

GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE
- CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'
- DO NOT SCALE DRAWINGS
- USE FIGURED DIMENSIONS ONLY

legend

BUILDING USE

- HOTEL
- HOTEL FACILITIES
- LOADING, PLANT
- LIFTS, FIRE STAIRS, SERVICES
- ANCILLARY, BOH
- CIRCULATION
- NEIGHBOURHOOD CENTRE
- RETAIL
- FOOD & BEVERAGE
- RESIDENTIAL
- RESIDENTIAL FACILITIES

SITE BOUNDARY

EXISTING BUILT FORM

EXISTING BUILT FORM

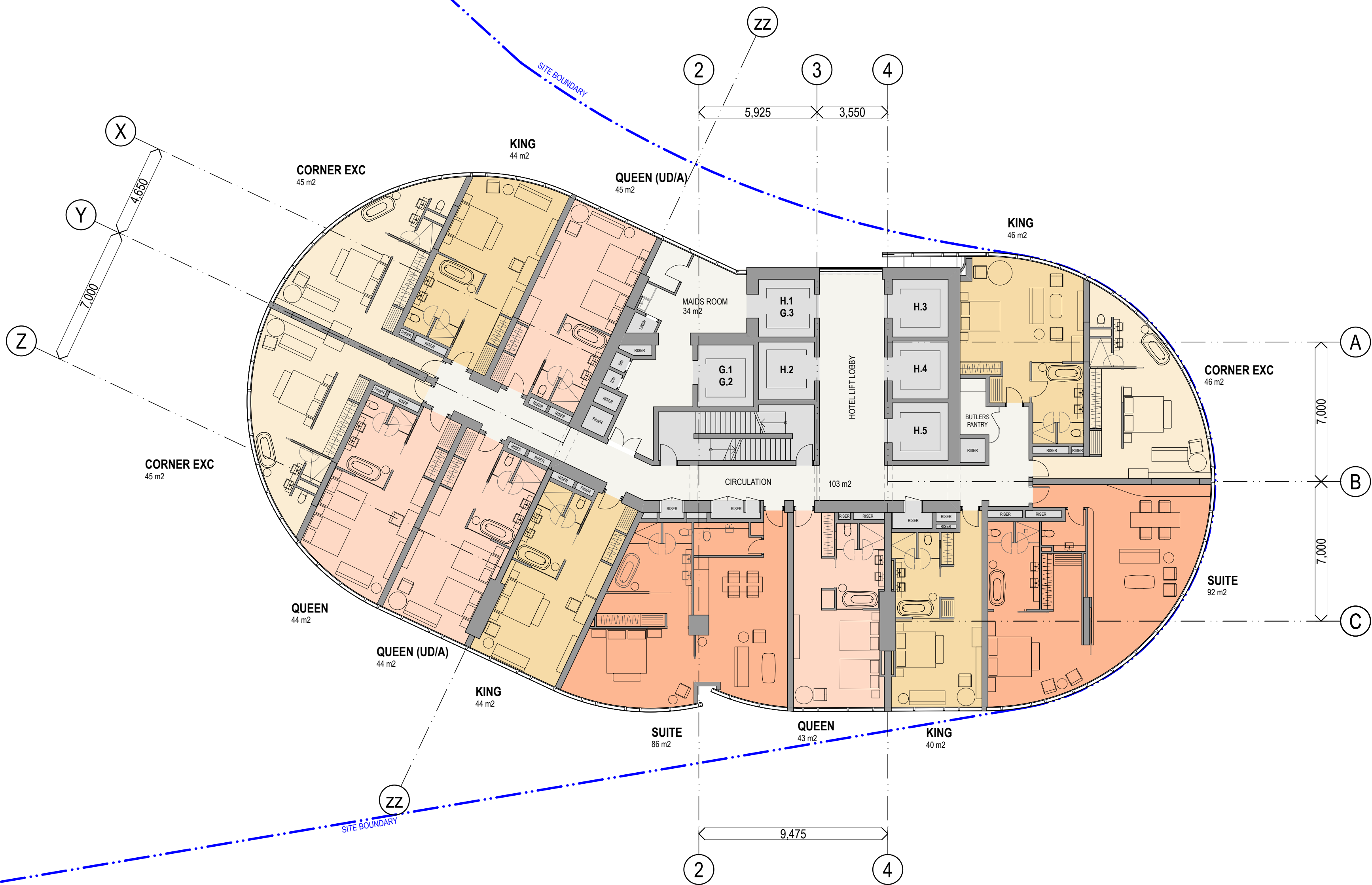
EXTENT OF CAR STACKER BELOW

- ADAPTABLE APARTMENT / HOTEL ROOM
- UNIVERSAL DESIGN

HOTEL TYPES

- DOUBLE QUEEN
- KING
- CORNER EXECUTIVE
- SUITE
- 2 LEVEL SUITE
- PRESIDENTIAL SUITE
- RITZ-CARLTON SUITE

NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN



DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

fjmt studio architecture interiors landscape urban community  
sydney melbourne uk  
Level 5, 70 King Street E +61 2 9251 7077 [fjmtstudio.com](http://fjmtstudio.com)














project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**General Arrangement Plans**  
**Level 46 - 57 Typical Hotel Floor Plan**

scale	1:150 @ A1	first issued	1/9/17
project code	sheet no.	revision	
SM13	AF2046	DA01	

legend

## BUILDING USE

- |   |                              |
|---|------------------------------|
|  | HOTEL                        |
|  | HOTEL FACILITIES             |
|  | LOADING, PLANT               |
|  | LIFTS, FIRE STAIRS, SERVICES |
|  | ANCILLARY, BOH               |
|  | CIRCULATION                  |
|  | NEIGHBOURHOOD CENTRE         |
|  | RETAIL                       |
|  | FOOD & BEVERAGE              |
|  | RESIDENTIAL                  |
|  | RESIDENTIAL FACILITIES       |

— • —  
SITE BOUNDARY

EXISTING BUILT FORM








EXISTING BUILT FORM

EXTENT OF CAR STACKER BELOW

A ADAPTABLE APARTMENT /  
HOTEL ROOM

UD UNIVERSAL DESIGN

## HOTEL TYPES

- |  |                    |
|--|--------------------|
|   | DOUBLE QUEEN       |
|   | KING               |
|   | CORNER EXECUTIVE   |
|   | SUITE              |
|   | 2 LEVEL SUITE      |
|   | PRESIDENTIAL SUITE |
|  | RITZ-CARLTON SUITE |

NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN

DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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fjmt

project

**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**General Arrangement Plans**  
**Level 58 Typical Hotel Floor Plan**

scale	1:150 @ A1	first issued	1/9/17
project code	sheet no.	revision	
<b>SM13</b>	<b>AF2058</b>	<b>DA01</b>	



GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE
- CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'
- DO NOT SCALE DRAWINGS
- USE FIGURED DIMENSIONS ONLY

legend

BUILDING USE

- HOTEL
- HOTEL FACILITIES
- LOADING, PLANT
- LIFTS, FIRE STAIRS, SERVICES
- ANCILLARY, BOH
- CIRCULATION
- NEIGHBOURHOOD CENTRE
- RETAIL
- FOOD & BEVERAGE
- RESIDENTIAL
- RESIDENTIAL FACILITIES

SITE BOUNDARY

EXISTING BUILT FORM

EXISTING BUILT FORM

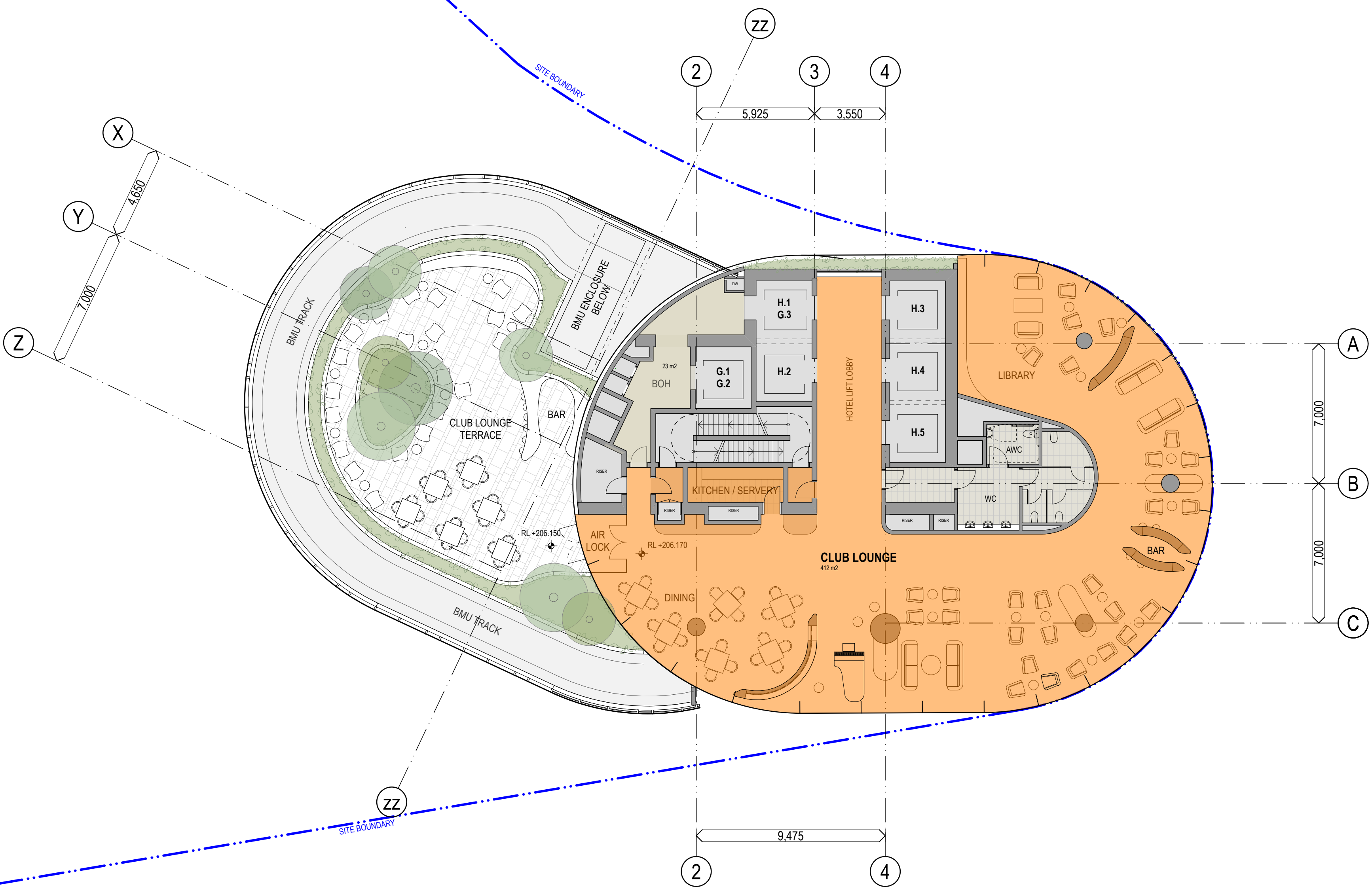
EXTENT OF CAR STACKER BELOW

- ADAPTABLE APARTMENT / HOTEL ROOM
- UNIVERSAL DESIGN

HOTEL TYPES

- DOUBLE QUEEN
- KING
- CORNER EXECUTIVE
- SUITE
- 2 LEVEL SUITE
- PRESIDENTIAL SUITE
- RITZ-CARLTON SUITE

NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN



DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**General Arrangement Plans**  
**Level 59 Club Lounge + Terrace Floor**  
**Plan**

scale 1:150 @ A1 first issued 1/9/17

project code SM13 sheet no. AF2059 revision DA01

GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE
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- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'
- DO NOT SCALE DRAWINGS
- USE FIGURED DIMENSIONS ONLY

legend

BUILDING USE

- HOTEL
- HOTEL FACILITIES
- LOADING, PLANT
- LIFTS, FIRE STAIRS, SERVICES
- ANCILLARY, BOH
- CIRCULATION
- NEIGHBOURHOOD CENTRE
- RETAIL
- FOOD & BEVERAGE
- RESIDENTIAL
- RESIDENTIAL FACILITIES

SITE BOUNDARY

EXISTING BUILT FORM

EXISTING BUILT FORM

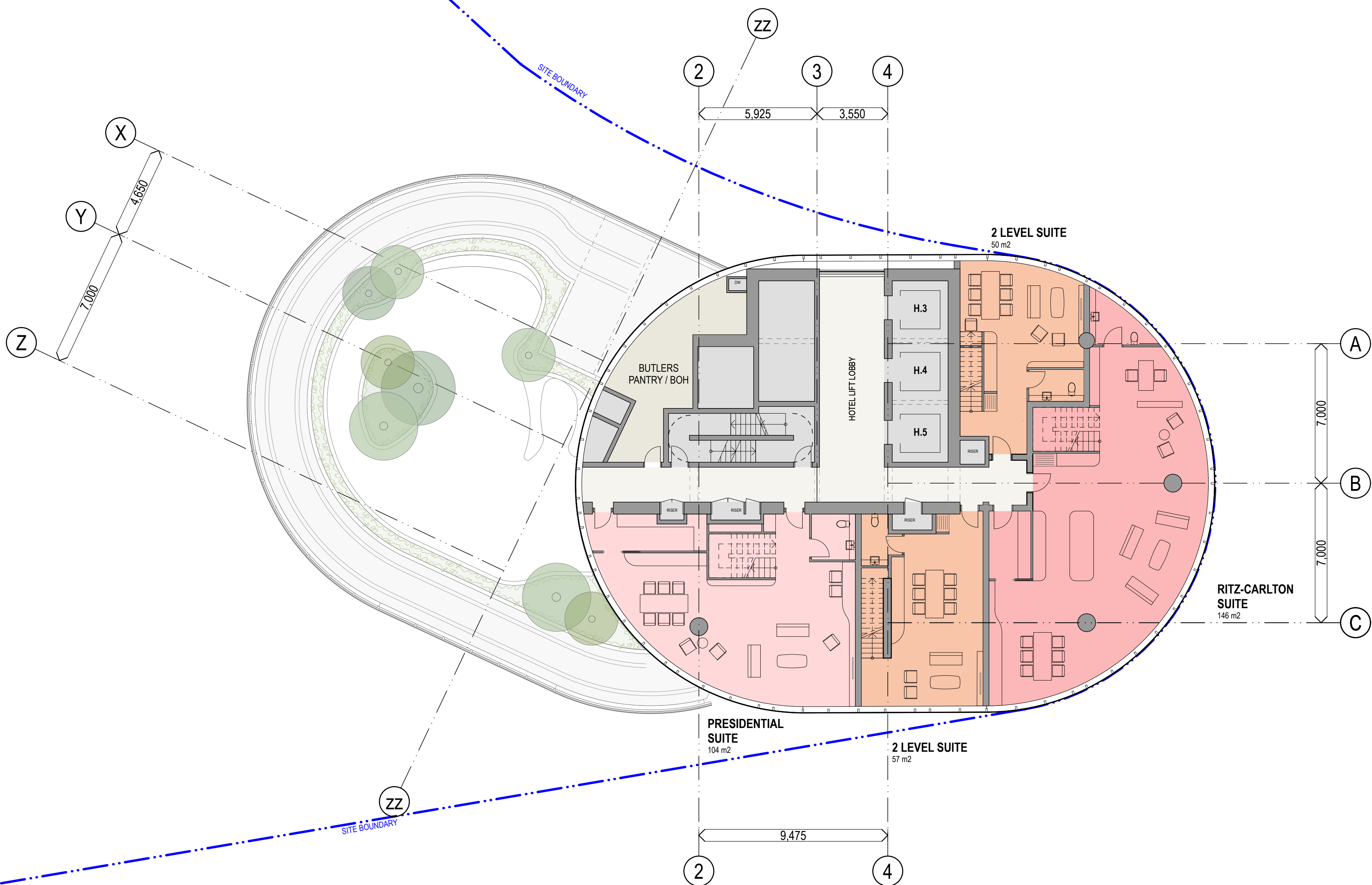
EXTENT OF CAR STACKER BELOW

- ADAPTABLE APARTMENT / HOTEL ROOM
- UNIVERSAL DESIGN

HOTEL TYPES

- DOUBLE QUEEN
- KING
- CORNER EXECUTIVE
- SUITE
- 2 LEVEL SUITE
- PRESIDENTIAL SUITE
- RITZ-CARLTON SUITE

NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN



DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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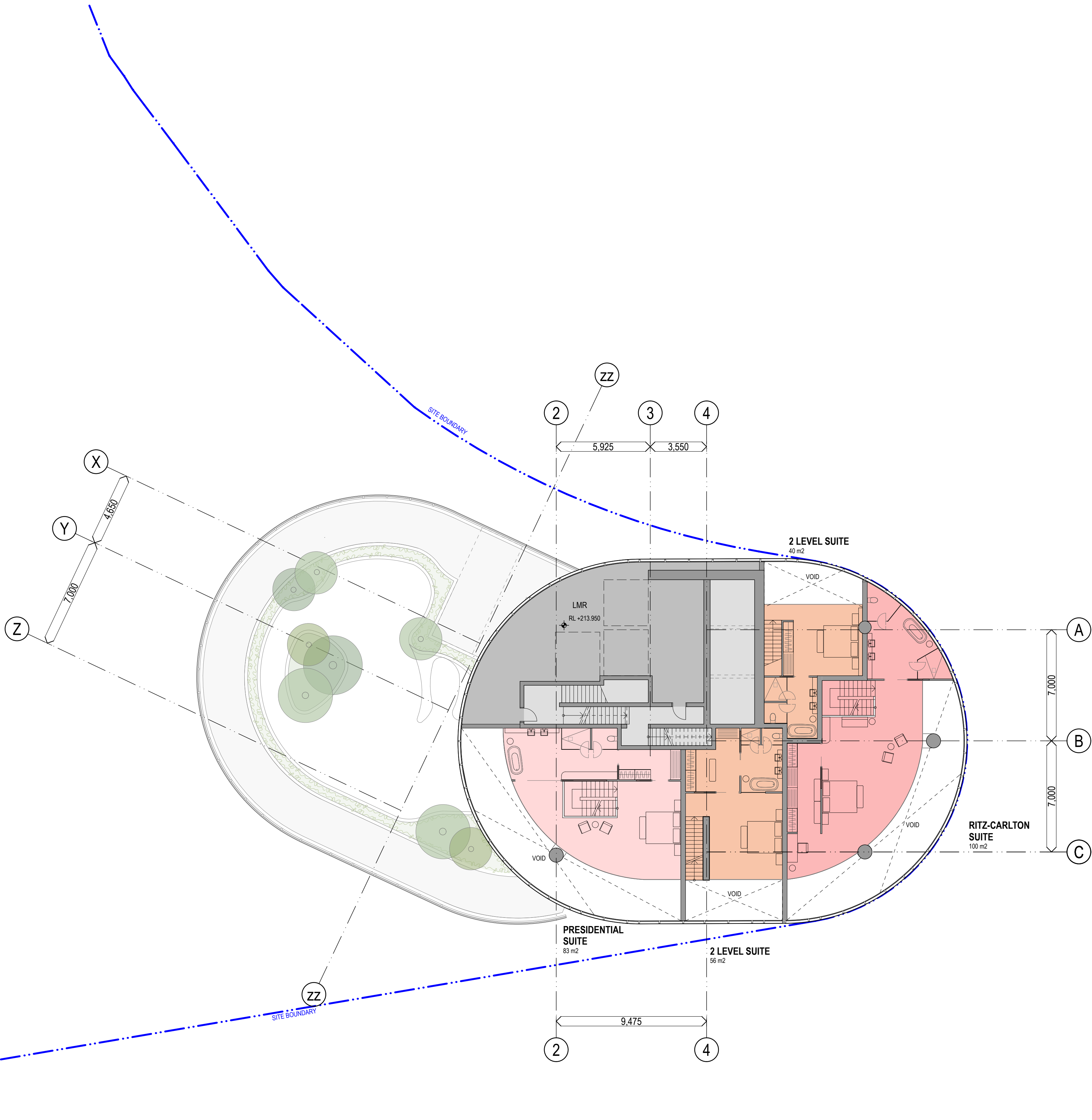


project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**General Arrangement Plans**  
**Level 60 Sky Villa Floor Plan**

scale	1:150 @ A1	first issued	1/9/17
project code	sheet no.	revision	
SM13	AF2060	DA01	





