

ASSESSMENT REPORT

Section 75W Modification

IPMG Warwick Farm Printing Facility – Minor Design and Site Layout Changes

1. BACKGROUND

The Warwick Farm printing facility is operated by Independent Print Media Group (IPMG) at Warwick Farm in the Liverpool local government area (see Figure 1).



Figure 1: Site location – regional context

IPMG is a leading Australian printing company with printing facilities located in Sydney, Melbourne and Brisbane.

On 24 March 2009, the IPMG printing facility at Warwick Farm was approved by the then Minister for Planning, and included the refurbishment of an existing industrial building for the purposes of 24 hour rotogravure print production, warehousing and distribution of media (including magazines, newspapers and catalogues).

In particular, the approval included the installation of 3 rotogravure printing presses in the print room, a vapour recovery system and two boiler stacks (18 metres in height) used to discharge emissions generated by the boilers.

Since then, two modifications to the project have been approved.

In June 2010, the Minister approved a modification to the project for the construction and operation of a new rail spur line connecting the IPMG site to the adjacent Southern Sydney Freight Line (SSFL) to allow IPMG to transfer paper from Port Kembla to the Warwick Farm printing facility and finished product off-site.

In May 2011, the Director-General approved an additional modification to allow IPMG to temporarily undertake Heat Set Web Offset (HSWO) printing at the premises in addition to rotogravure (as originally approved). This was partly because of an economic downturn in the printing industry and HSWO printing and equipment is generally much cheaper in terms of upfront and on-going costs.

This modification approved two interim operating scenarios at the facility, namely:

- Print Scenario 1 - installation and operation of 6 HSWO printing presses; and
- Print Scenario 2 - installation and operation of 1 rotogravure and 4 HSWO printing presses.

Additionally, this modification included minor internal and external reconfigurations to the site layout to allow HSWO printing to occur such as:

- the installation of 8 new flues on the roof of the main warehouse building to discharge exhaust gases from the HSWO printing press dryers ranging from 460mm x 820mm in diameter, the tallest of which would be 14.9 m in height; and
- relocation of the waste paper collection area (15.5 m to the west).

The modified site layout is shown in Figure 2 below.

