

8.0 Urban Context

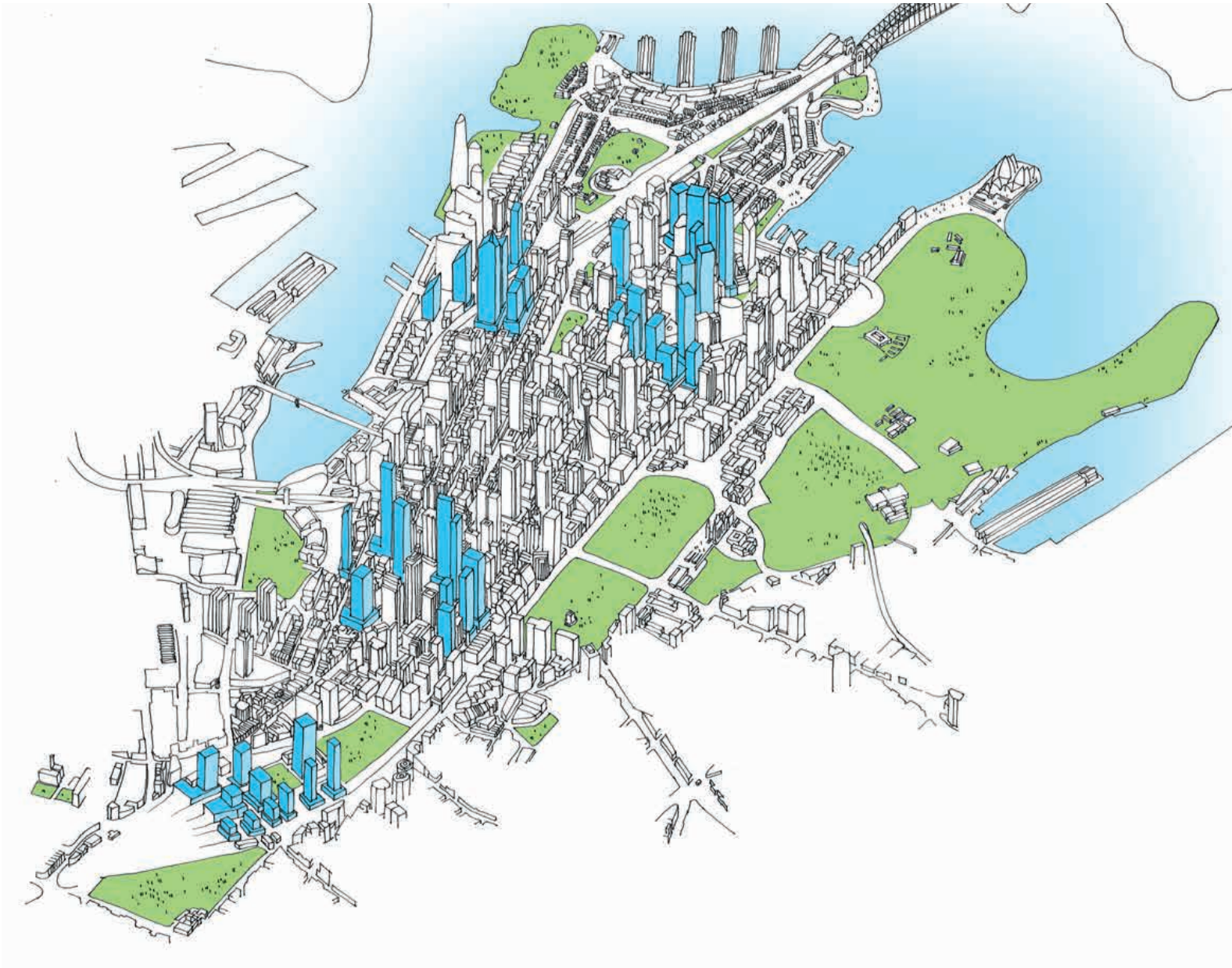
8.1 Urban Context | Relative to CBD

Urbis' Urban Context Report comments upon the potential architectural value to the city being at two key levels, ie: skyline and the experience at street level, noting the following:

- At the strategic scale, the relationship and contribution of buildings to the overall city skyline is one of the key considerations. This includes the overall height of the building and the location of the building in terms of whether it forms part of a clustering of buildings or is more singular in nature and is viewed in the round.
- At the local scale, the design, grain and articulation of the podium or lower levels of the building is the key experience. This relates to both the experience people have along the streets of the city as well as those on along the harbour foreshore.

fjmt's proposal have been developed with careful consideration of how the tower is viewed in the round as part of the CBD skyline, as part of the Pyrmont peninsula skyline, and within the broader skyline of Sydney both as current and with consideration of possible future development.

The following pages of this report examine how the tower sits within each of the above contexts. Following discussion with the Design Review Panel the tower has also been studied with consideration of potential future towers in the CBD and Bay Precinct. The potential future towers in the Bay Precinct are speculative only. The potential future towers with the CBD are based on City Of Sydney's Central Sydney Planning Strategy 2016 - 2036, extract of which are provided to the right.



Extract from Central Sydney Planning Strategy showing potential future tower clusters with the CBD

Extracts from Central Sydney Planning Strategy showing potential future tower clusters with the CBD

