

Reference: #16S1264000

11 April 2016

Erskine Park Development No.1 Pty Ltd
 C/- LOGOS
 Suite 2, Level 29, Aurora Place
 88 Phillip Street
 SYDNEY NSW 2000

Attention: Mr. James Greener

Dear James

RE: S75W MODIFICATION - 133 - 145 LENORE LANE, ERSKINE PARK

Background

Consent was granted in July 2010 by the DPE (MP 08_0016) for the development of printing, warehouse and distribution facilities on the consolidated site of approximately 13.5 Ha, legally described as Lot 62 in DP 1090695. The approved development scheme involves the staged construction of three warehouses as follows:

- Warehouse 1 – to be located on area fronting and accessed via northern side of Lenore Drive (i.e. subject site) involving warehousing and ancillary administrative floor space with GFA of 3,655 m².
- Warehouses 2 & 3 – to be located north of Warehouse 1 and accessed via a battle-axe arrangement involving printing, warehousing and ancillary administrative floor space with GFA of 55,621 m².

Two subsequently approved S75W modifications sought amendments to the following:

- Deletion of the printing use associated with Warehouse 2 & 3 and consolidation of the two warehouses for a single tenant SRG.
- Amendments to vehicle access arrangements
- Amendments to loading arrangements
- Amended car parking layout.

The eventual outcome of the approved warehouse development scheme is summarised in Table 1 below while the stamped architectural plans are provided in Attachment A.

Table 1: Approved Development Composition

Component	Approved
Warehouse (GFA)	6,912 m ²
Office (GFA)	635 m ²
<i>Total</i>	<i>7,547 m²</i>
Loading Dock (No.)	7
Carpark (No.)	75

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 gold coast
 townsville
 perth

Level 6, 15 Help Street
 CHATSWOOD NSW 2067

PO Box 5254
 WEST CHATSWOOD NSW 1515
 t// +612 8448 1800

www.gta.com.au

Proposed S75W Modification

It is proposed to submit a S75W modification to seek approval for a number of amendments to the originally approved scheme. The amendments sought under this application involve:

- amendment of the office building layout (from two-storey to single storey)
- amendment to car park layout
- removal of the eastern carpark egress
- reduction by one loading dock
- provision of a median kerb at Lenore Lane to restrict vehicle access movements to left in and left out only

Details of the proposed amendments are summarised in Table 2 and shown on the plans provided in Attachment B.

Table 2: S75W Development Proposal

Component	Approved	Proposal
Warehouse (GFA)	6,912 m ²	6,912 m ²
Office (GFA)	635 m ²	633 m ²
<i>Total</i>	<i>7,547 m²</i>	<i>7,545 m²</i>
Loading Dock (No.)	7	6
Carpark (No.)	75	75

Source: LOGOS Properties

Traffic & Parking Assessment

External

The proposed median at Lenore Lane will restrict vehicle access movements to left in and left out only. In addition, the removal of an exit only driveway near the eastern boundary will channel all vehicle access movements to the remaining driveway at Lenore Lane. While it is expected that frequency of traffic movements at the Lenore Lane driveway will increase as a result of this it is anticipated that the left in and left out restriction will provide additional capacity at the access intersection. Further, the prohibition of right turn movements also improve safety for vehicles entering/leaving the site.

Internal

The amended carpark and office will impact on the internal circulation for vehicles requiring access to the site.

A swept path and carpark compliance assessment indicate that the amended carparking and loading facilities will continue to operate satisfactorily and will have regard for the design criteria of AS2890.1, 2 and 6. The loading docks will be able to accommodate up to a 19 metre articulated semi-trailer. However, it is noted that the ingress manoeuvre of a semi-trailer at the northern most dock will occupy the last two spaces on the adjoining staff carpark (details shown on appended swept path diagrams). In the rare occasion that the car park is fully occupied, then the dock would be limited to access by up to a 12.5 metre heavy vehicle only. It is anticipated that this minor restriction may be managed by the warehouse' operators.

Details of the swept path assessment are provided in Attachment C.

Summary

A traffic and parking assessment has been undertaken for the proposed S75W modification scheme. The proposal seeks to:

- amend the site office building layout (from two-storey to single storey)
- amend the carpark layout
- remove the carpark's eastern exit
- restrict site access movements to left in and left out only (by a median).

The assessment has established that:

- the amended office building will have no undue implications on the carpark design and vehicle circulation
- the amended carpark will be generally consistent with the AS2890.1 and 2 design requirements.
- the removed car park egress will have no adverse implications on the carpark's circulation
- the left in and left out restriction will provide additional access capacity and improve safety outcome
- the northernmost dock will be managed by the warehouse' operations team to ensure that access is to be limited to a 12.5 metre truck in the event that the adjoining carpark is fully occupied.

I trust the enclosed is consistent with your expectations. Naturally, should you have any questions or require any further information, please do not hesitate to contact me on (02) 8448 1800.

Yours sincerely

GTA CONSULTANTS



Ken Hollyoak
Director (NSW)

Attachments

Attachment A	Approved Scheme
Attachment B	Proposed Modifications
Attachment C	Swept Path diagrams

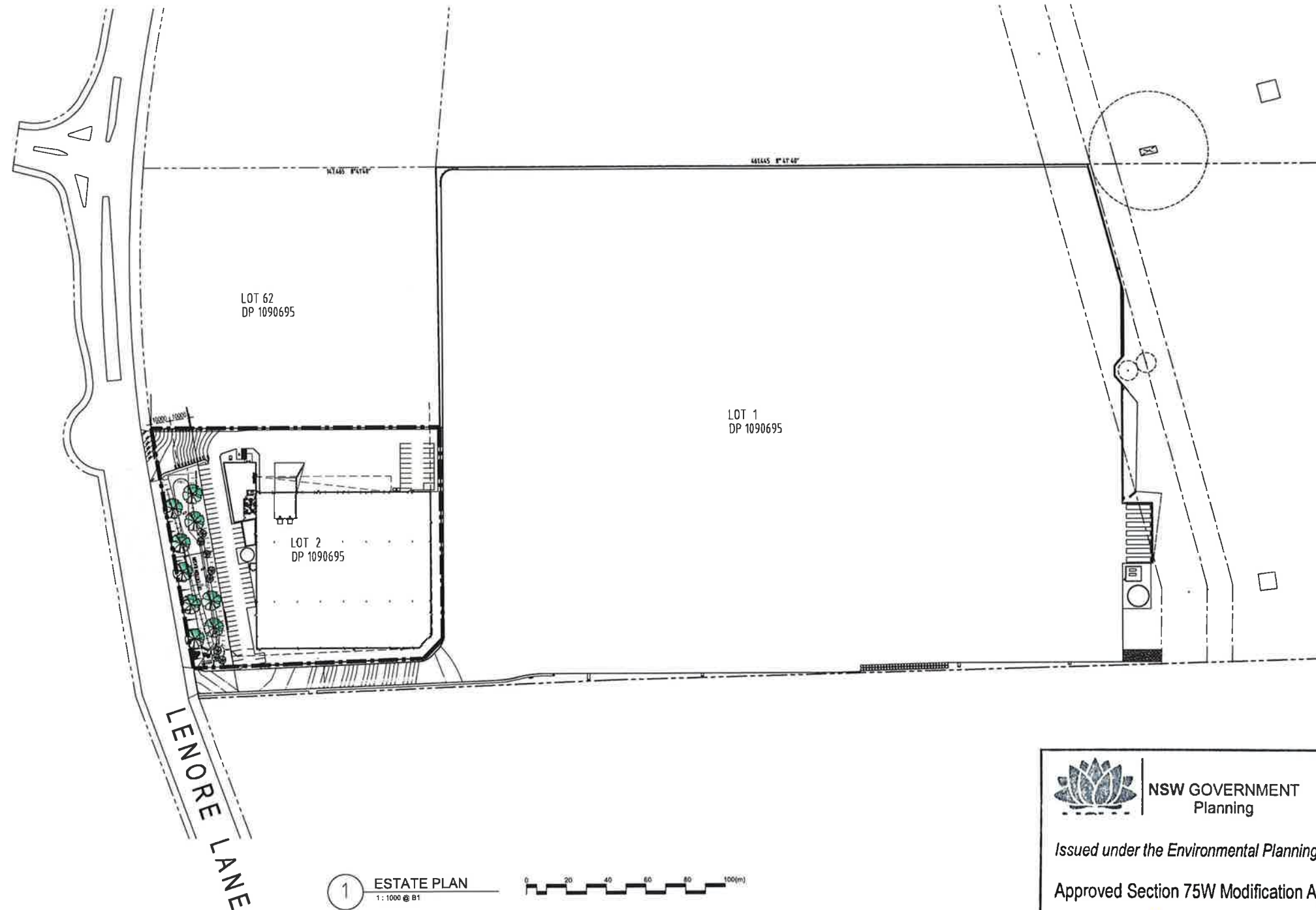
Attachment A Approved Scheme

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CHATSWOOD NSW 2067
PO Box 5254
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www.gta.com.au

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Planning

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Approved Section 75W Modification Application

No. 2 granted on the 29/2/16

in respect to MP 08-0016

Signed [Signature]

Sheet No. 1 of 21

1	18.12.15	DA SUBMISSION
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LOGOS

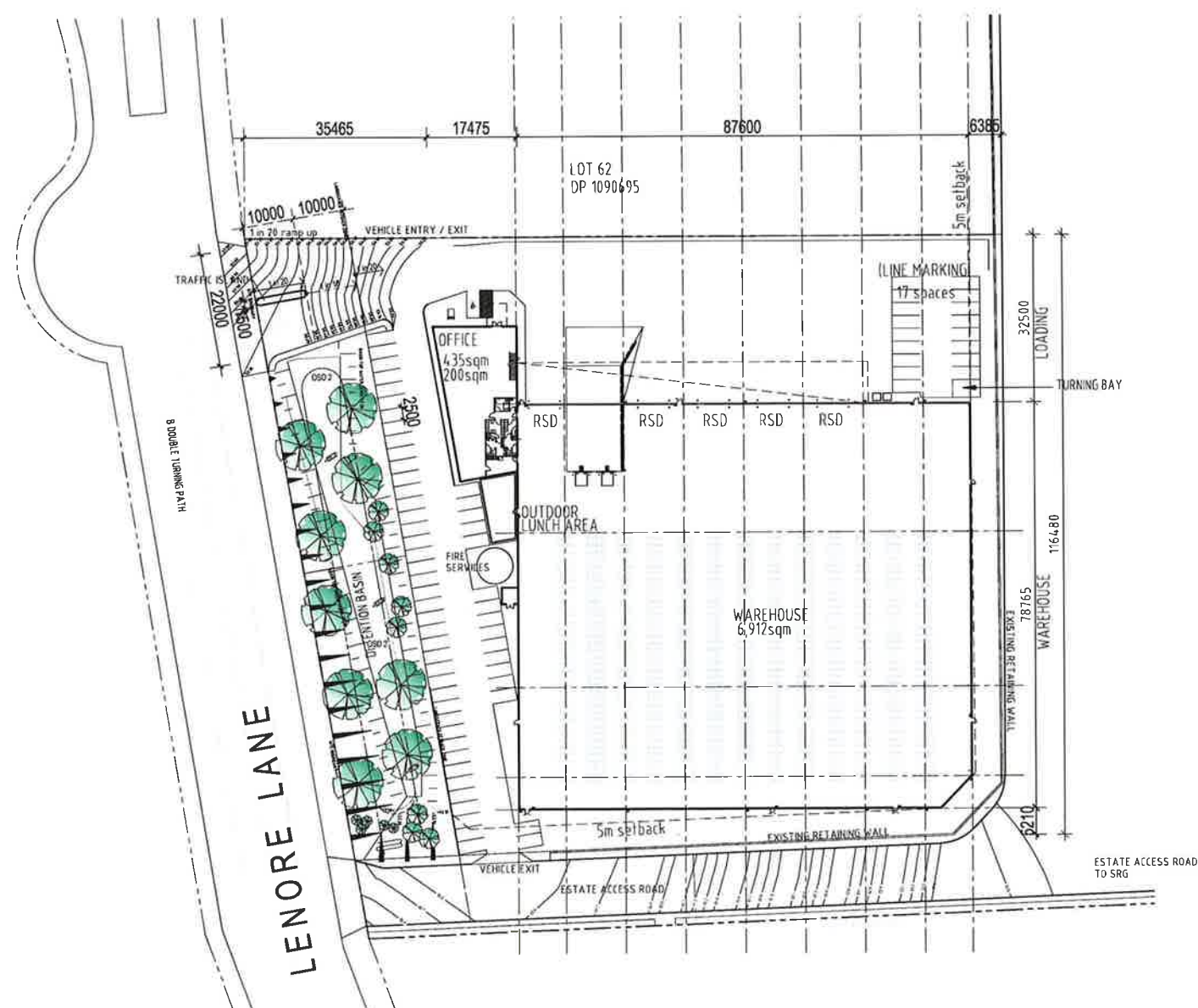
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Sydney NSW 2000
T + 61 2 9119 8066 F + 61 2 9231 0948

Project:
PROPOSED WAREHOUSE
LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.



Drawing title:
ESTATE PLAN

Date:	Scale:	Drawn:	Project number:	Drawing number:	Issue:
16/12/15	1:1000	AA	SPC	ERSK-DA-001	1



1 LOT 2 SITE PLAN
1:500 @ B1

0 10 20 30 40 50(m)



1 LOCATION PLAN
1:500 @ B1

SCHEDULE OF AREAS	
SITE AREA	15 895 sqm
DETENTION BASIN AREA (included in site area)	2 156 sqm
developable land	13 739 sqm
WAREHOUSE	6,912 sqm
OFFICE - (GF)	435 sqm
OFFICE - (L1)	200 sqm
TOTAL BUILDING AREA	7,545 sqm
AWNING 1 - 8m wide - doors on grade (with 2 sunken docks)	544sqm
PAVEMENT AREAS	
LIGHT DUTY PAVEMENT (includes carpark / driveways)	1,427 sqm
(75 cars provided including 1 disabled space)	
HEAVY DUTY PAVEMENT (includes driveways / hardstand / truck turning areas)	3,570 sqm



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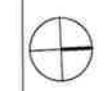
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Suite 12.02 / 157 Macquarie Street
Sydney NSW 2000
T + 61 2 9119 0066 F + 61 2 9231 0948

Project:
PROPOSED WAREHOUSE
LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.



Drawing title:
LOT 2 SITE PLAN

Date	Scale	Drawn	Project number	Drawing number	Issue
16/12/15	shown	AA	SPC	ERSK-DA-002	1



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Suite 12.02 / 167 Macquarie Street
Sydney NSW 2000
T: +61 2 9119 6066 F: +61 2 9231 0948

Project: **PROPOSED WAREHOUSE**

LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.

Date: 16/12/15 Scale: AA Drawn: SPC Project number: ERSK-DA-120 Issue: 1

10/08
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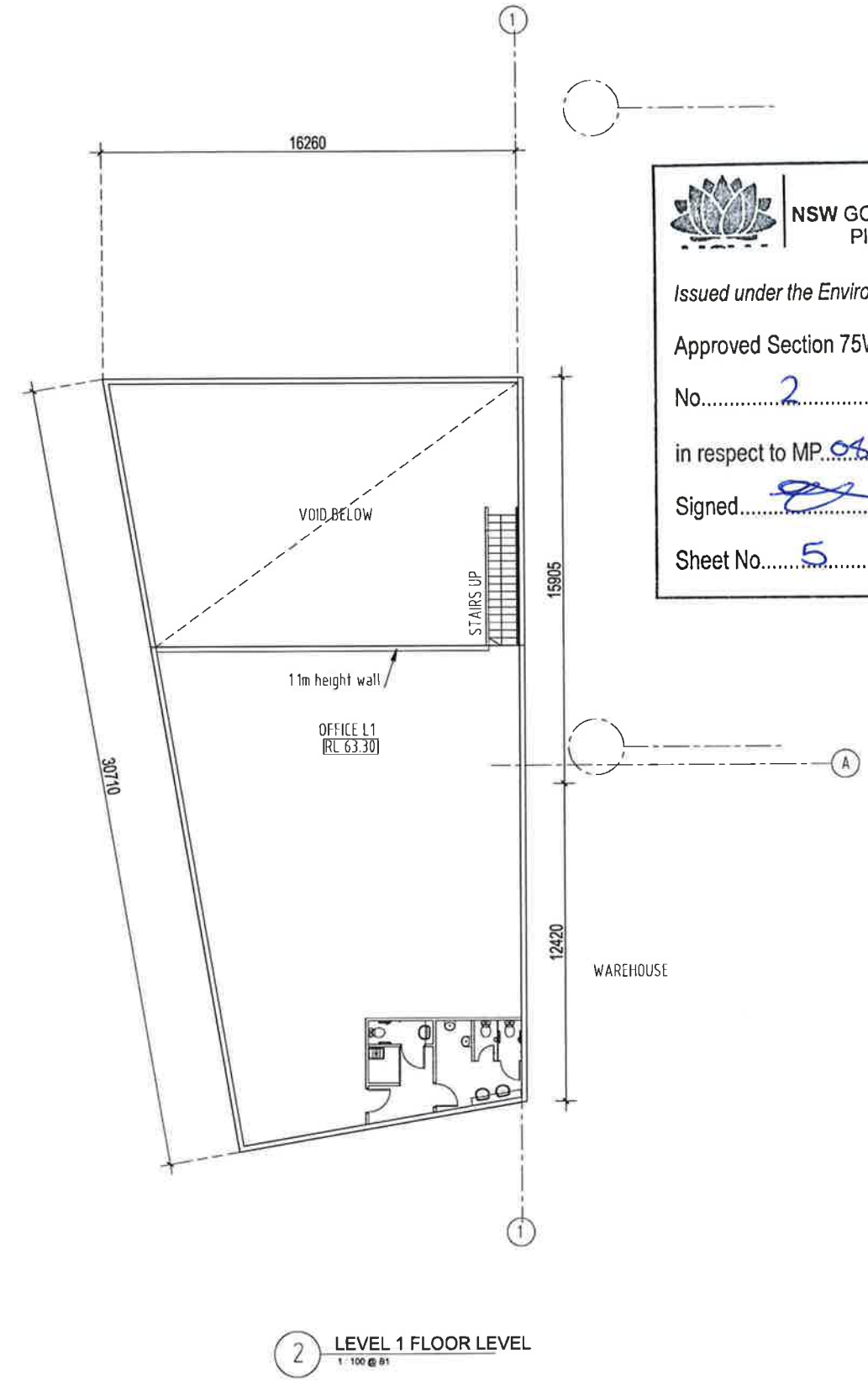
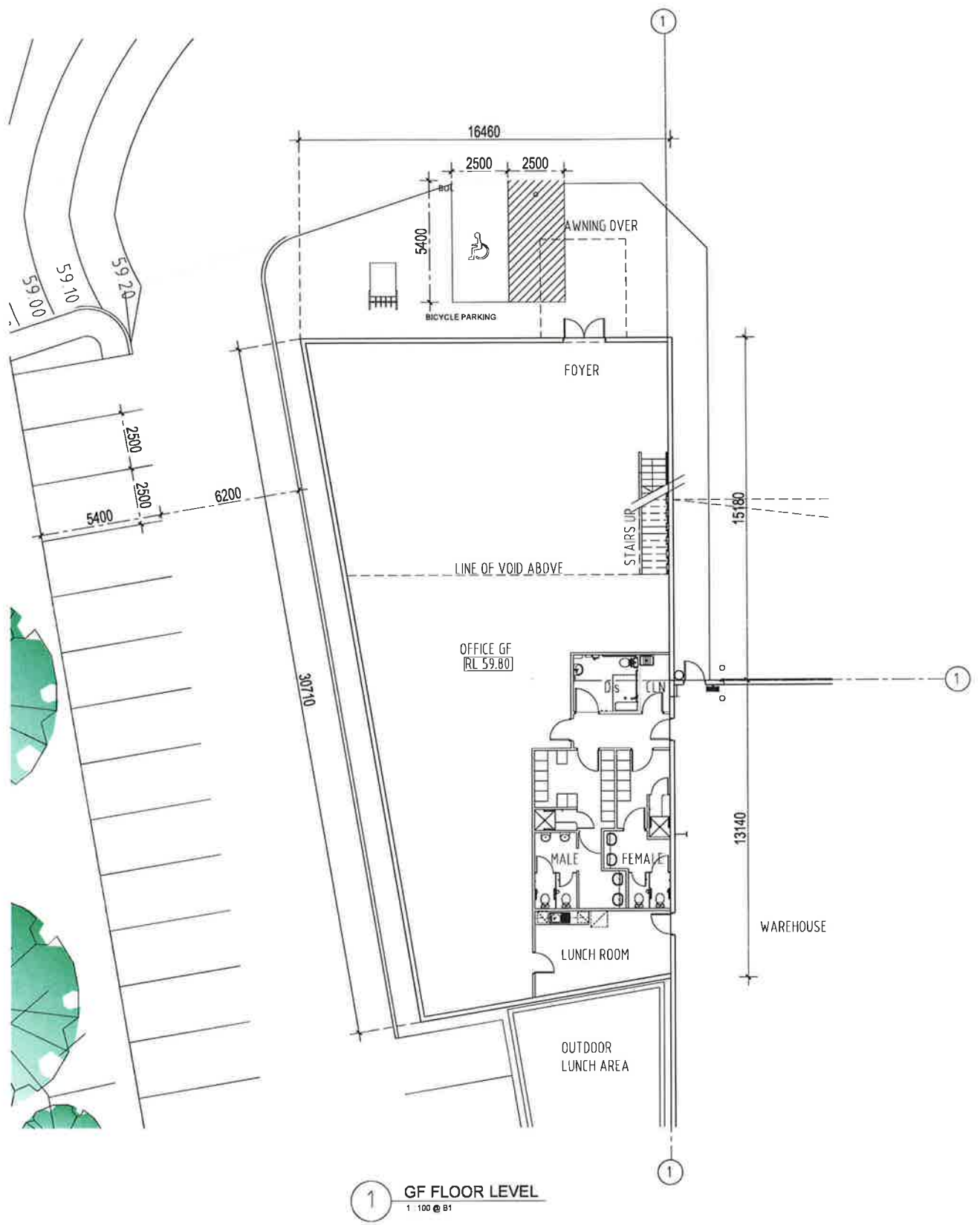
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PROPOSED WAREHOUSE

LOT 82 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.