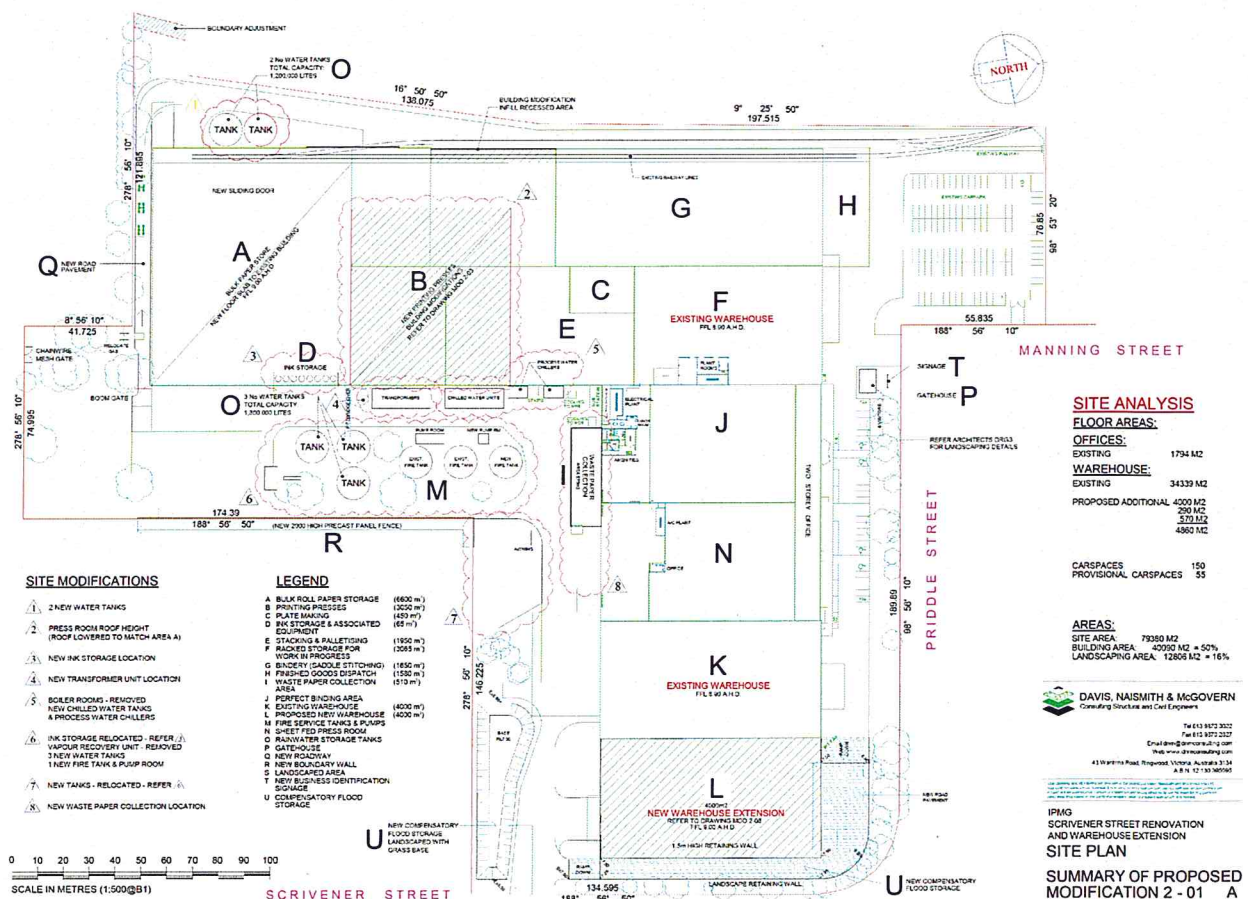


Figure 2: Modified site layout

The site will still be redeveloped (as originally approved), however, in the interim, IPMG intends to use the facility for standard HSWO printing until such time as the financial state of the printing industry improves (i.e. demand for print products increases).

The IPMG site is surrounded by a range of land uses including large industrial operations, light industrial units, residences on nearby Manning Street and horse stables associated with the nearby Warwick Farm Racecourse (approximately 800m to the north-east – see Figure 3).

Other key land uses in the vicinity of the site include (see Figure 3):

- Car parking associated with Liverpool Hospital, approximately 50m to the south;
- Liverpool Hospital, located on the western side of the rail line approximately 350m to the south west;
- The Liverpool Sewage Treatment Plant (STP), approximately 400m to the east;
- The Georges River, approximately 450m to the east; and
- Warwick Farm railway station, approximately 3.5km to the north.



 The IPMG Site

Figure 3: Locality plan

IPMG recently began installing the HSWO printing presses approved by the most recent modification. Through this process, the need for a number of additional minor changes to the building design and site layout have become evident to accommodate the specific layout, placement and size of the machinery mainly associated with HSWO printing.

2. PROPOSED MODIFICATION

IPMG is seeking to modify its existing approval to allow:

- the installation of one additional flue (totalling nine) on the roof of the main warehouse building to discharge exhaust from one of the new printer afterburners (12.3m in height and approximately 620mm in diameter, see Figures 4&6); and
- the waste paper rotary separator to protrude above the roof of the waste paper collection area by 6.6m to a final height of 12.3m (see Figures 5&6).

The additional flue would only be required in the interim for the purposes of HSWO printing and would not be required once the facility begins to operate as originally approved with 3 rotogravure printing presses.

The waste paper rotary separator separates waste paper from the airstream and allows it to fall into the bailing equipment and would be required for the life of the development. The need for this component of the modification became evident during the detailed specification and plotting of waste bailer equipment into the approved waste paper collection area which now involves two bailers, the second a fail safe back up to the main bailer.