AM_10
Giba Park
Existing View



AM_11
Giba Park
Potential View



AM_08
Gladesville Bridge
Existing View



AM_09
Gladesville Bridge
Potential View

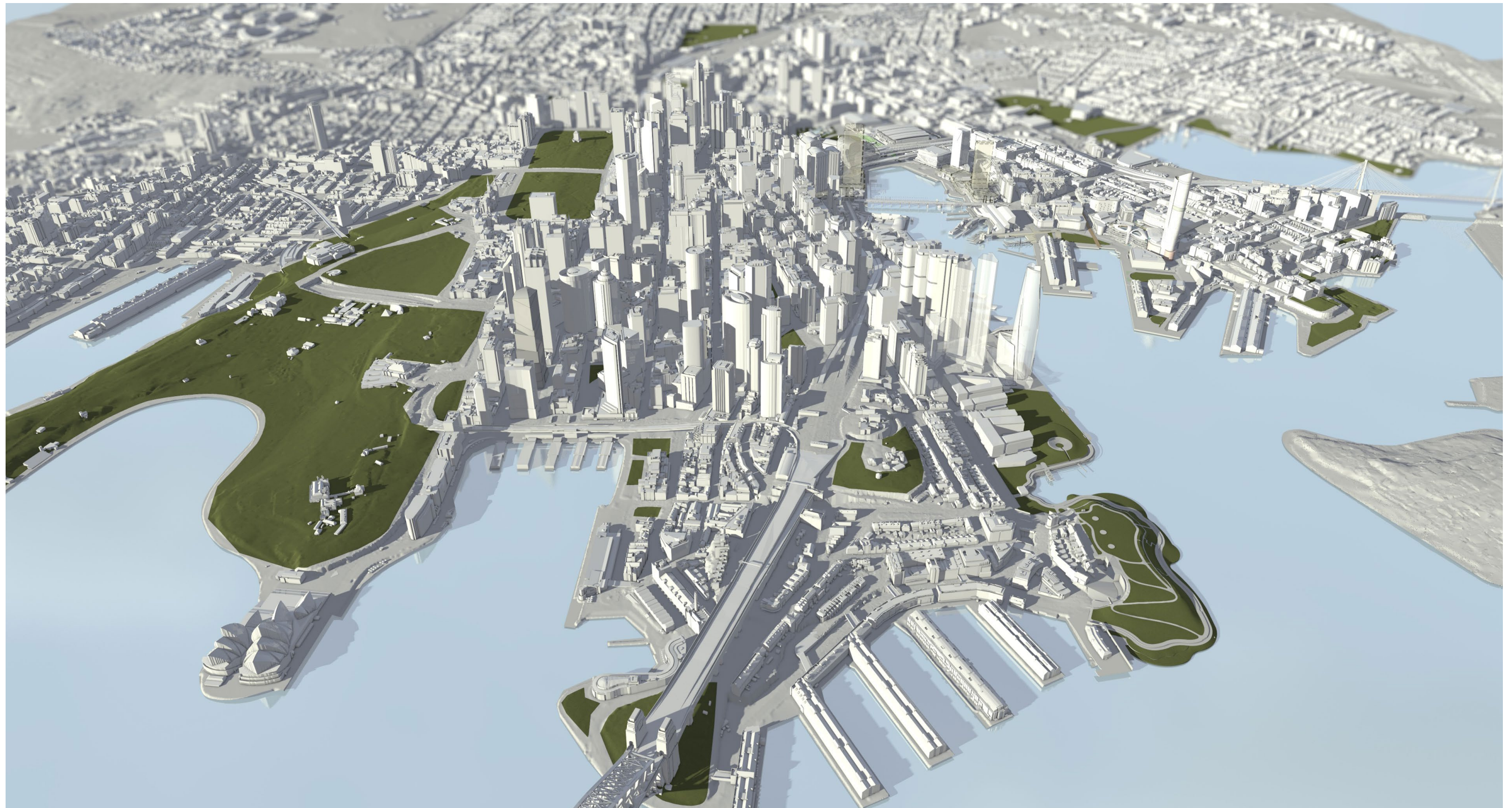


AM_06
Balls Head
Existing View