**GENERAL NOTES**

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'
- DO NOT SCALE DRAWINGS
- USE FIGURED DIMENSIONS ONLY

BUILDING USE	
	HOTEL
	HOTEL FACILITIES
	LOADING, PLANT
	LIFTS, FIRE STAIRS, SERVICES
	ANCILLARY, BOH
	CIRCULATION
	NEIGHBOURHOOD CENTRE
	RETAIL
	FOOD & BEVERAGE
	RESIDENTIAL
	RESIDENTIAL FACILITIES
SITE BOUNDARY	
EXISTING BUILT FORM	
EXISTING BUILT FORM	
EXTENT OF CAR STACKER BELOW	

<b>A</b>	ADAPTABLE APARTMENT / HOTEL ROOM
<b>UD</b>	UNIVERSAL DESIGN
HOTEL TYPES	
	DOUBLE QUEEN
	KING
	CORNER EXECUTIVE
	SUITE
	2 LEVEL SUITE
	PRESIDENTIAL SUITE
	RITZ-CARLTON SUITE

NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN

DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**General Arrangement Plans**  
**Level 61 Sky Villa Floor Plan**

scale	1:150 @ A1	first issued	1/9/17
project code	sheet no.	revision	
<b>SM13</b>	<b>AF2061</b>	<b>DA01</b>	

GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE
- CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'
- DO NOT SCALE DRAWINGS
- USE FIGURED DIMENSIONS ONLY

legend

BUILDING USE

- HOTEL
- HOTEL FACILITIES
- LOADING, PLANT
- LIFTS, FIRE STAIRS, SERVICES
- ANCILLARY, BOH
- CIRCULATION
- NEIGHBOURHOOD CENTRE
- RETAIL
- FOOD & BEVERAGE
- RESIDENTIAL
- RESIDENTIAL FACILITIES

SITE BOUNDARY

EXISTING BUILT FORM

EXISTING BUILT FORM

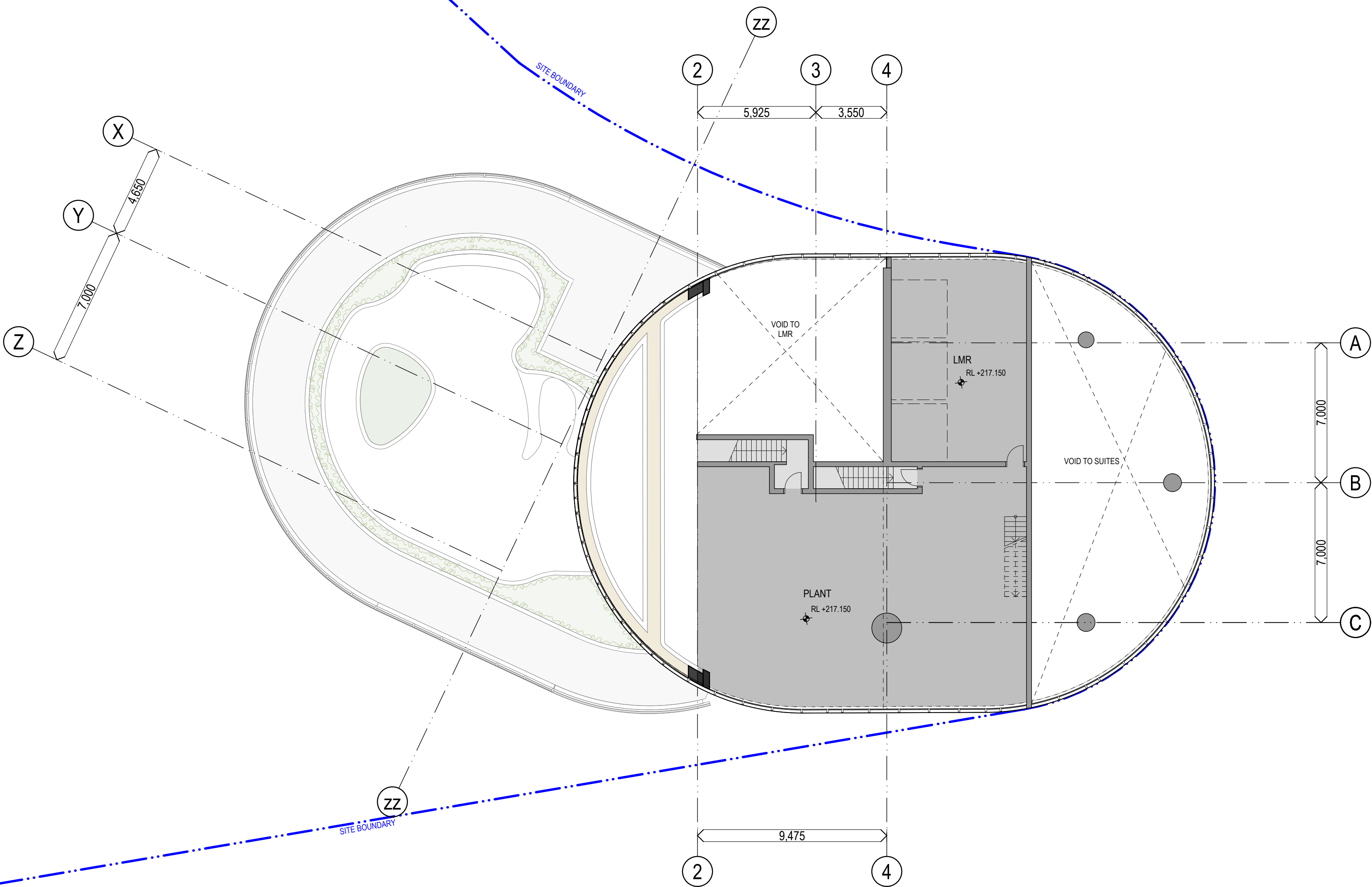
EXTENT OF CAR STACKER BELOW

- A ADAPTABLE APARTMENT / HOTEL ROOM
- UD UNIVERSAL DESIGN

HOTEL TYPES

- DOUBLE QUEEN
- KING
- CORNER EXECUTIVE
- SUITE
- 2 LEVEL SUITE
- PRESIDENTIAL SUITE
- RITZ-CARLTON SUITE

NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN



DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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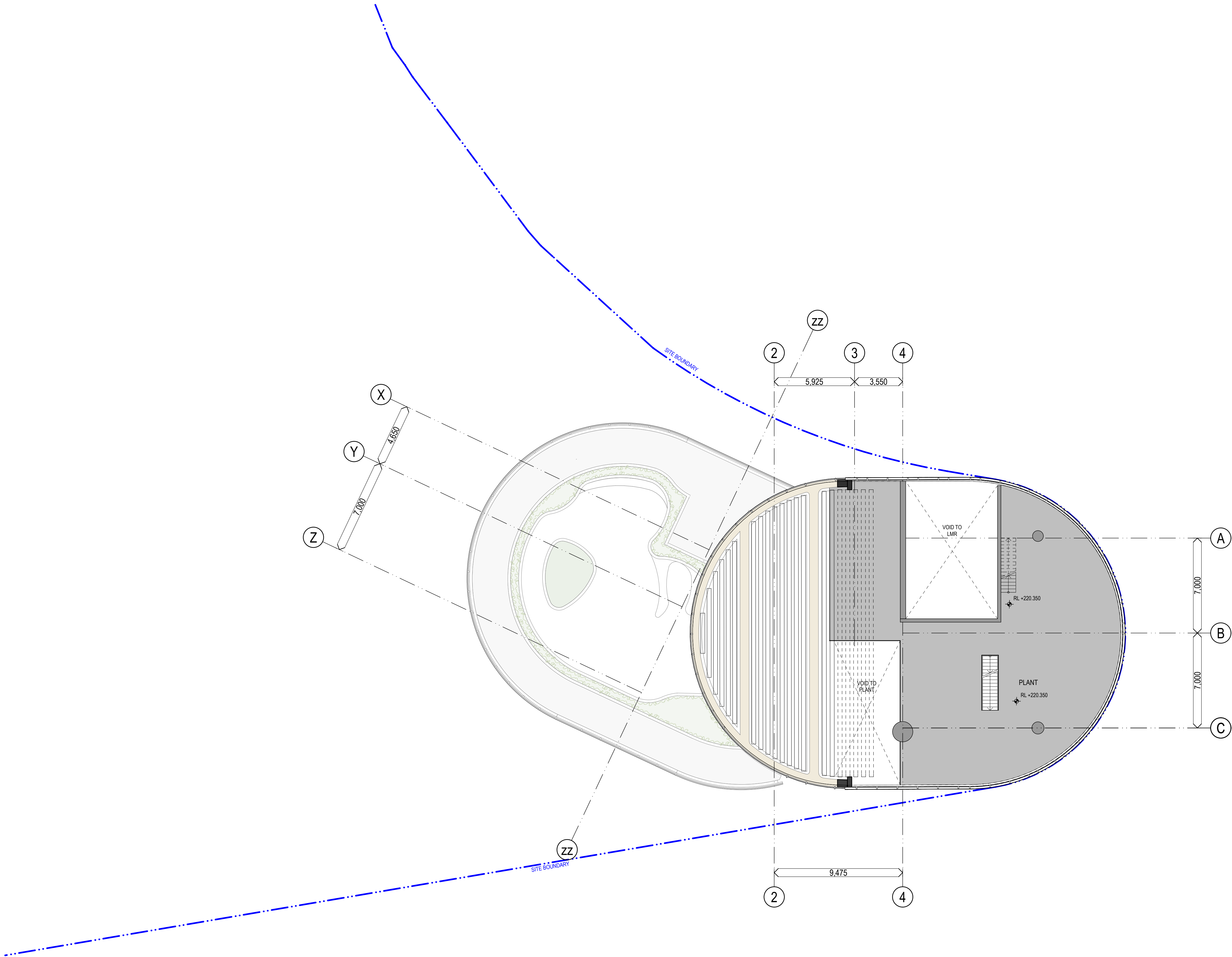


project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**General Arrangement Plans**  
**Level 62 Roof Plant Floor Plan**

scale	1:150 @ A1	first issued	1/9/17
project code	sheet no.	revision	
SM13	AF2062	DA01	





**GENERAL NOTES**

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'
- DO NOT SCALE DRAWINGS
- USE FIGURED DIMENSIONS ONLY

legend	
<b>BUILDING USE</b>	
	HOTEL
	HOTEL FACILITIES
	LOADING, PLANT
	LIFTS, FIRE STAIRS, SERVICES
	ANCILLARY, BOH
	CIRCULATION
	NEIGHBOURHOOD CENTRE
	RETAIL
	FOOD & BEVERAGE
	RESIDENTIAL
	RESIDENTIAL FACILITIES
SITE BOUNDARY	
EXISTING BUILT FORM	
EXISTING BUILT FORM	
EXTENT OF CAR STACKER BELOW	

<b>A</b>	ADAPTABLE APARTMENT / HOTEL ROOM
<b>UD</b>	UNIVERSAL DESIGN
<b>HOTEL TYPES</b>	
	DOUBLE QUEEN
	KING
	CORNER EXECUTIVE
	SUITE
	2 LEVEL SUITE
	PRESIDENTIAL SUITE
	RITZ-CARLTON SUITE

NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN

DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**General Arrangement Plans**  
**Level 63 Roof Plant Floor Plan**

scale	1:150 @ A1	first issued	1/9/17
project code	sheet no.	revision	
<b>SM13</b>	<b>AF2063</b>	<b>DA01</b>	

GENERAL NOTES

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- USE FIGURED DIMENSIONS ONLY

legend

BUILDING USE

- HOTEL
- HOTEL FACILITIES
- LOADING, PLANT
- LIFTS, FIRE STAIRS, SERVICES
- ANCILLARY, BOH
- CIRCULATION
- NEIGHBOURHOOD CENTRE
- RETAIL
- FOOD & BEVERAGE
- RESIDENTIAL
- RESIDENTIAL FACILITIES