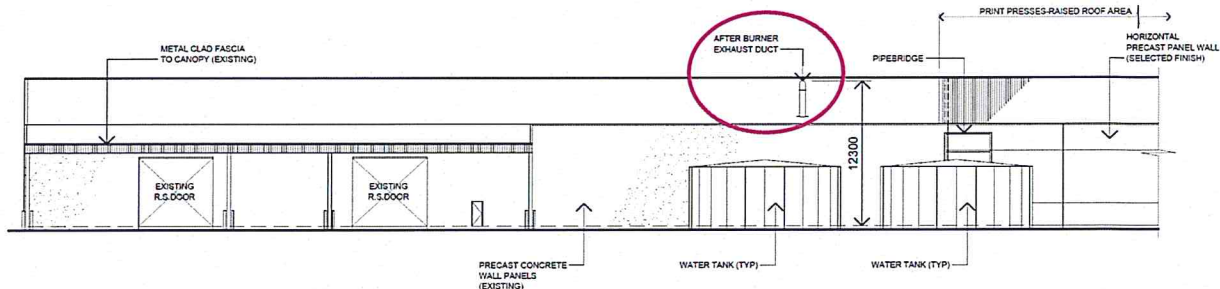


Figure 4: Part east building elevation showing additional flue

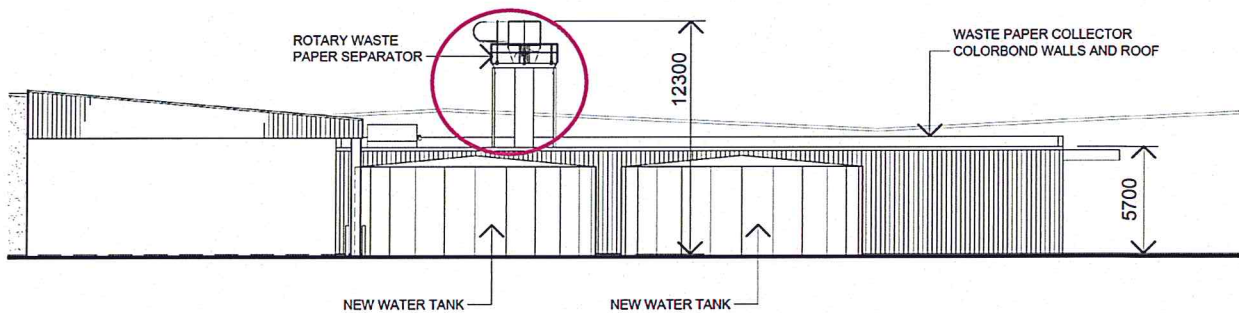


Figure 5: Part south building elevation showing protruding waste rotary paper separator

The location of the proposed modifications shown in regards to the overall site plan is illustrated in Figure 6 below.

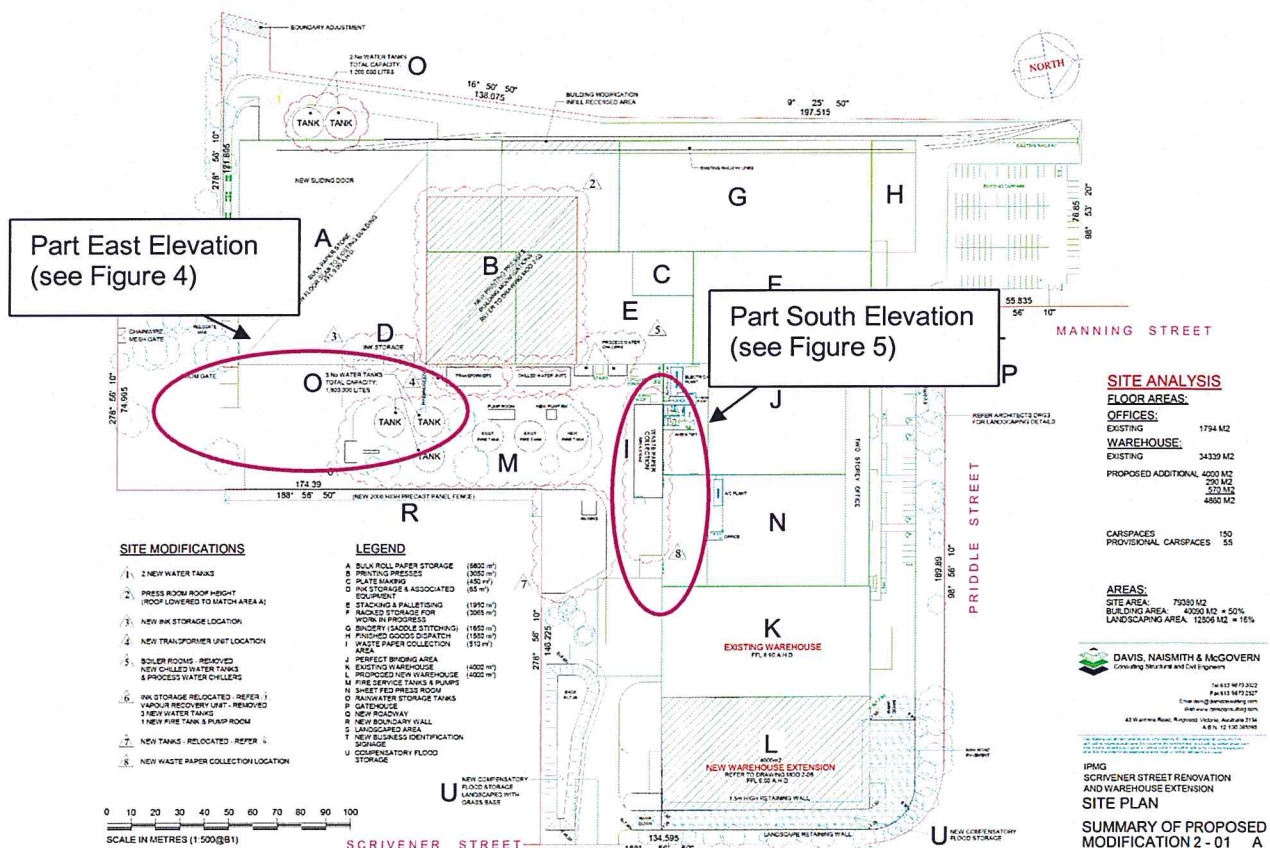


Figure 6: Location of proposed modifications in the context of the approved site plan