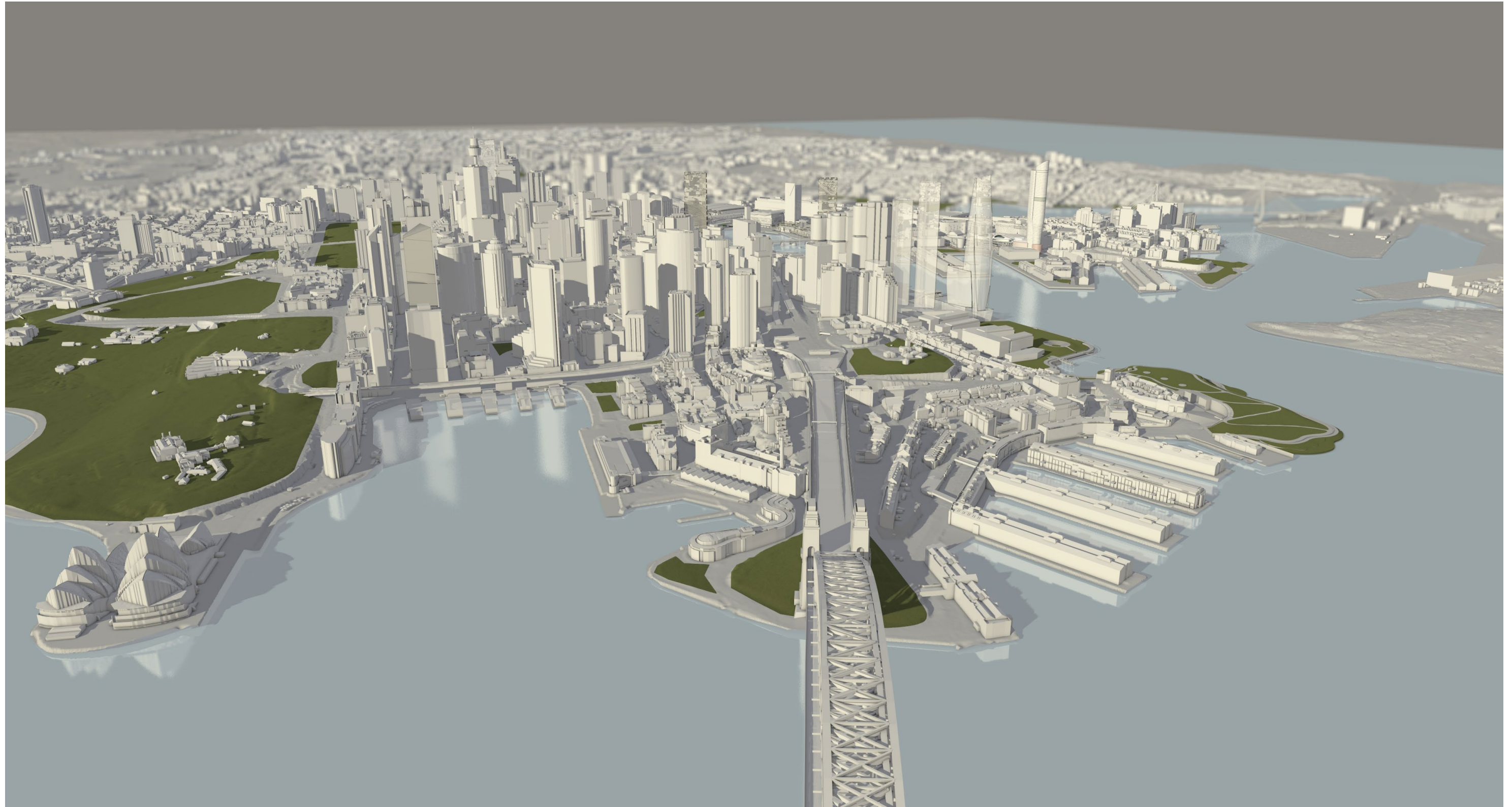


AM_07
Balls Head
Potential View



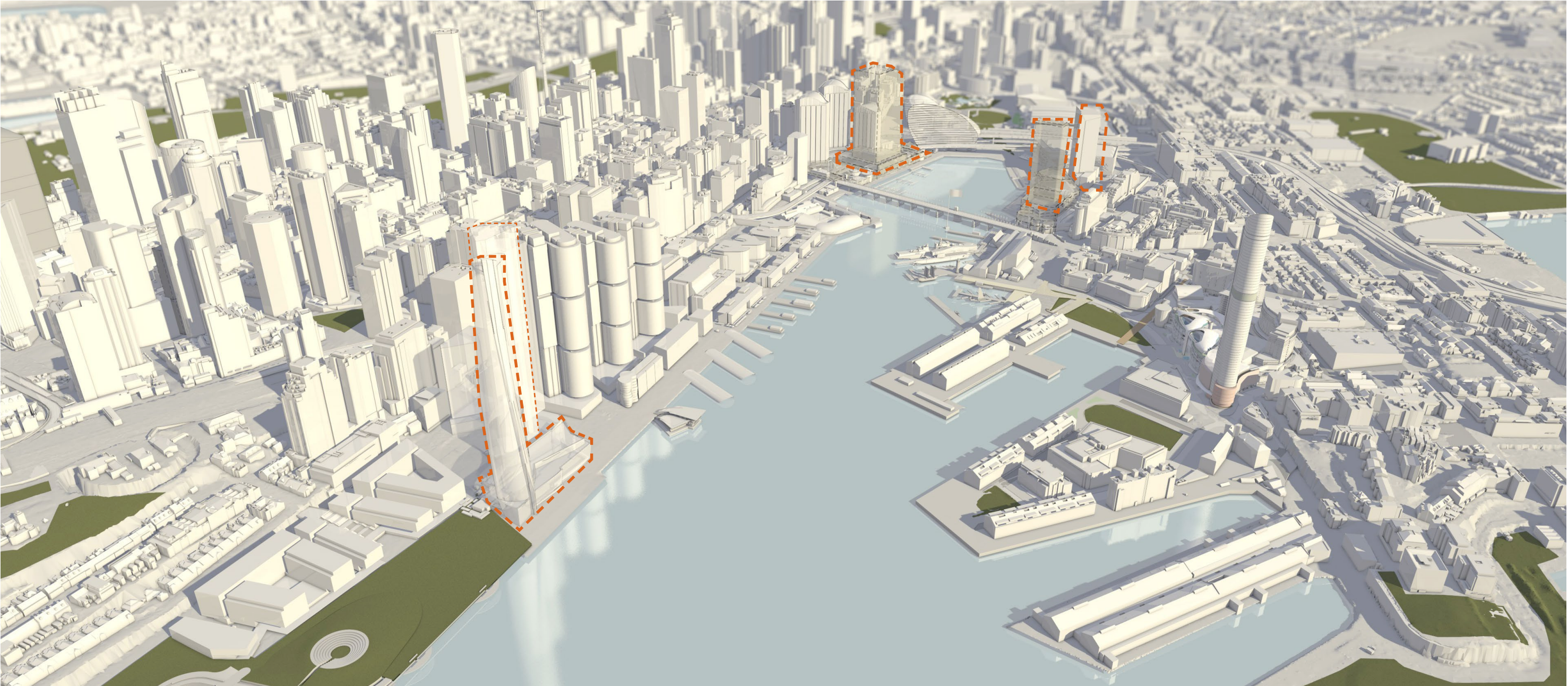


City model showing proposed tower relative to CBD context



City model showing propsoed tower relative to CBD context

8.2 Urban Context | Cockle Bay