SITE BOUNDARY

EXISTING BUILT FORM

EXISTING BUILT FORM

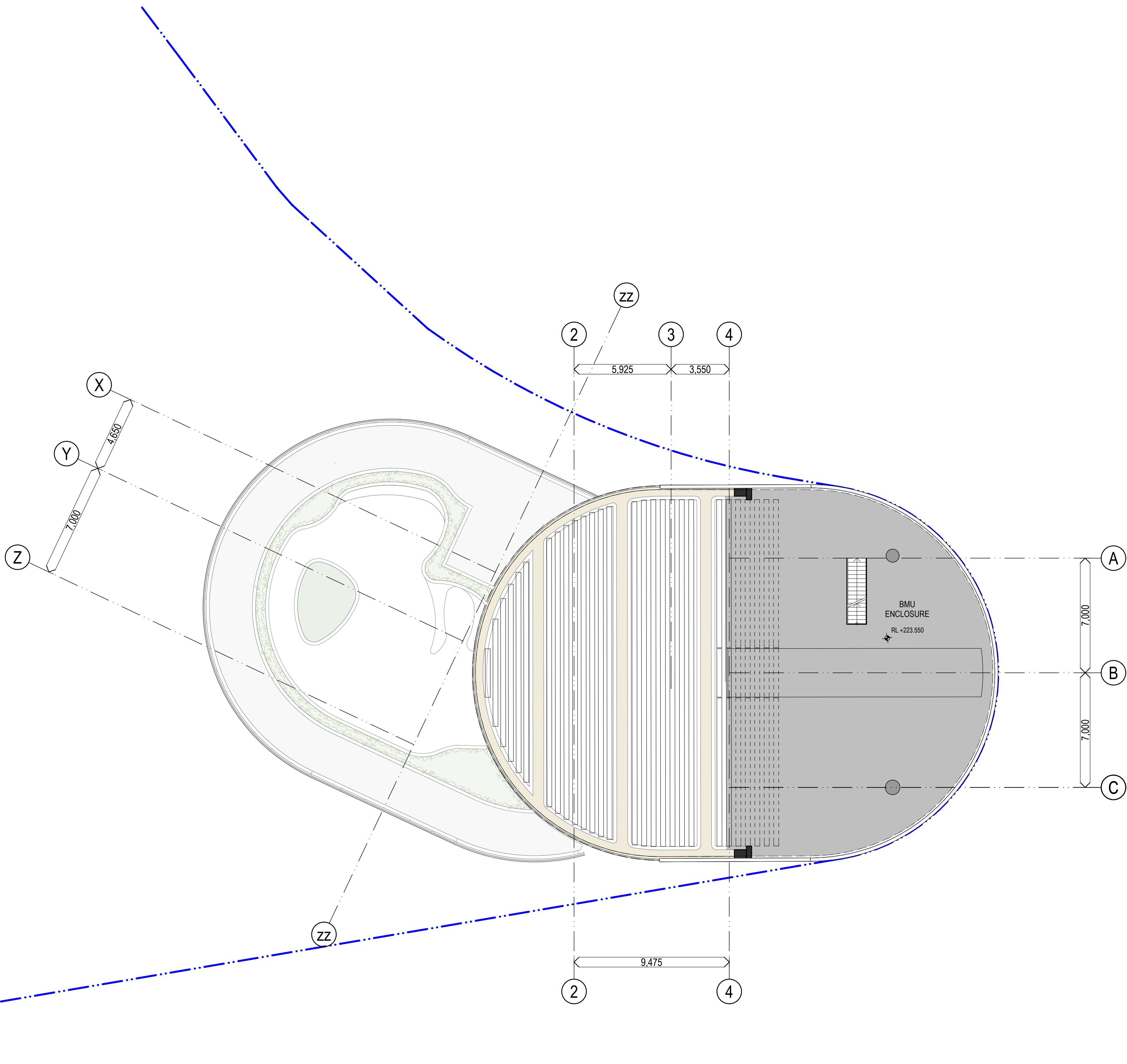
EXTENT OF CAR STACKER BELOW

- ADAPTABLE APARTMENT / HOTEL ROOM
- UNIVERSAL DESIGN

HOTEL TYPES

- DOUBLE QUEEN
- KING
- CORNER EXECUTIVE
- SUITE
- 2 LEVEL SUITE
- PRESIDENTIAL SUITE
- RITZ-CARLTON SUITE

NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN



DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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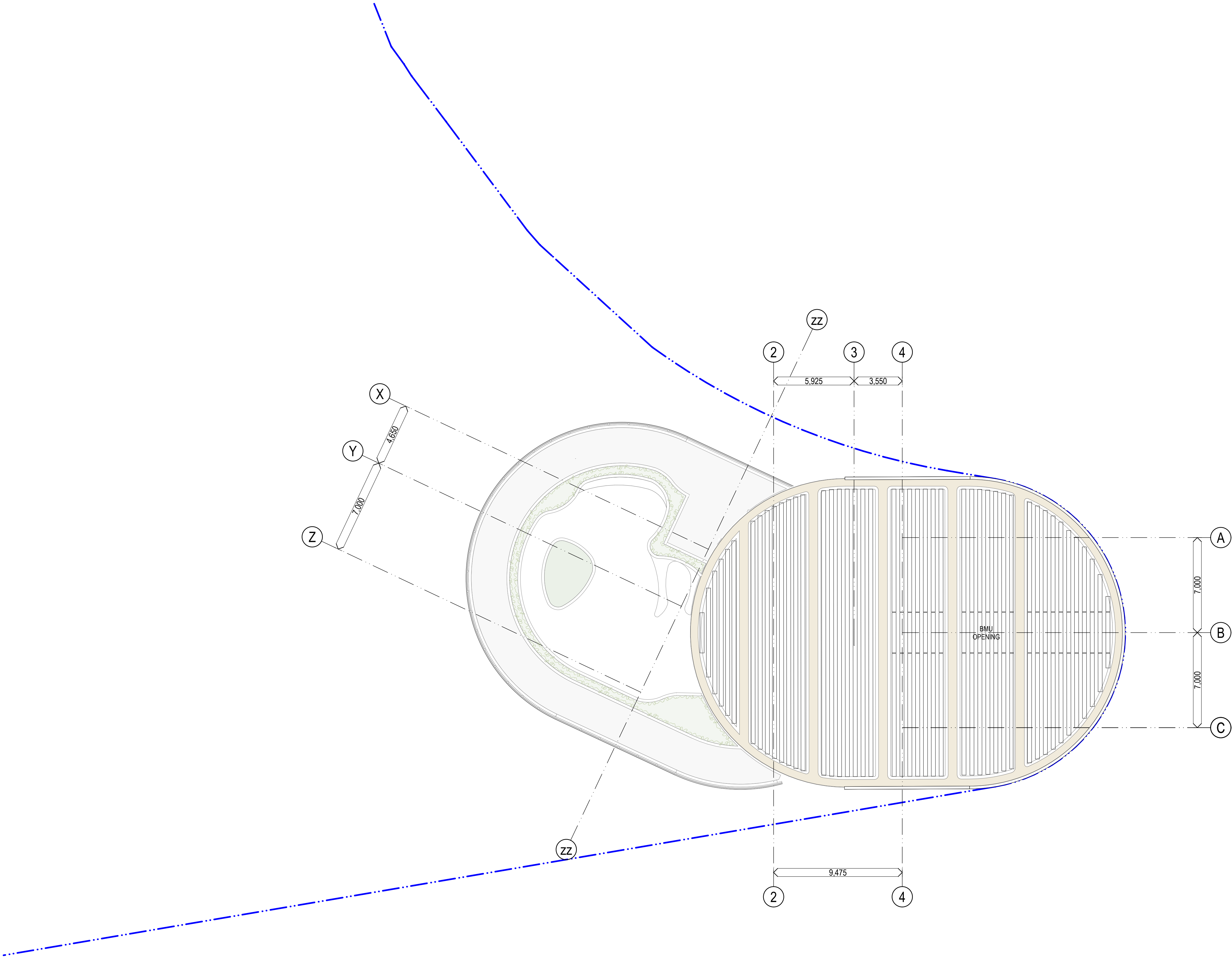


project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**General Arrangement Plans**  
**Level 64 Roof Plant Floor Plan**

scale	1:150 @ A1	first issued	1/9/17
project code	sheet no.	revision	
SM13	AF2064	DA01	





**GENERAL NOTES**

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legend

**BUILDING USE**

- HOTEL
- HOTEL FACILITIES
- LOADING, PLANT
- LIFTS, FIRE STAIRS, SERVICES
- ANCILLARY, BOH
- CIRCULATION
- NEIGHBOURHOOD CENTRE
- RETAIL
- FOOD & BEVERAGE
- RESIDENTIAL
- RESIDENTIAL FACILITIES

**SITE BOUNDARY**

**EXISTING BUILT FORM**

**EXISTING BUILT FORM**

**EXTENT OF CAR STACKER BELOW**

**A** ADAPTABLE APARTMENT / HOTEL ROOM

**UD** UNIVERSAL DESIGN

**HOTEL TYPES**

- DOUBLE QUEEN
- KING
- CORNER EXECUTIVE
- SUITE
- 2 LEVEL SUITE
- PRESIDENTIAL SUITE
- RITZ-CARLTON SUITE

NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN

DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

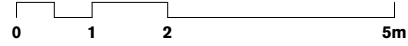
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project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

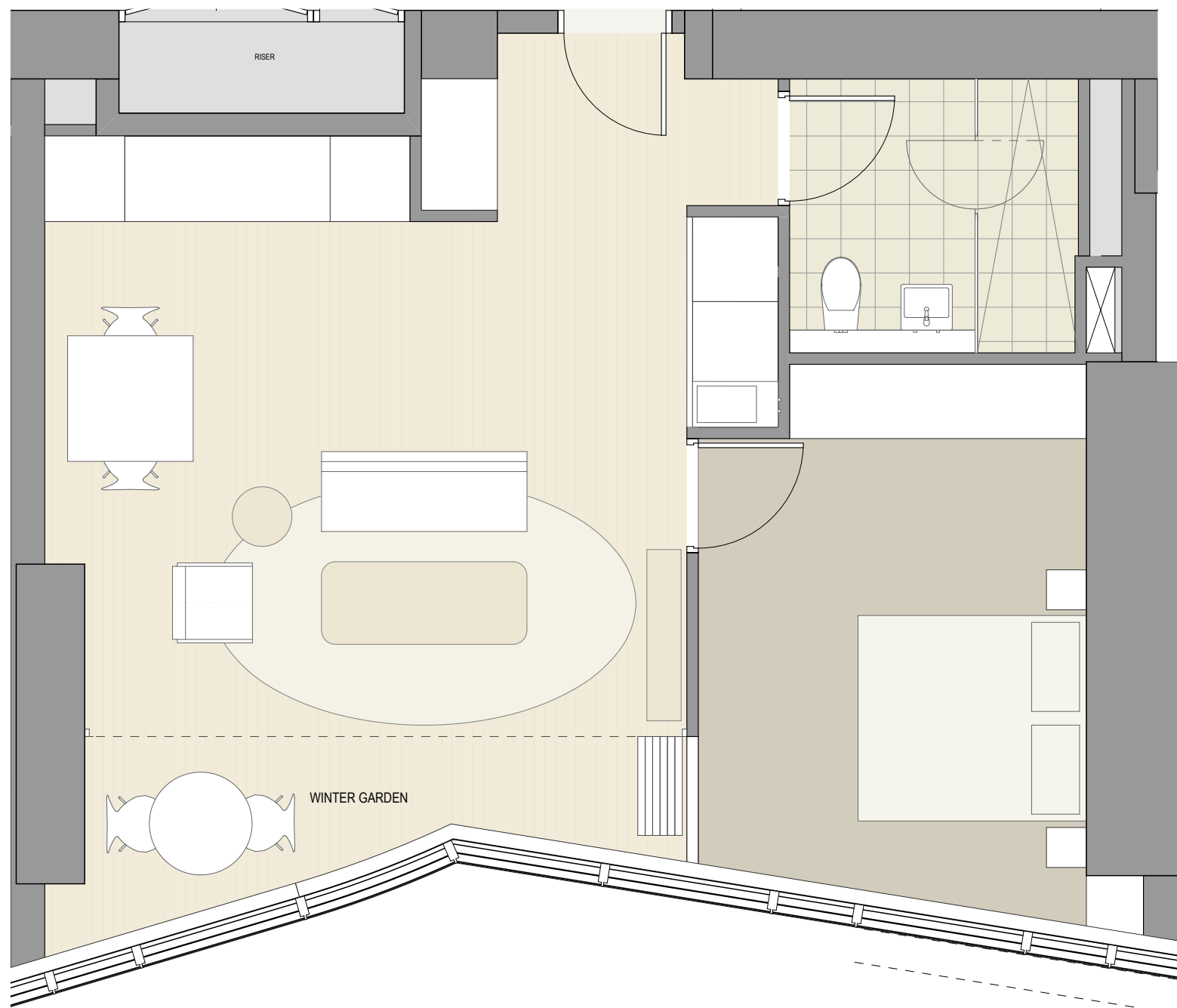
title  
**General Arrangement Plans**  
**Level 65 Roof Plan**

scale	1:150 @ A1	first issued	1/9/17
project code	sheet no.	revision	
SM13	AF2065	DA01	

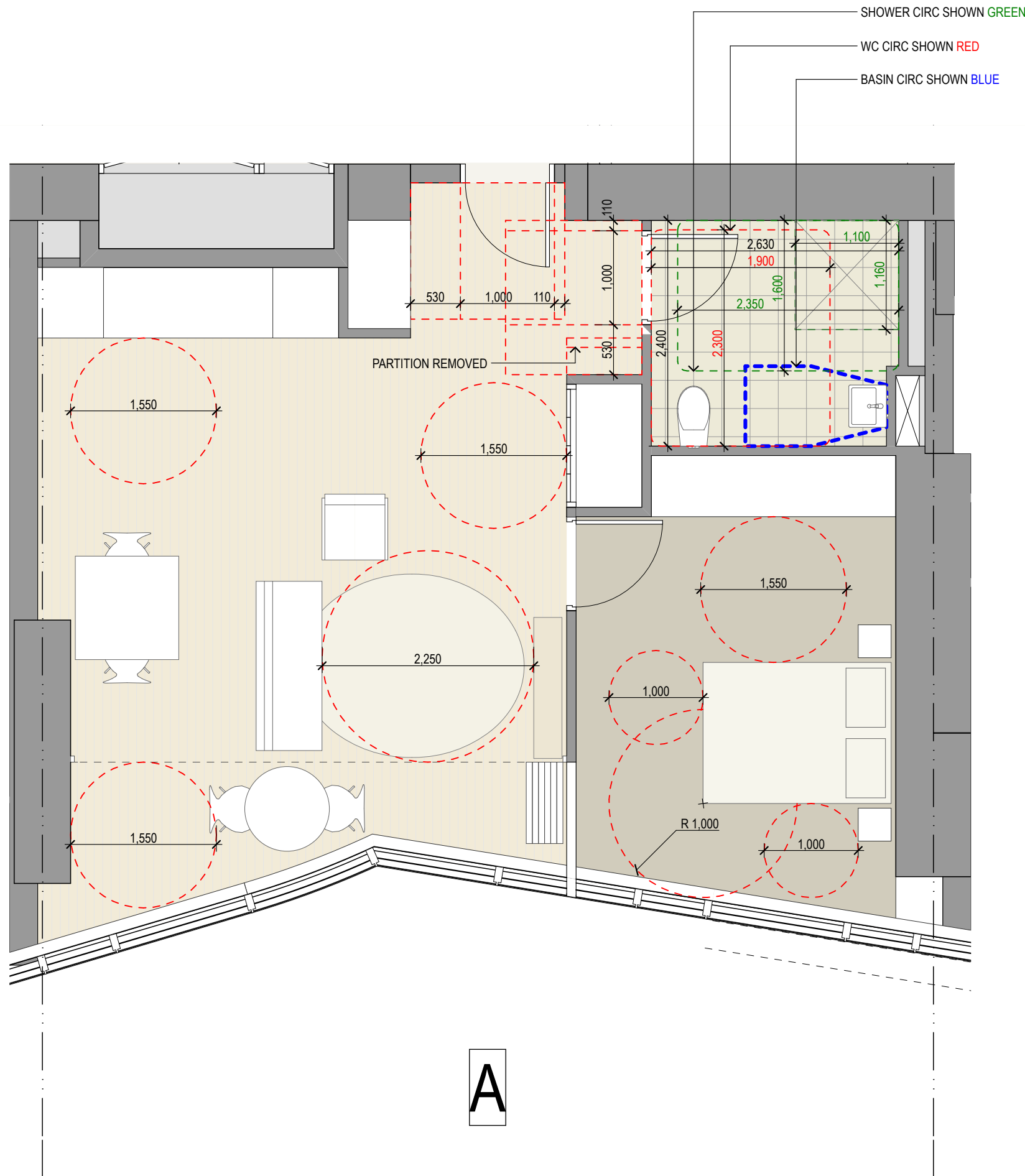


- GENERAL NOTES**
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  - CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
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  - USE FIGURED DIMENSIONS ONLY

legend



**1** PLAN Pre-adaptation 1 Bed L15  
1:50



**2** PLAN Post-adaptation 1 Bed L15  
1:50

A

DRAWINGS ILLUSTRATE TYPICAL SCENARIOS FOR ADAPTABLE APARTMENTS. ADAPTABLE APARTMENTS AND UNIVERSAL DESIGN ALLOCATION AS PER DESIGN REPORT AND STATEMENT.

## 1 BED ADAPTABLE APARTMENTS ON L05, L06, L15-19

DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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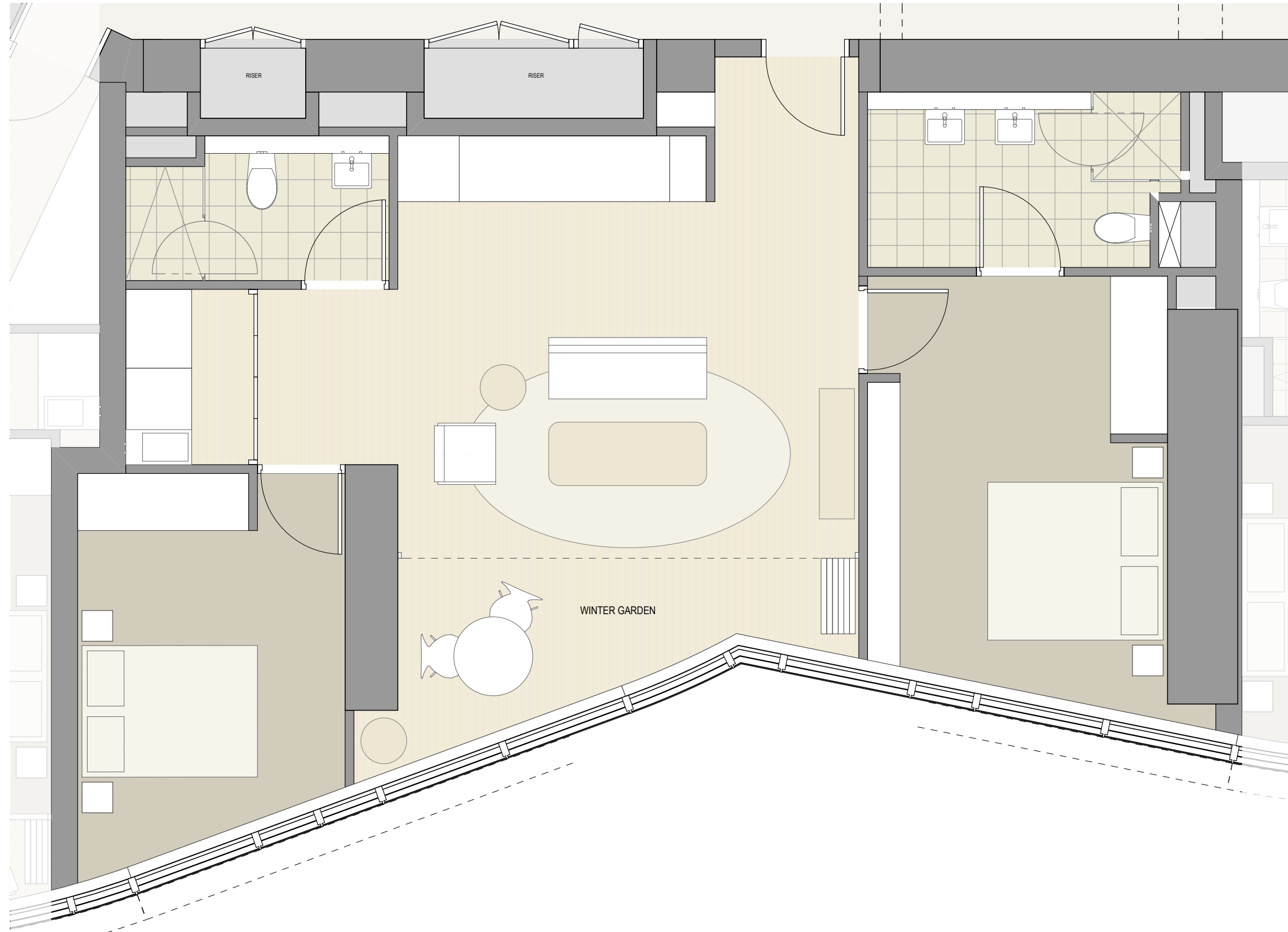


project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**General Arrangement Plans**  
**Adaptable Apartments Typical 1 Bed**