OFFICE FLOOR PLAN

Date	Scale	Drawn	Project number	Drawing number	Issue
10/12/15	1:100 @ B1	AA	SPC	ERSK-DA-150	1



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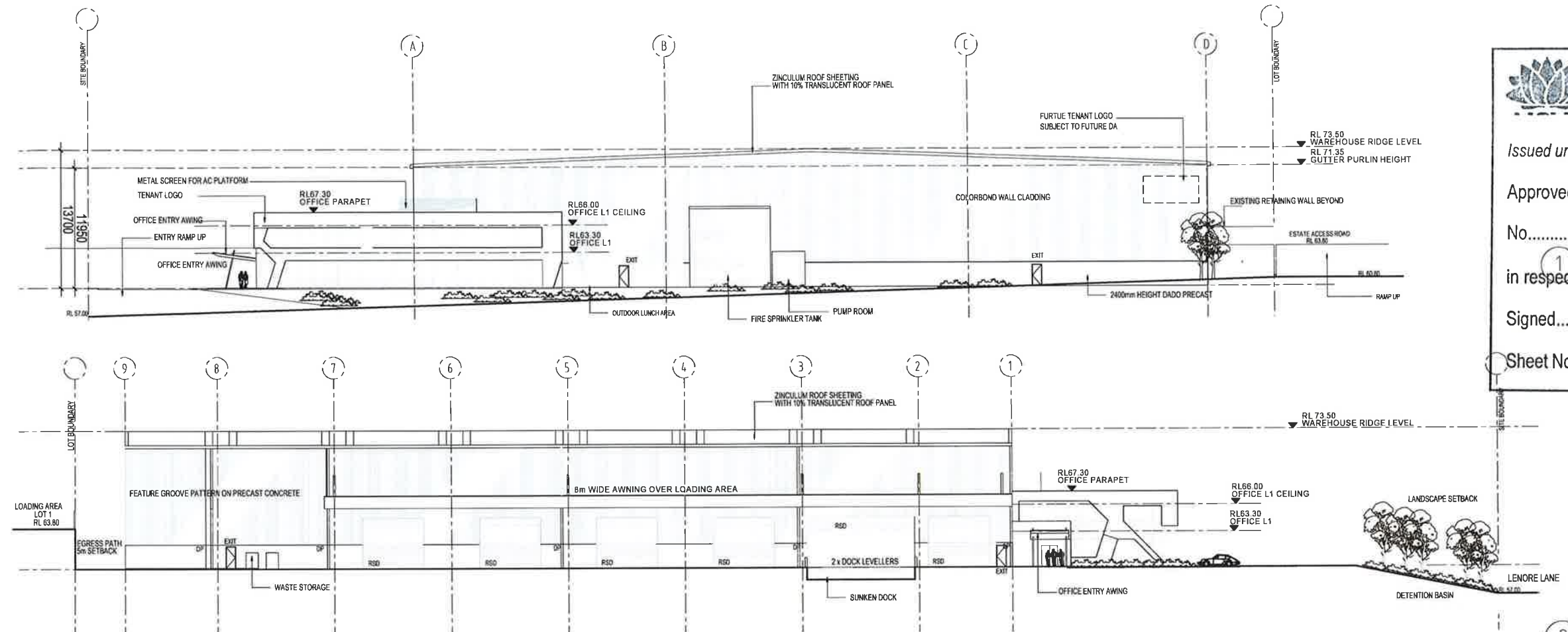
Approved Section 75W Modification Application

No. 2 granted on the 29/12/16

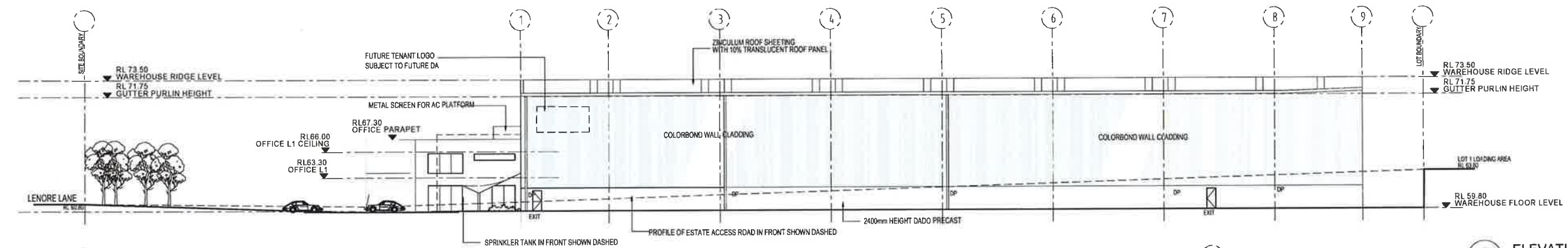
ELEVATION 1
in respect to MP 08-0016

Signed [Signature]

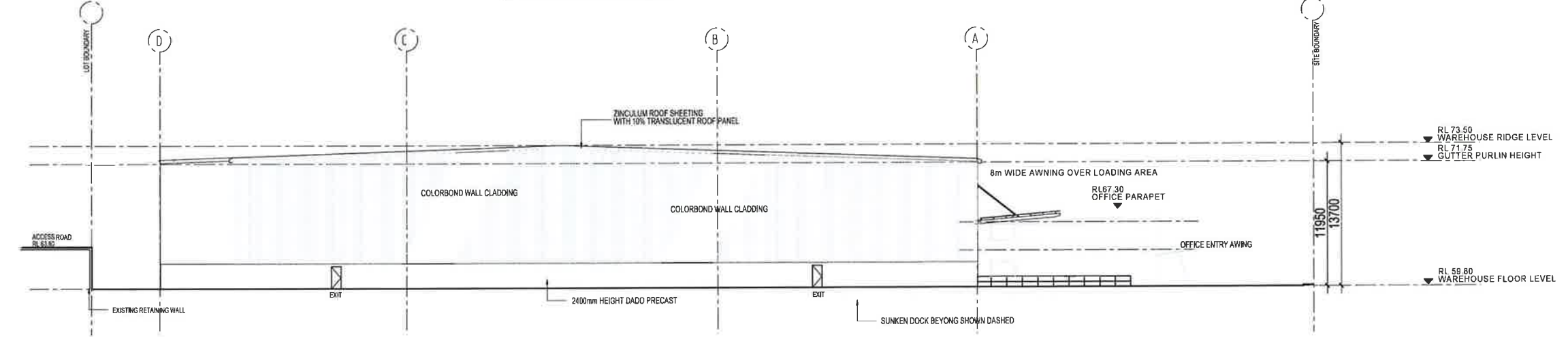
Sheet No. 6 of 21



2 ELEVATION 2
1:200 @ B1



3 ELEVATION 3
1:200 @ B1



4 ELEVATION 4
1:200 @ B1



1	16.12.15	DA SUBMISSION
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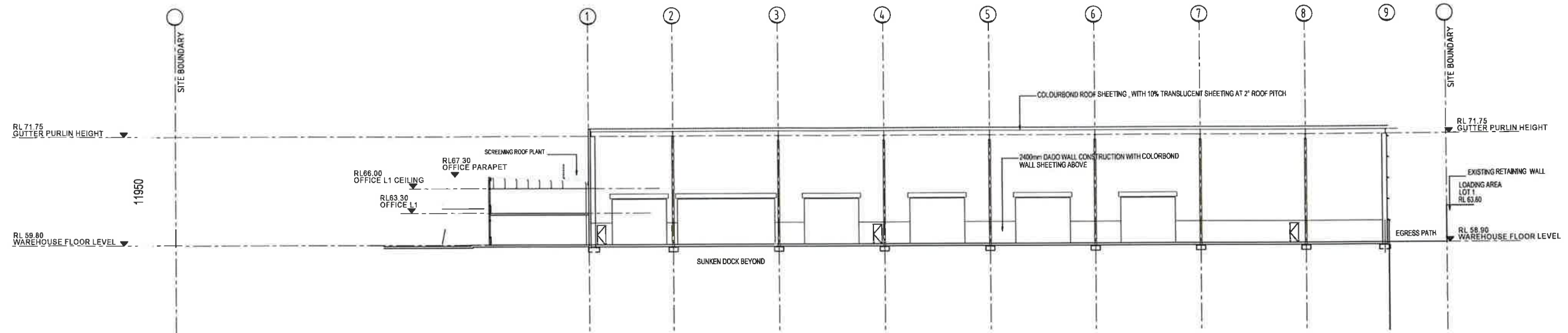
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Project:
PROPOSED WAREHOUSE
LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.

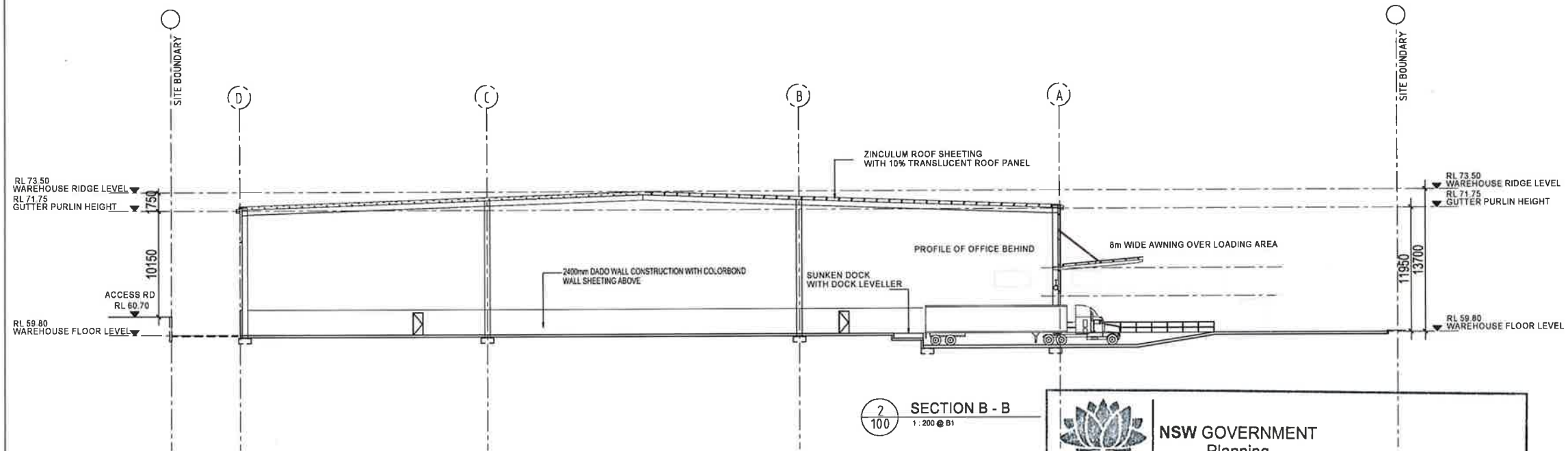
Building Elevations

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1
100
SECTION A - A
1:200 @ B1



2
100
SECTION B - B
1:200 @ B1



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1	16.12.15	DA SUBMISSION
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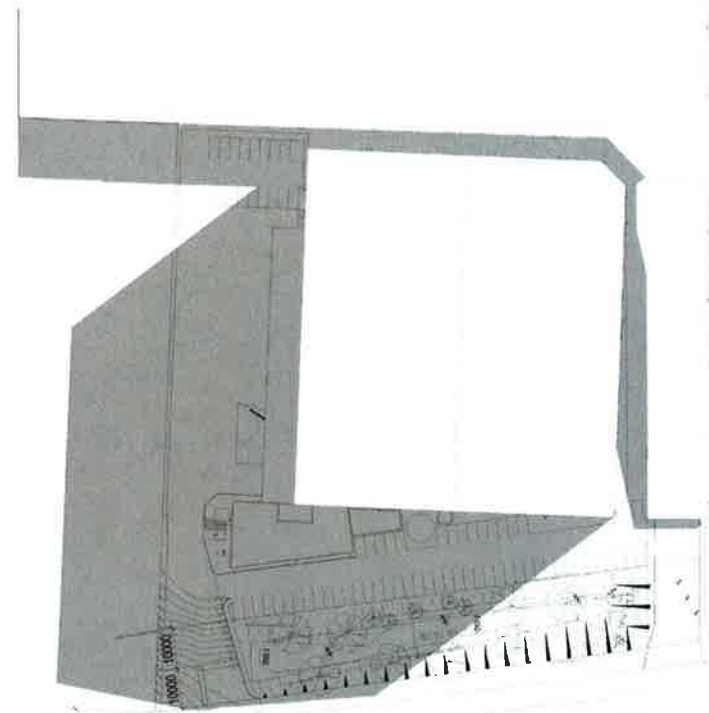
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Sydney NSW 2000
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Project:
PROPOSED WAREHOUSE
LOT 82 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.

Drawing title
BUILDING SECTIONS

Date	Scale	Drawn	Project number	Drawing number	Issue
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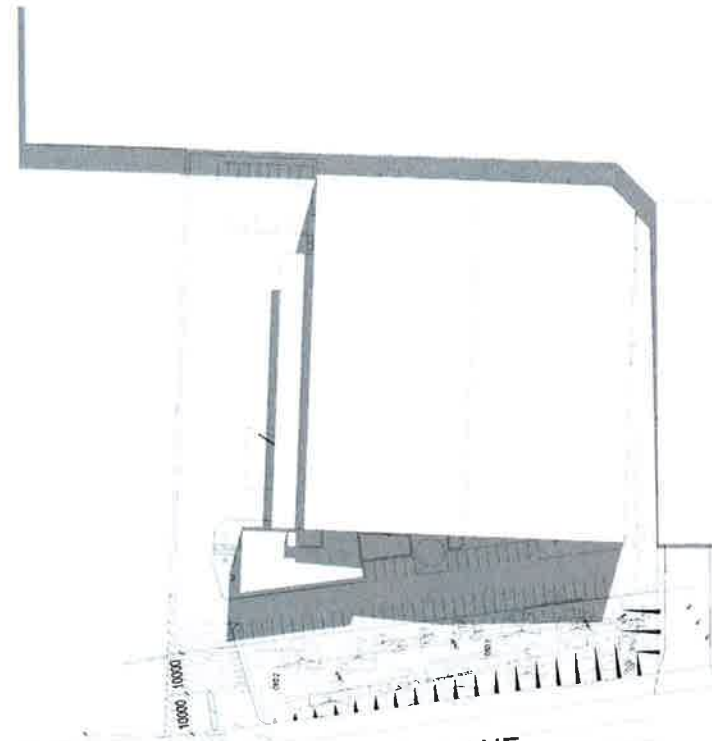
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LENORE LANE



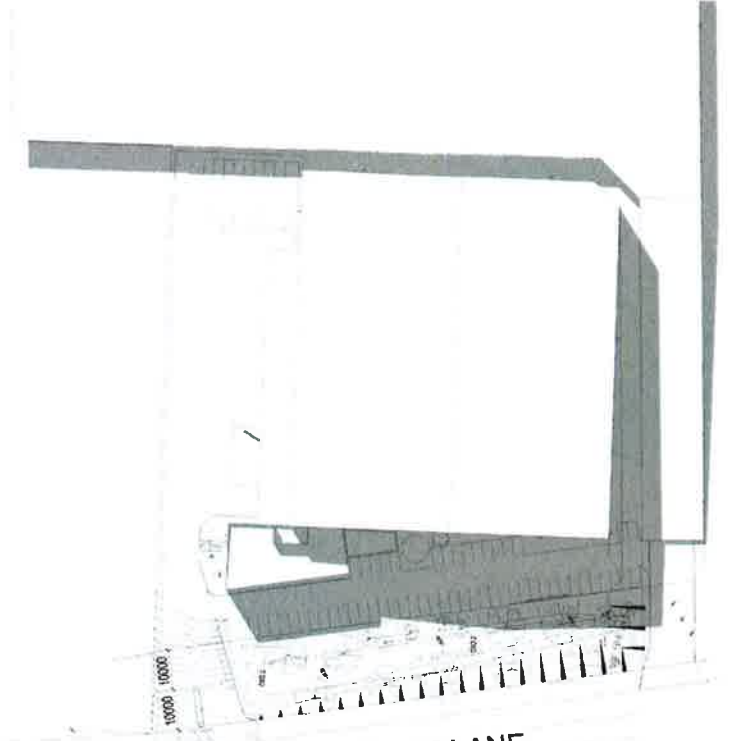
WINTER SOLSTICE (21 JUNE)
① Shadow Diagram - 9am
1 : 750



LENORE LANE



WINTER SOLSTICE (21 JUNE)
② Shadow Diagram 12pm
1 : 750



LENORE LANE



WINTER SOLSTICE (21 JUNE)
③ Shadow Diagram 3pm
1 : 750



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16.12.15		DA SUBMISSION	
LOGOS LOGOS PROPERTY GROUP Suite 12.02 / 167 Macquarie Street Sydney NSW 2000 t: + 61 2 9118 9066 f: + 61 2 9231 0948			
Project: PROPOSED WAREHOUSE LOT 62 / 133 - 145 LENORE LANE, ERSKINE PARK, NSW.			
Drawing No: SHADOW DIAGRAM			
Date: 16/12/15	Scale: shown	Drawn: AA	Project number: SPC Drawing number: ERSK-DA-S01 Issue: 1

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ARTIST IMPRESSION VIEW FROM LENORE LANE



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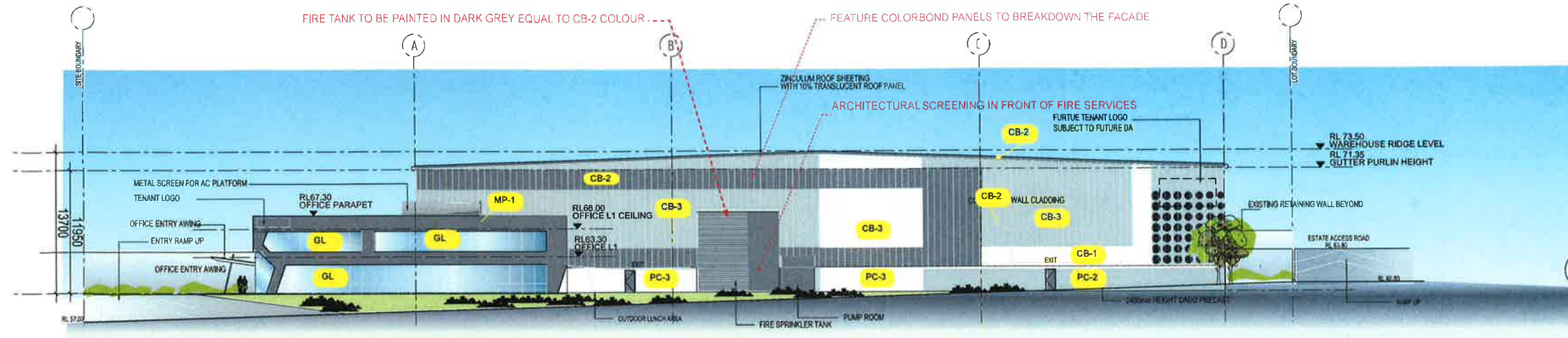
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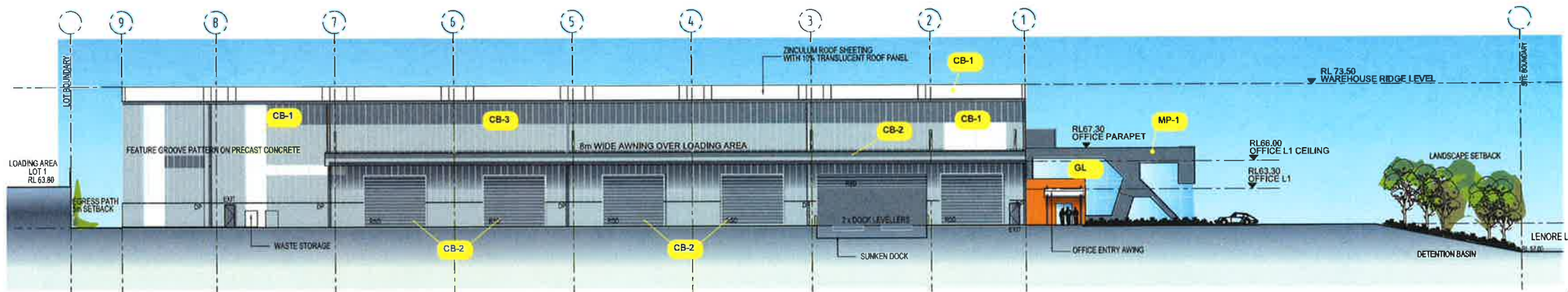
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LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.

Drawing title:
ARTIST IMPRESSION

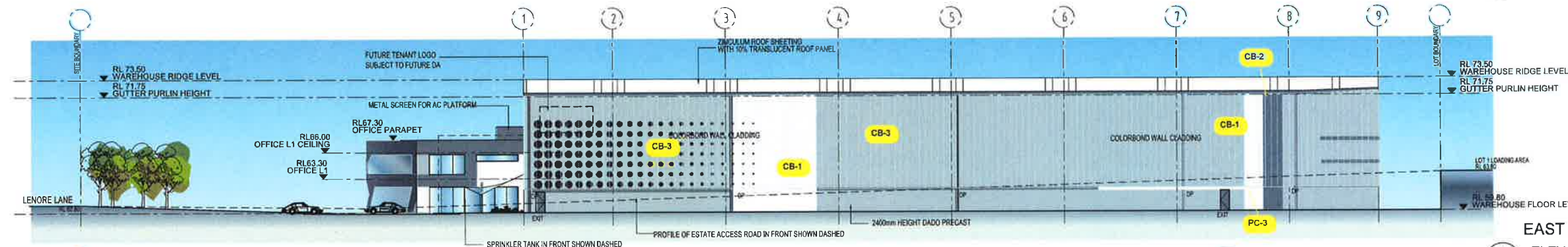
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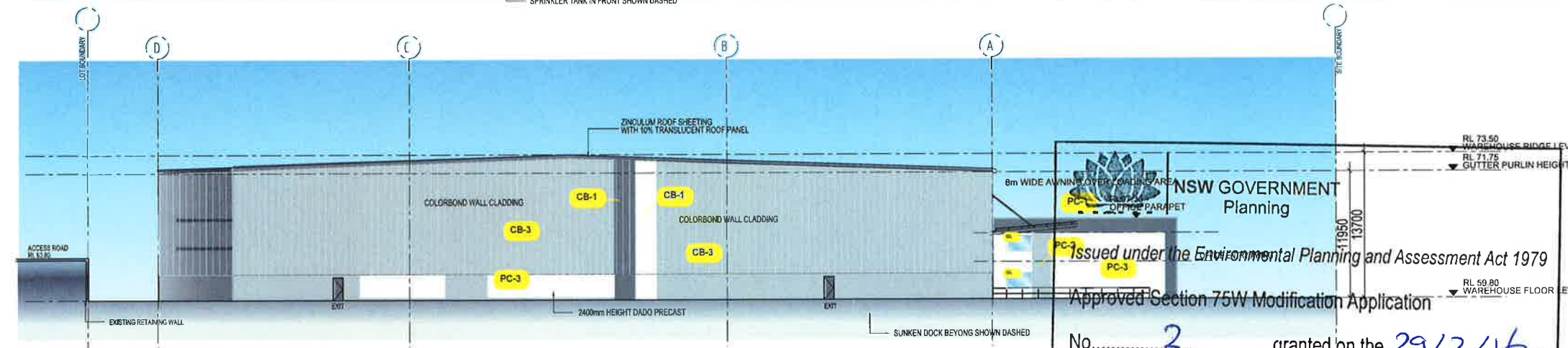
1
SOUTH
ELEVATION 1
1:200 @ B1



2
WEST
ELEVATION 2
1:200 @ B1



3
EAST
ELEVATION 3
1:200 @ B1



4
NORTH
ELEVATION 4
1:200 @ B1

MATERIAL FINISHES SPECIFICATION

PRECAST CONCRETE - PAINT COLOUR

Wayward Grey



Tranquil Retreat



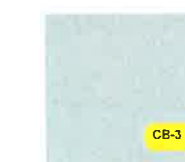
Vivid White



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Sheet No. 10 of 21

LOT 2, 133-145 LENORE DRV, ERSKINE PARK

rev B
DA-M-01

PROPOSED DEVELOPMENT

LOT 2, 133-145 LENORE LANE

ERSKINE PARK

DRAWING LIST:

DRAWING NO.	DRAWING TITLE
C08753.11-DA10	DRAWING LIST & GENERAL NOTES
C08753.11-DA20	EROSION & SEDIMENT CONTROL PLAN
C08753.11-DA25	EROSION & SEDIMENT CONTROL DETAILS-SHEET 1
C08753.11-DA26	EROSION & SEDIMENT CONTROL DETAILS-SHEET 2
C08753.11-DA40	DRAINAGE/MUSIC CATCHMENT PLAN
C08753.11-DA41	STORMWATER DRAINAGE PLAN
C08753.11-DA45	STORMWATER DRAINAGE DETAILS-SHEET 1
C08753.11-DA46	STORMWATER DRAINAGE DETAILS-SHEET 2
C08753.11-DA50	FINISHED LEVELS PLAN

GENERAL NOTES:

- G1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- G2 ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT STANDARDS AUSTRALIA CODES AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- G3 ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE. ENGINEER'S DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. ENGINEER'S DRAWINGS ISSUED IN ANY ELECTRONIC FORMAT MUST NOT BE USED FOR DIMENSIONAL SETOUT. REFER TO THE ARCHITECT'S DRAWINGS FOR ALL DIMENSIONAL SETOUT INFORMATION.
- G4 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS AND EXCAVATIONS STABLE AT ALL TIMES.
- G5 UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETRES.
- G6 ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH ACCEPTABLE SAFETY STANDARDS & APPROPRIATE SAFETY SIGNS SHALL BE INSTALLED AT ALL TIMES DURING THE PROGRESS OF THE JOB.

ELECTRONIC INFORMATION NOTES:

1. THE ISSUED DRAWINGS IN HARD COPY OR PDF FORMAT TAKE PRECEDENCE OVER ANY ELECTRONICALLY ISSUED INFORMATION, LAYOUTS OR DESIGN MODELS.
2. THE CONTRACTOR'S DIRECT AMENDMENT OR MANIPULATION OF THE DATA OR INFORMATION THAT MIGHT BE CONTAINED WITHIN AN ENGINEER-SUPPLIED DIGITAL TERRAIN MODEL AND ITS SUBSEQUENT USE TO UNDERTAKE THE WORKS WILL BE SOLELY AT THE DISCRETION OF AND THE RISK OF THE CONTRACTOR.
3. THE CONTRACTOR IS REQUIRED TO HIGHLIGHT ANY DISCREPANCIES BETWEEN THE DIGITAL TERRAIN MODEL AND INFORMATION PROVIDED IN THE CONTRACT AND/OR DRAWINGS AND IS REQUIRED TO SEEK CLARIFICATION FROM THE SUPERINTENDENT.
4. THE ENGINEER WILL NOT BE LIABLE OR RESPONSIBLE FOR THE POSSIBLE ON-GOING NEED TO UPDATE THE DIGITAL TERRAIN MODEL, SHOULD THERE BE ANY AMENDMENTS OR CHANGES TO THE DRAWINGS OR CONTRACT INITIATED BY THE CONTRACTOR.