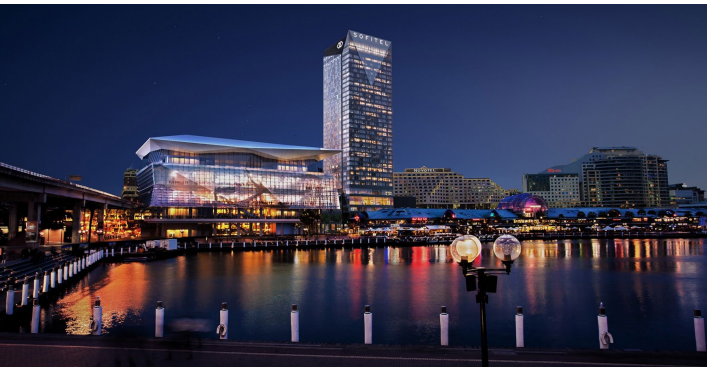
Harbourside: Stage 1 SSDA - illustrative scheme
RL 166.35



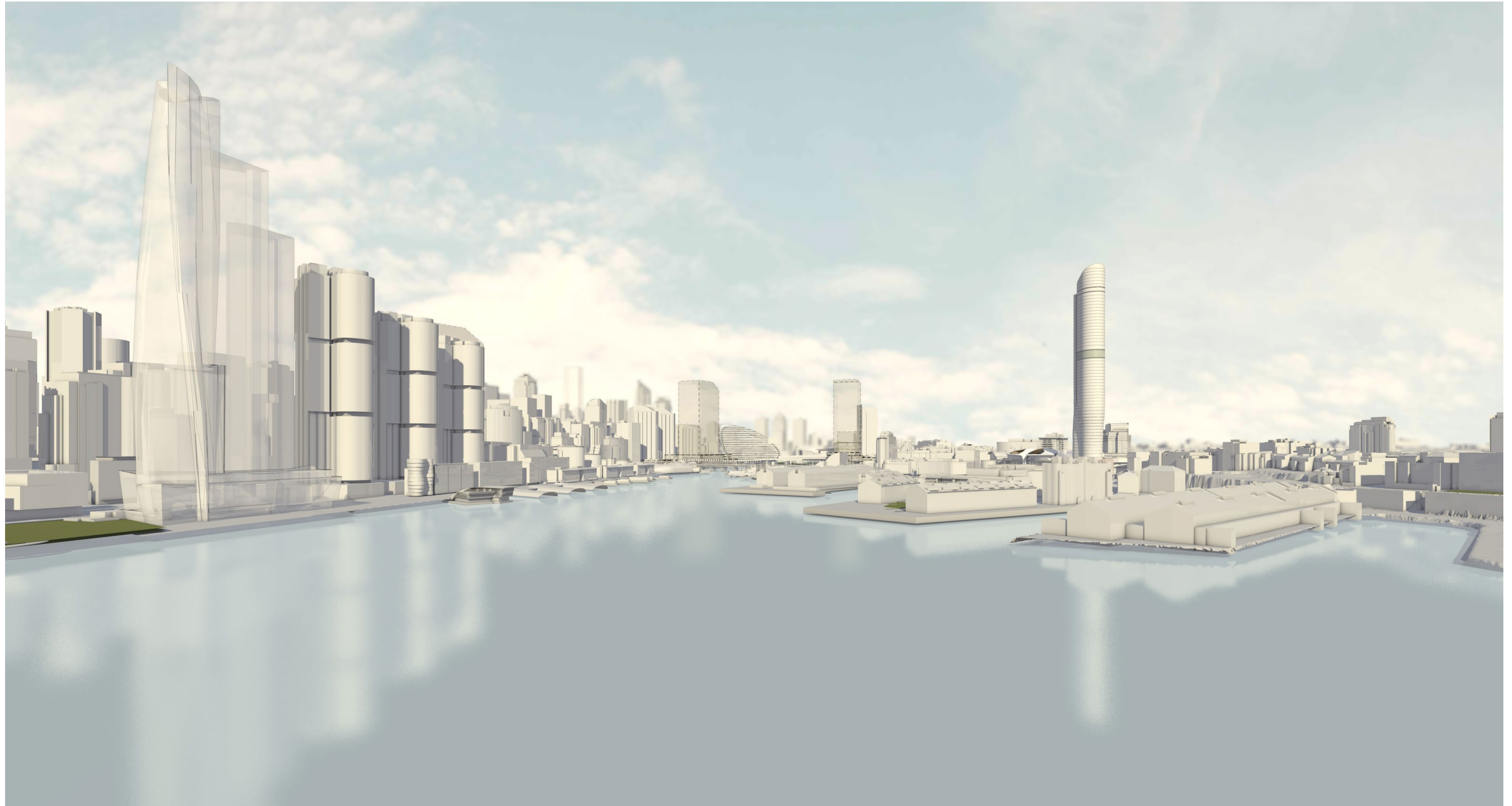
Barangaroo: Residential Towers and Crown
RL 271.3 (Crown) RL 250 (residential)