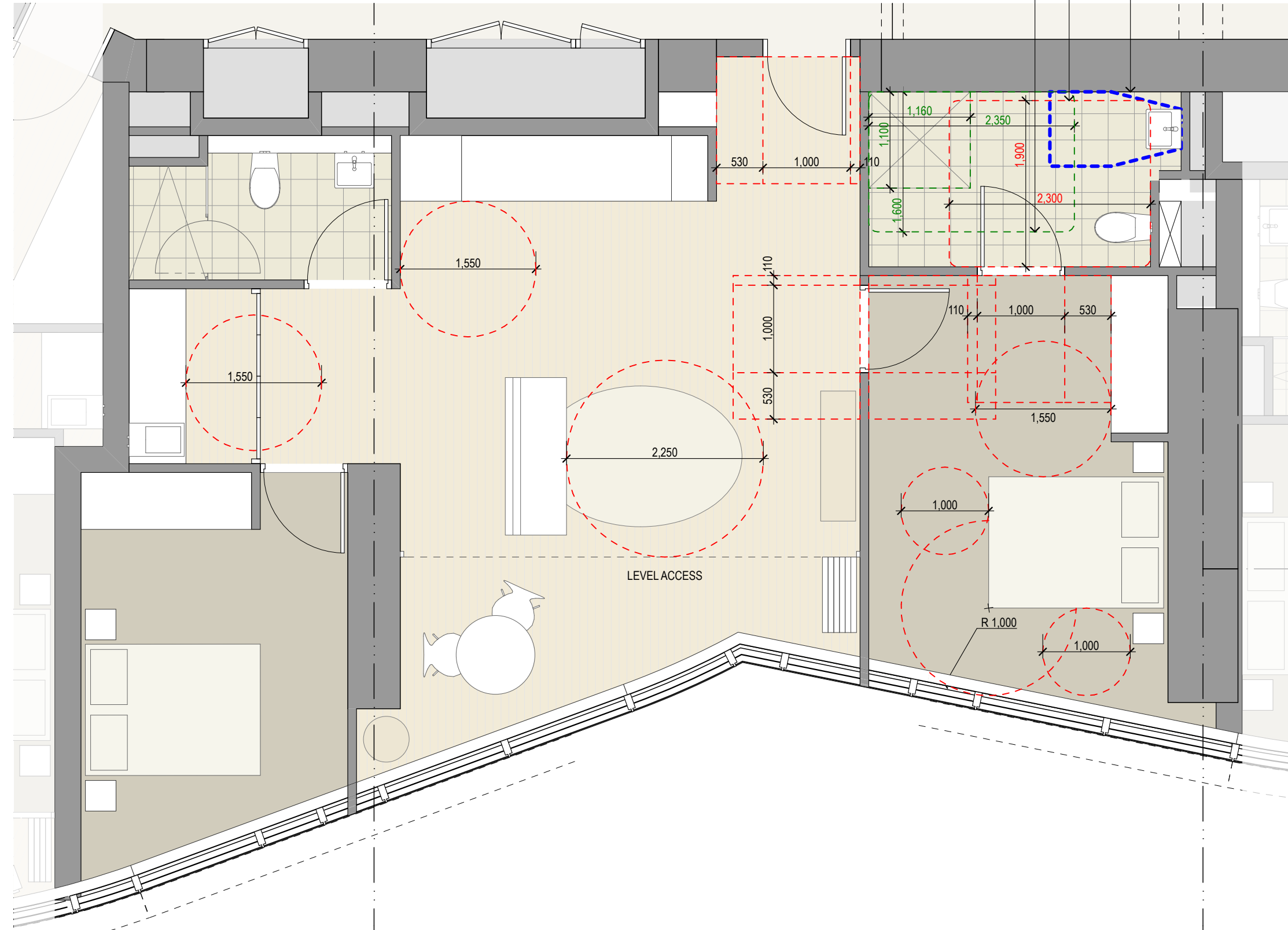
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project code	sheet no.	revision	
<b>SM13</b>	<b>AF2501</b>	<b>DA01</b>	



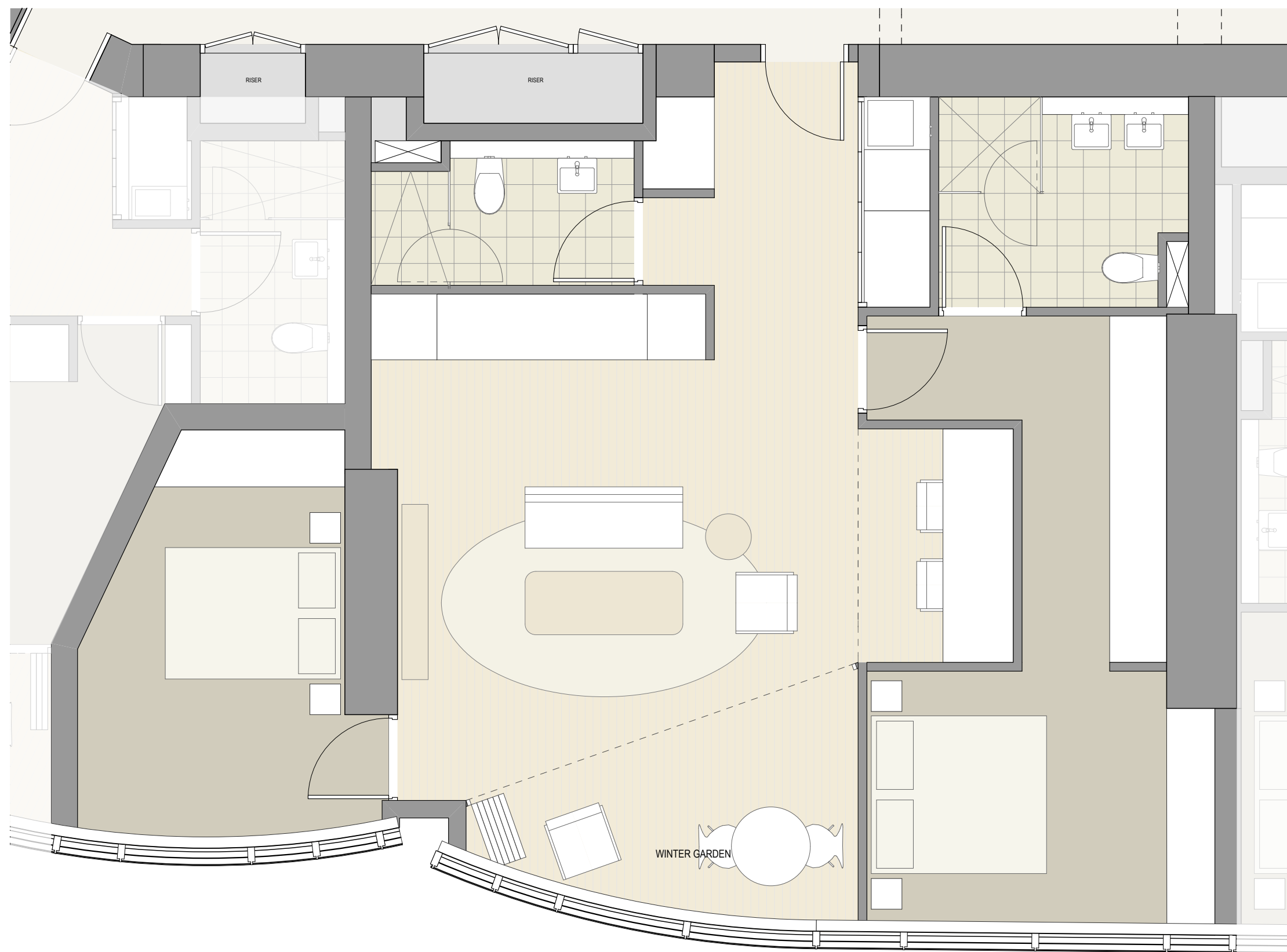


1 PLAN Pre-adaptation 2 Bed L08  
1:50

## 2 BED ADAPTABLE APARTMENTS ON L08-14

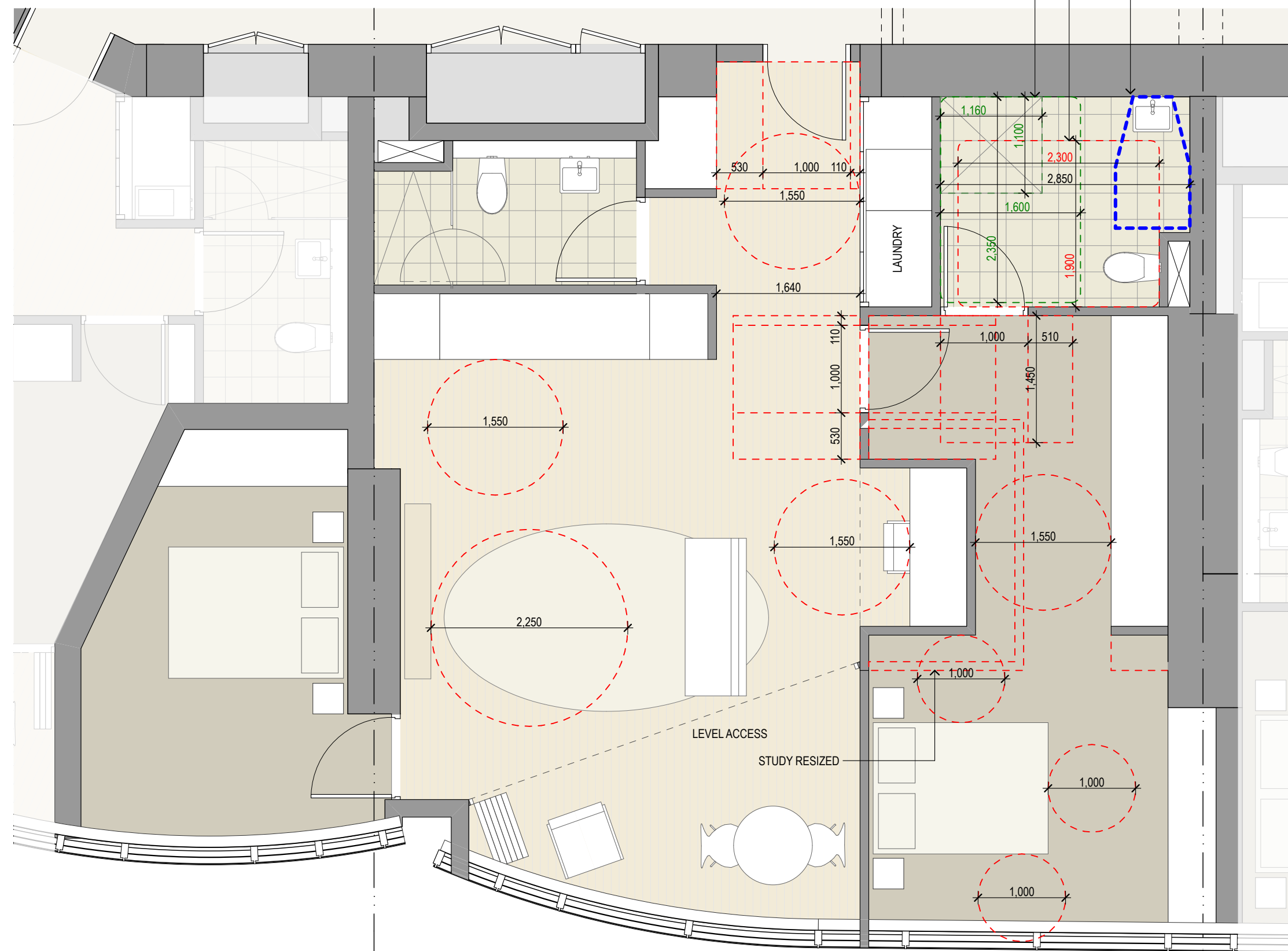


2 PLAN Post-adaptation 2 Bed L08  
1:50



3 PLAN Pre-adaptation 2 Bed L08  
1:50

## 2 BED ADAPTABLE APARTMENTS ON L22-24



4 PLAN Post-adaptation 2 Bed L08  
1:50

0 1 2 5m

**GENERAL NOTES**

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- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'
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- USE FIGURED DIMENSIONS ONLY

legend

DRAWINGS ILLUSTRATE TYPICAL SCENARIOS FOR ADAPTABLE APARTMENTS. ADAPTABLE APARTMENTS AND UNIVERSAL DESIGN ALLOCATION AS PER DESIGN REPORT AND STATEMENT.

DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**General Arrangement Plans**  
**Adaptable Apartments Typical 2 Bed**

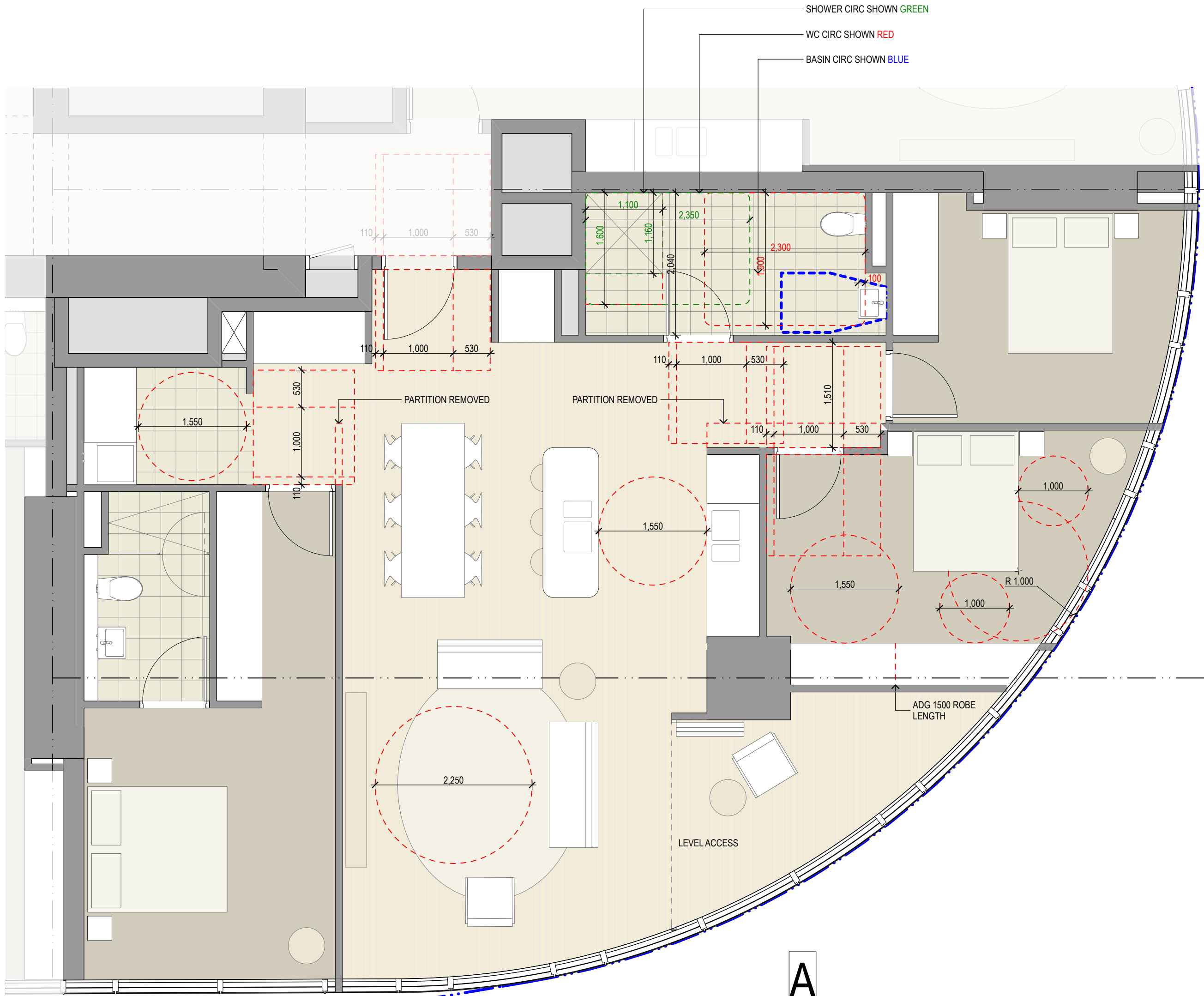
scale	1:100 @ A1	first issued	1/9/17
project code	sheet no.	revision	
SM13	AF2502	DA01	

- GENERAL NOTES**
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE
  - CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
  - ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'
  - DO NOT SCALE DRAWINGS
  - USE FIGURED DIMENSIONS ONLY

legend



**1** PLAN Pre-adaptation 3 Bed L29  
1:50



**2** PLAN Post-adaptation 3 Bed L29  
1:50

DRAWINGS ILLUSTRATE TYPICAL SCENARIOS FOR ADAPTABLE APARTMENTS. ADAPTABLE APARTMENTS AND UNIVERSAL DESIGN ALLOCATION AS PER DESIGN REPORT AND STATEMENT.