SITE PREPARATION NOTES:

1. ALL EARTHWORKS SHALL BE COMPLETED GENERALLY IN ACCORDANCE WITH THE GUIDELINES SPECIFIED BY THE GEOTECHNICAL REPORT.
2. EXISTING LEVELS ARE BASED ON INFORMATION PROVIDED BY BARKER RYAN STEWART TITLED 13030E2.01 DATED 22 NOVEMBER 2013.
3. STRIP ANY TOP SOIL OR DELETERIOUS MATERIAL AND BLEND INTO BATTER TOPSOIL MATERIAL OR STORE AS DIRECTED.
4. COMPLETE CUT TO FILL EARTHWORKS TO ACHIEVE THE REQUIRED LEVELS AS INDICATED ON THE DRAWINGS WITHIN A TOLERANCE OF +0mm/-10mm THROUGH BUILDING PADS/PAVEMENTS AND +0mm/-20mm ELSEWHERE.
5. TOP 1000mm ROCK BELOW BULK EARTHWORKS LEVEL (BEL) IN AREAS OF CUT TO BE RIPPED AND RECOMPACTED IN ACCORDANCE WITH GEOTECHNICAL ADVICE AS 'SITE WON FILL'.
6. IN AREAS OF FILL, THE TOP 500mm IS TO COMPRISE OF SELECT CRUSHED ROCK, SITE WON FROM AREAS OF CUT IN ROCK.
7. PREPARE STEEP BATTERS TO RECEIVE FILL BY CONSTRUCTING BENCHING TO FACILITATE FILL PLACEMENT AND COMPACTION.
8. AREAS TO RECEIVE FILL (THAT ARE NOT ON BENCHED BATTERS) AND AREAS IN CUT SHALL BE PROOF ROLLED TO IDENTIFY ANY SOFT HEAVING MATERIAL. SOFT MATERIAL SHALL BE BOXED OUT AND REMOVED PRIOR TO FILL PLACEMENT.
9. SITE WON FILL TO BE PLACED IN MAXIMUM 300mm LOOSE LAYERS AND COMPACTED TO 100% STANDARD AND WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
10. IMPORTED FILL SHALL BE PLACED IN MAXIMUM 300mm LOOSE LAYERS AND COMPACTED TO 100% STANDARD AND WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
11. MAXIMUM PARTICLE SIZE TO BE THE SMALLER OF 150mm OR HALF THE (LOOSE) LAYER THICKNESS AND/OR TWO THIRDS THE LAYER THICKNESS AFTER COMPACTION.
12. ALL EARTHWORKS SHALL BE COMPLETED UNDER LEVEL 1 CONTROL IN ACCORDANCE WITH AS 3798-2007.
13. PRIOR TO ANY EARTHWORKS, EROSION CONTROL AS OUTLINED IN THE EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE COMPLETED.
14. EXISTING ROCK, IF ANY, SHALL BE REMOVED BY HEAVY ROCK BREAKING OR RIPPING.
15. MATCH EXISTING LEVELS AT BATTER INTERFACE.
16. CONTRACTOR TO MATCH EXISTING LEVELS AT THE INTERFACE OF EARTHWORKS AND EXISTING SURFACE AT BATTER LOCATIONS OR WHERE NO RETAINING WALLS ARE PRESENT. ANY DISCREPANCY BETWEEN DESIGN AND EXISTING LEVELS TO BE REFERRED TO THE ENGINEER FOR DIRECTION OR ADJUSTMENTS TO DESIGN LEVELS.



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 2 granted on the 29/12/16

in respect to MP 08-0016

Signed [Signature]

Sheet No. 11 of 21

FOR DEVELOPMENT
APPROVAL

CostinRoe Consulting

Value in Engineering and Management

DRAWING TITLE
DRAWING LIST &
GENERAL NOTES

DRAWING NO. C011888.04-DA10

ISSUE
B

ISSUED FOR REVIEW	16.12.15	B
ISSUED FOR REVIEW	15.12.15	A
AMENDMENTS	DATE	ISSUE

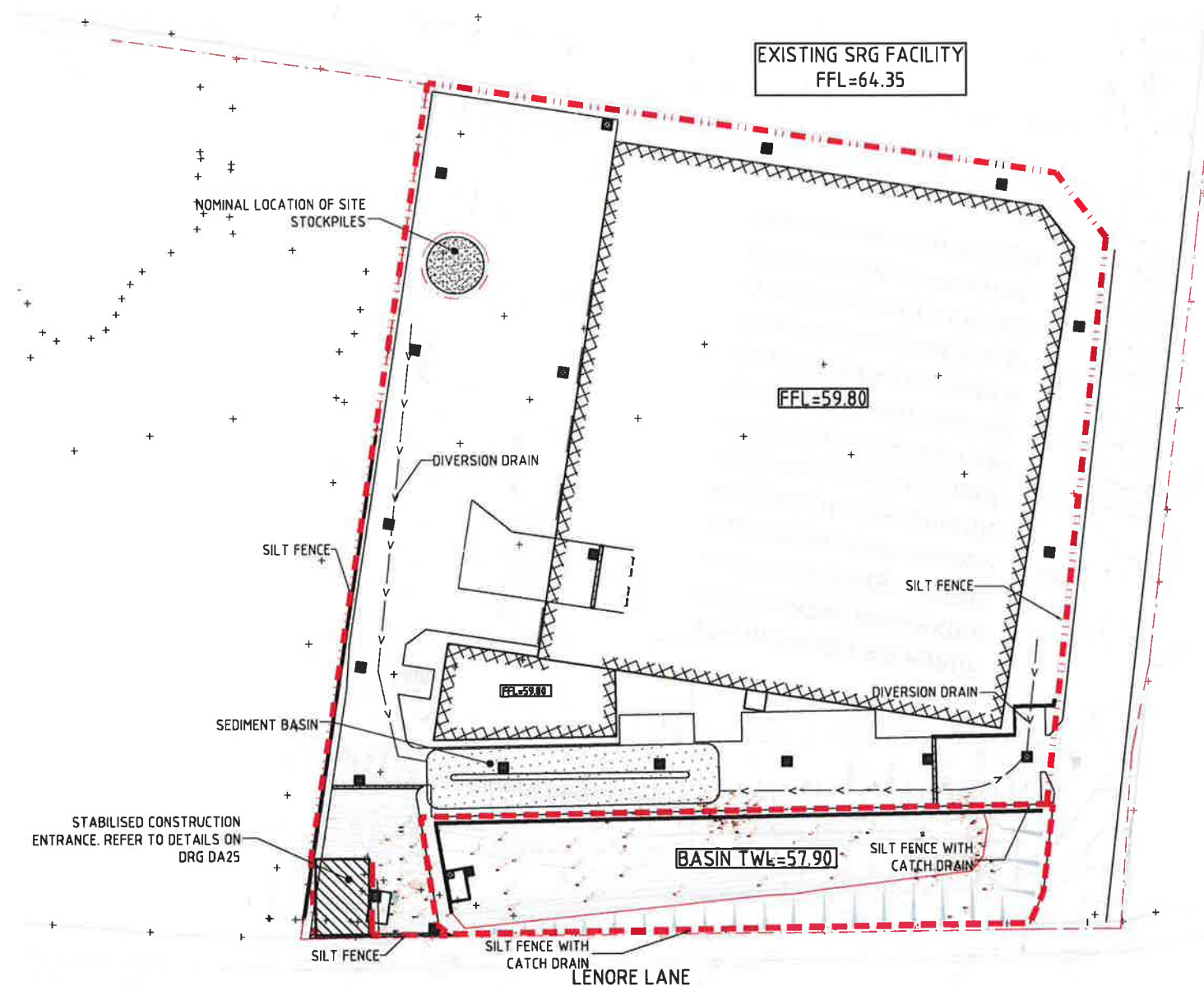
ARCHITECT	CLIENT	PROJECT	DESIGNED	DRAWN	DATE	CHECKED	SITE	SCALE	CAD REF.
	LOGOS PROPERTY SUITE 02, LEVEL 12 167 MACQUARIE STREET SYDNEY NSW	PROPOSED DEVELOPMENT LOT 62/133-145 LENORE LANE, ERSKINE PARK NSW	MW	SD			A1	AS SHOWN	11888.04-DA10

COSTIN ROE CONSULTING PTY LTD.	Level 1, 8 Windmill Street Wahib Bay, Sydney NSW 2000 Tel: (02) 9261-7000 Fax: (02) 9261-3731 email: mail@costinroe.com.au
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EROSION CONTROL NOTES

ALL CONTROL WORK INCLUDING DIVERSION BANKS AND CATCH DRAINS, V-DRAINS AND SILT FENCES SHALL BE COMPLETED DIRECTLY FOLLOWING THE COMPLETION OF THE EARTHWORKS.

1. SILT FENCES AND SILT FENCE RETURNS SHALL BE ERECTED CONVEX TO THE CONTOUR TO POND WATER.
2. HAY BALE BARRIERS AND GEOFABRIC FENCES ARE TO BE CONSTRUCTED TO TOE OF BATTER, PRIOR TO COMMENCEMENT OF EARTHWORKS, IMMEDIATELY AFTER CLEARING OF VEGETATION AND BEFORE REMOVAL OF TOP SOIL.
3. ALL TEMPORARY EARTH BERMS, DIVERSION AND SILT DAM EMBANKMENTS ARE TO BE MACHINE COMPACTED, SEEDED AND MULCHED FOR TEMPORARY VEGETATION COVER AS SOON AS THEY HAVE BEEN FORMED.
4. CLEAR WATER IS TO BE DIVERTED AWAY FROM DISTURBED GROUND AND INTO THE DRAINAGE SYSTEM.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROVIDING ON GOING ADJUSTMENT TO EROSION CONTROL MEASURES AS REQUIRED DURING CONSTRUCTION.
6. ALL SEDIMENT TRAPPING STRUCTURES AND DEVICES ARE TO BE INSPECTED AFTER STORMS FOR STRUCTURAL DAMAGE OR CLOGGING, TRAPPED MATERIAL IS TO BE REMOVED TO A SAFE, APPROVED LOCATION.
7. ALL FINAL EROSION PREVENTION MEASURES INCLUDING THE ESTABLISHMENT OF GRASSING ARE TO BE MAINTAINED UNTIL THE END OF THE DEFECTS LIABILITY PERIOD.
8. ALL EARTHWORKS AREAS SHALL BE ROLLED ON A REGULAR BASIS TO SEAL THE EARTHWORKS.
9. ALL FILL AREAS ARE TO BE LEFT WITH A BUND AT THE TOP OF THE SLOPE AT THE END OF EACH DAYS EARTHWORKS. THE HEIGHT OF THE BUND SHALL BE A MINIMUM OF 200MM.
10. ALL CUT AND FILL SLOPES ARE TO BE SEEDED AND HYDROMULCHED WITHIN 10 DAYS OF COMPLETION OF FORMATION.
11. AFTER REVEGETATION OF THE SITE IS COMPLETE AND THE SITE IS STABLE IN THE OPINION OF A SUITABLY QUALIFIED PERSON ALL TEMPORARY WORK SUCH AS SILT FENCE, DIVERSION DRAINS ETC SHALL BE REMOVED.
12. ALL TOPSOIL STOCKPILES ARE TO BE SUITABLY COVERED TO THE SATISFACTION OF THE SITE MANAGER TO PREVENT WIND AND WATER EROSION.
13. ANY AREA THAT IS NOT APPROVED BY THE CONTRACT ADMINISTRATOR FOR CLEARING OR DISTURBANCE BY THE CONTRACTOR'S ACTIVITIES SHALL BE CLEARLY MARKED AND SIGN POSTED, FENCED OFF OR OTHERWISE APPROPRIATELY PROTECTED AGAINST ANY SUCH DISTURBANCE.
14. ALL STOCKPILE SITES SHALL BE SITUATED IN AREAS APPROVED FOR SUCH USE BY THE SITE MANAGER. A 6m BUFFER ZONE SHALL EXIST BETWEEN STOCKPILE SITES AND ANY STREAM OR FLOW PATH. ALL STOCKPILES SHALL BE ADEQUATELY PROTECTED FROM EROSION AND CONTAMINATION OF THE SURROUNDING AREA BY USE OF THE MEASURES APPROVED IN THE EROSION AND SEDIMENTATION CONTROL PLAN.
15. ACCESS AND EXIT AREAS SHALL INCLUDE SHAKE-DOWN OR OTHER METHODS APPROVED BY THE SITE MANAGER FOR THE REMOVAL OF SOIL MATERIALS FROM MOTOR VEHICLES.
16. THE CONTRACTOR IS TO ENSURE RUNOFF FROM ALL AREAS WHERE THE NATURAL SURFACE IS DISTURBED BY CONSTRUCTION, INCLUDING ACCESS ROADS, DEPOT AND STOCKPILE SITES, SHALL BE FREE OF POLLUTANTS BEFORE IT IS EITHER DISPERSED TO STABLE AREAS OR DIRECTED TO NATURAL WATERCOURSES.
17. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SLOPES, CROWNS AND DRAINS ON ALL EXCAVATIONS AND EMBANKMENTS TO ENSURE SATISFACTORY DRAINAGE AT ALL TIMES WATER SHALL NOT BE ALLOWED TO POND ON THE WORKS UNLESS SUCH PONDING IS PART OF AN APPROVED ESCP / SWMP.



LEGEND:

PROVIDE 1m RETURNS TO SILT FENCE AT 30m MAX. INTERVALS. TYPICAL (N.S.O.P.)

- SILT FENCE WITH CATCH DRAIN
- SILT FENCE ONLY
- DIVERSION DRAIN

SEDIMENTATION BASIN NOTE:

FOR SEDIMENT & EROSION CONTROL DETAILS REFER TO DRAWING C011888.04-DA25 & DA26.

SEDIMENTATION BASIN SIZING BASED ON RECOMMENDATIONS OF 'SOILS AND CONSTRUCTION, MANAGING URBAN STORMWATER-THE BLUE BOOK'. CAPACITY BASED UPON 5 DAY RAINFALL DEPTH AT 85th PERCENTILE INTENSITY (32.2mm).

APPROXIMATE AREA OF DISTURBED SITE = 1.38ha

SEDIMENTATION BASINS TO COLLECT RUN-OFF IN EXTREME RAINFALL EVENTS. COLLECTED RUN-OFF TO BE ASSESSED BY A QUALIFIED LABORATORY FOR DOUSING RATES OF ALUM OR GYPSUM TO ENSURE COAGULATION OF SEDIMENTS PRIOR TO WATER BEING DISCHARGED TO COUNCIL STORMWATER SYSTEM.

EACH BASIN IS TO HAVE A MARKER PLACED AS PER THE DETAIL TO INDICATE WHEN SEDIMENT IS TO BE REMOVED. REMOVED SEDIMENT IS TO BE CLASSED AND DEWATERED PRIOR TO REMOVAL FROM SITE.

ALLOWANCE TO BE MADE DURING BENCHING OF SITE TO ENSURE RUN-OFF IS DIRECTED TO SEDIMENTATION BASINS.

NOTES:

1. ASSUME TYPE D SOIL (CLAY/SILTY CLAY)
 2. ASSUME GROUP D SOIL (HIGH PLASTICITY AND SHRINK/SWELL PROPERTIES)
- SOIL TYPE ASSESSED FROM GEOTECHNICAL REPORT.

SEDIMENT BASIN 1:

CATCHMENT AREA = 1.38ha
REQUIRED BASIN VOLUME = 333m³
BASE DIMENSION (LxB) = 40.0m x 1m
TOP DIMENSION (LxB) = 49.0m x 10.0m
MAX SIDE SLOPE = 1V:3H
DEPTH = 1.5m
PROVIDED BASIN VOLUME = 335m³



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Signed [Signature]

Sheet No. 12 of 21

EROSION AND SEDIMENT CONTROL PLAN
SCALE 1:500

FOR DEVELOPMENT
APPROVAL

CostinRoe Consulting

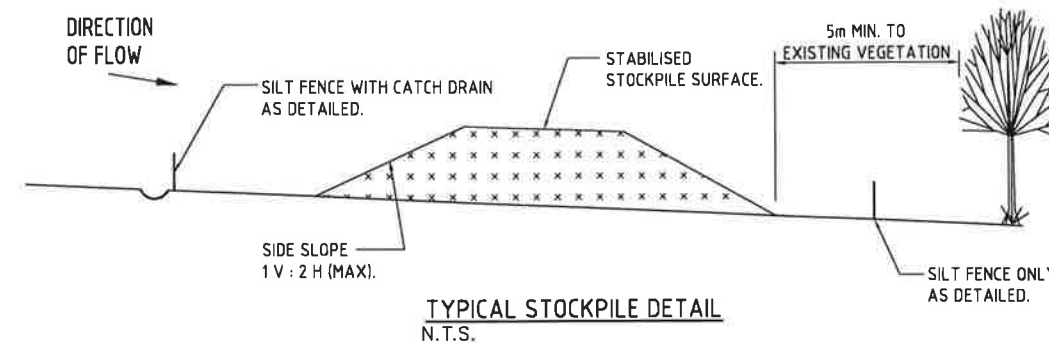
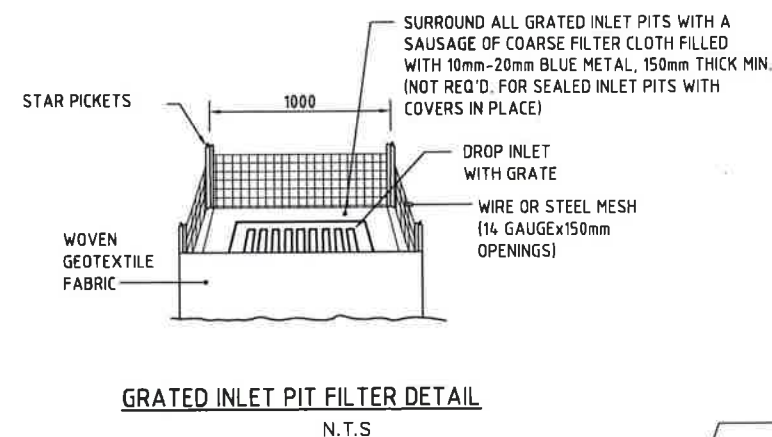
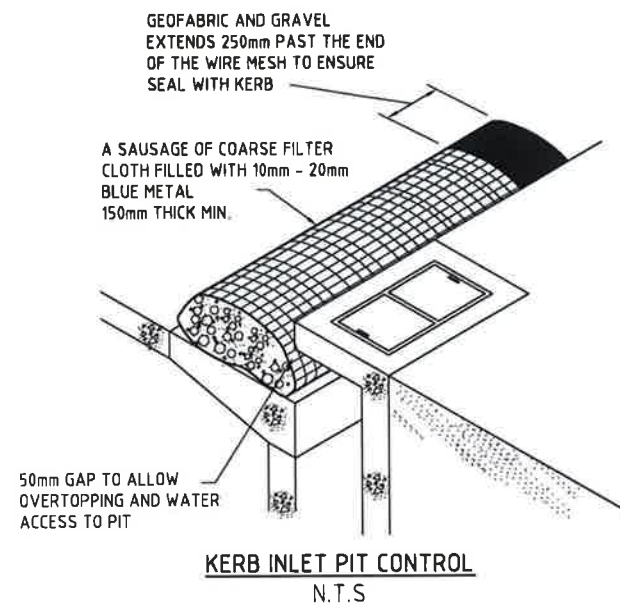
Value in Engineering and Management

DRAWING TITLE
EROSION AND SEDIMENT CONTROL
PLAN

DRAWING NO C011888.04-DA20

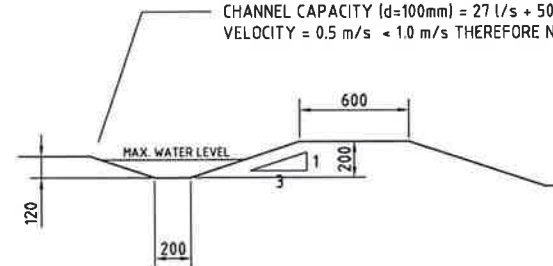
ISSUE
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ARCHITECT		CLIENT		PROJECT		DESIGNED		CHECKED		SCALE		CAD REF		COSTIN ROE CONSULTING PTY LTD.		DRAWING TITLE	
ISSUED FOR REVIEW		LOGOS PROPERTY		PROPOSED DEVELOPMENT		DATE		DATE		AS SHOWN		11888.04-DA20		Level 1, 8 Windmill Street		EROSION AND SEDIMENT CONTROL	
ISSUED FOR REVIEW		SUITE 02, LEVEL 12		LOT 62/133-145 LENORE LANE,		DATE		DATE		AS SHOWN		11888.04-DA20		Wahlab Bay, Sydney NSW 2000		PLAN	
AMENDMENTS		167 MACQUARIE STREET		ERSKINE PARK NSW		DATE		DATE		AS SHOWN		11888.04-DA20		Tel: (02) 9261-7000 Fax: (02) 9261-3731		DRAWING NO	
		SYDNEY NSW												email: mail@costinroe.com.au		C011888.04-DA20	
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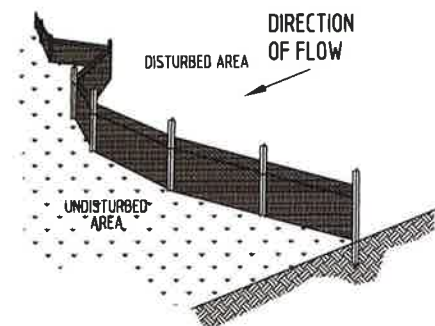
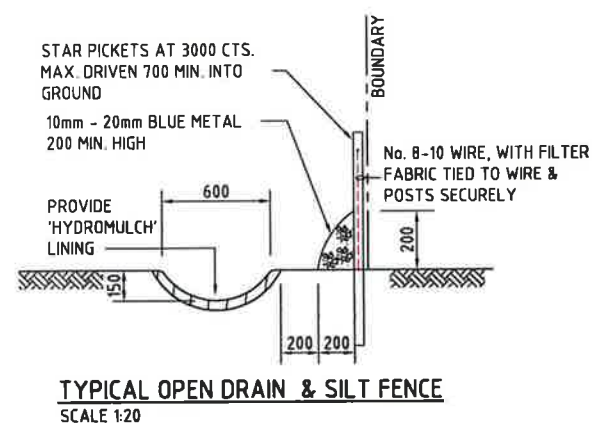


NOTE: ADOPT ABOVE DETAILS AROUND ALL PITS WITHIN AREA ENCOMPASSED BY SILT FENCE & TO PITS ON THE ROAD ADJACENT TO SITE BOUNDARY.

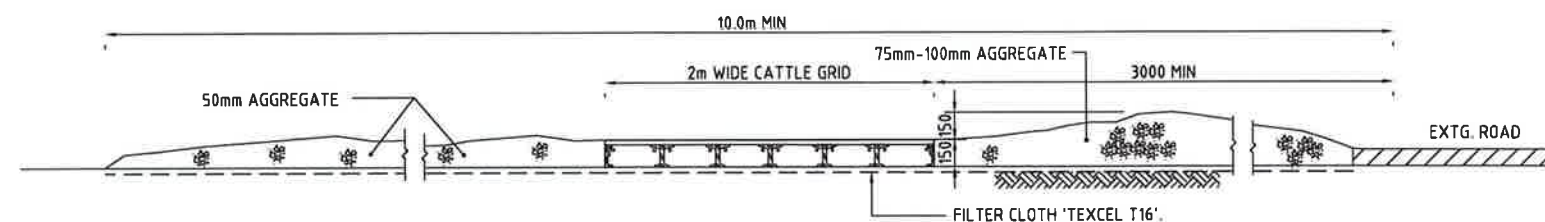
DIVERSION CHANNEL CAPACITY
 $Q_{2\text{month}} = 23.2 \text{ l/s}$ ($A = 0.21 \text{ Ha MAX.}$)
 MANNINGS $n = 0.02$, MIN. SLOPE = 0.5%
 CHANNEL CAPACITY ($d = 100 \text{ mm}$) = $27 \text{ l/s} + 50 \text{ mm FREEBOARD}$
 VELOCITY = $0.5 \text{ m/s} < 1.0 \text{ m/s}$ THEREFORE NO SCOUR PROTECTION REQ'D.