Cockle Bay: Stage 1 SSDA - illustrative scheme
RL 183

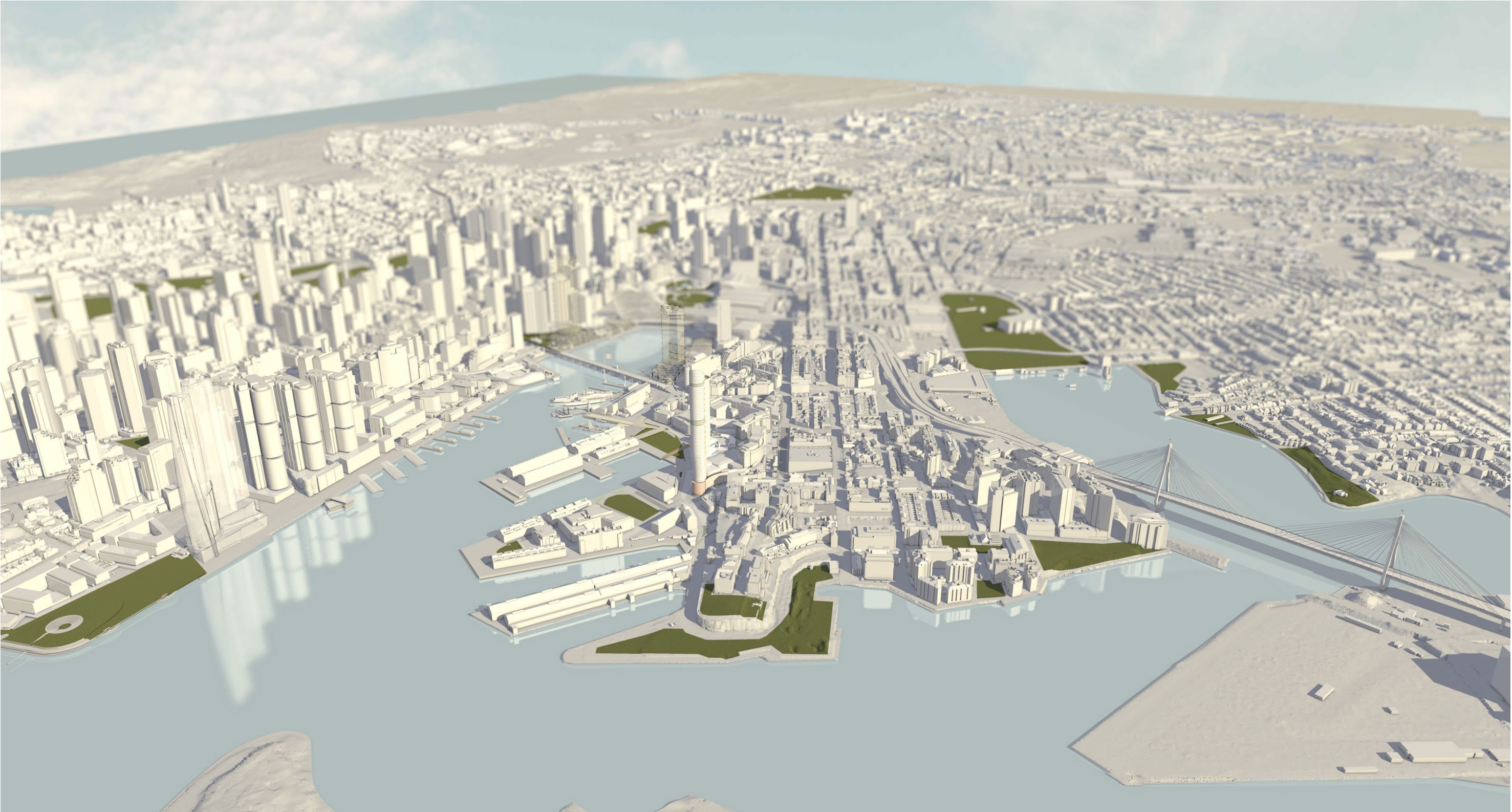


ICC Hotel: Sofitel
RL 133.55

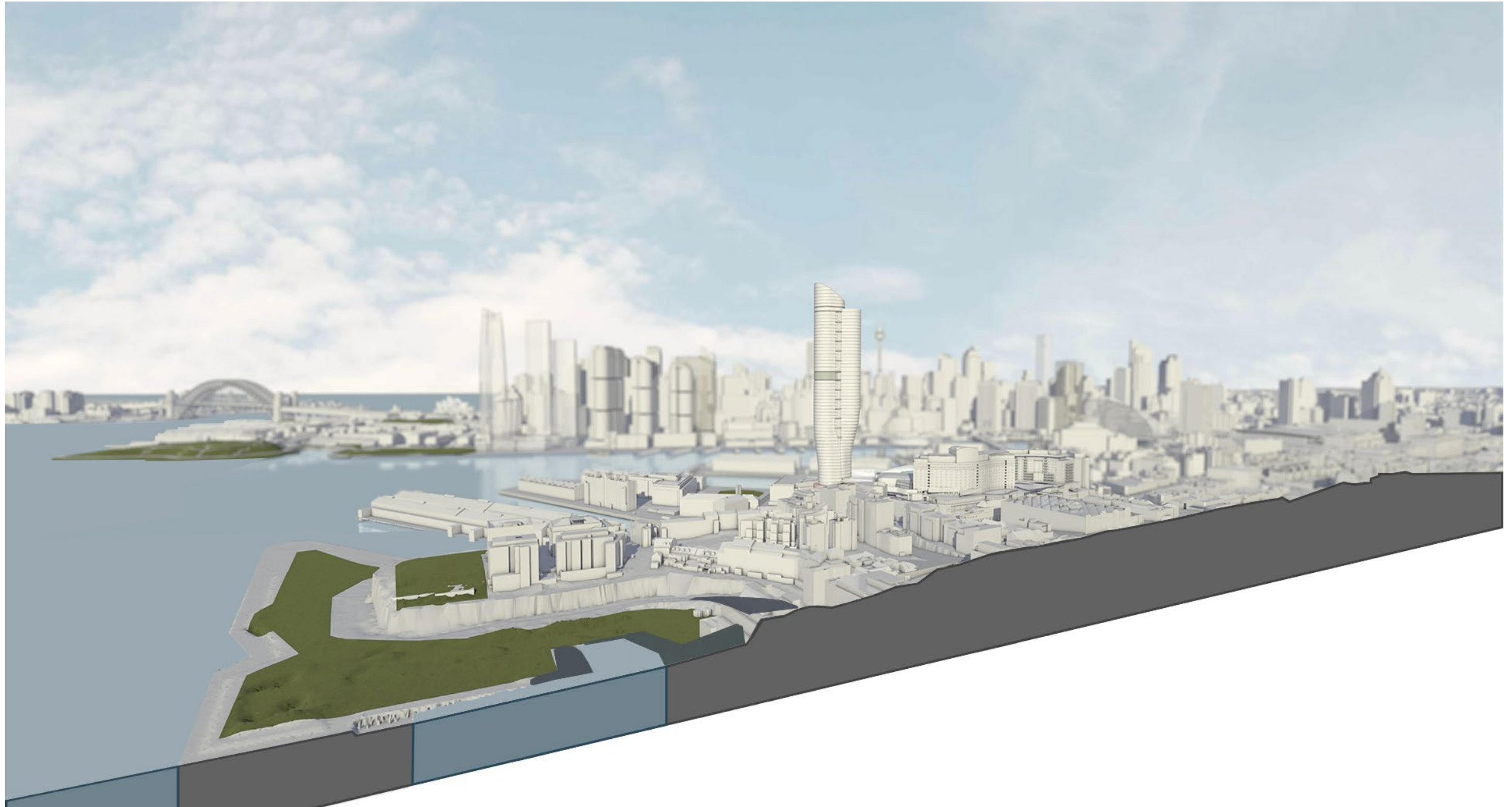


City model showing proposed tower relative to Cockle Bay context