### 3 BED ADAPTABLE APARTMENTS ON L20, L21, L25-38

DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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Level 5, 70 King Street E +61 2 9251 7077 [fjmtstudio.com](http://fjmtstudio.com)

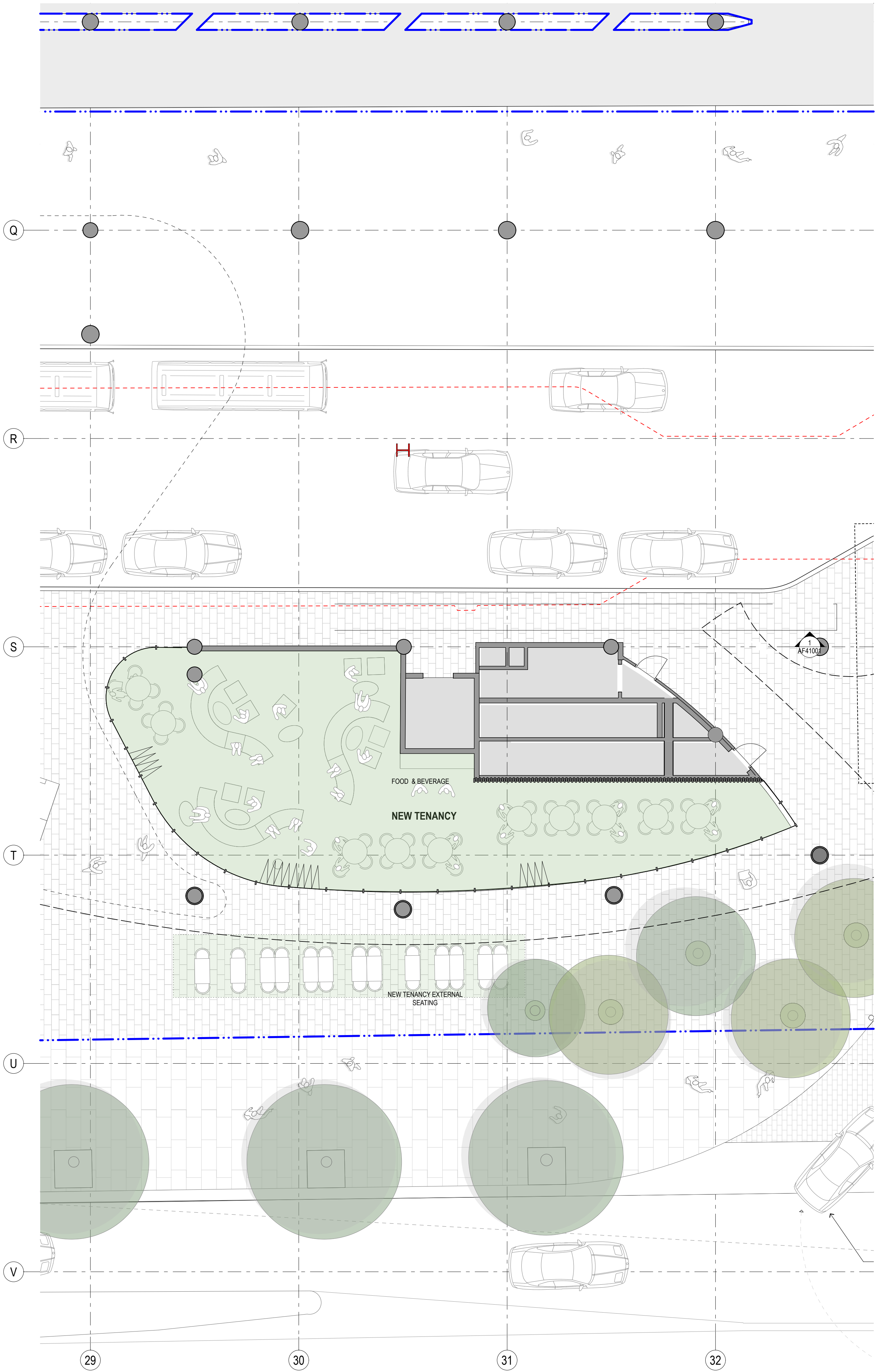
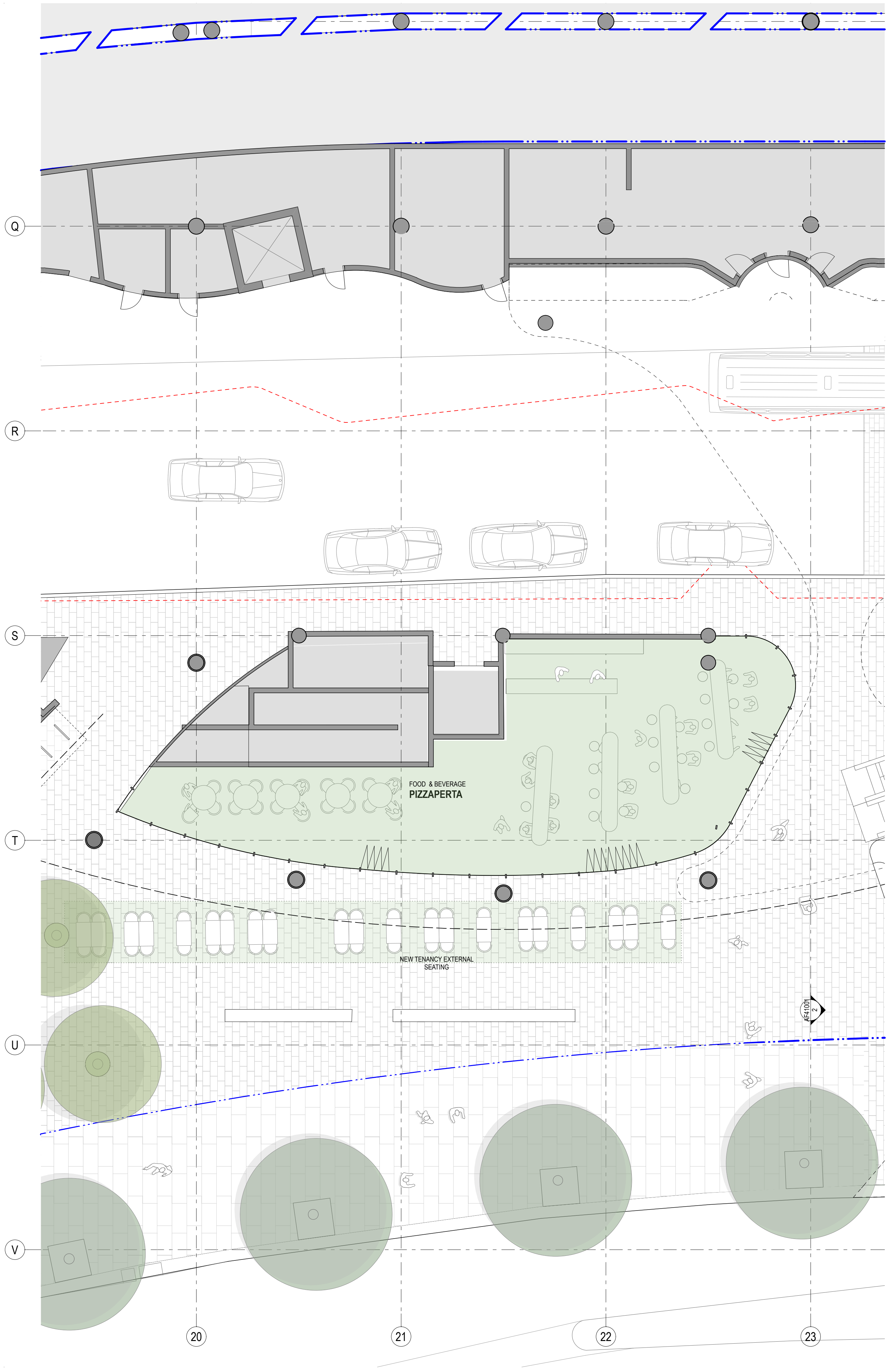


project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**General Arrangement Plans**  
**Adaptable Apartments Typical 3 Bed**

scale	1:100 @ A1	first issued	1/9/17
project code	sheet no.	revision	
<b>SM13</b>	<b>AF2503</b>	<b>DA01</b>	





**GENERAL NOTES**

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- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM
- DO NOT SCALE DRAWINGS
- USE FIGURED DIMENSIONS ONLY

**LEGEND**

**BUILDING USE**

- HOTEL
- HOTEL FACILITIES
- LOADING, PLANT
- LIFTS, FIRE STAIRS, SERVICES
- ANCILLARY, BOH
- CIRCULATION
- NEIGHBOURHOOD CENTRE
- RETAIL
- FOOD & BEVERAGE
- RESIDENTIAL
- RESIDENTIAL FACILITIES

**SYMBOLS**

- SITE BOUNDARY
- EXISTING BUILT FORM
- EXISTING BUILT FORM
- EXTENT OF CAR STACKER BELOW

EXTEND OF MODIFICATION 13 WORK AS SHOWN ON FJMT DOCUMENT REFER TO DWP DRAWING FOR FULL EXTEND & DEMARCATION OF MODIFICATION 13 WORK.

**NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN**

DA02 2/11/18 Response to Submissions JRS SMP  
DA01 1/9/17 DEVELOPMENT APPLICATION NY SMP  
rev date name by chk

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**project**  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

**title**  
**Fit Out Plans**  
**B2 FFE Floor Plan**

scale 1:150 @ A1 first issued 1/9/17  
project code sheet no. revision  
**SM13 AF3000 DA02**



Legend

**BUILDING USE**

- |  |                              |
|--|------------------------------|
|  | HOTEL                        |
|  | HOTEL FACILITIES             |
|  | LOADING, PLANT               |
|  | LIFTS, FIRE STAIRS, SERVICES |
|  | ANCILLARY, BOH               |
|  | CIRCULATION                  |
|  | NEIGHBOURHOOD CENTRE         |
|  | RETAIL                       |
|  | FOOD & BEVERAGE              |
|  | RESIDENTIAL                  |
|  | RESIDENTIAL FACILITIES       |

SITE BOUNDARY

EXISTING BUILT FORM

EXISTING BUILT FORM

EXTENT OF CAR STACKER BELOW

EXTEND OF MODIFICATION 13 WORK AS  
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DWP DRAWING FOR FULL EXTEND &  
DEMARCATON OF MODIFICATION 13 WORK.

**NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1, UPDATES AS REQUIRED AT DETAILED DESIGN**



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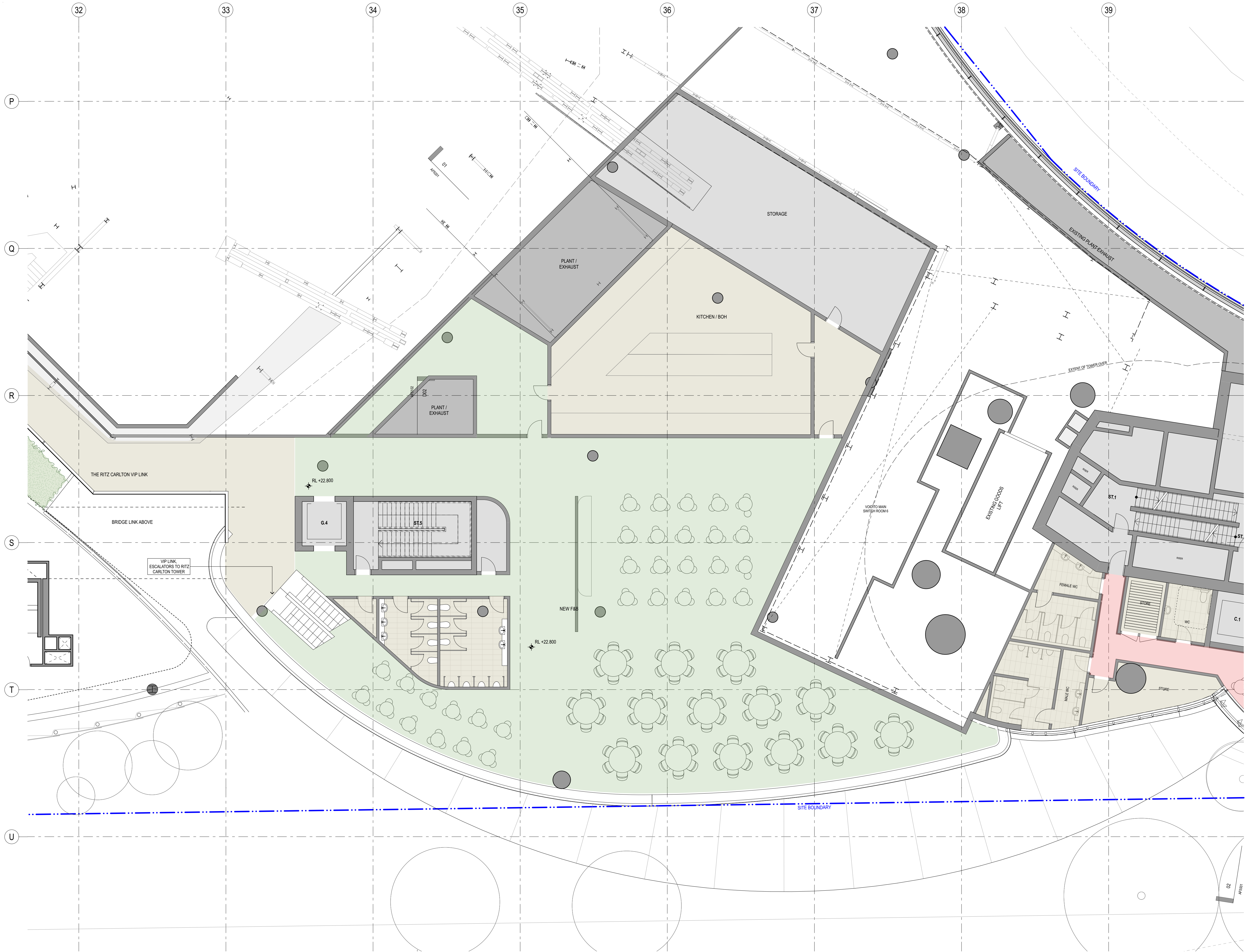
**Modification 13**  
30 PYRMONT STREET  
PYRMONT NSW 2009

## Fit Out Plans

### Level 00 FFE Ground Floor Plan

scale	1:150 @ A1	first issued	1/9/17
project code	sheet no.	revision	
<b>SM13</b>	<b>AF3001</b>	<b>DA02</b>	





**GENERAL NOTES**

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- Legend
- BUILDING USE**
- HOTEL
  - HOTEL FACILITIES
  - LOADING, PLANT
  - LIFTS, FIRE STAIRS, SERVICES
  - ANCILLARY, BOH
  - CIRCULATION
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  - RESIDENTIAL FACILITIES

- SITE BOUNDARY**
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DA01	2/11/18	Response to Submissions	JRS	SMP
rev	date	name	by	chk

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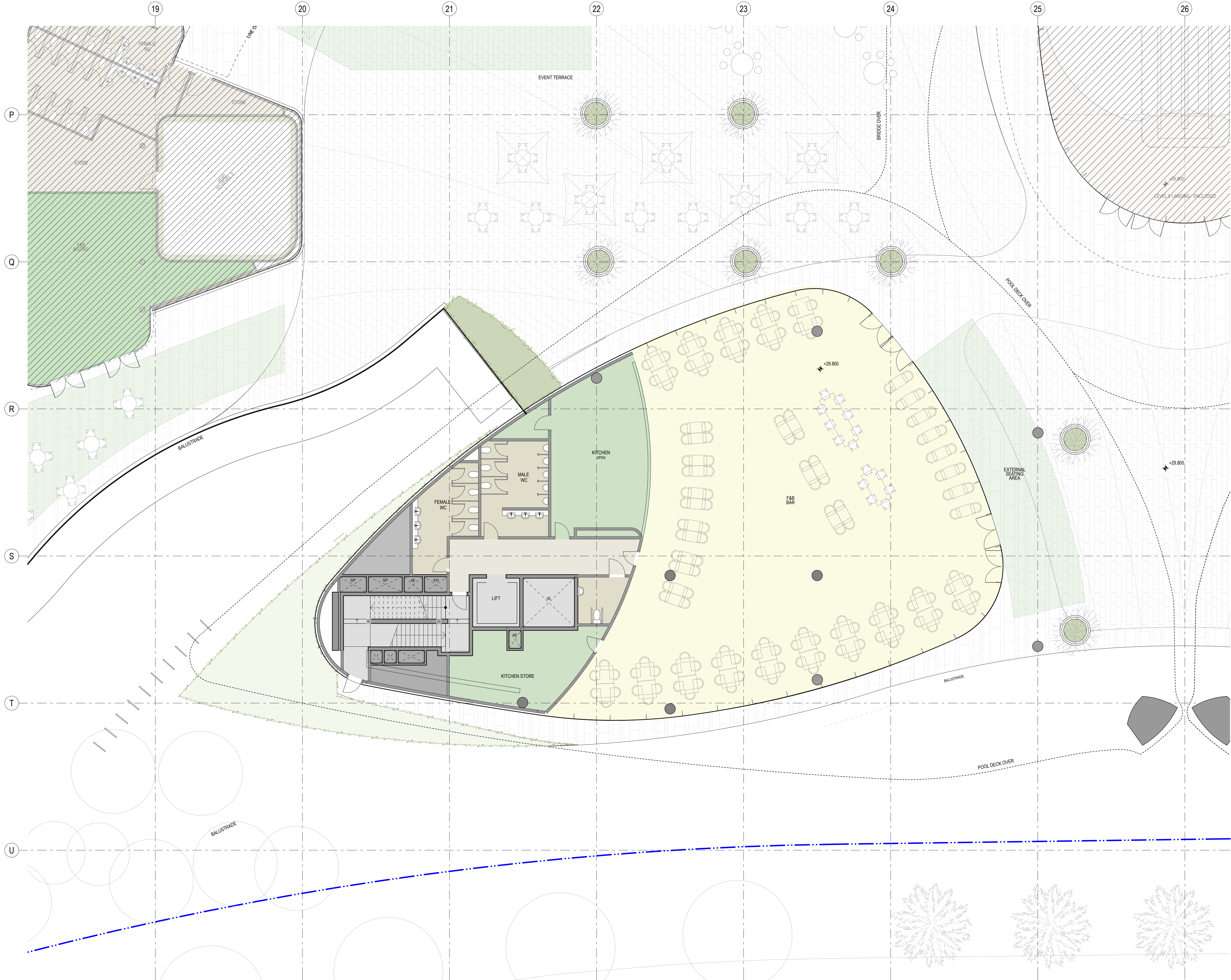


project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**Fit Out Plans**  
**Level 03 FFE Expansion Sovereign Room Link**

scale	1:150 @ A1	first issued	2/11/18
project code	sheet no.	revision	
SM13	AF3002	DA01	





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- Legend
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rev	date	name	by	chk