- STOCKPILE NOTES**
1. PLACE ALL STOCKPILES IN LOCATIONS MORE THAN 5m FROM EXISTING VEGETATION, ROADS & HAZARD AREAS.
 2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT ELONGATED MOUNDS. SIDE SLOPE TO BE 1 V: 2 H MAX.
 3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2m IN HEIGHT.
 4. WHERE STOCKPILES ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE USING WOOD CHIP MULCH - 16 TONNE/Ha.
 5. CONSTRUCT SILT FENCE WITH CATCH DRAIN ON UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES & SILT FENCE ONLY 1 TO 2m DOWNSLOPE AS SHOWN.



TYPICAL SILT FENCE DETAIL
 N.T.S.
 PROVIDE 1m RETURNS AT 10m INTERVALS.
 TYPICAL



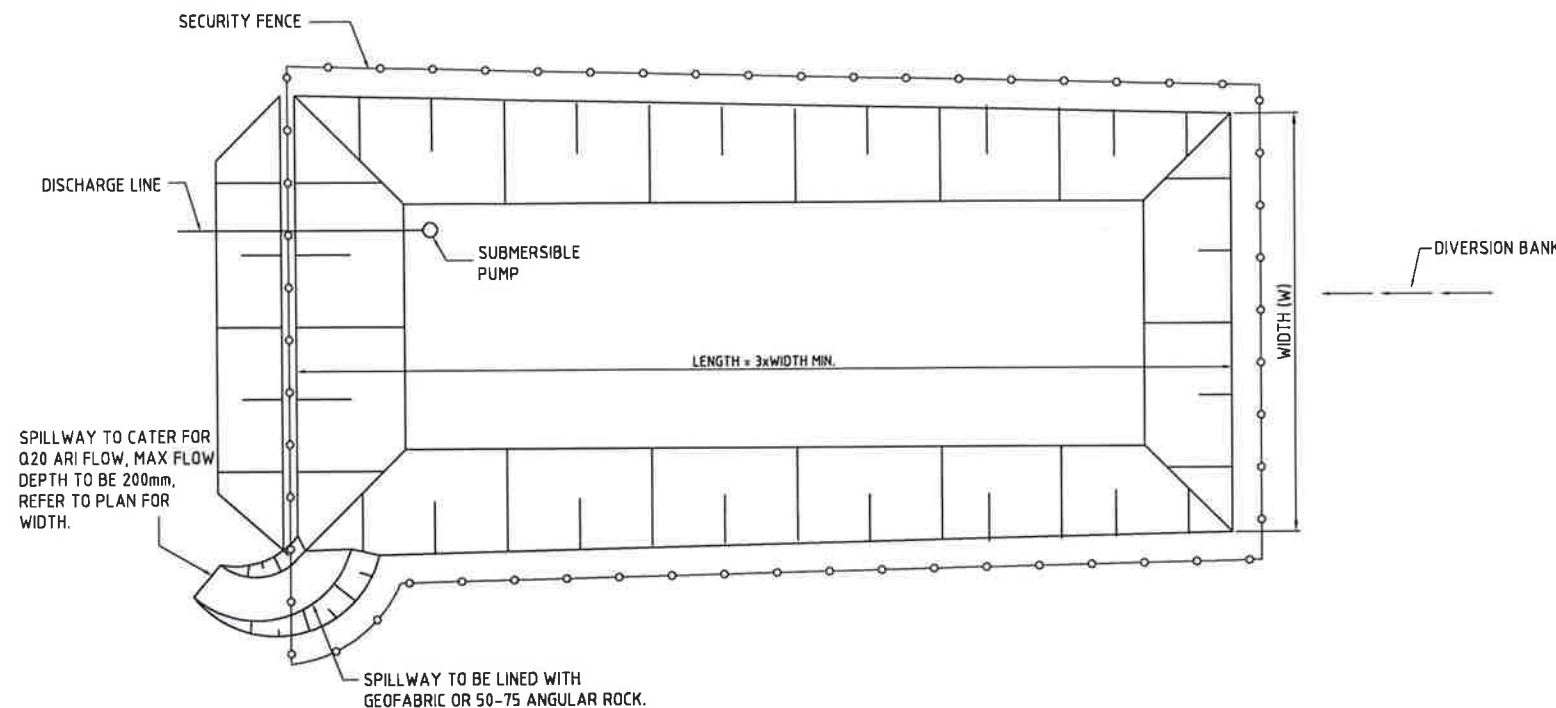
SECTION 1:20 1 DA20: STABILISED CONSTRUCTION ENTRANCE 'TRUCK SHAKER'

NSW GOVERNMENT Planning
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 in respect to MP 08-0016
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 Sheet No. 13 of 21

FOR DEVELOPMENT APPROVAL

200mm 0 500 1000 1500 2000mm
 SCALE 1:20 AT A1 SIZE SHEET

ISSUED FOR REVIEW 16.12.15 B ISSUED FOR REVIEW 15.12.15 A AMENDMENTS DATE ISSUE	ARCHITECT CLIENT LOGOS PROPERTY SUITE 02, LEVEL 12 167 MACQUARIE STREET SYDNEY NSW	PROJECT PROPOSED DEVELOPMENT LOT 62/133-145 LENORE LANE, ERSKINE PARK NSW	DESIGNED HW DRAWN SD DATE CHECKED SIZE A1 SCALE AS SHOWN CAD REF: 11888.04-DA25	Costin Roe Consulting Pty Ltd. Consulting Engineers Level 1, 8 Windmill Street Walsh Bay, Sydney NSW 2000 Tel: (02) 9261-7000 Fax: (02) 9241-3701 email: mail@costinroe.com.au	CostinRoe Consulting Value in Engineering and Management	DRAWING TITLE EROSION AND SEDIMENT CONTROL DETAILS-SHEET 1 DRAWING No C011888.04-DA25 ISSUE B
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- SEDIMENT CONTROL POND NOTES:**
1. TYPE D BASIN IS REQUIRED.
 2. VOLUME OF TYPE D POND SHALL BE AS NOMINATED ON DRAWING DA20. NOMINAL POND LOCATIONS AND NOMINAL DIMENSIONS.
 3. SEDIMENT BUILD UP TO NOT EXCEED 33% TOTAL CAPACITY OF POND.
 4. WATER LEVEL TO BE MAINTAINED AT 20% CAPACITY DURING SETTLING PERIOD.
 5. LENGTH TO WIDTH RATIO TO BE 3:1 MIN. TYPICAL DEPTH TO BE 1.5m.
 6. PROVIDE SECURITY FENCE TO POND FOR SAFETY.
 7. DEWATERING OF POND TO BE PERFORMED TO THE BOTTOM OF THE SEDIMENT SETTLING ZONE FOLLOWING ACHIEVEMENT OF WQO's. MANAGEMENT OF DOSAGE AND DISCHARGE TO BE ACHIEVED IN A TIMELY MANNER BEFORE THE NEXT RAIN EVENT AND WITHIN 5 DAYS OF THE INITIAL RAINFALL EVENT.
 8. WATER TO BE DOSED WITH GYPSUM TO ACCELERATE SETTLEMENT OF SUSPENDED SOLIDS
 9. GYPSUM DOSAGE RATE TO BE APPLIED AT APPROX. 32kg PER 100 CUBIC METRE OF COLLECTED RUNOFF.
 10. THE USE OF ALUM AS A FLOCULANT IS NOT RECOMMENDED AND IS TO BE USED ONLY FOLLOWING CONSULTATION WITH AND ACCEPTANCE FROM GOLD COAST CITY COUNCIL ESC OFFICERS.
 11. DISCHARGE FROM POND IS PERMISSIBLE WHEN THE WATER PH IS 6.5-8.5 AND IS CLARIFIED TO AT OR BELOW A TSS OF 50mg/L (75 NTU). CLARIFICATION WOULD GENERALLY BE ACHIEVED IN 36-72 HOURS WITH THE USE OF GYPSUM.
 12. DEWATERING SHALL BE DONE IN SUCH A MANNER AS TO REMOVE THE RELATIVELY CLEAN WATER WITHOUT REMOVING OR DISTURBING THE SEDIMENT THAT HAS SETTLED. THE PUMP INTAKE PIPE IS NOT TO REST ON THE SETTLED SEDIMENT LAYER.
 13. IF WATER EXCEEDS TSS OF 50mg/L (75 NTU) DURING DEWATERING, PUMPING IS TO CEASE.
 14. RECORDS ARE TO BE KEPT (ON-SITE AT ALL TIMES) OF ALL MEASUREMENT PRIOR TO, DURING AND AFTER DISCHARGE. RECORDS TO BE MADE AVAILABLE TO COUNCIL OFFICERS UPON REQUEST.



**NSW GOVERNMENT
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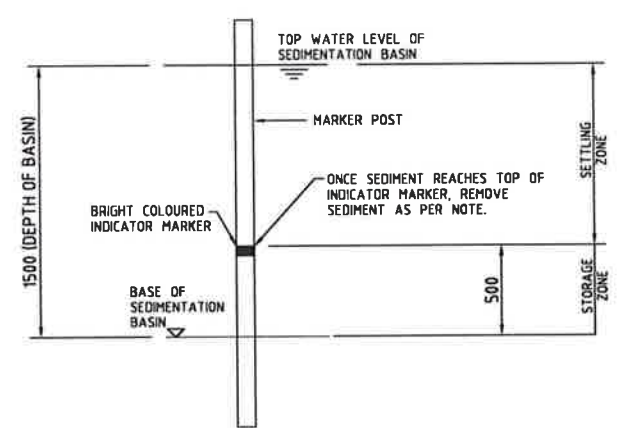
No. 2 granted on the 29/2/16

in respect to MP 08-0016

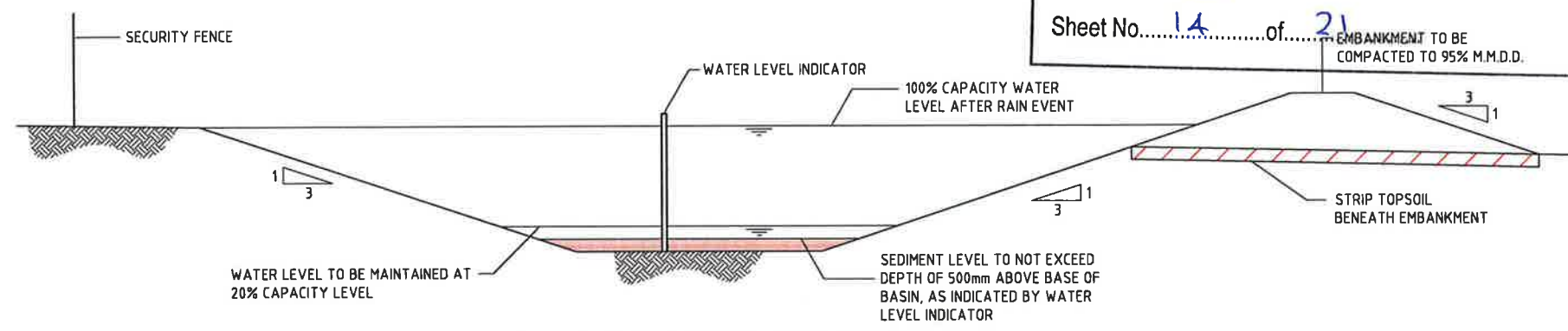
Signed [Signature]

Sheet No. 14 of 21

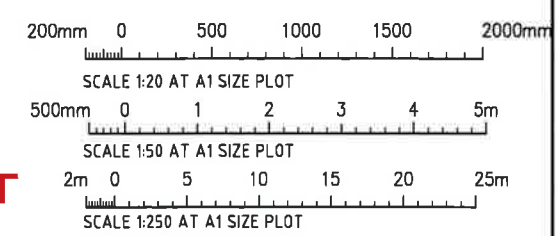
EMBANKMENT TO BE
COMPACTED TO 95% M.M.D.D.



SEDIMENT STORAGE MARKER
SCALE 1:20



TYPICAL SEDIMENT CONTROL BASIN SECTION
SCALE 1:50



**FOR DEVELOPMENT
APPROVAL**

CostinRoe Consulting

Value in Engineering and Management

DRAWING TITLE
**EROSION AND SEDIMENT CONTROL
DETAILS-SHEET 2**

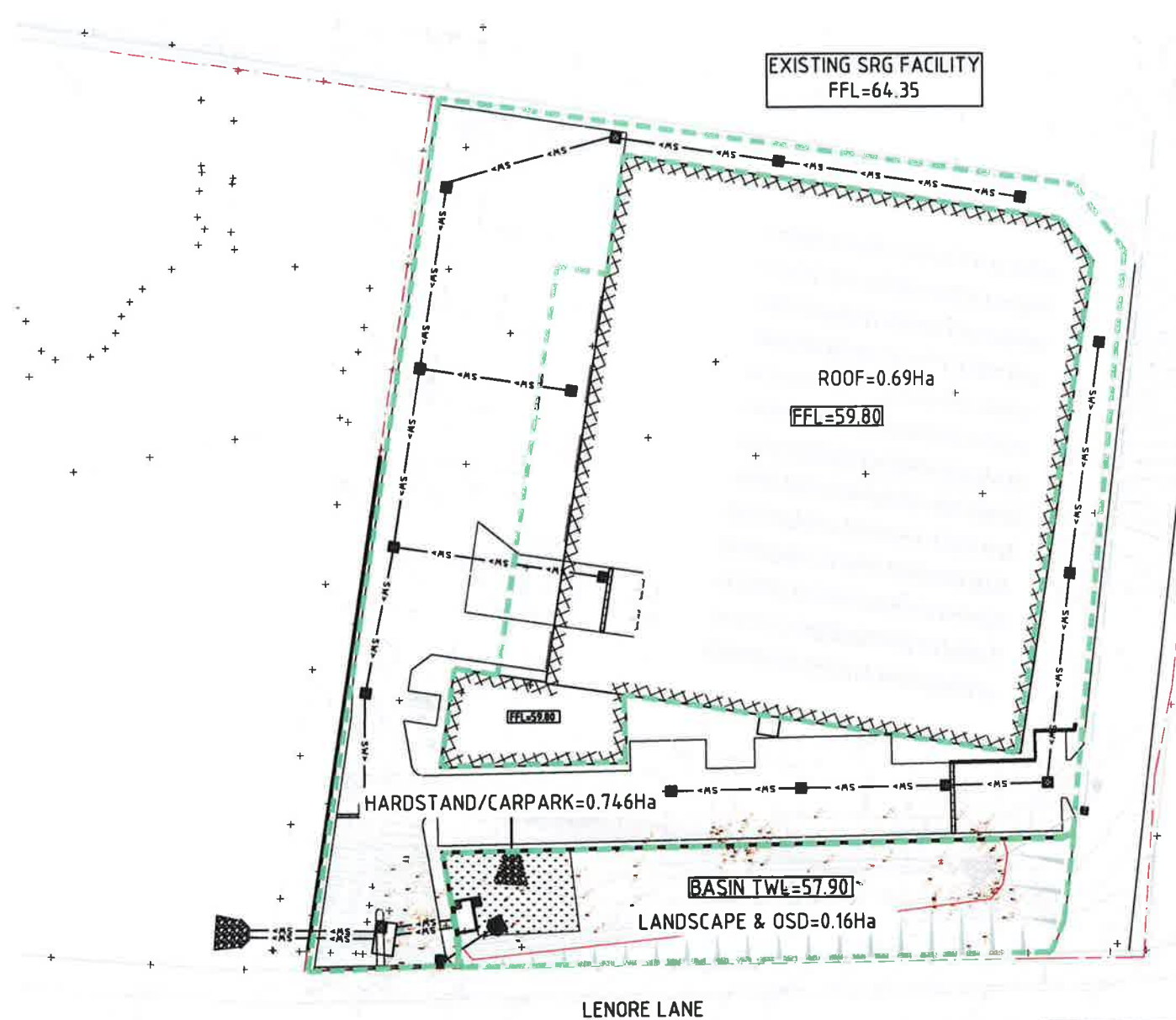
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ISSUE
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ARCHITECT		CLIENT		PROJECT		DESIGNED		DRAWN		DATE		CHECKED		SIZE		SCALE		CAD REF:	
LOGOS PROPERTY		SUITE 02, LEVEL 12		PROPOSED DEVELOPMENT		HW		SD						A1		AS SHOWN		11888.04-DA26	
167 MACQUARIE STREET		SYDNEY NSW		LOT 62/133-145 LENORE LANE,															
				ERSKINE PARK NSW															

Costin Roe Consulting Pty Ltd.
Consulting Engineers
Level 1, 8 Windmill Street
Wahia Bay, Sydney NSW 2000
Tel: (02) 9261-7888 Fax: (02) 9261-3731
email: mail@costinroe.com.au

ISSUED FOR REVIEW	16.12.15	B
ISSUED FOR REVIEW	15.12.15	A
AMENDMENTS	DATE	ISSUE



1. ALL STORMWATER WORKS TO BE COMPLETED IN ACCORDANCE WITH AUSTRALIAN STANDARD AS3500.3:2003 PLUMBING AND DRAINAGE, PART 3: STORMWATER DRAINAGE.
2. THE MINOR (PIPED) SYSTEM HAS BEEN DESIGNED FOR THE 1 IN 20 YEAR ARI STORM EVENT AND THE MAJOR (OVERLAND) SYSTEM HAS BEEN DESIGNED FOR THE 1 IN 100 YEAR ARI STORM EVENT.
3. ALL FINISHED PAVEMENT LEVELS SHALL BE AS INDICATED ON FINISHED LEVELS PLANS DA51 & DA52.
4. PIT SIZES SHALL BE AS INDICATED IN THE SCHEDULE WHILE PIPE SIZES AND DETAILS ARE PROVIDED ON PLAN.
5. EXISTING STORMWATER PIT LOCATIONS AND INVERT LEVELS TO BE CONFIRMED BY SURVEY PRIOR TO COMMENCING WORKS ON SITE.
6. ALL STORMWATER PIPES $\phi 375$ OR GREATER SHALL BE CLASS 2 REINFORCED CONCRETE WITH RUBBER RING JOINTS UNLESS NOTED OTHERWISE.
7. ALL PIPES UP TO AND INCLUDING $\phi 300$ TO BE uPVC GRADE SN8 UNO.
8. PIPE CLASS NOMINATED ARE FOR IN-SERVICE LOADING CONDITIONS ONLY. CONTRACTOR IS TO MAKE ANY NECESSARY ADJUSTMENTS REQUIRED FOR CONSTRUCTION CONDITIONS.
9. ALL CONCRETE PITS GREATER THAN 1000mm DEEP SHALL BE REINFORCED USING N12-200 EACH WAY CENTERED IN WALL AND BASE. LAP MINIMUM 300mm WHERE REQUIRED. ALL CONCRETE FOR PITS SHALL BE F'c 25 MPA. PRECAST PITS MAY BE USED WITH THE APPROVAL OF THE ENGINEER.
10. IN ADDITION TO ITEM 6 ABOVE, ALL CONCRETE PITS GREATER THAN 3000mm DEEP SHALL HAVE WALLS AND BASE THICKNESS INCREASED TO 200mm.
11. PIPES SHALL BE LAID AS PER PIPE LAYING DETAILS. PARTICULAR CARE SHALL BE TAKEN TO ENSURE THAT THE PIPE IS FULLY AND EVENLY SUPPORTED. RAM AND PACK FILLING AROUND AND UNDER BACK OF PIPES AND PIPE FAUCETS, WITH NARROW EDGED RAMMERS OR OTHER SUITABLE TAMPING DETAILS.
12. WHERE PIPE LINES ENTER PITS, PROVIDE 2m LENGTH OF STOCKING WRAPPED SLOTTED $\phi 100$ uPVC TO EACH SIDE OF PIPE.
13. ALL SUBSOIL DRAINAGE LINES SHALL BE $\phi 100$ SLOTTED uPVC WITH APPROVED FILTER WRAP LAID IN 300mm WIDE GRANULAR FILTER UNLESS NOTED OTHERWISE. LAY SUBSOIL LINES TO MATCH FALLS OF LAND AND/OR 1 IN 200 MINIMUM. PROVIDE CAPPED CLEANING EYE (RODDING POINT) AT UPSTREAM END OF LINE AND AT 30m MAX. CTS. PROVIDE SUBSOIL LINES TO ALL PAVEMENT/ LANDSCAPED INTERFACES, TO REAR OF RETAINING WALLS (AS NOMINATED BY STRUCTURAL ENGINEER) AND AS SHOWN ON PLAN.
14. ALL PIPE GRADES 1 IN 100 MINIMUM UNO.
15. PROVIDE STEP IRONS IN PITS DEEPER THAN 1000mm.
16. MIN. 600 COVER TO PIPE OBVERT BENEATH ROADS & MIN. 400 COVER BENEATH LANDSCAPED AND PEDESTRIAN AREAS.
17. PIT COVERS IN TRAFFICABLE PAVEMENT SHALL BE CLASS D 'HEAVY DUTY', THOSE LOCATED IN NON-TRAFFICABLE AREAS SHALL BE CLASS B 'MEDIUM DUTY' U.N.O.
18. PROVIDE CLEANING EYES (RODDING POINTS) TO PIPES AT ALL CORNERS AND T-JUNCTIONS WHERE NO PITS ARE PRESENT.
19. DOWN PIPES (DP) TO BE AS PER HYDRAULIC ENGINEERS DETAILS WITH CONNECTOR TO MATCH DP SIZE U.N.O. ON PLAN. PROVIDE CLEANING EYE AT GROUND LEVEL.
20. PIPE LENGTHS NOMINATED ON PLAN OR LONGSECTIONS ARE MEASURED FROM CENTER OF PITS TO THE NEAREST 0.5m AND DO NOT REPRESENT ACTUAL LENGTH. THE CONTRACTOR IS TO ALLOW FOR THIS.

PIT SCHEDULE

PIT No.	GRATE RL	TYPE	SIZE	COMMENT
PIT A01	59.50	SGGP	600x600	⊕
PIT A02	59.50	SGGP	900x900	⊕
PIT A03	58.70	SJP	900x900	
PIT A04	59.40	SGGP	900x900	⊕
PIT A05	59.40	SGGP	900x900	⊕
PIT A06	59.40	SGGP	900x900	⊕
PIT A07	59.45	SGGP	900x900	⊕
PIT A08	59.30	SGGP	900x900	⊕
PIT A09	59.43	SGGP	900x900	⊕
PIT A10	59.80	SJP	900x900	
PIT A11	58.45	SGGP	600x600	⊕
PIT A12	59.50	SGGP	600x600	⊕
PIT A13	59.50	SGGP	900x900	⊕
PIT A14	60.35	SJP	900x900	
PIT A15	59.60	SGGP	900x900	⊕
PIT A16	59.45	SGGP	900x900	⊕
PIT A17	59.45	SGGP	900x900	⊕
PIT A18		DCP		REFER DA46
PIT A19	57.40	SJP		
PIT A20	57.60	SGGP	900x900	⊕

⊕ DENOTES PIT TO BE FITTED WITH STORMWATER 360 ENVIROPOD 200 INSERT.

