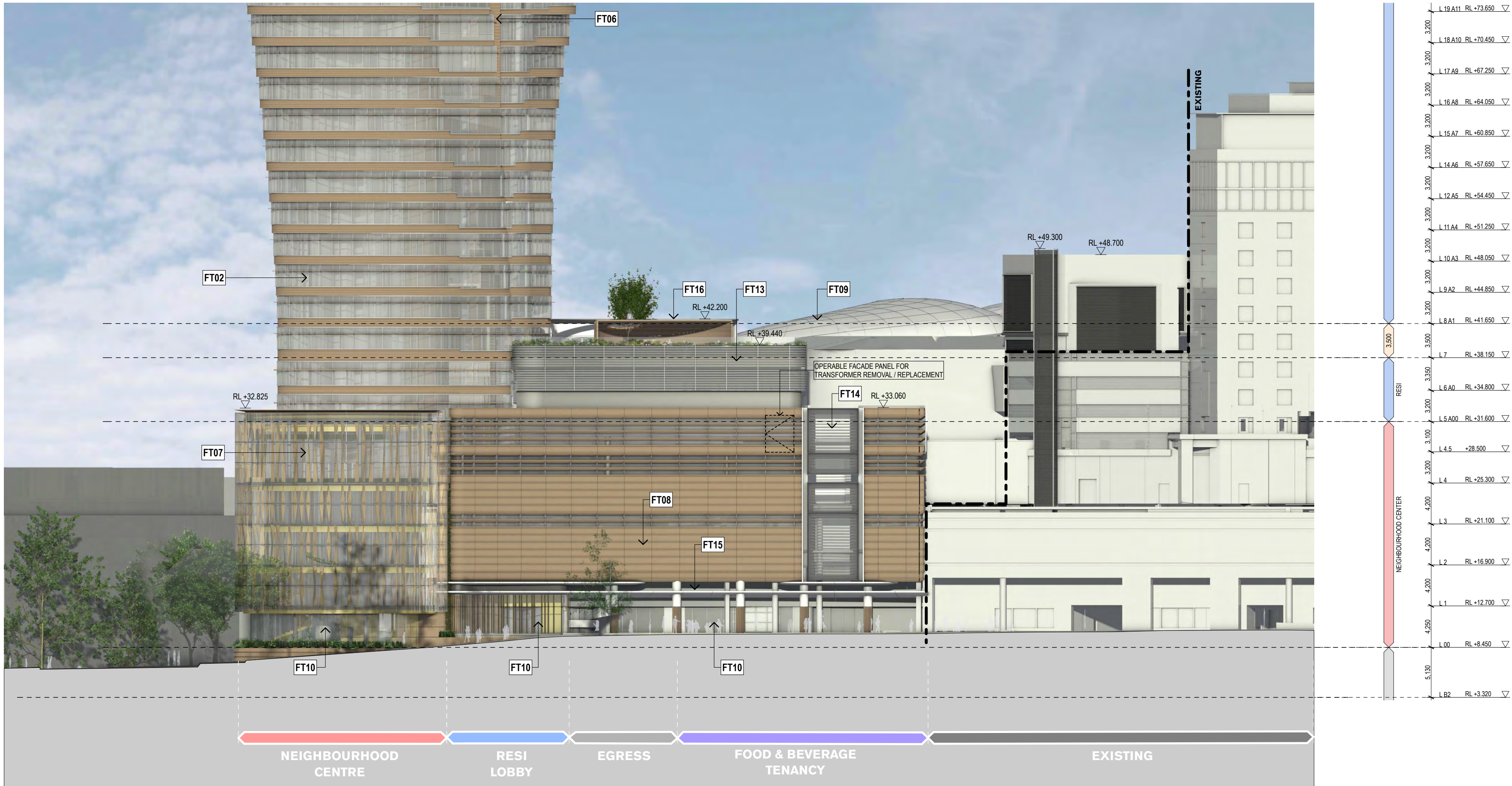
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title
Detail Elevations
Pirrama Road Street Elevation

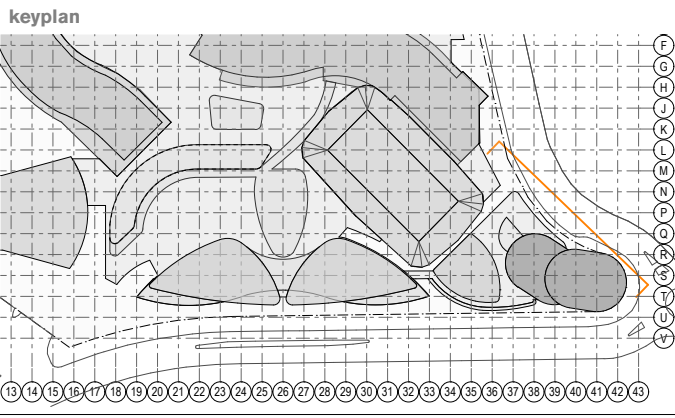
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project code	sheet no.	revision	
SM13	AF4101	DA02	



Jones Bay Road Street Elevation

GENERAL NOTES

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keyplan

legend

FACADE TYPES

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project
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title
Detail Elevations
Jones Bay Road Street Elevation

scale	1:300 @ A1	first issued	1/9/17
project code	sheet no.	revision	
SM13	AF4102	DA02	