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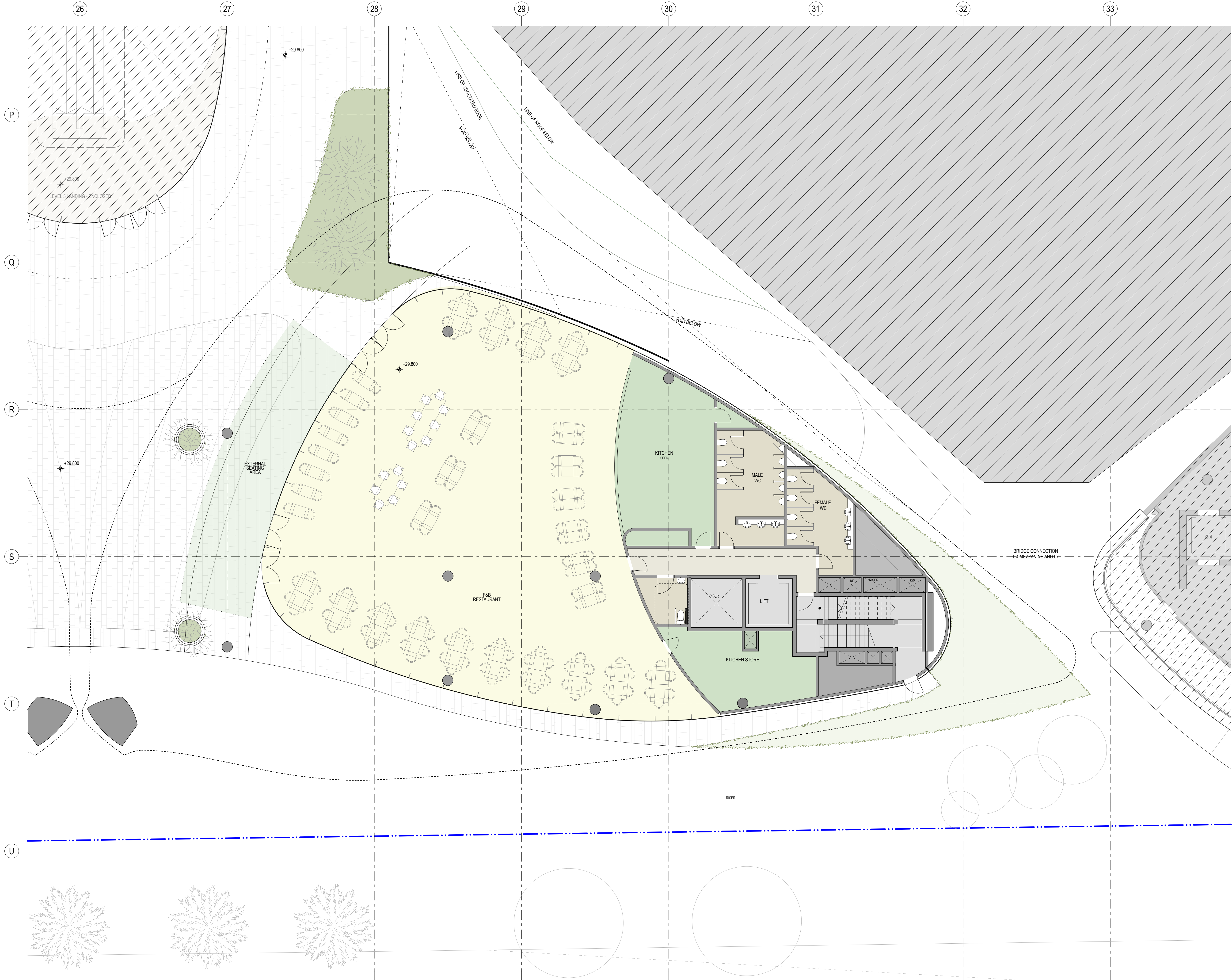


project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**Fit Out Plans**  
**Level 05 FFE Sky Terrace**

scale	1:100 @ A1	first issued	2/11/18
project code	sheet no.	revision	
<b>SM13</b>	<b>AF3003</b>	<b>DA01</b>	





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Legend

**BUILDING USE**

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--- SITE BOUNDARY

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rev	date	name	by	chk

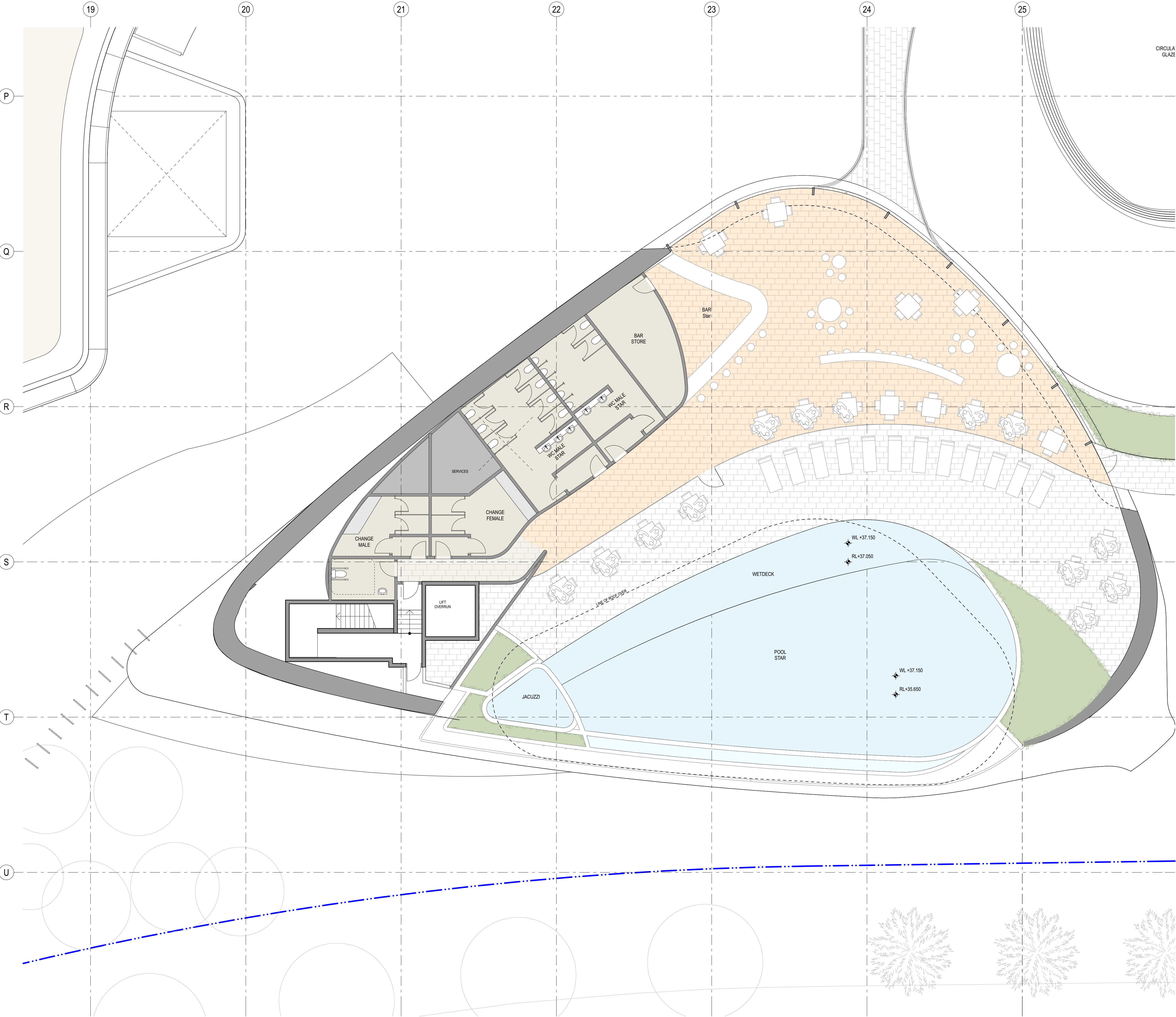
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**project**  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

**title**  
**Fit Out Plans**  
**Level 05 FFE Sky Terrace**

scale	1:100 @ A1	first issued	2/11/18
project code	sheet no.	revision	
<b>SM13</b>	<b>AF3004</b>	<b>DA01</b>	





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**SITE BOUNDARY**

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rev	date	name	by	chk

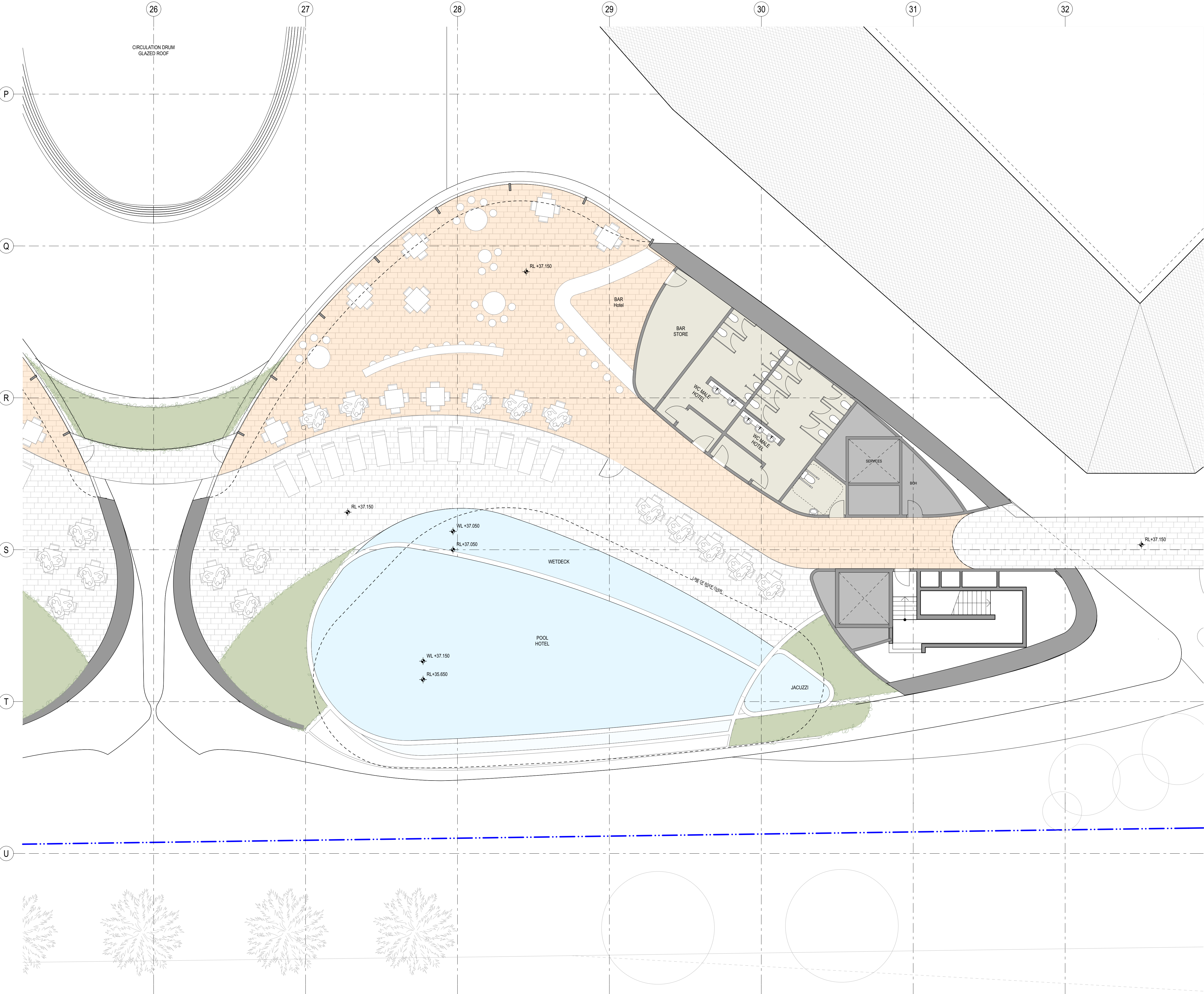
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project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**Fit Out Plans**  
**Level 07 FFE Pool Deck**

scale	1:100 @ A1	first issued	2/11/18
project code	sheet no.	revision	
<b>SM13</b>	<b>AF3005</b>	<b>DA01</b>	





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rev	date	name	by	chk

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**Modification 13**  
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PYRMONT NSW 2009

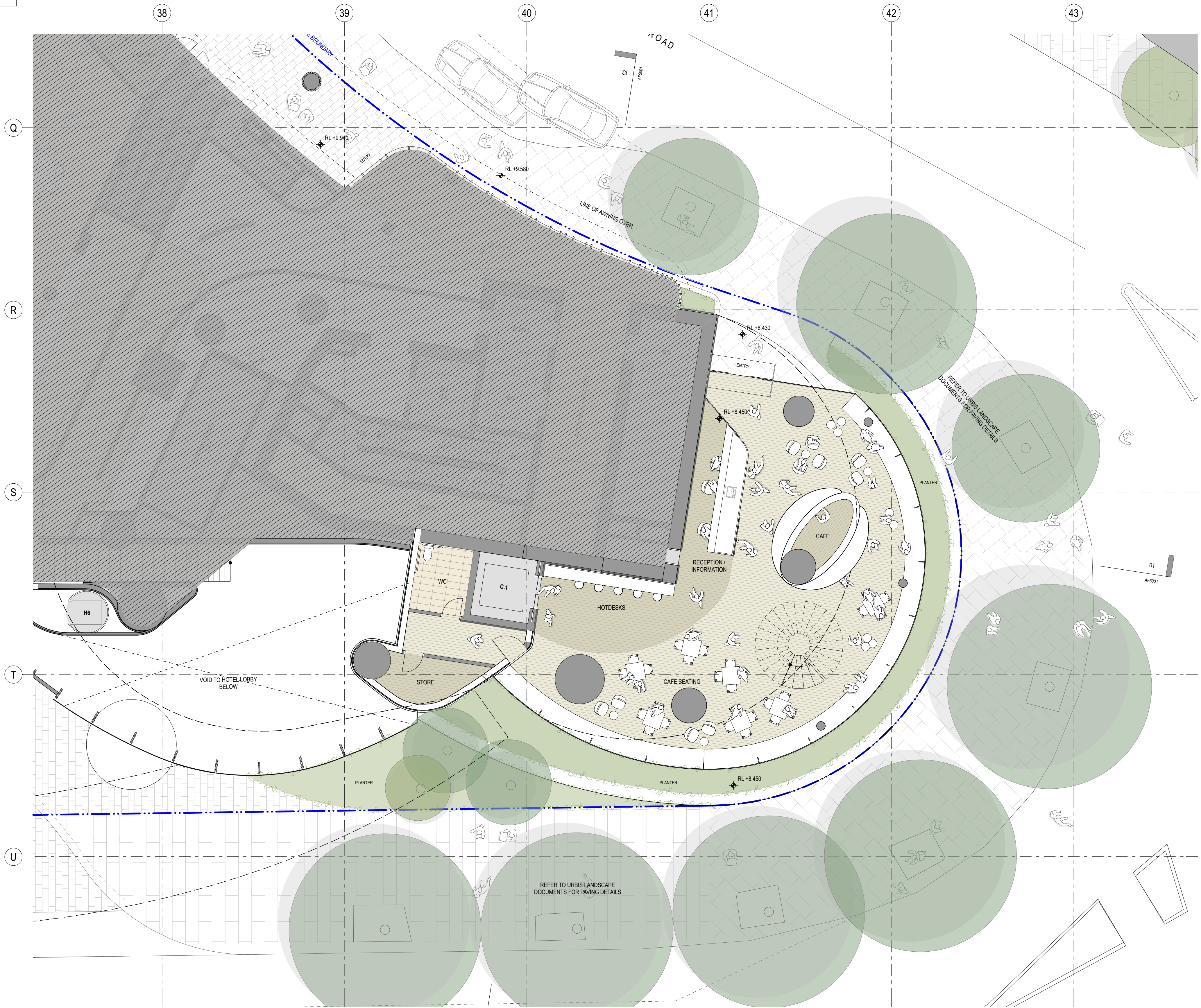
title  
**Fit Out Plans**  
**Level 07 FFE Pool Deck**

scale	1:100 @ A1	first issued	2/11/18
project code	sheet no.	revision	
SM13	AF3006	DA01	



Neighbourhood Centre Level 00

Front-of-House Area: 218m<sup>2</sup>  
Back-of-House Area: 32m<sup>2</sup>  
Total Area: 250m<sup>2</sup>  
  
Total Occupancy: 218 persons



**GENERAL NOTES**  
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legend

**BUILDING USE**

- HOTEL
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- LOADING, PLANT
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- ANCILLARY, BOH
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DA01	2/11/18	Response to Submissions	JRS	SMP
rev	date	name	by	chk

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project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**Neighbourhood Centre  
Level 00 Social Enterprise Cafe**

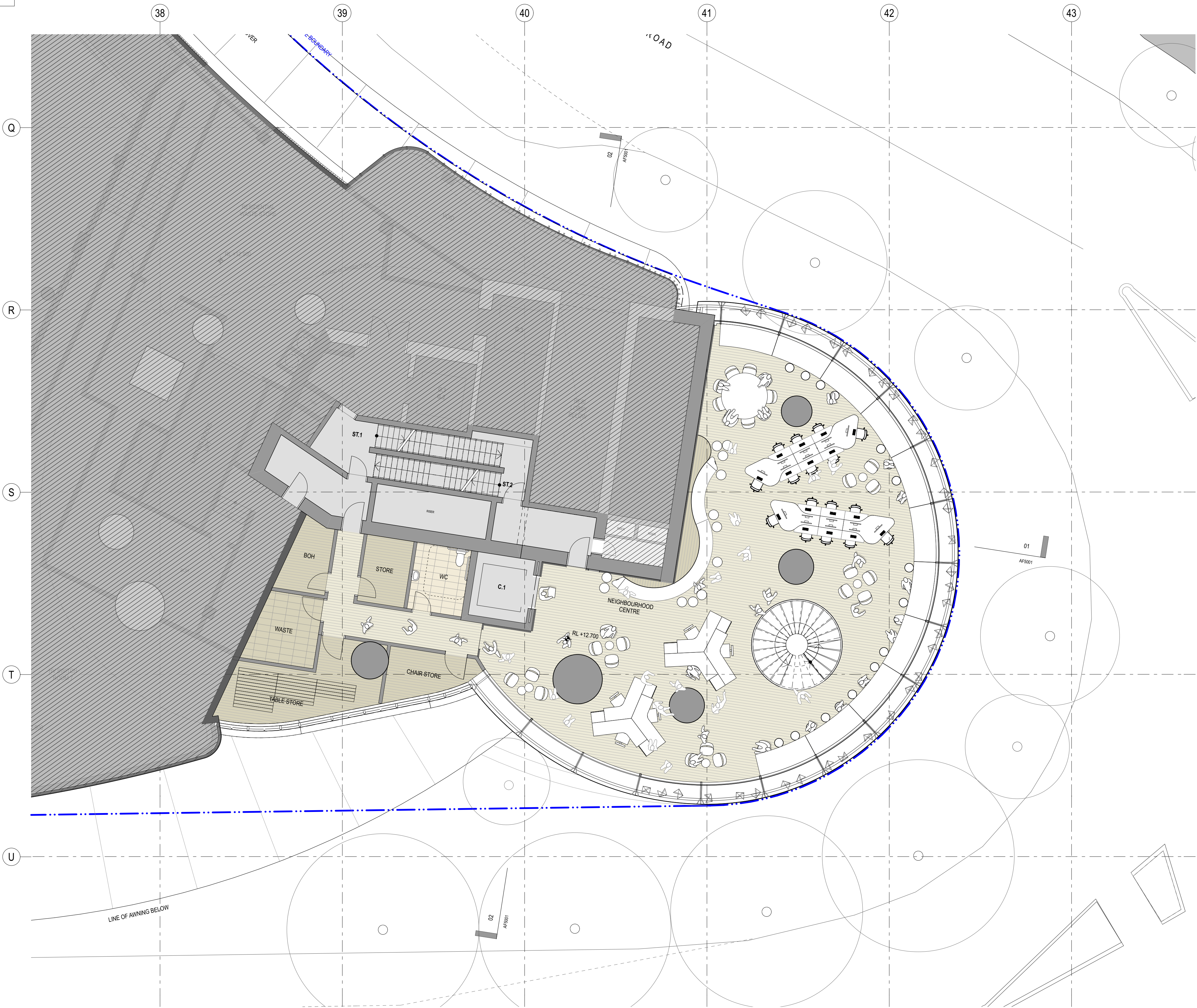
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project code	sheet no.	revision	
SM13	AF3100	DA01	