 **DRAINAGE/MUSIC CATCHMENT PLAN**
SCALE 1:500



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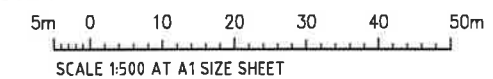
No. 2 granted on the 29/12/16

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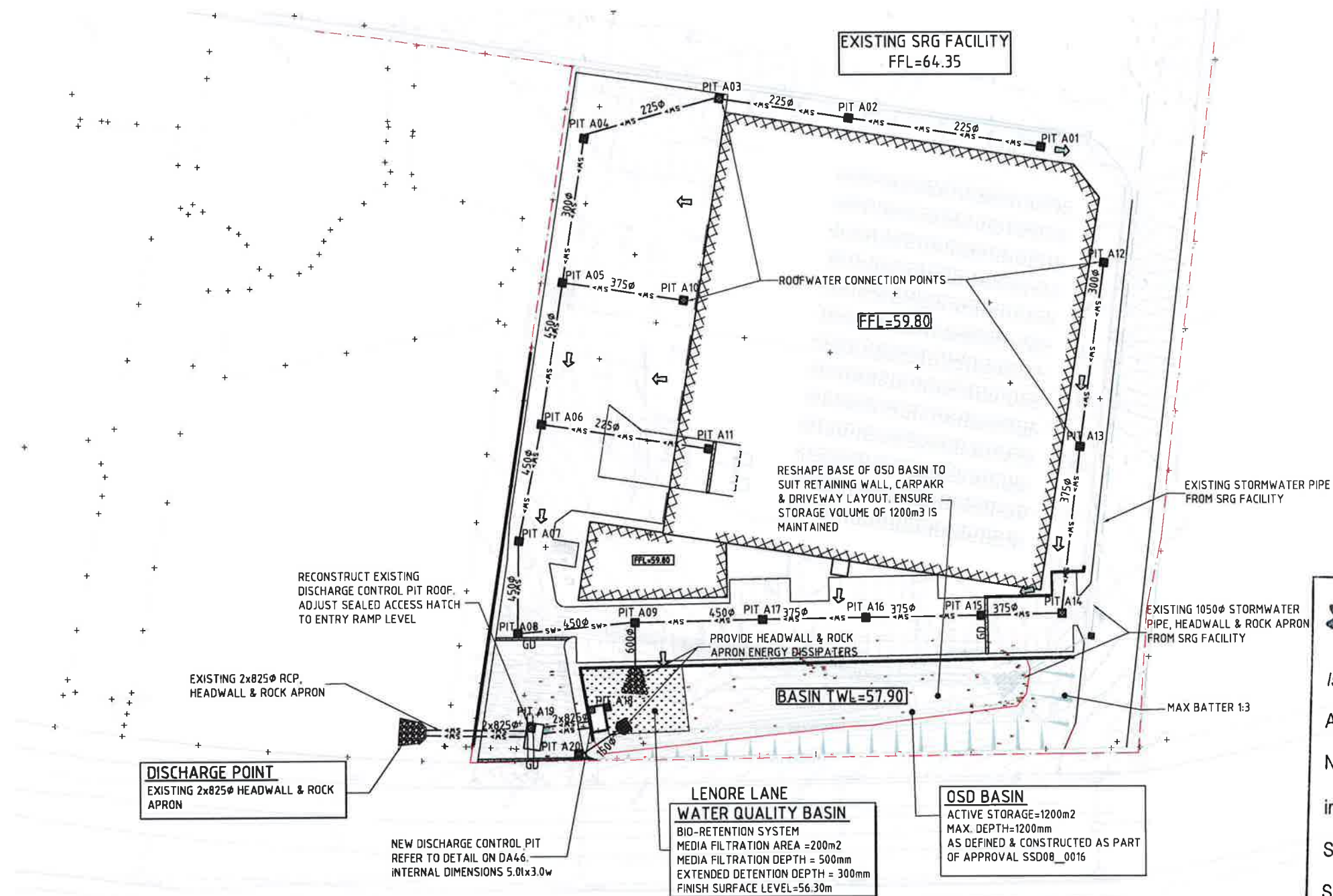
Sheet No. 15 of 21

NOTE: ALL LEVELS ARE INDICATIVE (± 500 mm) & MAY BE SUBJECT TO MINOR VARIATION TO SUIT DETAILED DESIGN.



FOR DEVELOPMENT APPROVAL

ARCHITECT		CLIENT		PROJECT		COSTIN ROE CONSULTING PTY LTD.		DRAWING TITLE	
LOGOS PROPERTY		PROPOSED DEVELOPMENT		LOT 62/133-145 LENORE LANE, ERSKINE PARK NSW		Consulting Engineers		DRAINAGE/MUSIC CATCHMENT PLAN	
SUITE 02, LEVEL 12		LOT 62/133-145 LENORE LANE, ERSKINE PARK NSW		Level 1, 8 Windmill Street		Wahah Bay, Sydney NSW 2000		DRAWING No	
167 MACQUARIE STREET		Level 1, 8 Windmill Street		Wahah Bay, Sydney NSW 2000		Tel: (02) 9261-7000 Fax: (02) 9261-3731		C011888.04-DA40	
SYDNEY NSW		Level 1, 8 Windmill Street		Wahah Bay, Sydney NSW 2000		email: mail@costinroe.com.au		ISSUE	
SYDNEY NSW		Level 1, 8 Windmill Street		Wahah Bay, Sydney NSW 2000		Value in Engineering and Management		B	
SYDNEY NSW		Level 1, 8 Windmill Street		Wahah Bay, Sydney NSW 2000					



LEGEND:

LEVELS DATUM IS AHD.

EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY INFORMATION PROVIDED.

- SGGP, SINGLE GRATED GULLY PIT
- SJP, SEALED JUNCTION PIT
- KIP, KERB INLET PIT
- DRAINAGE LINE
- EXISTING DRAINAGE LINE
- SUBSOIL LINE
- ROOFWATER LINE
- SIPHONIC LINE
- OVERLAND FLOW DIRECTION
- FINISHED PAVEMENT CONTOUR (MAJOR) 0.5m INTERVALS
- FINISHED PAVEMENT CONTOUR (MINOR) 0.1m INTERVALS



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Sheet No. 16 of 21



STORMWATER DRAINAGE PLAN
SCALE 1:500

NOTE:
REFER TO DRAWING DA40 FOR
DRAINAGE NOTES & PIT SCHEDULE

NOTE: ALL LEVELS ARE INDICATIVE (±500mm) & MAY BE
SUBJECT TO MINOR VARIATION TO SUIT DETAILED
DESIGN.

5m 0 10 20 30 40 50m
SCALE 1:500 AT A1 SIZE SHEET

**FOR DEVELOPMENT
APPROVAL**

CostinRoe Consulting

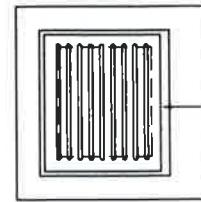
Value in Engineering and Management

DRAWING TITLE
STORMWATER DRAINAGE
PLAN

DRAWING No. C011888.04-DA41

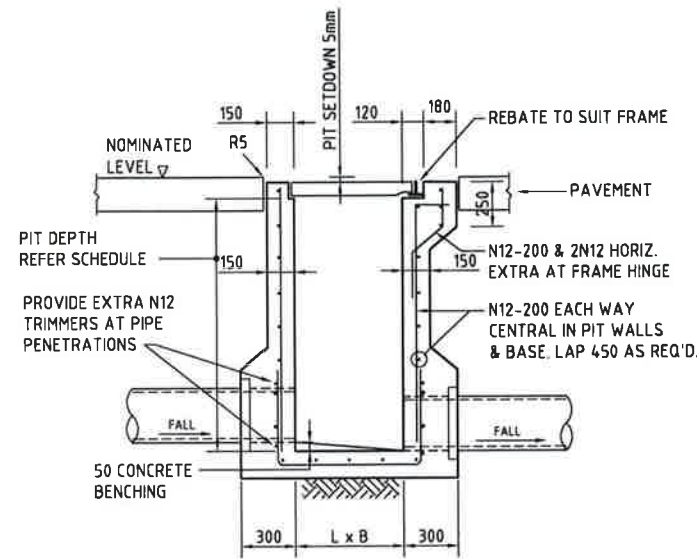
REVISION
B

<p>ISSUED FOR REVIEW 16.12.15 B</p> <p>ISSUED FOR REVIEW 15.12.15 A</p> <p>AMENDMENTS DATE ISSUE</p>	<p>ARCHITECT</p>	<p>CLIENT LOGOS PROPERTY SUITE 02, LEVEL 12 167 MACQUARIE STREET SYDNEY NSW</p>	<p>PROJECT PROPOSED DEVELOPMENT LOT 62/133-145 LENORE LANE, ERSKINE PARK NSW</p>	<p>DESIGNED HW SD DATE CHECKED SIZE SCALE AS SHOWN CAD REF: 11888.04-DA41</p>	<p>Costin Roe Consulting Pty Ltd. Consulting Engineers Level 1, 8 Windmill Street Wahia Bay, Sydney NSW 2000 Tel: (02) 9261-7899 Fax: (02) 9241-3731 email: mail@costinroe.com.au</p>	<p>CostinRoe Consulting</p>	<p>DRAWING TITLE STORMWATER DRAINAGE PLAN</p>
--	------------------	---	--	---	---	-----------------------------	---



H.D. CAST IRON GRATE & TEE BAR FRAME 'GATIC' OR EQUAL SEE SCHEDULE

PLAN
SCALE 1:20



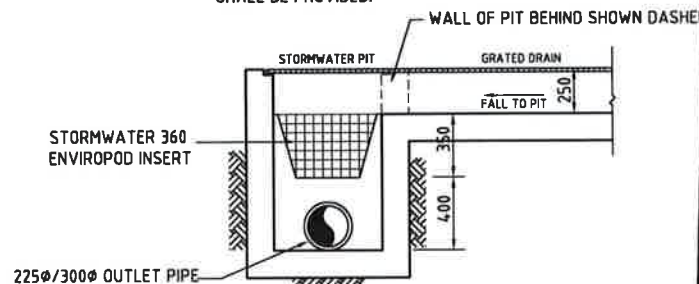
SEE SCHEDULE
L DIMENSION IN DIRECTION OF DOWNSTREAM PIPE

SECTION
SCALE 1:20

SINGLE GRATED GULLY PIT - SGGP

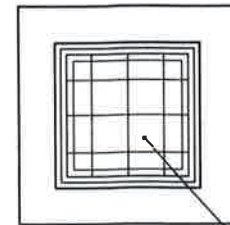
NOTES:

- WHERE GULLY PIT IS LOCATED ON KERB RETURNS OR BULB OF CUL-DE-SACS PROVIDE CURVED PRECAST CONCRETE LINTELS.
- SAG PITS SHALL HAVE LINTEL PLACED CENTRALLY ABOUT THE GRATE.
- ALL REINFORCING TO HAVE 30 MIN. CLAER CONCRETE COVER.
- FOR PITS DEEPER THAN 1200mm CLIMB RAILS SHALL BE PROVIDED.



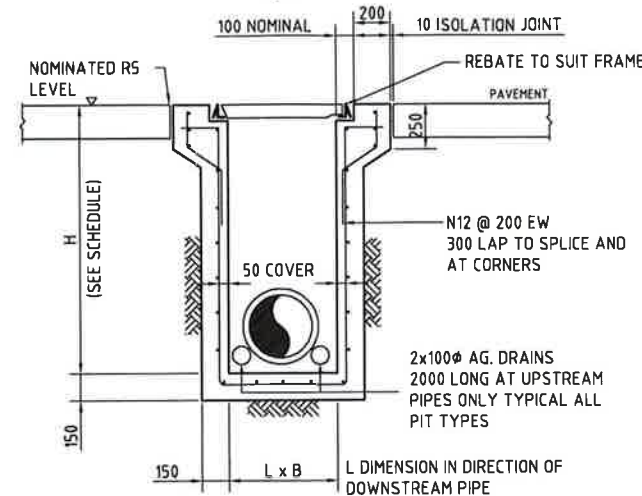
GRATED DRAIN/STORMWATER PIT WITH
ENVIROPOD CONFIGURATION

SCALE 1:20



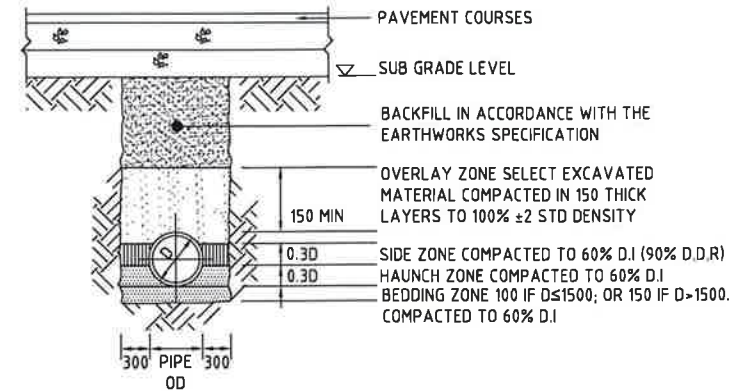
CONCRETE FILLED CAST IRON COVER & FRAME (GATIC OR EQUAL) SEE SCHEDULE

PLAN
SCALE 1:20



SECTION
SCALE 1:20

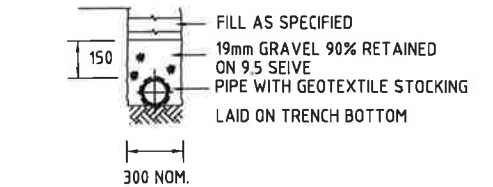
SEALED JUNCTION PIT - SJP



TYPE HS2 SUPPORT TO
CONCRETE PIPES
UNDER PAVEMENT

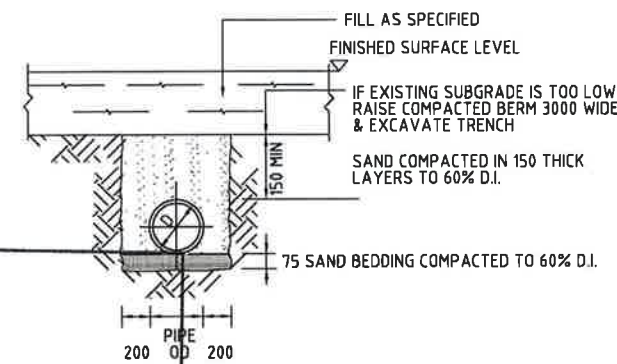
SIDE ZONE MATERIAL GRADING	
SIEVE SIZE	WEIGHT PASSING(%)
75	100
9.5	100 TO 50
2.36	100 TO 30
0.60	50 TO 15
0.075	25 TO 0

SELECT FILL MATERIAL IN ACCORDANCE WITH TABLE 1 AS 3725

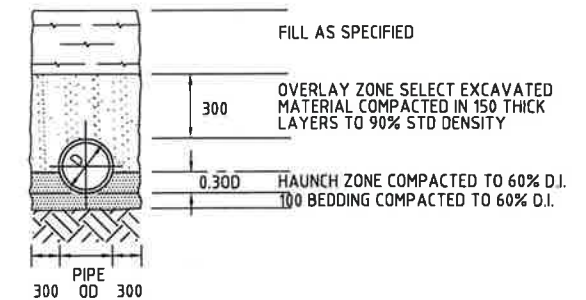


SUPPORT TO AG. DRAIN

BEDDING & HAUNCH MATERIAL GRADING	
SIEVE SIZE	WEIGHT PASSING(%)
19	100
2.36	100 TO 50
0.60	90 TO 20
0.30	60 TO 10
0.15	25 TO 0
0.075	10 TO 0



SUPPORT TO uPVC PIPES



TYPE H1 SUPPORT TO
CONCRETE PIPES AT LANDSCAPED AREAS

PIPE LAYING DETAILS
SCALE 1:20



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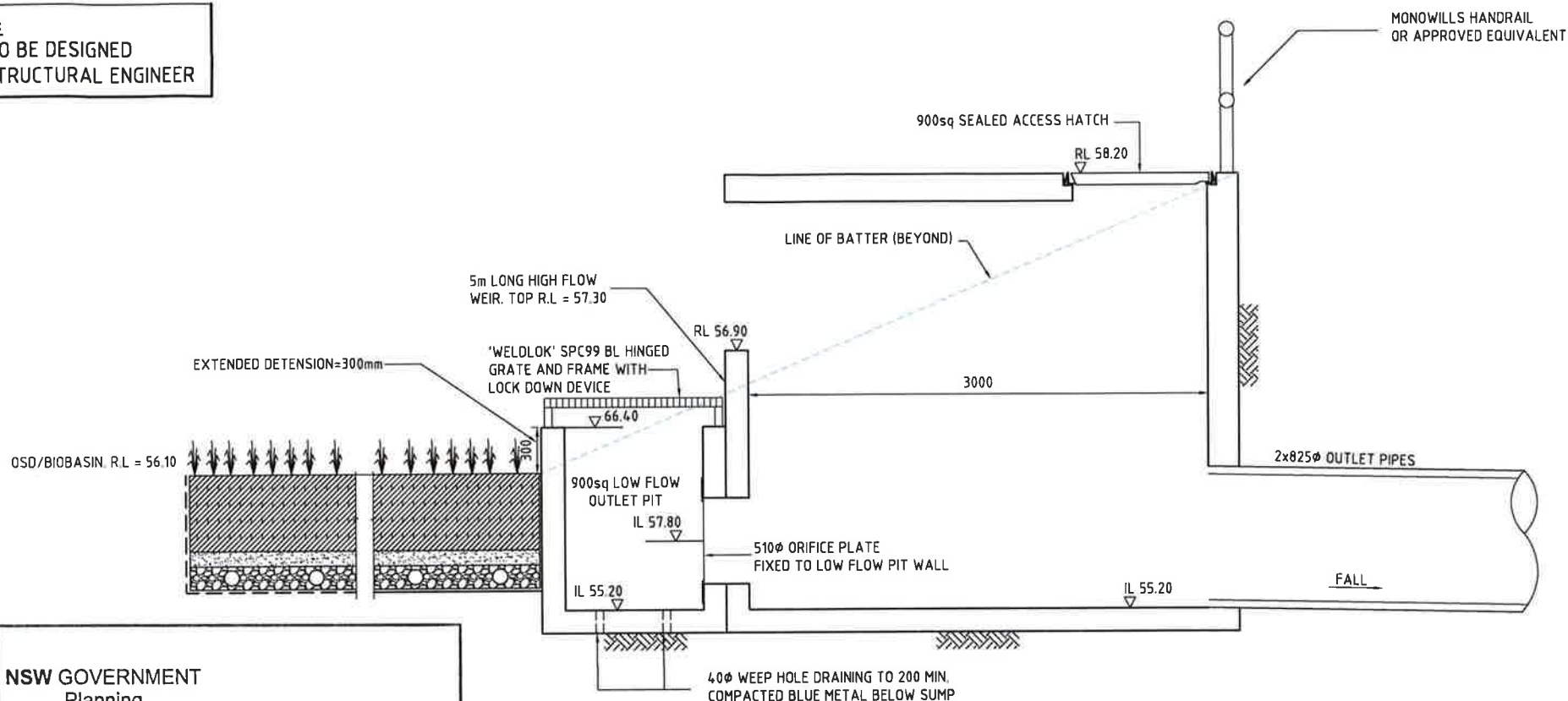
Sheet No. 17 of 21

**FOR DEVELOPMENT
APPROVAL**

200mm 0 500 1000 1500 2000mm
SCALE 1:20 AT A1 SIZE SHEET

ARCHITECT		CLIENT		PROJECT		DESIGNED		CHECKED		SCALE		CAD REF.		COSTIN ROE CONSULTING PTY LTD.		DRAWING TITLE	
ISSUED FOR REVIEW		LOGOS PROPERTY		PROPOSED DEVELOPMENT		HW		SD		A1		11888.04-DA45		Level 1, 8 Windmill Street		CONCEPT STORMWATER	
16.12.15		SUITE 02, LEVEL 12		LOT 62/133-145 LENORE LANE,		DATE		DATE		AS SHOWN		Tel: (02) 9261-7888 Fax: (02) 9261-3731		Wahlab Bay, Sydney NSW 2000		DETAILS-SHEET 1	
15.12.15		167 MACQUARIE STREET		ERSKINE PARK NSW		ISSUE		ISSUE		B		email: mail@costinroe.com.au		Value in Engineering and Management		DRAWING NO	
AMENDMENTS		SYDNEY NSW														C011888.04-DA45	

NOTE:
PIT TO BE DESIGNED
BY STRUCTURAL ENGINEER



OSD/BIO-RETENTION BASIN DISCHARGE CONTROL PIT TYPICAL DETAIL
SCALE 1:20



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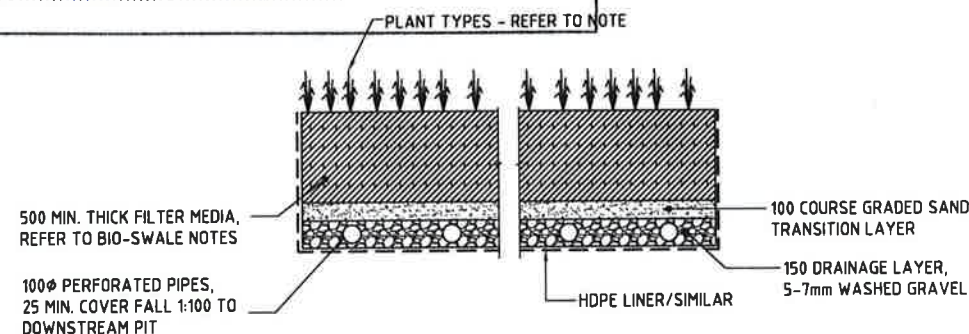
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No. 2 granted on the 29/2/16

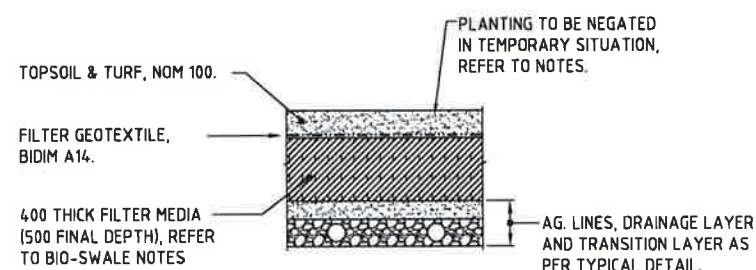
in respect to MP 08-0016

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Sheet No. 18 of 21



TYPICAL BIO-RETENTION DETAIL
SCALE 1:20



TEMPORARY BIO-RETENTION PROTECTION DETAIL
SCALE 1:20
TEMPORARY CONSTRUCTION REQUIREMENT DETAIL -
REFER TO NOTES FOR IMPLEMENTATION PERIODS.
BIO-RETENTION BASIN DETAILS
SCALE 1:20

BIO-RETENTION NOTES:

FILTER MEDIA TO BE LOAMY SAND WITH A PERMEABILITY NOT LESS THAN 200mm/hr. FILTER MEDIA TO BE FREE OF RUBBISH, DELETERIOUS MATERIAL, TOXICANTS, DECLARED PLANTS AND LOCAL WEEDS, AND IS TO NOT BE HYDROPHOBIC.

FILTER MEDIA TO HAVE THE FOLLOWING COMPOSITION RANGE:

CLAY & SILT (<0.05mm)	<3%
VERY FINE SAND (0.05-0.15mm)	5-30%
FINE SAND (0.15-0.25mm)	10-30%
MEDIUM TO COARSE SAND (0.25-1.00mm)	40-60%
COARSE SAND (1.0-2.0mm)	7-10%
FINE GRAVEL (2.0-3.4mm)	<3%

FILTER MEDIA THAT DOES NOT MEET THE FOLLOWING CRITERIA SHALL BE REJECTED:

- ORGANIC MATTER CONTENT TO BE IDEALLY WITHIN 1% TO 3% (W/W) AND TO BE NO GREATER THAN 5% (W/W).
- PH TO BE BETWEEN 5.5 AND 7.5
- PHOSPHOROUS CONTENT TO BE NO GREATER THAN 35mg/kg

FILTER MEDIA TO BE ASSESSED BY QUALIFIED HORTICULTURALIST TO ENSURE CAPABILITY OF SUPPORTING PLANT LIFE.

DRAINAGE LAYER TO BE CLEAN GRAVEL 5-7mm.

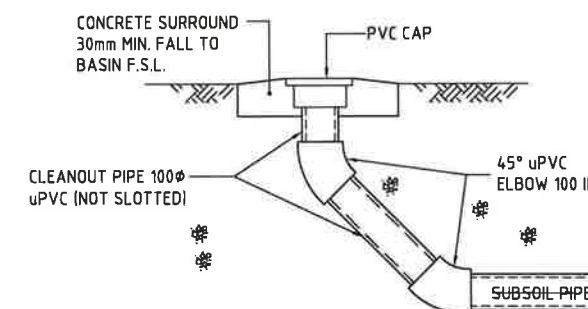
PLANTS TO BE IN ACCORDANCE WITH PENRITH COUNCIL WSUD HANDBOOK PART 5 - VEGETATION SELECTION GUIDE, WITH A MINIMUM OF SIX DIFFERENT SPECIES.

PROVIDE 100mm TOPSOIL AND TEMPORARY EROSION PROTECTION (JUTEMASTER OR EQUIV) TO SWALE BATTER SLOPES AND ADJACENT LANDSCAPED AREAS. NOTE THAT NO TOPSOIL IS TO BE PLACED OVER FILTRATION MEDIA. PROVIDE SILT FENCE TO TOP OF BANK UNTIL SUCH TIME AS THIS STABILISING AND VEGETATION HAS BEEN COMPLETED.