8.3 Urban Context | Pymont

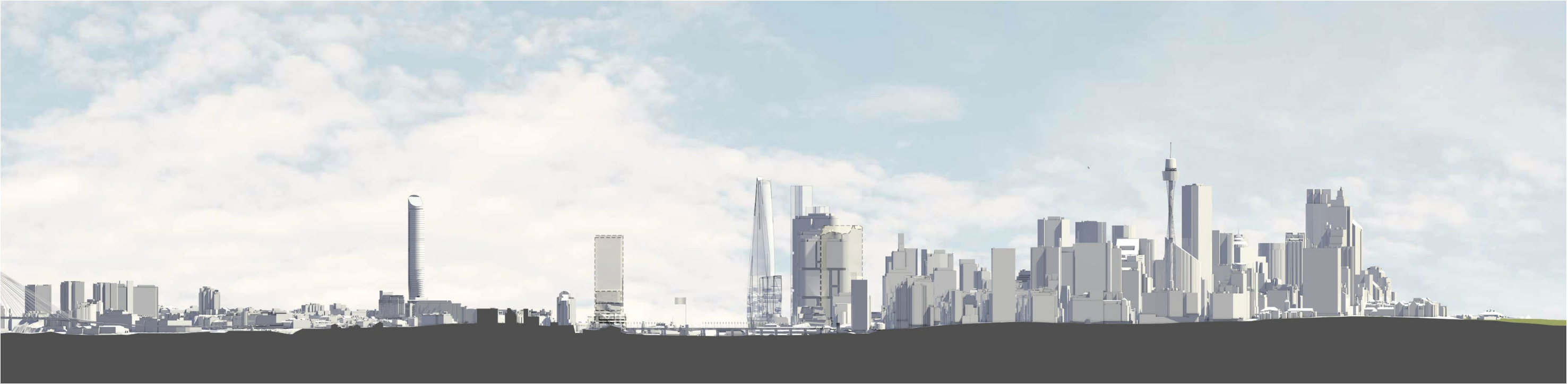


City model showing propsoed tower relative to Pymont Context

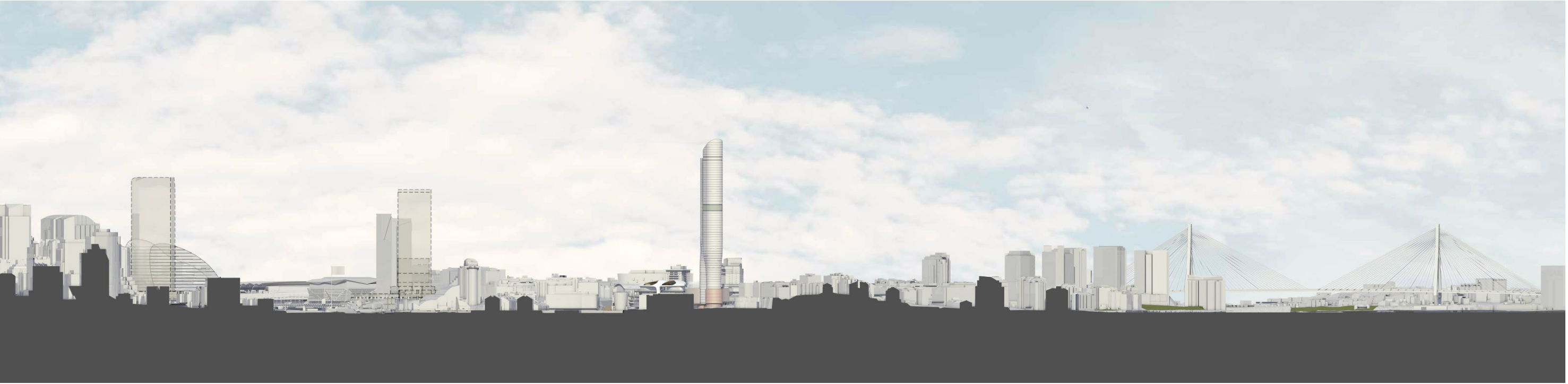


City model showing proposed tower relative to Pyrmont Context