Neighbourhood Centre Level 01

Front-of-House Area: 258m<sup>2</sup>  
Back-of-House Area: 77m<sup>2</sup>  
Total Area: 335m<sup>2</sup>

Total Occupancy: 258 persons



GENERAL NOTES

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legend

BUILDING USE

- HOTEL
- HOTEL FACILITIES
- LOADING, PLANT
- LIFTS, FIRE STAIRS, SERVICES
- ANCILLARY, BOH
- CIRCULATION
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SITE BOUNDARY

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rev	date	name	by	chk

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project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**Neighbourhood Centre  
Level 01 Pirrama Reading Room**

scale 1:150 @ A1 first issued 2/11/18

project code sheet no. revision

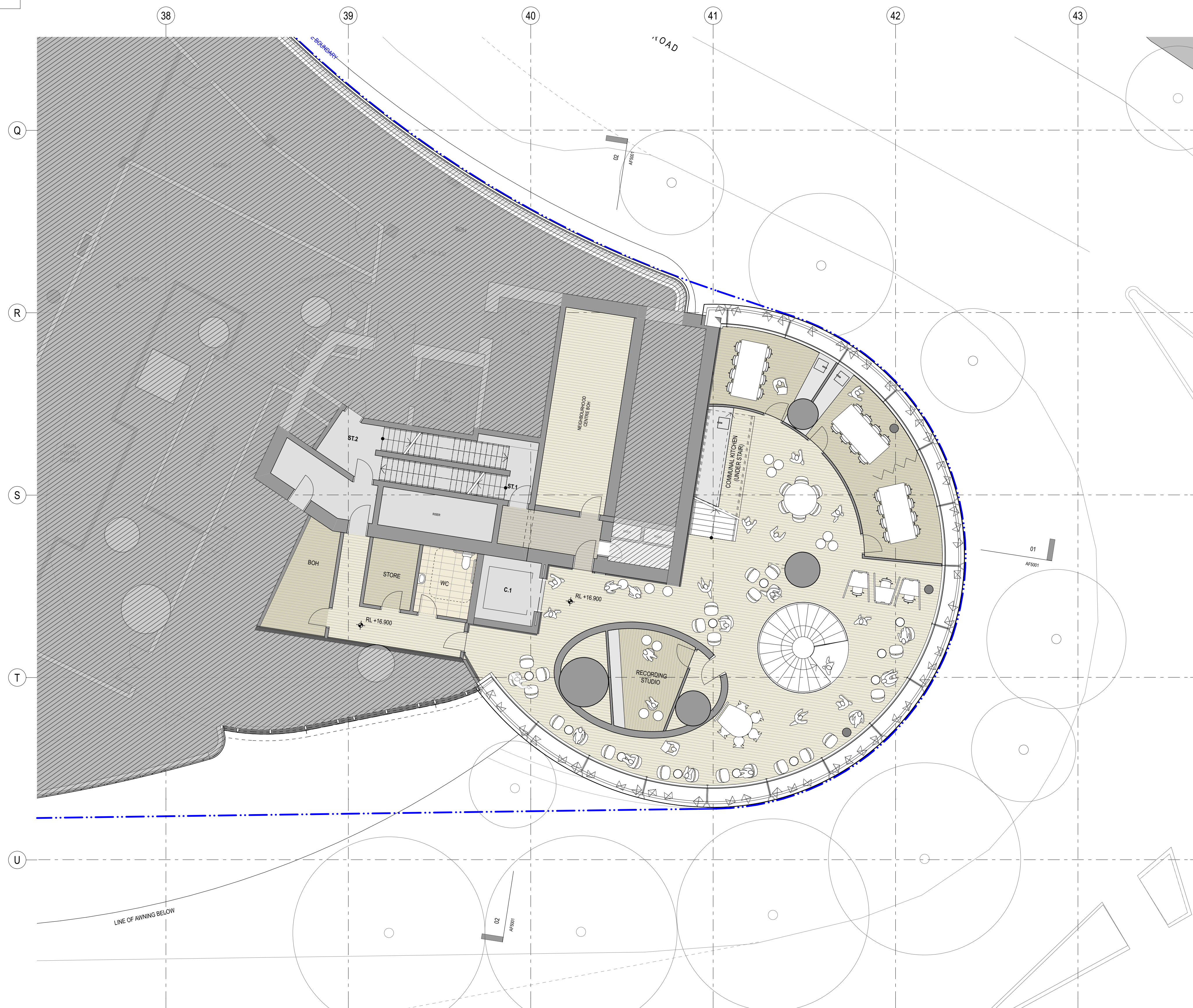
SM13 AF3101 DA01



### Neighbourhood Centre Level 02

Front-of-House Area: 261m<sup>2</sup>  
Back-of-House Area: 79m<sup>2</sup>  
Total Area: 340m<sup>2</sup>












Total Occupancy: 261 persons



### GENERAL NOTES

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## BUILDING USE

- |   |                              |
|---|------------------------------|
|  | HOTEL                        |
|  | HOTEL FACILITIES             |
|  | LOADING, PLANT               |
|  | LIFTS, FIRE STAIRS, SERVICES |
|  | ANCILLARY, BOH               |
|  | CIRCULATION                  |
|  | NEIGHBOURHOOD CENTRE         |
|  | RETAIL                       |
|  | FOOD & BEVERAGE              |
|  | RESIDENTIAL                  |
|  | RESIDENTIAL FACILITIES       |

— • —  
SITE BOUNDARY

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rev	date	name	by	chk

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project

**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**Neighbourhood Centre  
Level 02 Darling Collaborative Hub**

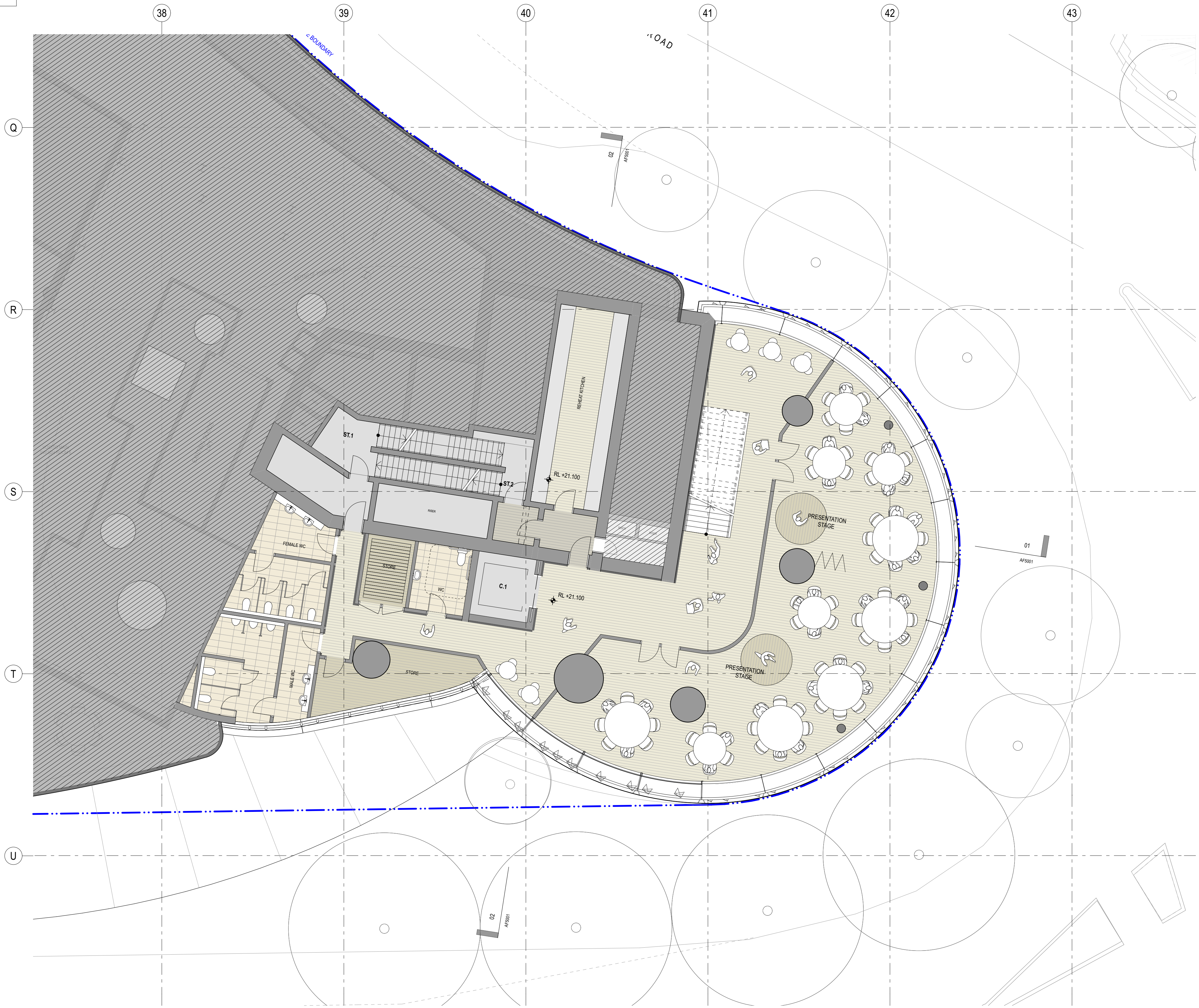
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project code	sheet no.	revision	
<b>SM13</b>	<b>AF3102</b>	<b>DA01</b>	



Neighbourhood Centre Level 03

Front-of-House Area: 245m<sup>2</sup>  
Back-of-House Area: 132m<sup>2</sup>  
Total Area: 377m<sup>2</sup>

Total Occupancy: 245 persons



**GENERAL NOTES**  
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Legend

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  - HOTEL FACILITIES
  - LOADING, PLANT
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rev	date	name	by	chk

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project  
**Modification 13**  
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PYRMONT NSW 2009

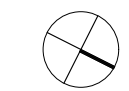
title  
**Neighbourhood Centre  
Level 03 Pyrmont Forum**

scale	1:150 @ A1	first issued	2/11/18
project code	sheet no.	revision	
SM13	AF3103	DA01	



Neighbourhood Centre Level 04

Front-of-House Area: 170m<sup>2</sup>  
Back-of-House Area: 106m<sup>2</sup>  
Total Area: 276m<sup>2</sup>  
  
Total Occupancy: 170 persons



- GENERAL NOTES**
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legend

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SITE BOUNDARY

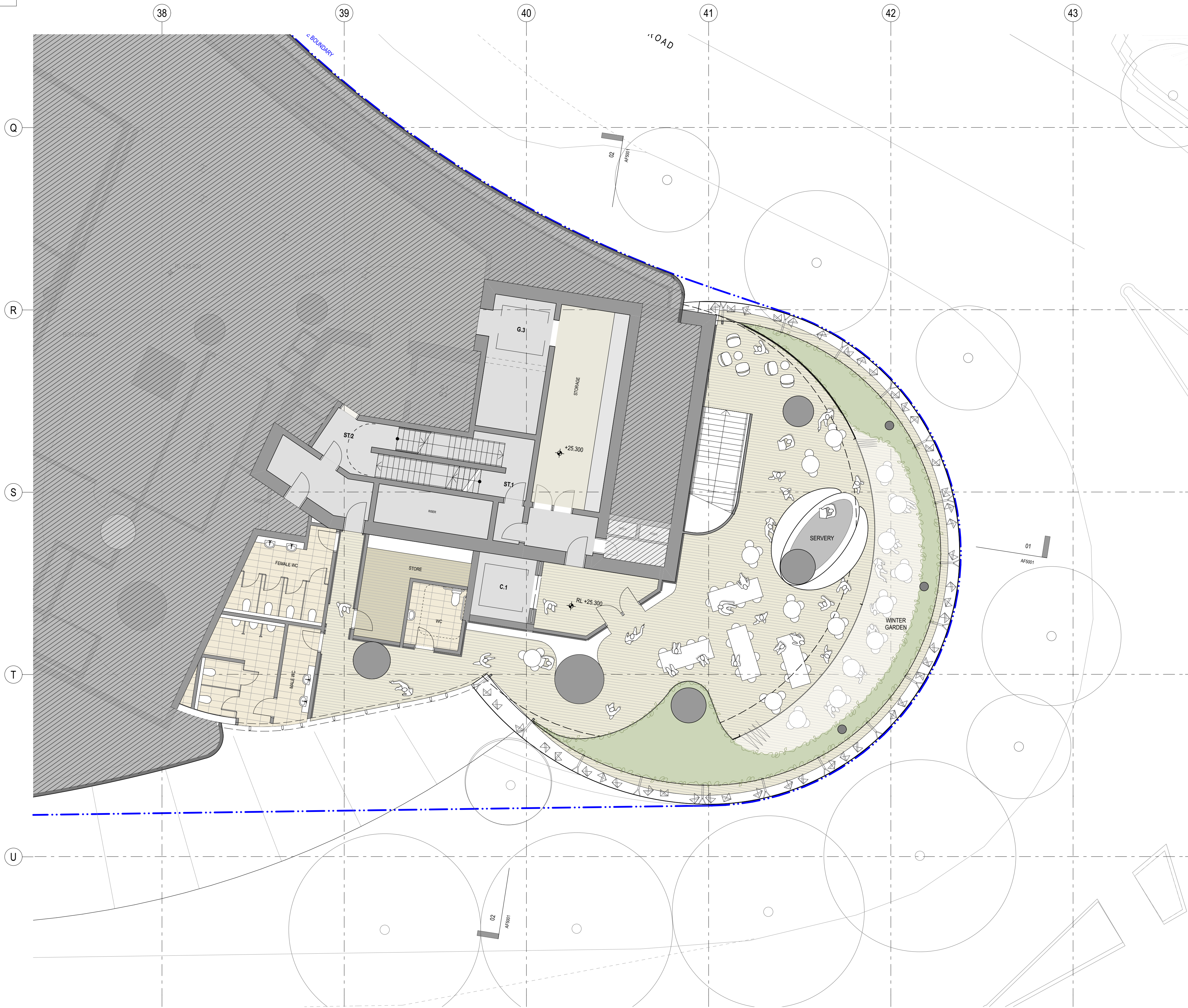
EXISTING BUILT FORM

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rev	date	name	by	chk

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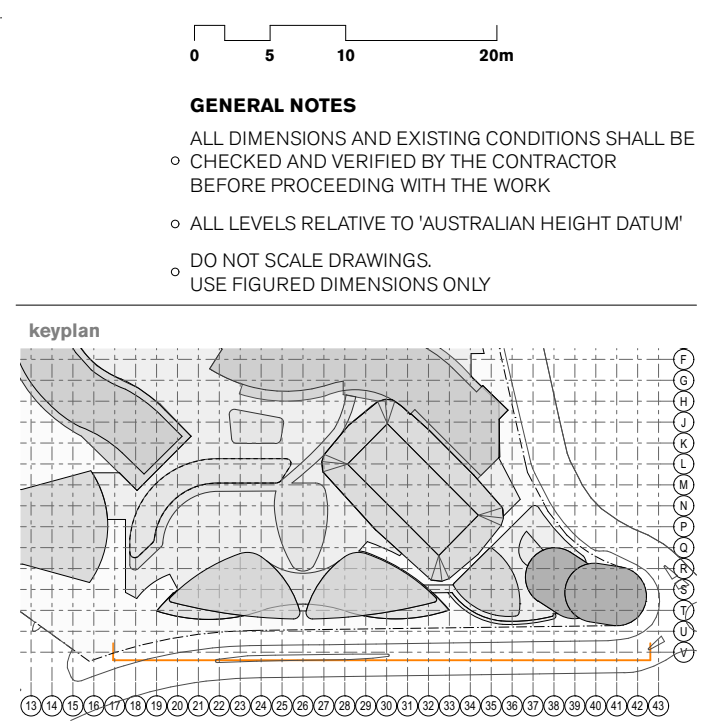


project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**Neighbourhood Centre**  
**Level 04 Pyrmont Forum Terrace**

scale	1:150 @ A1	first issued	2/11/18
project code	sheet no.	revision	
SM13	AF3104	DA01	