BIO-RETENTION TO BE PARTIALLY INSTALLED, FOLLOWING COMPLETION OF THE ROAD, WITH THE TOP 75-100mm OF FILTER MEDIA REPLACED WITH A FINE TO COARSE SAND UNDERLAIN WITH A GEOTEXTILE LAYER (REFER TO DETAIL). FOLLOWING COMPLETION OF THE UPSTREAM DEVELOPMENT AND SITE STABILISATION, THE SAND IS TO BE REMOVED, REPLACED WITH FILTER MATERIAL AND PLANTED OUT. REFER TO TEMPORARY BIO-BASIN DETAIL

PRIOR TO PLANTING, THE TOP 100mm OF THE BIORETENTION FILTER MEDIA IS TO BE AMELIORATED WITH APPROPRIATE ORGANIC MATTER, FERTILISER AND TRACE ELEMENTS TO AID PLANT ESTABLISHMENT AS PER THE TABLE BELOW:

CONSTITUENT	QUANTITY (kg/m2 OF FILTER AREA)
GRANULATED POULTRY MANURE FINES	50
SUPERPHOSPHATE	2
MAGNESIUM SULPHATE	3
POTASSIUM SULPHATE	2
TRACE ELEMENT MIX	1
FERTILISER NPK (16.4.14)	4
LIME	20



BIORETENTION CLEANOUT EYE ELEVATION
SCALE 1:20
DENOTED C.E. ON PLAN

FOR DEVELOPMENT
APPROVAL

200mm 0 500 1000 1500 2000mm
SCALE 1:20 AT A1 SIZE PLOT

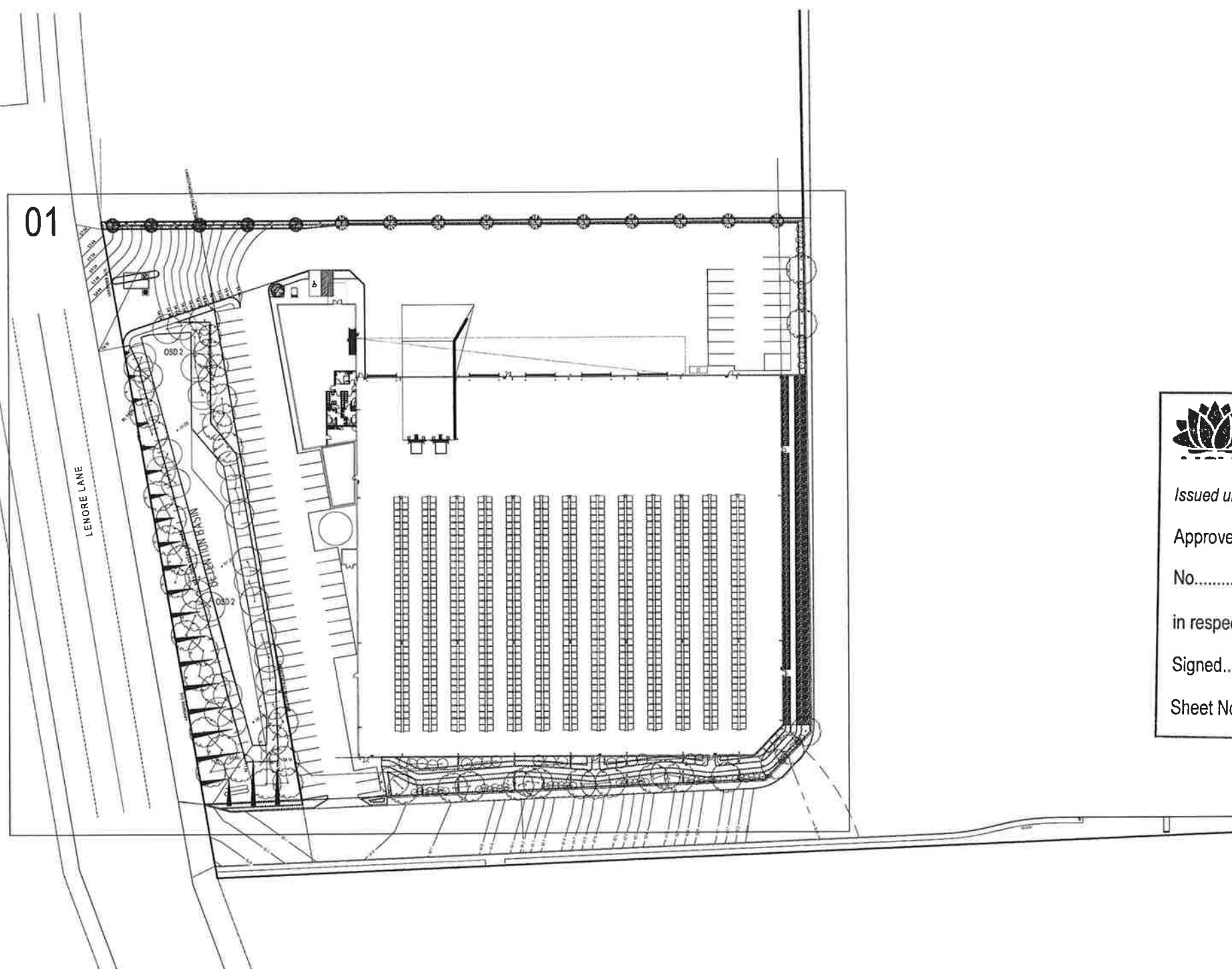
ARCHITECT		CLIENT		PROJECT		Costin Roe Consulting Pty Ltd.		DRAWING TITLE	
ISSUED FOR REVIEW		LOGOS PROPERTY		PROPOSED DEVELOPMENT		Consulting Engineers		CONCEPT STORMWATER	
16.12.15		SUITE 02, LEVEL 12		LOT 62/133-145 LENORE LANE,		Level 1, 8 Windmill Street		DETAILS-SHEET 2	
15.12.15		167 MACQUARIE STREET		ERSKINE PARK NSW		Wahah Bay, Sydney NSW 2000			
AMENDMENTS		SYDNEY NSW				Tel: (02) 9281-7899 Fax: (02) 9281-3731			
						email: mail@costinroe.com.au			
						CAO REF: 11888.04-DA46			
								DRAWING NO	
								C011888.04-DA46	
								ISSUE	
								B	

CostinRoe Consulting

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SCHEDULE OF DRAWINGS

COVER SHEET	2515047 - 000
PLANTING PLAN	2515047- 100



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Sheet No. 20 of 21

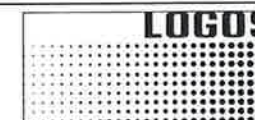
FOR APPROVAL

place
design
group.

SYDNEY
Level 1,
81 York Street
Sydney, NSW, 2000
T + 61 2 9290 3300
F + 61 2 9262 6108

133-145 LENORE LANE, ERSKINE PARK

SECTION 75W SUBMISSION



PROJECT NUMBER : 2515047

DRAWING NUMBER : 2515047 - 000

DATE : 11-12-15

REVISION : A

[illegible]

DRAWING TITLE

LANDSCAPE PLAN 01

DESIGN : PK
DOCUMENT : PK
PROJECT : 2515047

SCALE 1:250 @ A1 1:500 @ A3

DRAWING NUMBER	REVISION
2515047 - 100	A



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INDICATIVE PLANTING SCHEDULE:

SYM	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	POT SIZE	QTY
TABLE 5 (Natural Zones & Embankments of distribution banks)						
Cg	<i>Cassia glabra</i>	The Gob	15m	As Shown	45L	
Es	<i>Eragrostis amabilis</i>	Catnap Gum	20m	As Shown	45L	
Ei	<i>Eragrostis indica</i>	Swamp Mangrove	20m	As Shown	45L	
Es	<i>Eragrostis verticillata</i>	Forest Red Gum	20m	As Shown	45L	
Wv	<i>Wulfsbergia</i>	White Feather Honey Myrtle	7m	As Shown	45L	
Wv	<i>Wulfsbergia</i>	Pink-Lip Leaf Paperbark	12m	As Shown	45L	

[illegible][illegible]

Mix #	Materials	Thickness	4.5"	1'x1'	30mm	20"
1	California Captain Cook	6.0"	2'x2'	100mm	20"	
2	Citrus pedunculata	1.2"	2'x2'	100mm	10"	
3	Holodendron laetifolium	1.0"	4'x4'	100mm	10"	
4	Holodendron laetifolium	1.5"	4'x4'	100mm	20"	
5	Holodendron laetifolium	1.5"	4'x4'	100mm	20"	
6	Holodendron laetifolium	1.5"	4'x4'	100mm	20"	

[illegible]

Mo C	Carve appearance	Tail Sledge	0.6in	7in ²	Flown Tube	20 ²
	Pinkie nodules	Acidly Glab Rush Rush	0.7in	7in ²	Flown Tube	20 ²
	Acidly nodules	Common Rush	1.0in	7in ²	Flown Tube	20 ²
	Lignified nodules	Red Rush	1.2in	5in ²	Flown Tube	20 ²
	Reddish nodules	Tanned Good Grass	1.5in	3in ²	Flown Tube	20 ²

SYM	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	POT SIZE	QTY
ENDODERM TREES						
CN	<i>Caryota mitis</i>	Spotted Gum	20m	As Shown	100	
CR	<i>Corymbia maculata</i>	Tuckeroo	10m	As Shown	000	
EL	<i>Eucalyptus laevis</i>	Fossil Red Gum	25m	As Shown	150	
TR	<i>Tetrarrhena baueri</i>	Winter Gum	12m	As Shown	100	
WT	<i>Wittmannia bartramia</i>	Whistling Willb.	15m	As Shown	100	
DECIDUOUS TREES						
JA	<i>Juniperus communis</i>	Green Ash	15m	As Shown	150	
PI	<i>Populus alba</i>	White Poplar	15m	As Shown	150	

SHRUBS					
Cm	Calliderm® Mopac Mini	Redblown	1.0m	4m ²	5L
Cm	Calliderm® Tropicana Pink	Redblown	1.0m	4m ²	3L
Cm	Calliderm® Red Alert	Redblown	2.0m	3m ²	5L
Cm	Calliderm® Silver	Redblown	2.0m	3m ²	3L
Dg	Doradina® Flame Purple	Purple Hot Bush	2.0m	3m ²	5L
Gv	Gryllus® Honey Gem	Green	2m	1m ²	3L
M	Melaleuca bracteata Claret Top	Honey Myrtle	1.5m	4m ²	150mm
W	Wurmba® arbutifolia	Brown of steel	3.0m	2m ²	20L

GRAMMA & UNROOTED COVETS		Local Assembly	Govt	4th	100m
Ag	<i>Agave attenuata</i> 'Blue'	Agave attenuata	0.6m	5m ²	100m
Asa	<i>Agave americana</i> 'Wine'	Agave americana	0.8m	5m ²	100m
De	<i>Eleocharis yunnanensis</i>	Perovskia yunnanensis	2.5m	5m ²	100m
Ce	<i>Celtis occidentalis</i>	Willow	0.8m	5m ²	100m
Ha	<i>Hedera helix</i> 'Hibernica'	Hedera helix	0.8m	5m ²	100m
Li	<i>Lilium</i> 'Lilium' 'Lilium'	Lilium	0.3m	5m ²	100m
Lu	<i>Lupinus albus</i>	Lu	0.8m	5m ²	100m
Le	<i>Leucaena leucocarpa</i>	Leucaena leucocarpa	0.3m	5m ²	100m
Pa	<i>Passiflora</i> 'Passiflora'	Passiflora	0.3m	5m ²	100m
Ta	<i>Taxus canadensis</i>	Taxus canadensis	0.6m	5m ²	100m

Journal of Management Inquiry 22(1) 3-15
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DOI: 10.1177/1056492613500500
<http://jmi.sagepub.com>

Attachment B Proposed S75W Plans

melbourne
sydney
brisbane
canberra
adelaide
gold coast
townsville
perth

Level 6, 15 Help Street
CHATSWOOD NSW 2067
PO Box 5254
WEST CHATSWOOD NSW 1515
t// +612 8448 1800

www.gta.com.au



PROPOSED WAREHOUSE AND OFFICE FACILITY

LOT 2 / 133 - 145

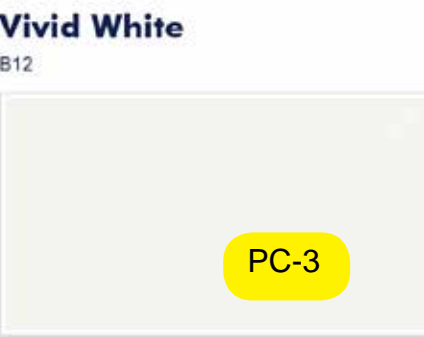
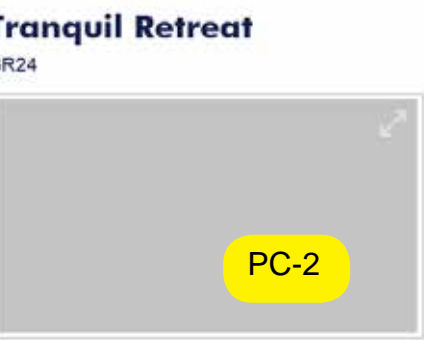
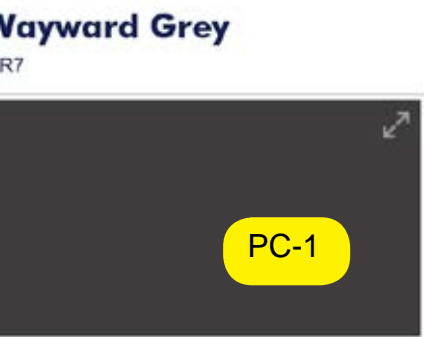
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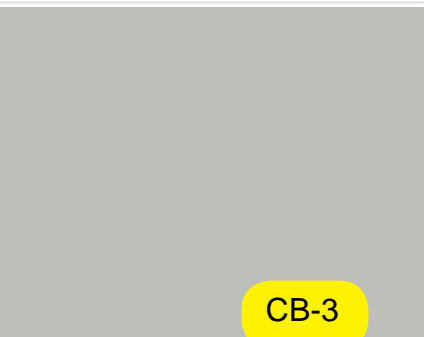
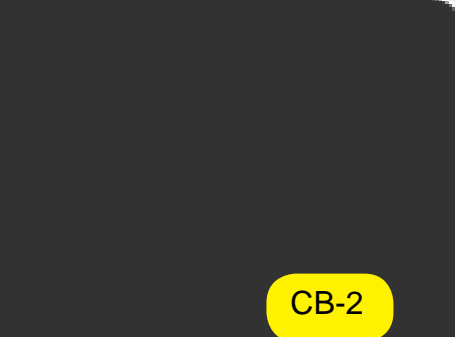
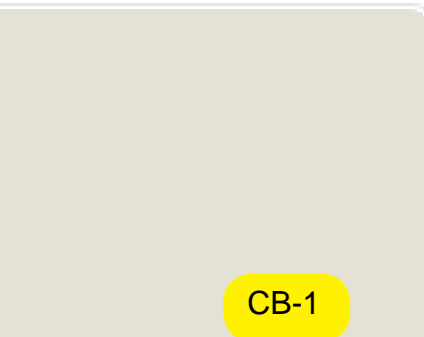
LOGOS PROPERTY GROUP
SUITE 2, L29 , Aurora Place,
88 Philip Street, Sydney NSW 2000
t: + 61 2 8197 3900

MATERIAL FINISHES SPECIFICATION

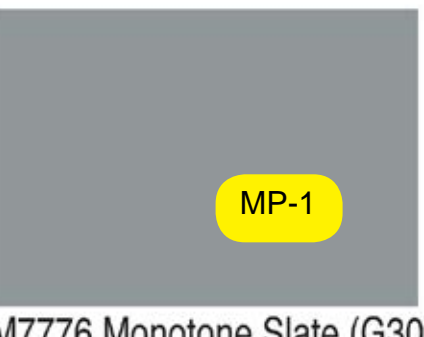
PRECAST CONCRETE - PAINT COLOUR



CORRUGATED METAL WALL / ROOF CLADDING



METALLIC CLADDING - OFFICE



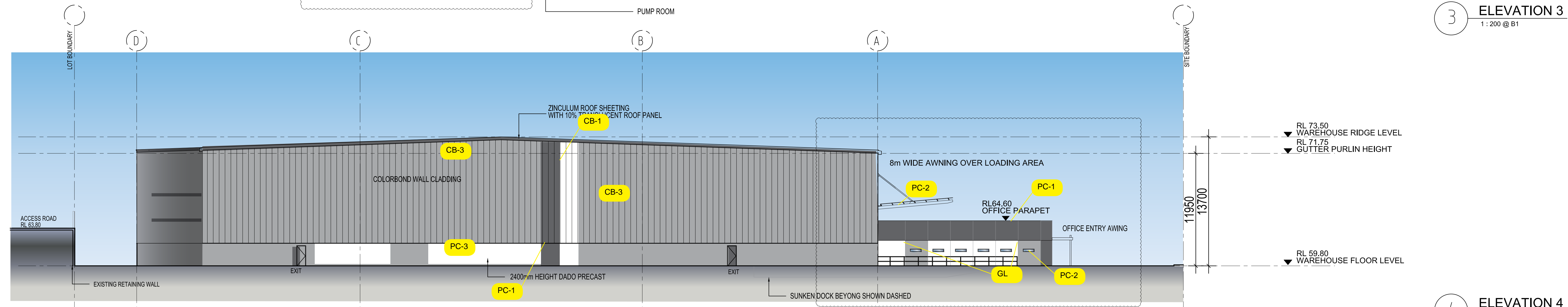
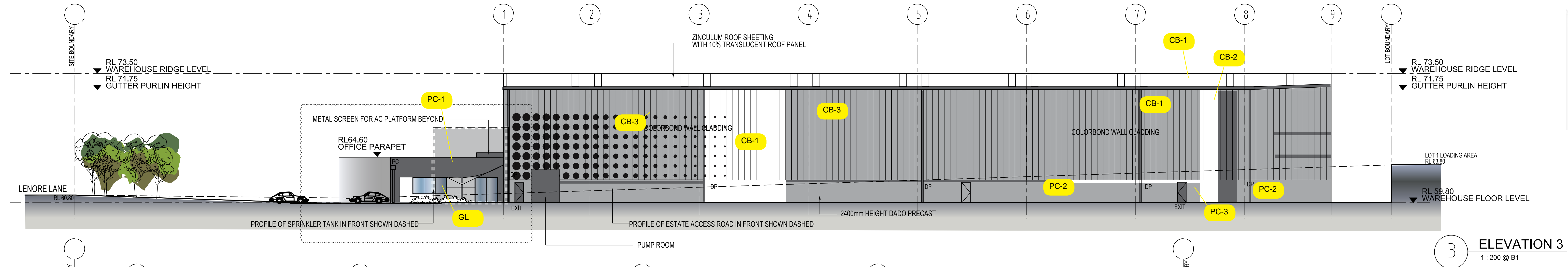
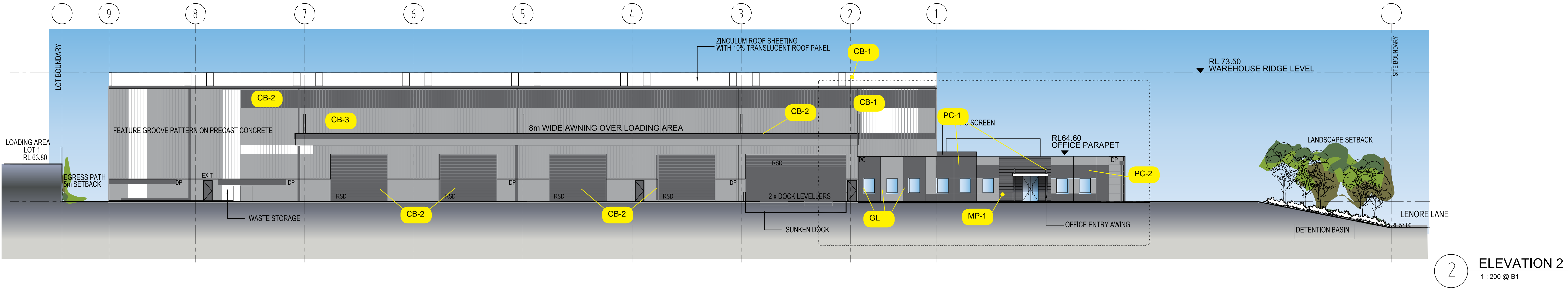
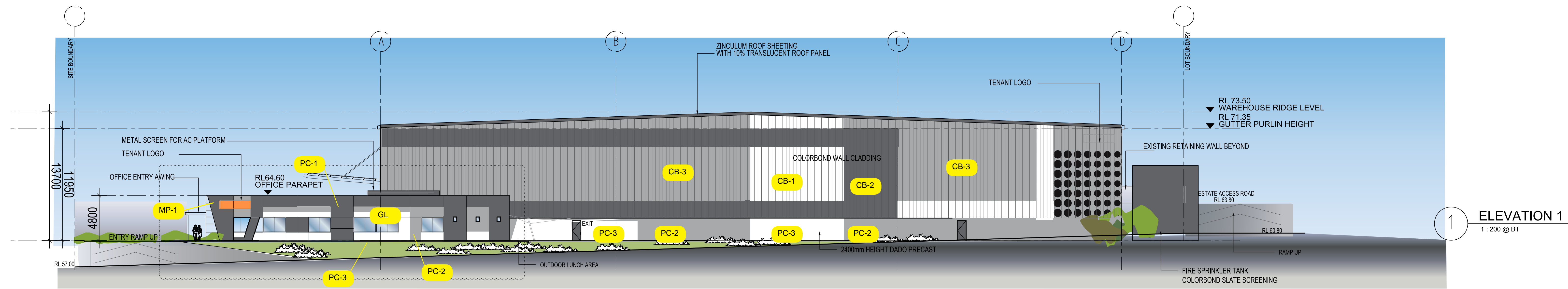
OFFICE GLAZING

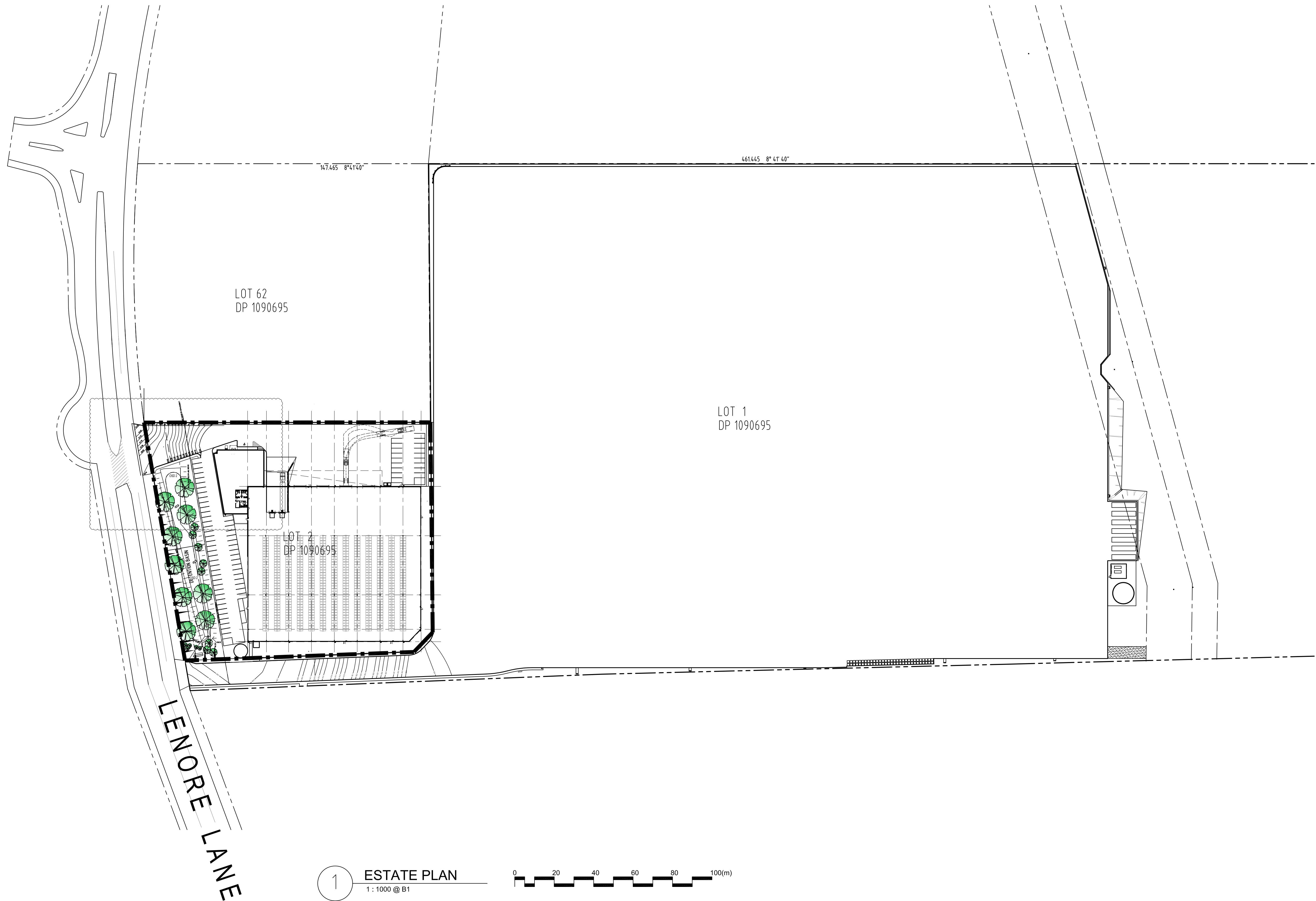


TINTED OFFICE GLAZING

LOT 2, 133-145 LENORE DRV, ERSKINE PARK

REV C
DA-M-01





1 ESTATE PLAN
1:1000 @ B1

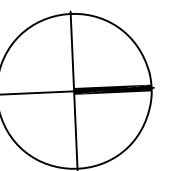


Notes
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MATERIALS & WORKMANSHIP TO BE IN STRICT ACCORDANCE WITH ALL RELEVANT S.A.A. STANDARDS, SCA AND LOCAL AUTHORITIES REQUIREMENTS.
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Revisions			
2	11.04.16	DA AMENDMENT	
1	16.12.15	DA SUBMISSION	