3. STATUTORY CONTEXT

Approval Authority

The Minister was the approval authority for the original project approval, and is consequently the approval authority for this application.

However, under the former Minister's delegation of 25 January 2010, the Director, Mining and Industry Projects may determine applications under section 75W of the EP&A Act where there are fewer than 25 public submissions in the nature of objections. The Minister for Planning and Infrastructure has confirmed this delegation, subject to the local council not objecting to the proposal.

As Liverpool City Council has not objected to the proposal, and as there were no public submissions received in relation to this application, the Department is satisfied that the Director may determine the application under delegated authority on this occasion.

Section 75W

Under section 75W of the EP&A Act, the Minister is obliged to be satisfied that what is proposed is indeed a modification of the original proposal, rather than being a new project in its own right.

The overall size and function of the printing facility would remain unchanged as a result of the proposal and any environmental impacts associated with the proposal are expected to be negligible. The Department has reviewed the extent of the proposed modification and considers that the scale of the development would not increase and environmental impacts would not change. Therefore, it is considered that the proposed modification is within the scope of section 75W of the EP&A Act.

Consequently, the Department considers that the application should be assessed and determined under section 75W of the EP&A Act rather than requiring a new development or project application to be lodged.

4. CONSULTATION

Under section 75W of the EP&A Act, the Department is not required to notify or exhibit the application. However, upon receipt, the application was placed on the Department's website and following a review of the application, the Department sought comments from Liverpool City Council (Council).

Consultation with other government agencies and other neighbouring sites was considered unnecessary as the environmental impacts of the proposal would essentially remain unchanged.

Council raised no objection to the proposed modification provided that there would be no adverse visual impacts on residents in Scrivener Street or Priddle Street and the additional flue would not result in any adverse air quality impacts.

No submissions were received from members of the general public.

5. CONSIDERATION

The application seeks to make slight changes to the building design and site layout of the approved IMPG printing facility necessary to accommodate machinery and equipment associated with HSWO printing. The Department considers this to be a minor modification with minimal, if any, environmental impact.

The proposed additional flue and the waste paper rotary separator would both be 12.3m in height from ground level, approximately 2.6m lower than the tallest existing approved flue and 5.7m lower than the existing approved 18 metre boiler stacks.

The flue would not be visible from Scrivener Street or from the residences along Priddle Street as it will be screened by the existing warehouse roof. The additional flue would not alter the air emissions of the approved project.

Finally (as above), the additional flue would only be required in the interim for the purposes of HSWO printing and would not be required once the facility begins to operate as originally approved with 3 rotogravure printing presses.

The waste paper rotary separator, at 12.3m in height would be visible from Scrivener Street to the east of the site. However, the impact of this is considered to be minimal given the site's industrial context, the absence of residential receptors on this street and the fact that it is one of several similar sized structures on the site (e.g. the adjacent main printing press room which is 12.5m in height).

The top of the waste paper rotary separator is unlikely to be visible by pedestrians on Priddle Street to the north of the site as views would be obstructed by the existing printing warehouse and mature trees.

The separator may be visible from some houses and stables across Priddle Street, but is considered not to be obtrusive given the industrial context of the site and that the majority of the existing building is screened from the residential receivers along Priddle Street by well-established landscaping and mature trees.

The Department is therefore satisfied that the proposed modification would not result in any additional environmental impacts relative to the approved facility.

6. CONCLUSION

The Department has assessed the proposed modification in accordance with the requirements of clause 8B of the Regulations. This assessment has found that the proposed modification is unlikely to have any environmental impacts and would not result in any significant change to the layout or design of the approved facility.

Consequently, the Department is satisfied that the modification should be approved.

7. RECOMMENDATION

It is RECOMMENDED that the Director, Mining and Industry Projects:

- consider the findings and recommendations of this report;
- determine that the proposed modification is within the scope of section 75W of the EP&A Act;
- approve the proposed modification under section 75W of the EP&A Act; and
- sign the attached notice of modification.

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 8/8/11

David Kitto
Director
Mining and Industry Projects