8.4 **Urban Context** | Cross Sections through city



City section looking north

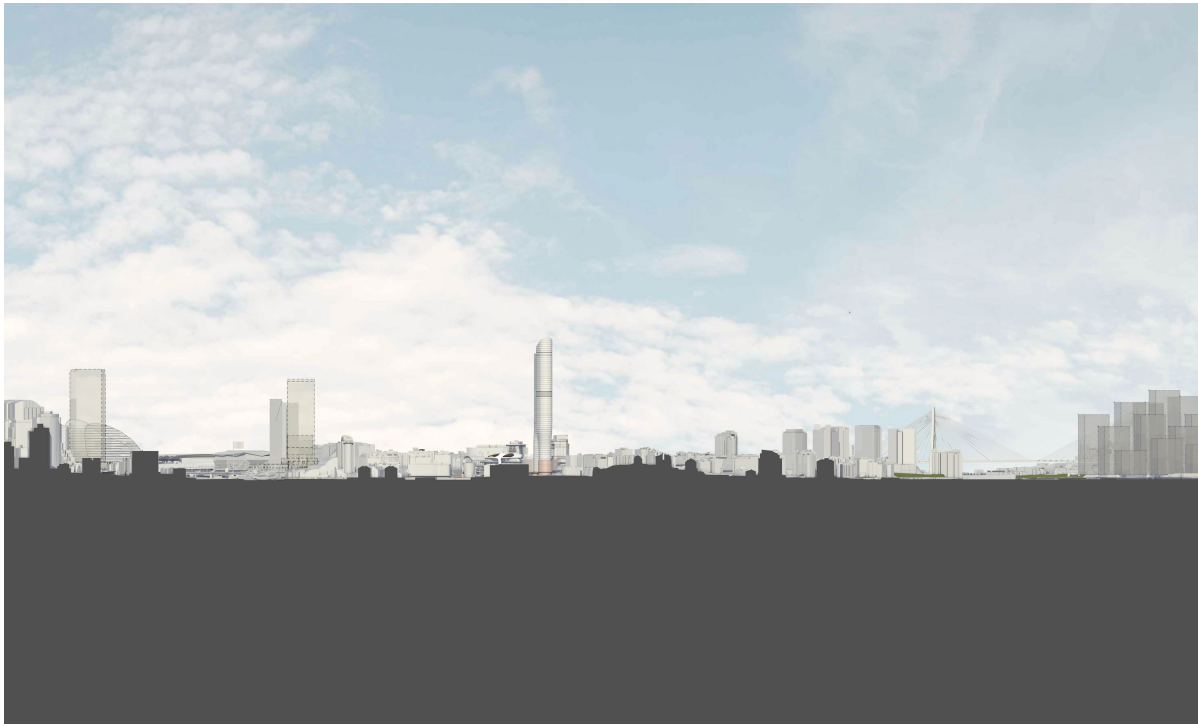
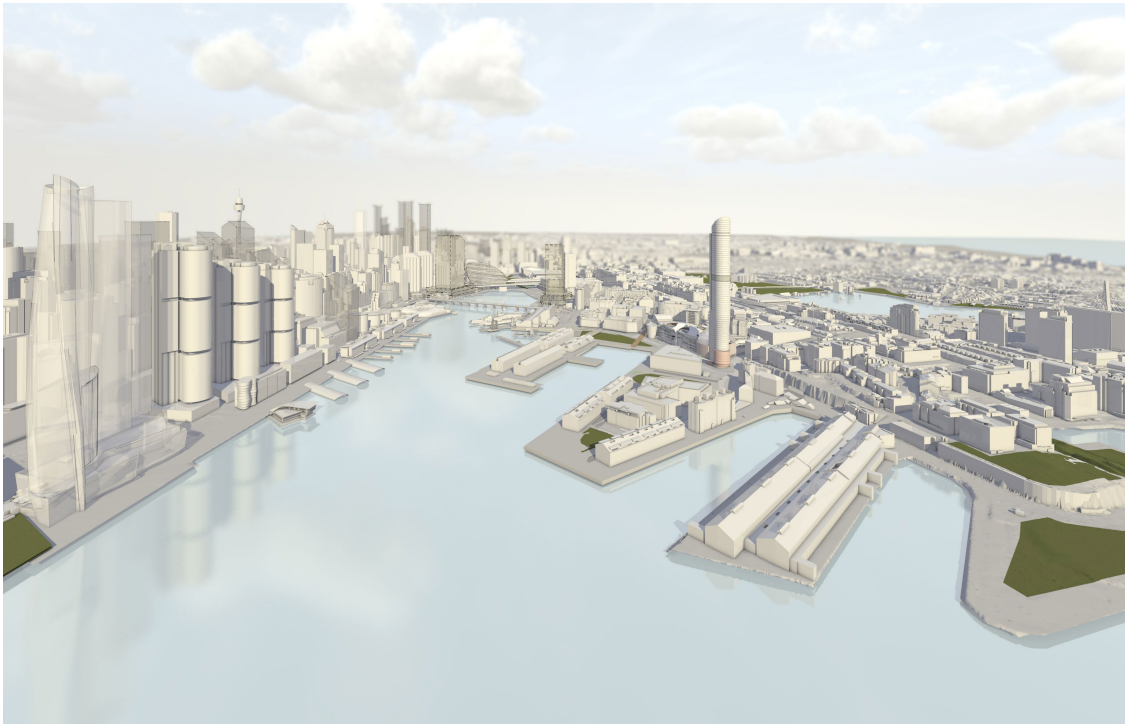
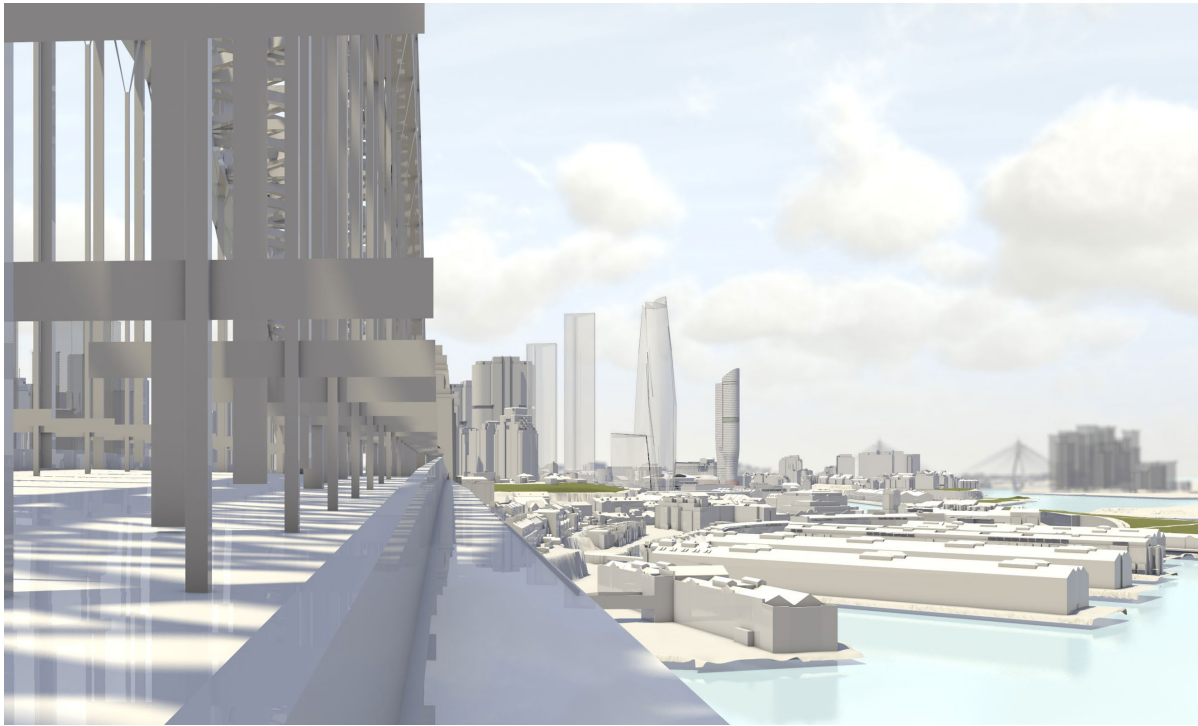
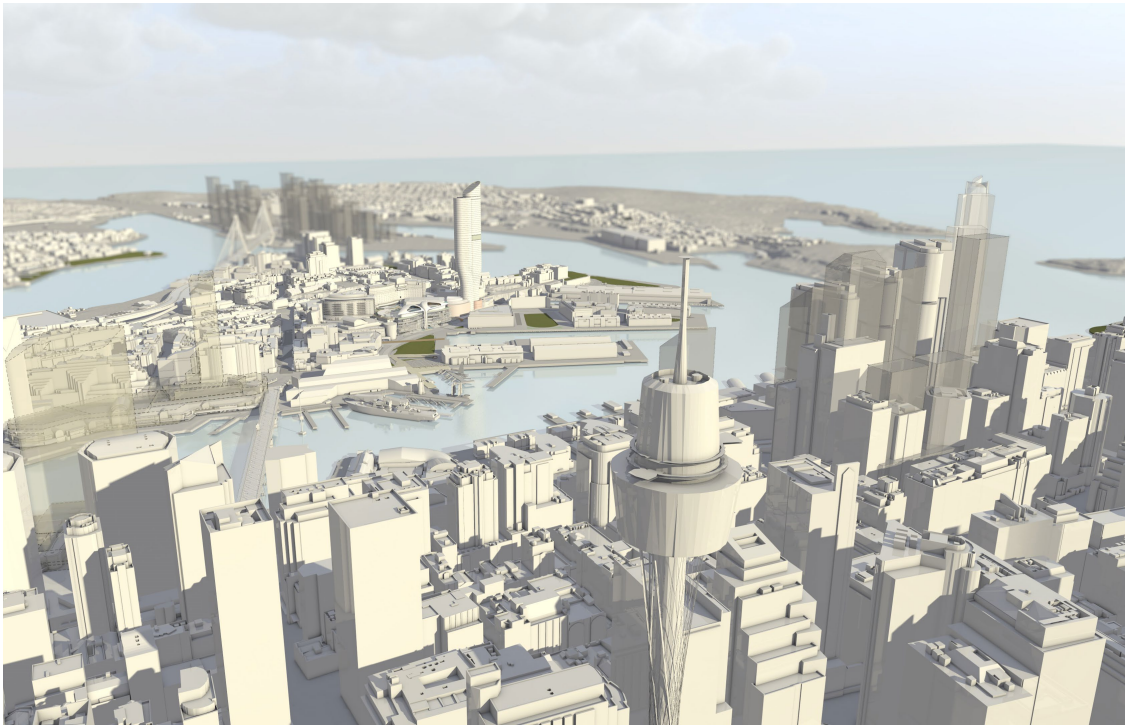