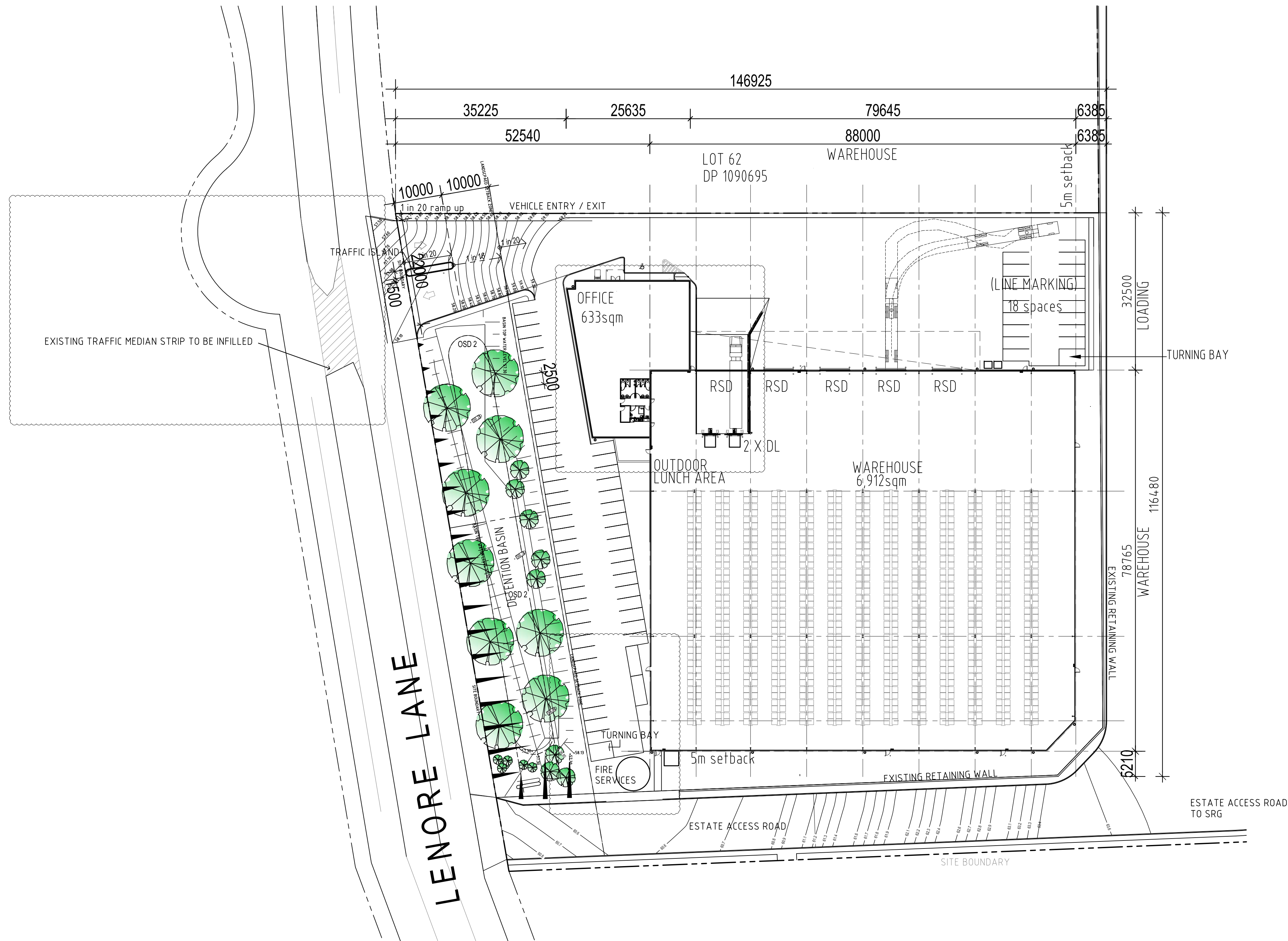
LOGOS
LOGOS PROPERTY GROUP
SUITE 2, L29, Aurora Place,
88 Philip Street, Sydney NSW 2000
t: + 61 2 8197 6300

Project:
PROPOSED WAREHOUSE
LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.

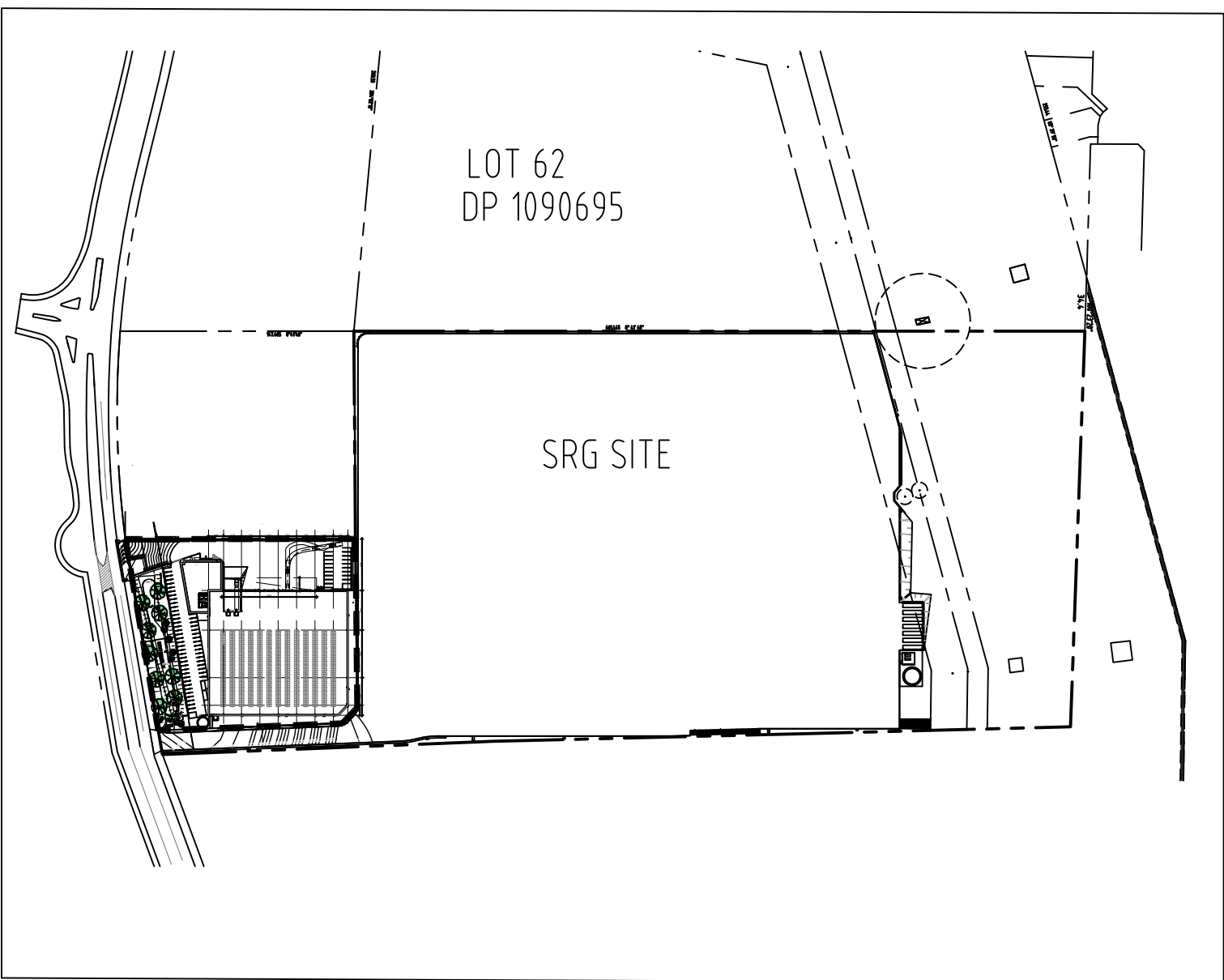


Drawing title:
ESTATE PLAN

Date:	Scale:	Drawn:	Project number:	Drawing number:	Issue:
11/04/16	shown	AA	SPC	ERSK-DA-001	2



1 LOT 2 SITE PLAN
1 : 500 @ B1



1 LOCATION PLAN
1 : 500 @ B1

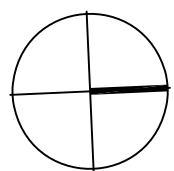
SCHEDULE OF AREAS	
SITE AREA	15 895 sqm
DETENTION BASIN AREA (included in site area)	2 156 sqm
developable land	13 739 sqm
WAREHOUSE	6,912 sqm
OFFICE - (GF)	633 sqm
TOTAL BUILDING AREA	7,545 sqm
AWNING 1 - 8m wide - doors on grade (with 2 sunken docks)	544sqm
PAVEMENT AREAS	
LIGHT DUTY PAVEMENT (includes carpark / driveways) (75 cars provided including 1 disabled space)	1,315 sqm
HEAVY DUTY PAVEMENT (includes driveways / hardstand / truck turning areas)	3,555 sqm

Notes
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Revisions			
2	11.04.16	DA AMENDMENT	
1	16.12.15	DA SUBMISSION	

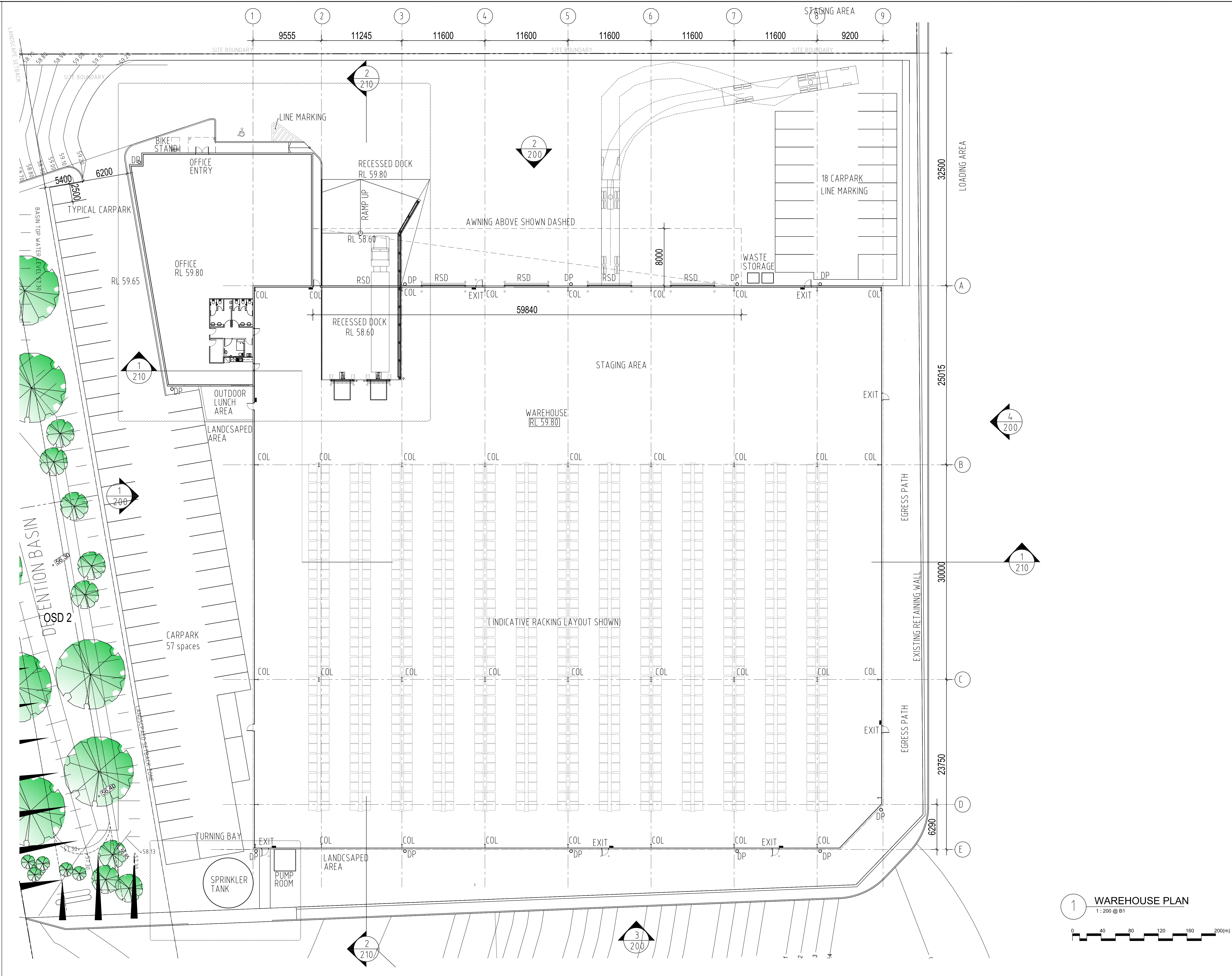
LOGOS PROPERTY GROUP
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88 Philip Street, Sydney NSW 2000
t + 61 2 8197 6300

Project:
PROPOSED WAREHOUSE
LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.



Drawing title:
LOT 2 SITE PLAN

Date:	Scale:	Drawn:	Project number:	Drawing number:	Issue:
11/04/16	shown	AA	SPC	ERSK-DA-002	2



Notes

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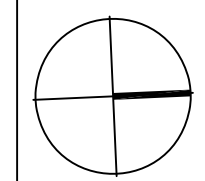
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Revisions			
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1	16.12.15	DA SUBMISSION	

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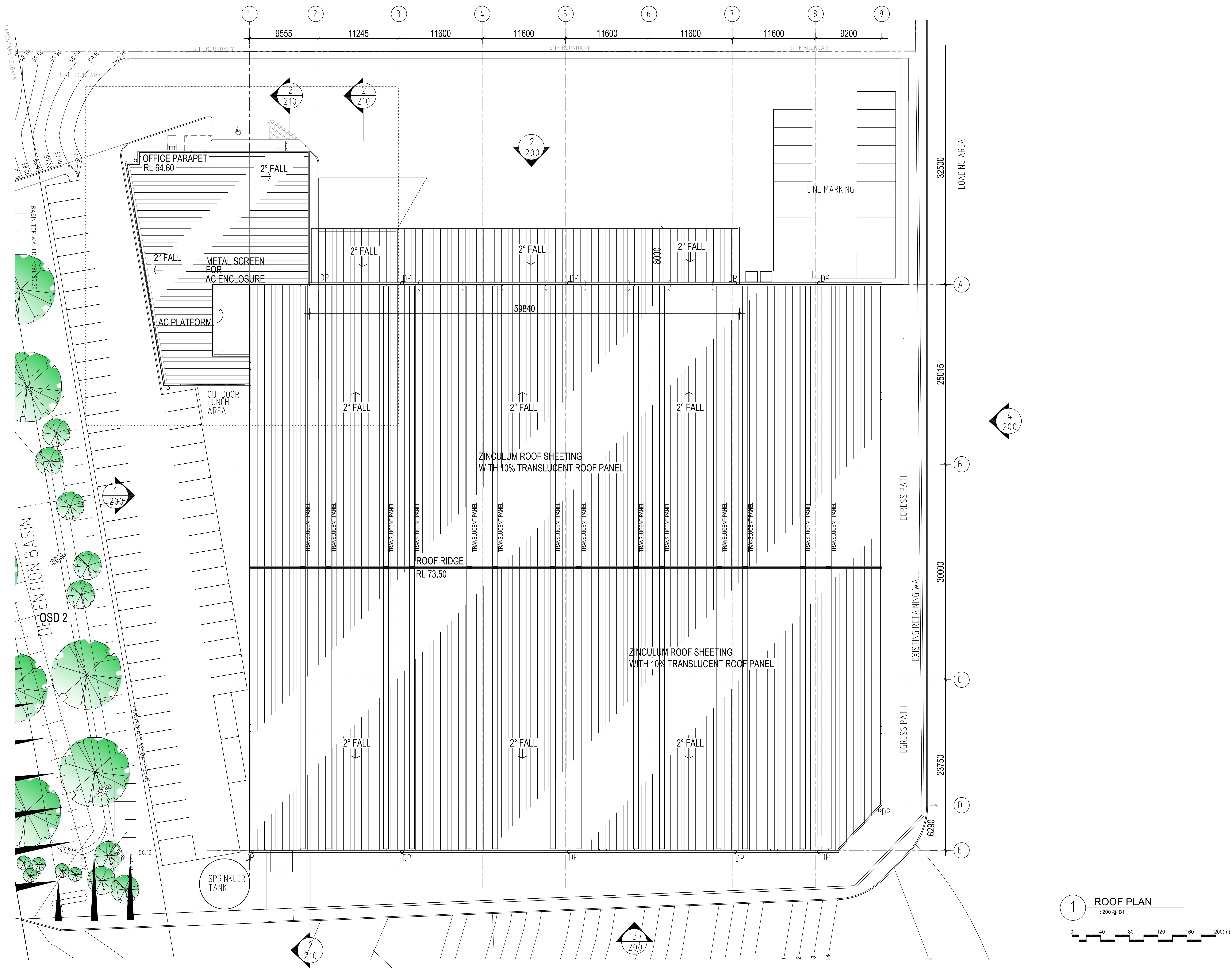
Project:
PROPOSED WAREHOUSE

LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.



Drawing title:
**WAREHOUSE
FLOOR PLAN**

Date:	Scale:	Drawn:	Project number:	Drawing number:	Issue:
11/04/16	1:200	AA	SPC	ERSK-DA-100	2



Notes

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Revisions			
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1	16.12.15	DA SUBMISSION	

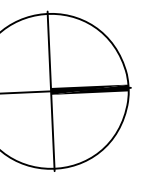


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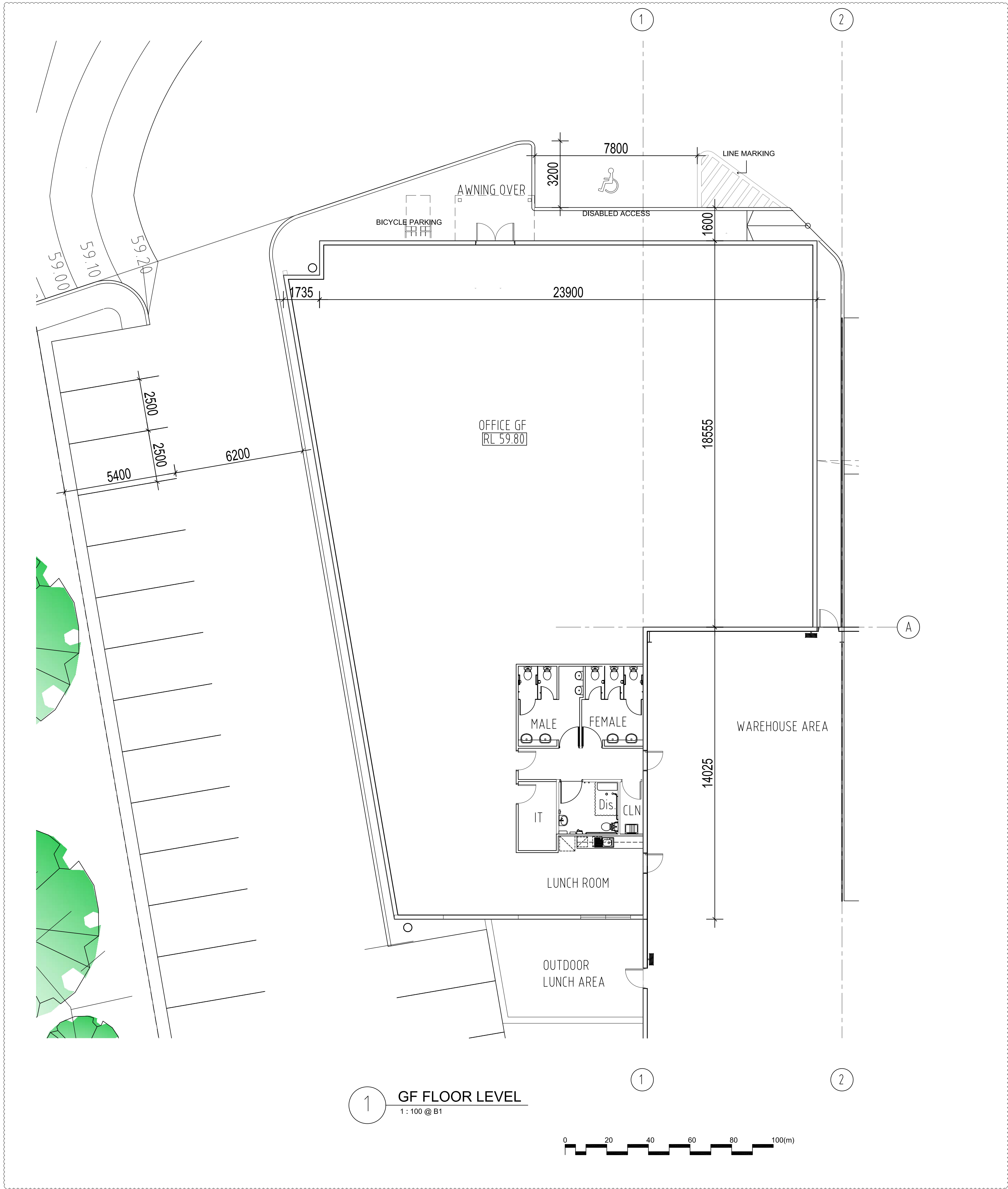
Project:

PROPOSED WAREHOUSE

LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.



Drawing Title: ROOF PLAN					
Date:	Scale:	Drawn:	Project number:	Drawing number:	Issue:
11/04/16	1:200	AA	SPC	ERSK-DA-120	2



1 OFFICE FLOOR LEVEL
1:100 @ B1

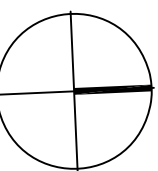


Notes
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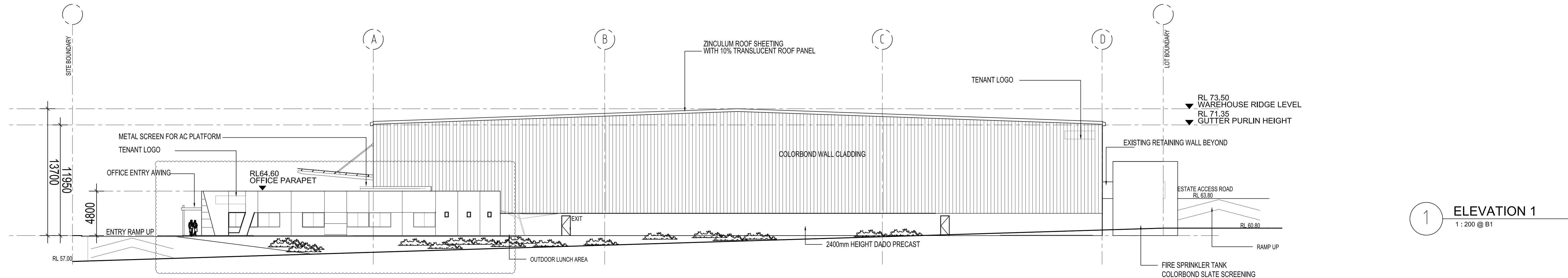
Revisions			
2	11.04.16	DA AMENDMENT	
1	16.12.15	DA SUBMISSION	

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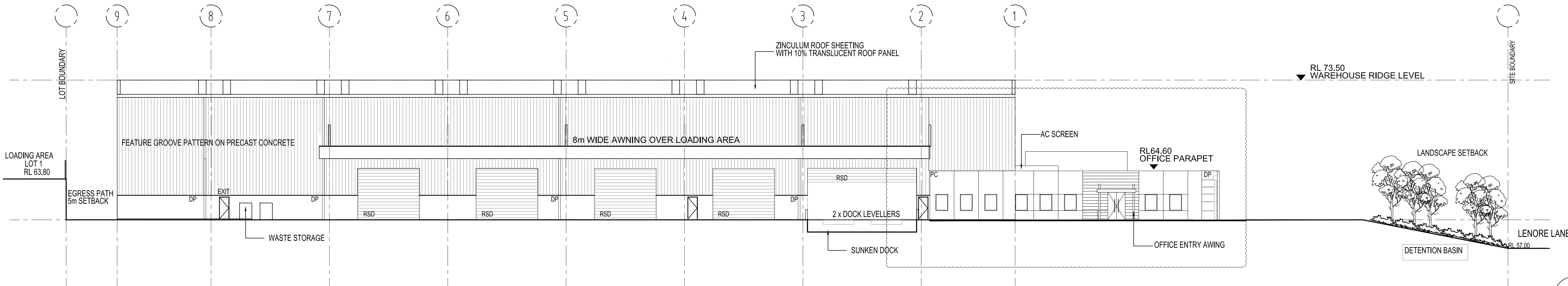
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LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.