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SITE BOUNDARY

— — — — —  
EXISTING BUILT FORM

## FACADE TYPES

- FT01** **HOTEL FACADE**  
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel
- FT02** **RESIDENTIAL FACADE**  
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel. In 500-100mm randomised modules. Slot grille in spandrel for apartment horizontal ventilation. For location of fixed height limited horizontal shading louvers with building integrated PV panels to top side and various spandrel heights refer to detail elevations AF4102, AF4104 and AF2000 series plans.
- FT03** **SKY LOBBY**  
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT04** **CLUB LOUNGE**  
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT05** **VERTICAL SLOT - EASTERN**  
Dark coloured unitised cladding material
- FT06** **CORE CLADDING**  
Unitised medium tinted cladding with planters and green wires located on specified levels to create a 'green seam'. See AF2000 plans and AF4003 for planter details.
- FT07** **NEIGHBOURHOOD FACADE**  
Point fixed framed high performance glazing with operable vertical timber shading elements.
- FT08** **SANDSTONE PODIUM FACADE**  
Sandstone or medium tinted sandstone coloured precast concrete facade panels and louvers on structural steel support.
- FT09** **SHELL / RIBBON FACADE**  
Opaque solid cladding panels on timber grid structure
- FT10** **PODIUM GLAZING**  
Aluminium framed high performance glazing units with concealed/exposed spandrel
- FT11** **GREEN WALL**  
Living green wall - plant selection to future details
- FT12** **TOWER PLANT FACADE**  
Aluminium framed fixed glass louvers with aluminium plant louvers behind
- FT13** **PODIUM PLANT FACADE**  
Stainless steel rolled bars with aluminium plant louvers behind
- FT14** **JONES BAY WINDOW FACADE**  
Aluminium framed high performance glazing with exposed feature spandrel
- FT15** **GLAZED AWNING**  
Steel framed glazed awning
- FT16** **PERGOLA**  
Australian hardwood or medium tinted powder coated aluminium deck pergola or similar
- LV01** **PLANT LOUVRES**  
Large format light coloured aluminium plant louvers with matt finish to reduce reflectivity. Medium tinted sandstone coloured aluminium spandrel details
- LV02** **PLANT LOUVRES AUTOMATED**  
Large format automated aluminium plant louvers as per LV01 (above) on automated northern BMU unit

DA02	2/11/18	Response to Submissions	JRS	SMP
DA01	1/31/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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project

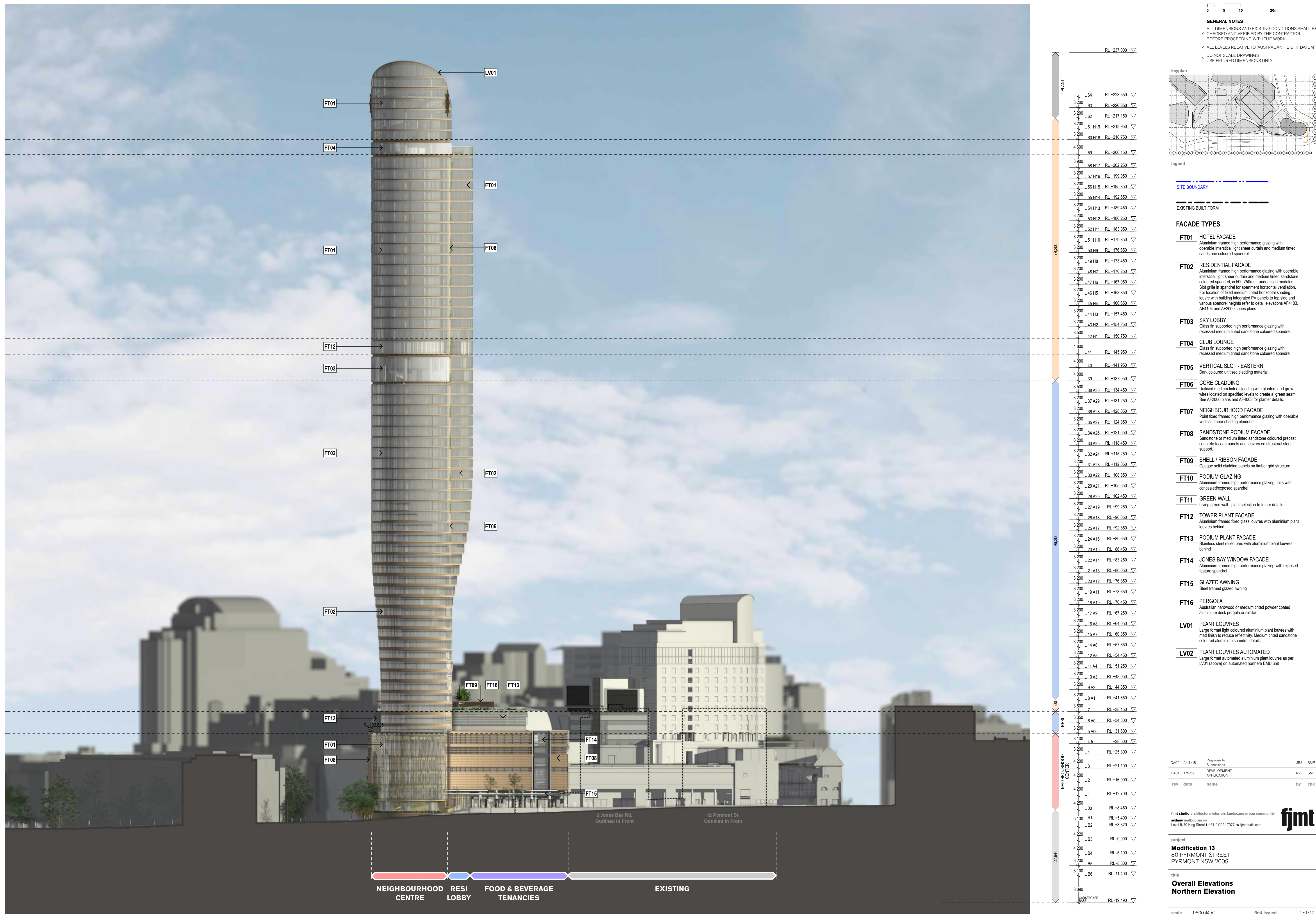
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80 PYRMONT STREET  
PYRMONT NSW 2009

### Overall Elevations

#### Pirrama Road Elevation

scale	1:500 @ A1	first issued	1/9/17
project code	sheet no.	revision	
<b>SM13</b>	<b>AF4001</b>	<b>DA02</b>	





### Northern Elevation

0 5 10 20m

**GENERAL NOTES**

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY

keyplan

legend

**SITE BOUNDARY**

**EXISTING BUILT FORM**

**FAÇADE TYPES**

**FT01 HOTEL FAÇADE**  
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel.

**FT02 RESIDENTIAL FAÇADE**  
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel, in 500-750mm randomised modules. Slot grille in spandrel for apartment horizontal ventilation. For location of fixed medium tinted horizontal shading louvre with building integrated PV panels to top side and various spandrel heights refer to detail elevations AF4103, AF4104 and AF2000 series plans.

**FT03 SKY LOBBY**  
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.

**FT04 CLUB LOUNGE**  
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.

**FT05 VERTICAL SLOT - EASTERN**  
Dark coloured unlined cladding material

**FT06 CORE CLADDING**  
Unlined medium tinted cladding with planters and grow wires located on specified levels to create a 'green seam'. See AF2000 plans and AF4003 for planter details.

**FT07 NEIGHBOURHOOD FAÇADE**  
Point fixed framed high performance glazing with operable vertical timber shading elements.

**FT08 SANDSTONE PODIUM FAÇADE**  
Sandstone or medium tinted sandstone coloured precast concrete façade panels and louvres on structural steel support.

**FT09 SHELL / RIBBON FAÇADE**  
Opaque solid cladding panels on timber grid structure

**FT10 PODIUM GLAZING**  
Aluminium framed high performance glazing units with concealed/exposed spandrel

**FT11 GREEN WALL**  
Living green wall - plant selection to future details

**FT12 TOWER PLANT FAÇADE**  
Aluminium framed fixed glass louvres with aluminium plant louvers behind

**FT13 PODIUM PLANT FAÇADE**  
Stainless steel rolled bars with aluminium plant louvers behind

**FT14 JONES BAY WINDOW FAÇADE**  
Aluminium framed high performance glazing with exposed feature spandrel

**FT15 GLAZED AWNING**  
Steel framed glazed awning

**FT16 PERGOLA**  
Australian hardwood or medium tinted powder coated aluminium deck pergola or similar

**LV01 PLANT LOUVRES**  
Large format light coloured aluminium plant louvers with matt finish to reduce reflectivity. Medium tinted sandstone coloured aluminium spandrel details

**LV02 PLANT LOUVRES AUTOMATED**  
Large format automated aluminium plant louvers as per LV01 (above) on automated northern BMU unit

DA02 2/11/18 Responses to Submissions JRS SMP

DA01 1/9/17 DEVELOPMENT APPLICATION NY SMP

rev date name by chk

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**sydney** studios  
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**fjmt**

project

**Modification 13**

80 PYRMONT STREET

PYRMONT NSW 2009

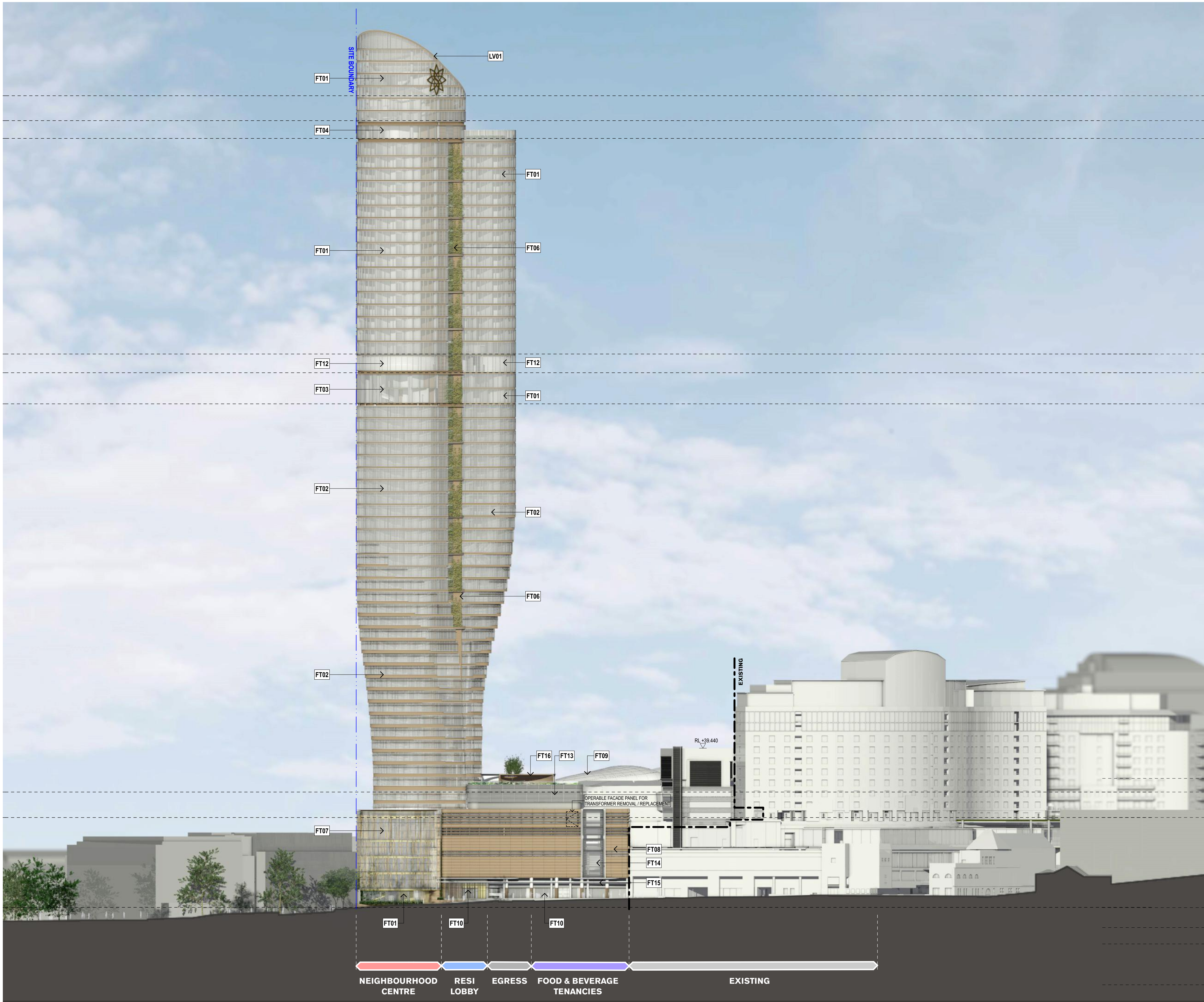
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**Overall Elevations**

**Northern Elevation**

scale	1:500 @ A1	first issued	1/9/17
project code		sheet no.	revision
<b>SM13</b>		<b>AF4002</b>	<b>DA02</b>





0 5 10 20m

GENERAL NOTES

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- DO NOT SCALE DRAWINGS
- USE FIGURED DIMENSIONS ONLY

keyplan



legend

SITE BOUNDARY

EXISTING BUILT FORM

FACADE TYPES

- FT01 HOTEL FACADE**  
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel.
- FT02 RESIDENTIAL FACADE**  
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel. In 500-750mm randomised modules. Slot grille in spandrel for apartment horizontal ventilation. For location of fixed medium tinted horizontal shading louvre with building integrated PV panels to top side and various spandrel heights refer to detail elevations AF4103, AF4104 and AF2000 series plans.
- FT03 SKY LOBBY**  
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT04 CLUB LOUNGE**  
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT05 VERTICAL SLOT - EASTERN**  
Dark coloured utilised cladding material
- FT06 CORE CLADDING**  
Utilised medium tinted cladding with planters and grow wires located on specified levels to create a 'green seam'. See AF2000 plans and AF4003 for planter details.
- FT07 NEIGHBOURHOOD FACADE**  
Point fixed framed high performance glazing with operable vertical timber shading elements.
- FT08 SANDSTONE PODIUM FACADE**  
Sandstone or medium tinted sandstone coloured precast concrete facade panels and louvres on structural steel support.
- FT09 SHELL / RIBBON FACADE**  
Opaque solid cladding panels on timber grid structure
- FT10 PODIUM GLAZING**  
Aluminium framed high performance glazing units with concealed/exposed spandrel
- FT11 GREEN WALL**  
Living green wall - plant selection to future details
- FT12 TOWER PLANT FACADE**  
Aluminium framed fixed glass louvres with aluminium plant louvres behind
- FT13 PODIUM PLANT FACADE**  
Stainless steel rolled bars with aluminium plant louvres behind
- FT14 JONES BAY WINDOW FACADE**  
Aluminium framed high performance glazing with exposed feature spandrel
- FT15 GLAZED AWNING**  
Steel framed glazed awning
- FT16 PERGOLA**  
Australian hardwood or medium tinted powder coated aluminium deck pergola or similar
- LV01 PLANT LOUVRES**  
Large format light coloured aluminium plant louvres with matt finish to reduce reflectivity. Medium tinted sandstone coloured aluminium spandrel details
- LV02 PLANT LOUVRES AUTOMATED**  
Large format automated aluminium plant louvres as per LV01 (above) on automated northern BMU unit

DA02	2/11/18	Response to Submissions	JRS	SMP
DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

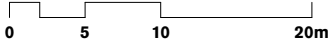
Overall Elevations  
Jones Bay Road Elevation

scale	1:500 @ A1	first issued	1/9/17
project code	sheet no.	revision	
SM13	AF4003	DA02	

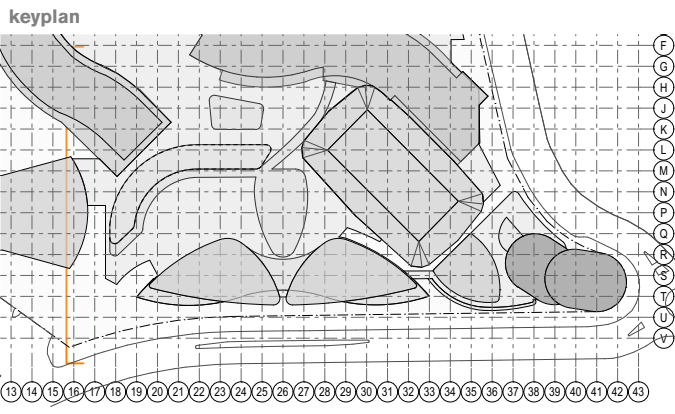




Southern Elevation



- GENERAL NOTES**
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK
  - ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'
  - DO NOT SCALE DRAWINGS
  - USE FIGURED DIMENSIONS ONLY



legend

--- SITE BOUNDARY

--- EXISTING BUILT FORM

**FACADE TYPES**

- FT01 HOTEL FACADE**  
Aluminium framed high performance glazing with operable interstitial light sheer curtain and medium tinted sandstone coloured spandrel.
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- FT03 SKY LOBBY**  
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT04 CLUB LOUNGE**  
Glass fin supported high performance glazing with recessed medium tinted sandstone coloured spandrel.
- FT05 VERTICAL SLOT - EASTERN**  
Dark coloured utilised cladding material
- FT06 CORE CLADDING**  
Utilised medium tinted cladding with planters and grow wires located on specified levels to create a 'green seam'. See AF2000 plans and AF4003 for planter details.
- FT07 NEIGHBOURHOOD FACADE**  
Point fixed framed high performance glazing with operable vertical timber shading elements.
- FT08 SANDSTONE PODIUM FACADE**  
Sandstone or medium tinted sandstone coloured precast concrete facade panels and louvres on structural steel support.
- FT09 SHELL / RIBBON FACADE**  
Opaque solid cladding panels on timber grid structure
- FT10 PODIUM GLAZING**  
Aluminium framed high performance glazing units with concealed/exposed spandrel
- FT11 GREEN WALL**  
Living green wall - plant selection to future details
- FT12 TOWER PLANT FACADE**  
Aluminium framed fixed glass louvres with aluminium plant louvres behind
- FT13 PODIUM PLANT FACADE**  
Stainless steel rolled bars with aluminium plant louvres behind
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Steel framed glazed awning
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Large format automated aluminium plant louvres as per LV01 (above) on automated northern BMU unit

DA02	2/11/18	Response to Submissions	JRS	SMP
DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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project  
**Modification 13**  
80 PYRMONT STREET  
PYRMONT NSW 2009

title  
**Overall Elevations  
Southern Elevation**

scale	1:500 @ A1	first issued	1/9/17
project code	sheet no.	revision	
<b>SM13</b>	<b>AF4004</b>	<b>DA02</b>	