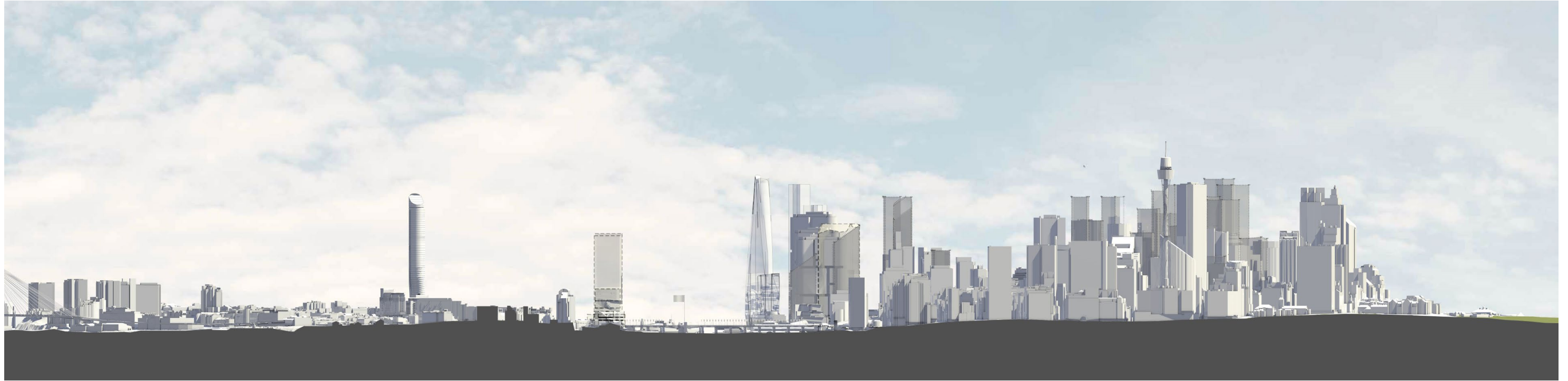
City section looking south

8.5 Urban Context I in projected future CBD and Bays Precinct context

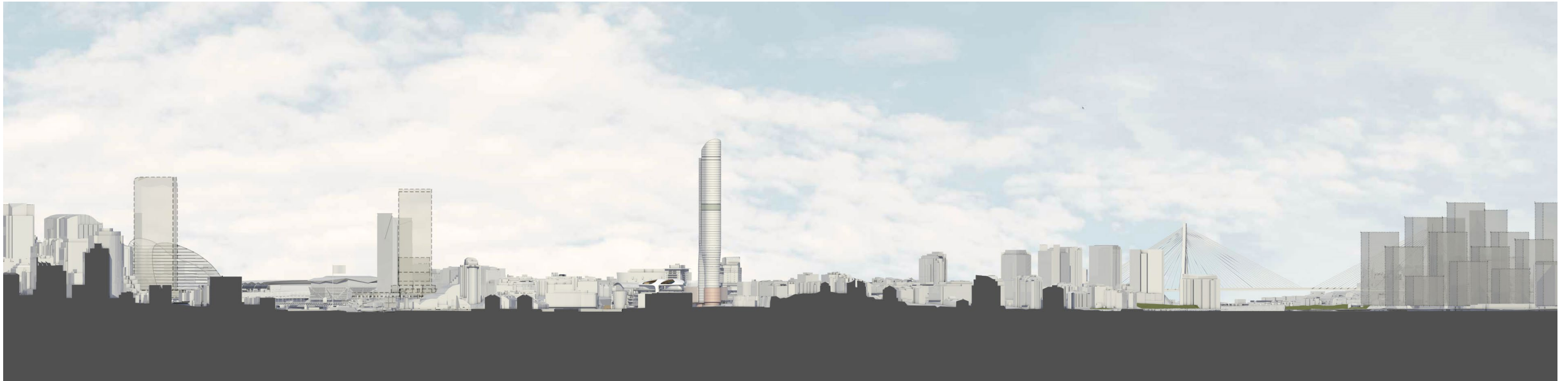
As requested by the Design Review Panel (DRP) at the March 2017 review session, the design team have studied the tower with consideration of projected future height in the CBD and the Bays Precinct to the west.

The potential future towers in the Bay Precinct are speculative only. The potential future towers with the CBD are based on City Of Sydney's Central Sydney Planning Strategy 2016 - 2036.

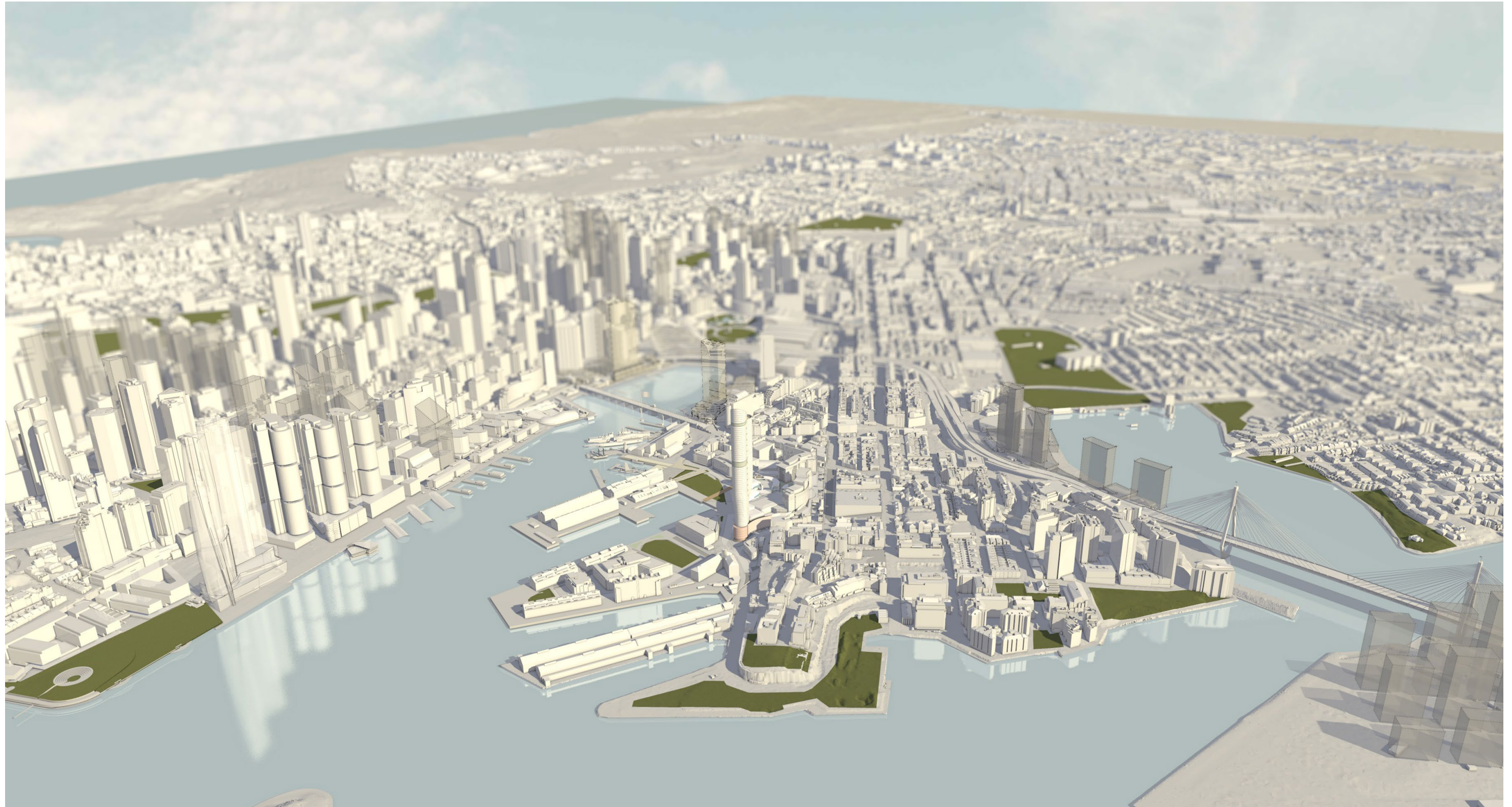




City section looking north - includes projected future CBD and Bays Precinct towers



City section looking south



City model showing proposed tower relative Pyrmont, with potential future towers to CBD and Bay's Precinct shown for information only

8.6 A tower in the round

Located on the Pyrmont Peninsula, the area is currently devoid of tall buildings, however it sits within a wider city context including Darling Harbour Waterfront, Barangaroo, Kings Wharf, Cockle Bay and Darling Live. This wider context has a number of recent buildings of comparable scale. This 'emerging waterfront' precinct is the first signs of the changing context that is set to shape the future form of Central Sydney as it grows west.

There are several sites within the immediate Pyrmont Context that have the capacity to accommodate tall buildings in the future. Due to the limited number of sites and area, future taller development in this locality is likely to occur as a singular tower or small clusters of towers rather than the significant skyline cluster that occurs in the Sydney CBD. This means, buildings are likely to be seen 'in the round', at least in the short to medium term.

Given that tower stands alone from the CBD and other tower clusters, and will be viewed in the round, it gives rise to an architectural form and expression that responds to this unique condition. The organic form of the tower

with incremental adjustments in plan between floors at the lower levels ensure that the tower makes a rich, positive and varying contribution to the skyline of both Pyrmont and the broader city context.

A precedent example of a tower design that is viewed in the round is The Shard, London. The Shard has been an important urban landmark on the south of the Thames and stands removed from other major tower groups in the City and Canary Wharf. The Shard was conceived as a spire-like sculpture emerging from the River Thames.