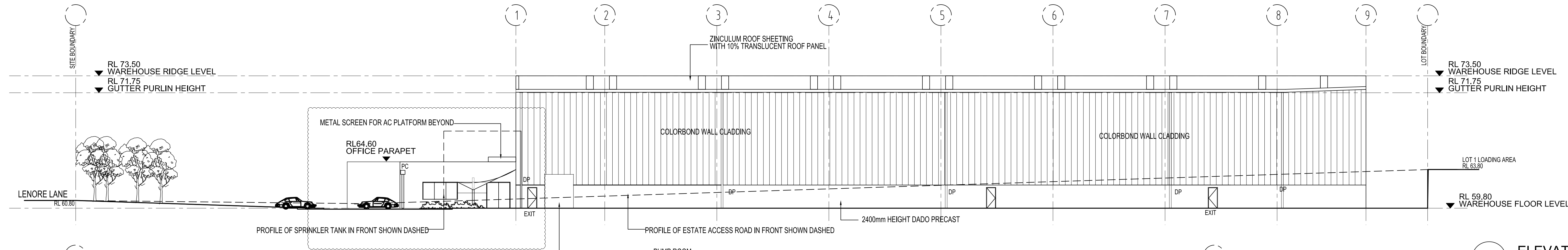
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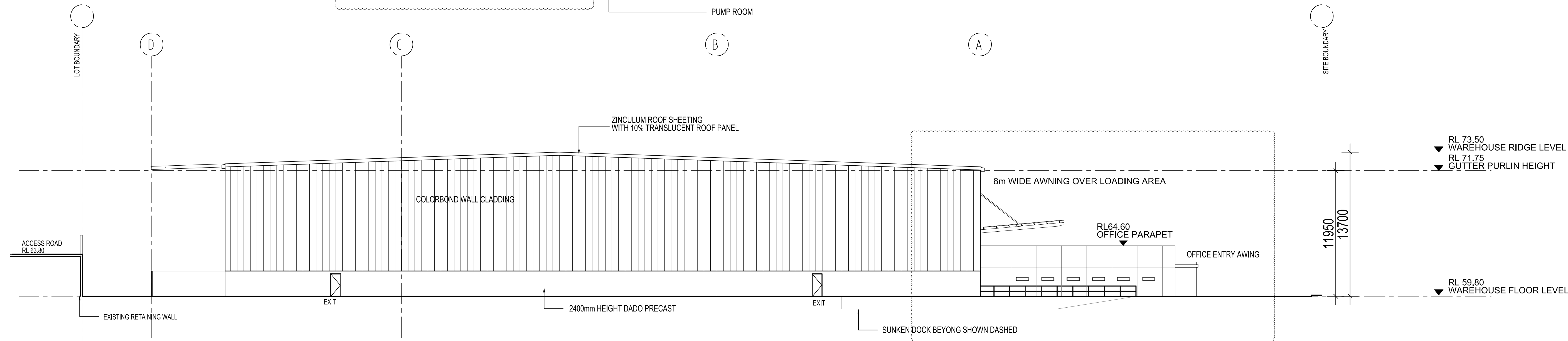
1 ELEVATION 1
1 : 200 @ B1



2 ELEVATION 2
1 : 200 @ B1



3 ELEVATION 3
1 : 200 @ B1



4 ELEVATION 4
1 : 200 @ B1



Notes
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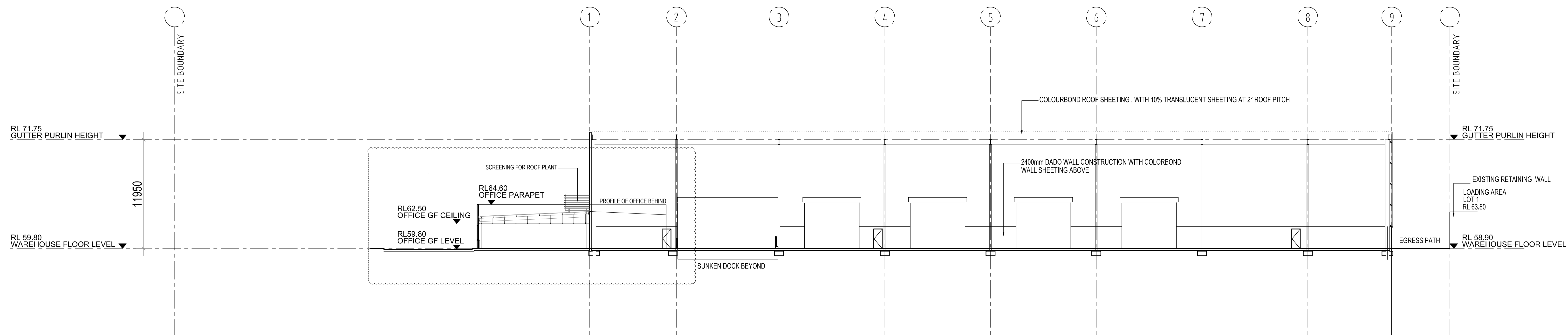
Revisions			
2	11.04.16	DA AMENDMENT	
1	16.12.15	DA SUBMISSION	

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Project:
PROPOSED WAREHOUSE
LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.

Drawing title:
BUILDING ELEVATIONS

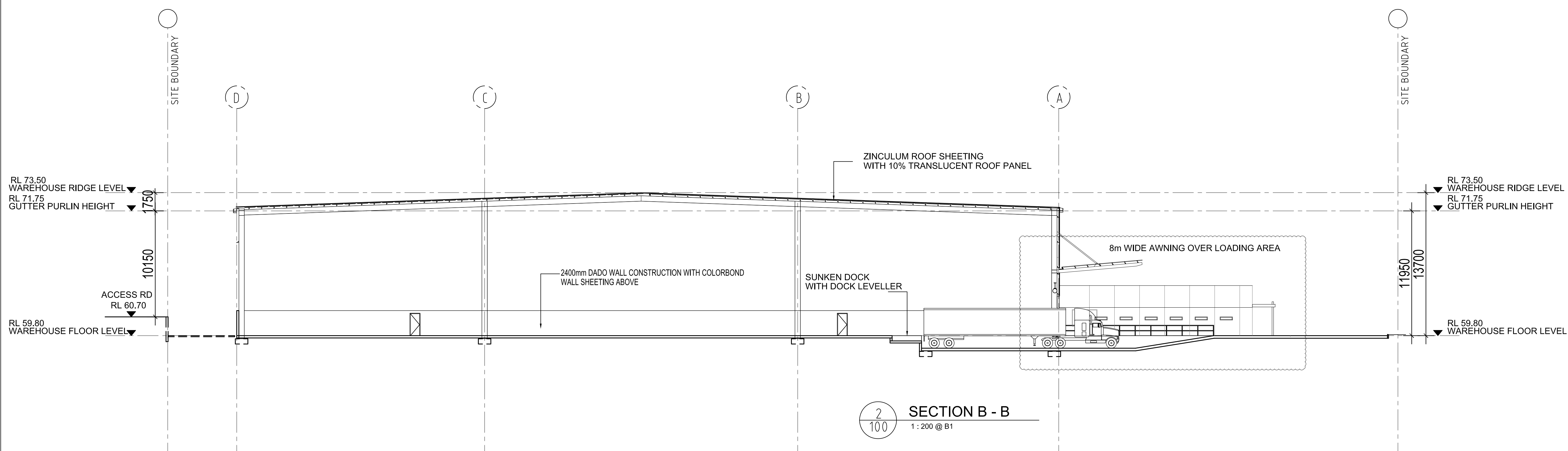
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11/04/16	1:200	AA	SPC	ERSK-DA-200	2



1
100

SECTION A - A

1 : 200 @ B1




SECTION B - B
 1 : 200 @ B1

Notes

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Revisions		
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1	16.12.15	DA SUBMISSION

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Project:
PROPOSED WAREHOUSE
LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW

Drawing title: **BUILDING SECTIONS**

Date:	Scale:	Drawn:	Project number:	Drawing number:	Issue:
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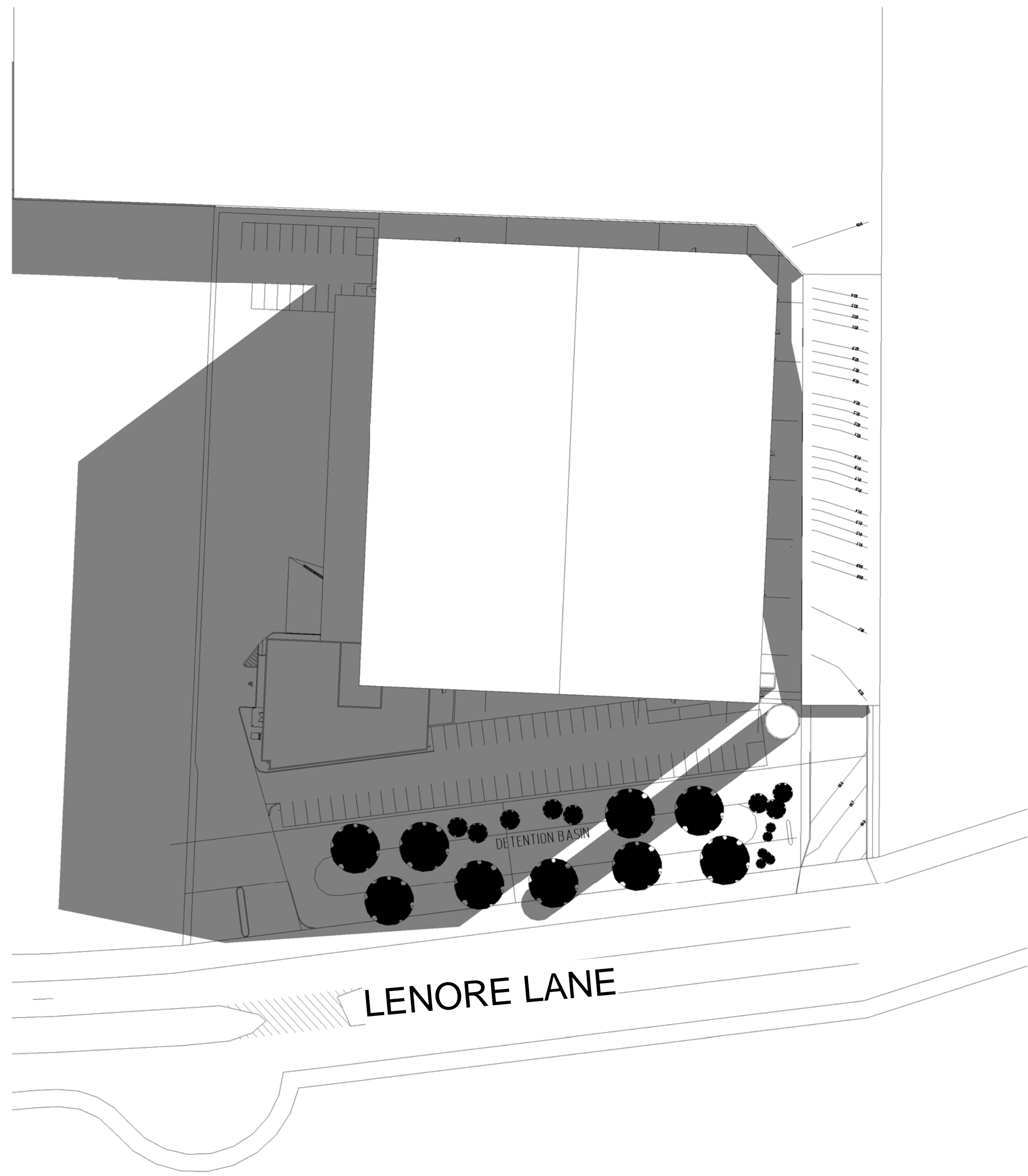


Notes

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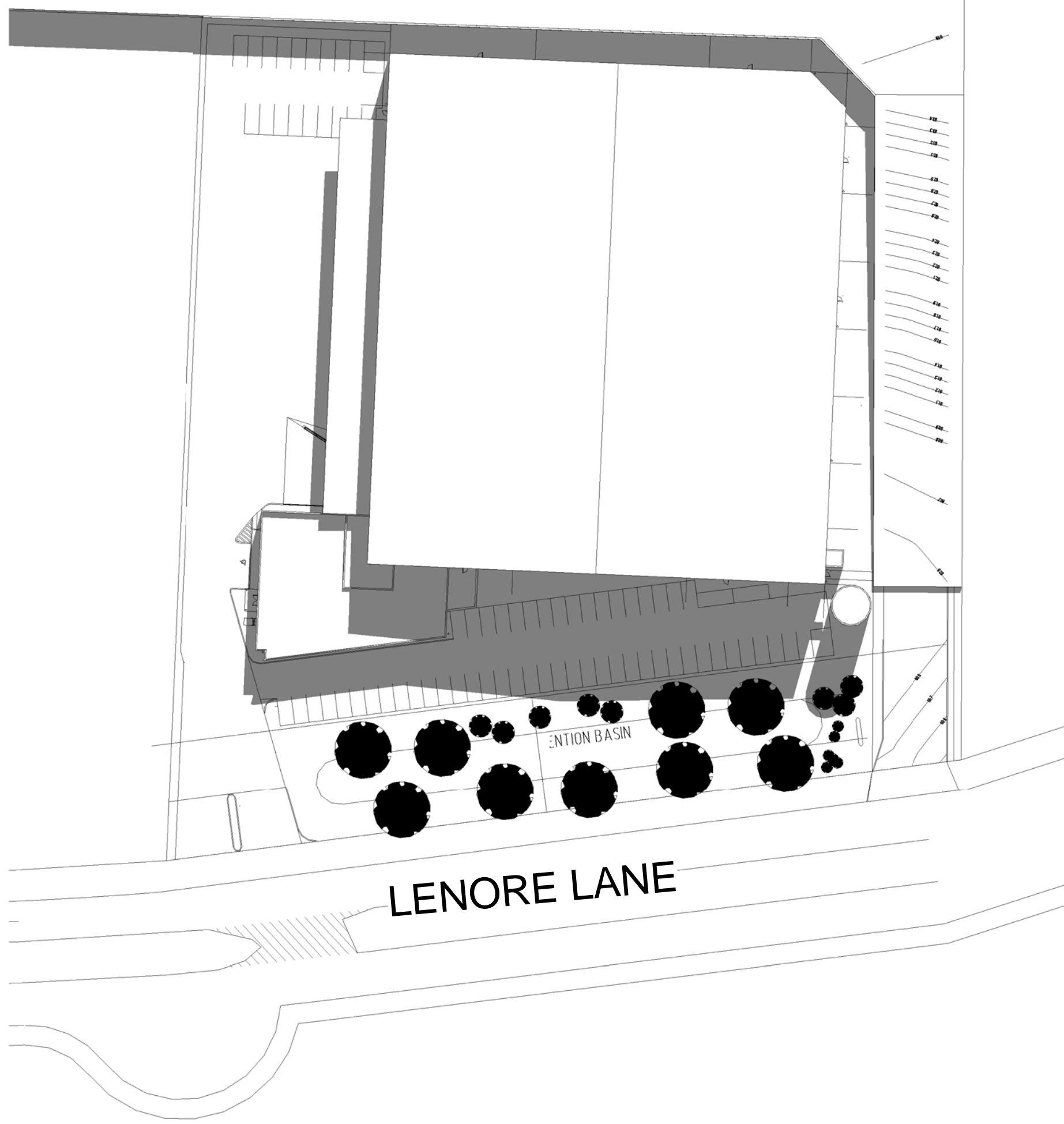
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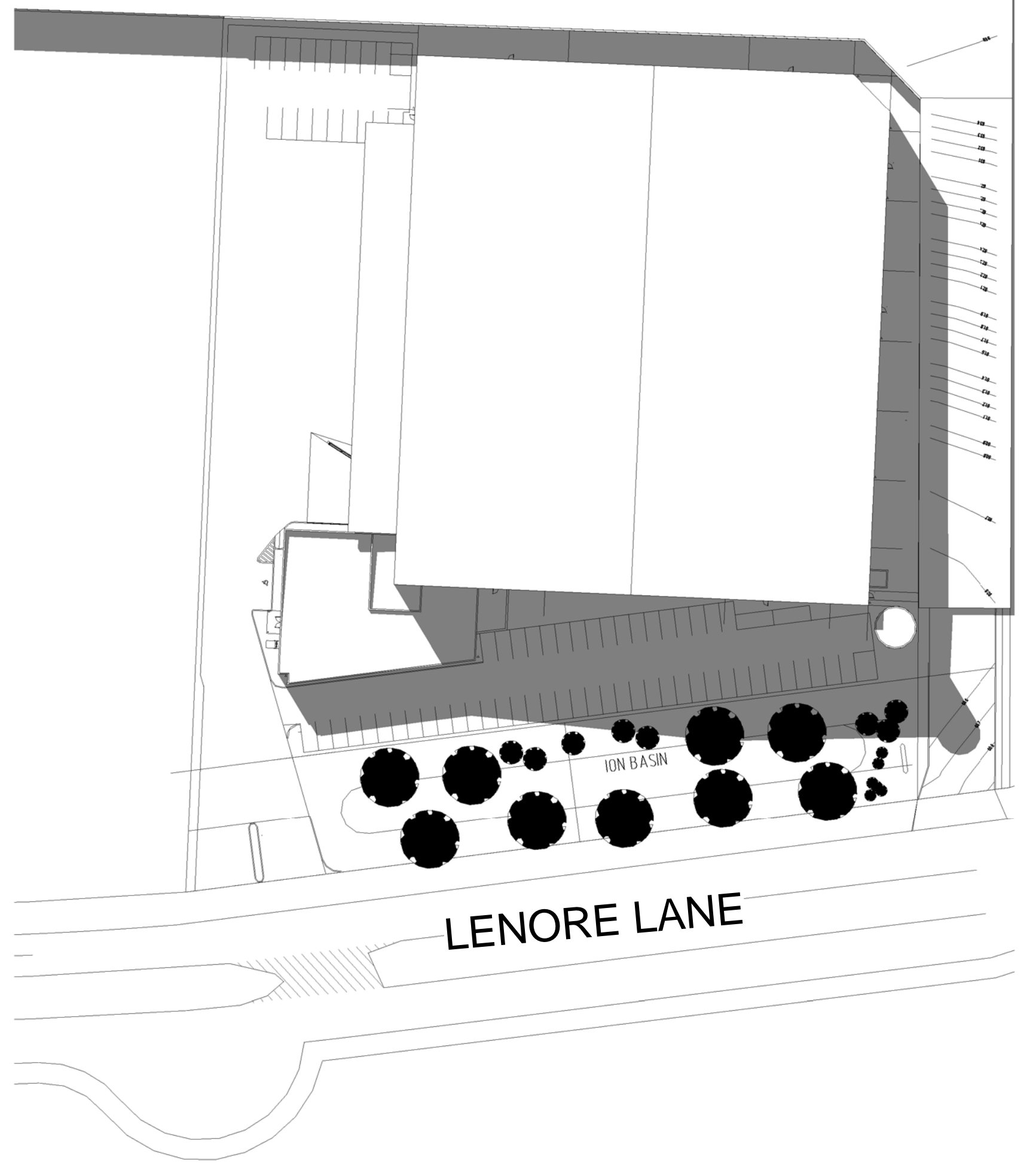
WINTER SOLSTICE (21 JUNE)

1 Shadow Diagram - 9am
1 : 750



WINTER SOLSTICE (21 JUNE)

2 Shadow Diagram 12pm
1 : 750



WINTER SOLSTICE (21 JUNE)

3 Shadow Diagram 3pm
1 : 750

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Project:
PROPOSED WAREHOUSE
LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.

Drawing title:
SHADOW DIAGRAM

Date:	Scale:	Drawn:	Project number:	Drawing number:	Issue:
11/04/18	shown	AA	SPC	ERSK-DA-S01	2

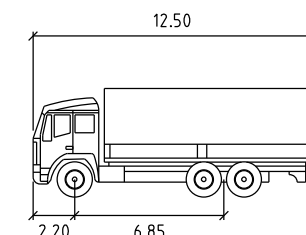
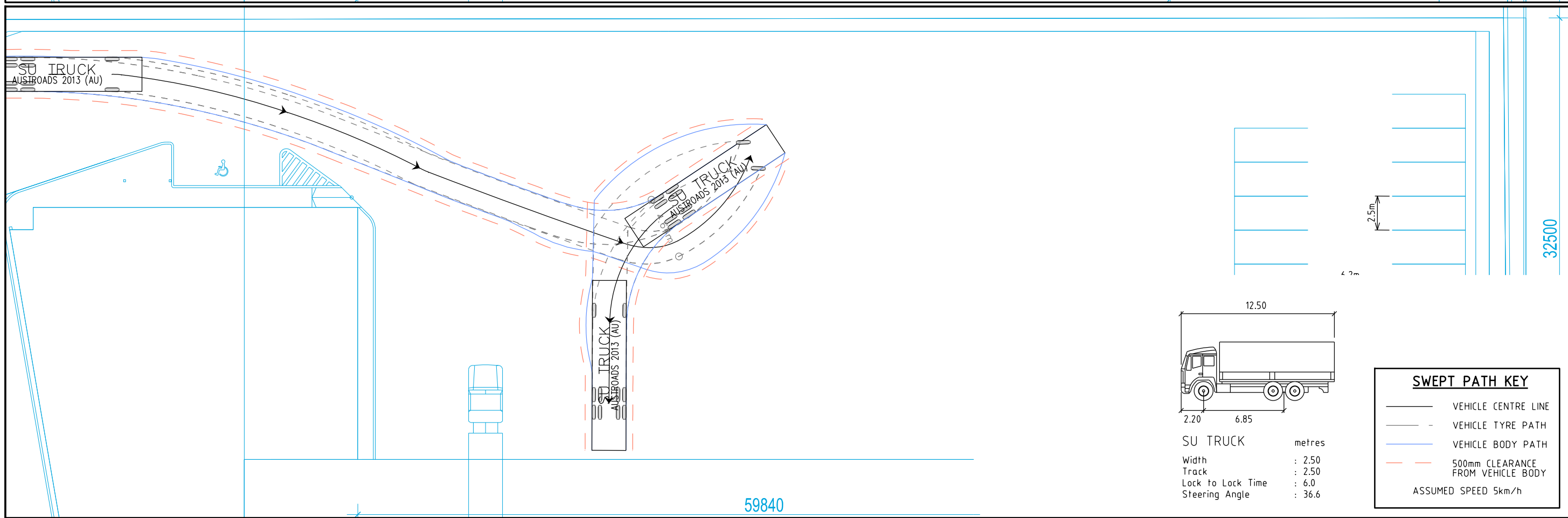
Attachment C Swept Path diagrams

melbourne
sydney
brisbane
canberra
adelaide
gold coast
townsville
perth

Level 6, 15 Help Street
CHATSWOOD NSW 2067
PO Box 5254
WEST CHATSWOOD NSW 1515
t// +612 8448 1800

www.gta.com.au

PLOTTED BY: wendy.zheng ON 11/04/2016 AT 1:13:42 PM 16S1264000-01-P3.dgn



SU TRUCK metres
Width : 2.50
Track : 2.50
Lock to Lock Time : 6.0
Steering Angle : 36.6

SWEPT PATH KEY	
	VEHICLE CENTRE LINE
	VEHICLE TYRE PATH
	VEHICLE BODY PATH
	500mm CLEARANCE FROM VEHICLE BODY
ASSUMED SPEED 5km/h	

Melbourne 03 9851 9600
Sydney 02 8448 1800
Brisbane 07 3113 5000
Canberra 02 6243 9400
Adelaide 08 8334 3600
Gold Coast 07 5510 4814
Townsville 07 4722 2765
Perth 08 6316 4634

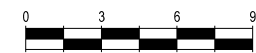


PRELIMINARY PLAN
FOR DISCUSSION PURPOSES ONLY
SUBJECT TO CHANGE WITHOUT
NOTIFICATION

133-145 LENORE LANE, ERSKINE PARK
SWEPT PATH ASSESSMENT
12.5m VEHICLE

DATE: 11.04.2016

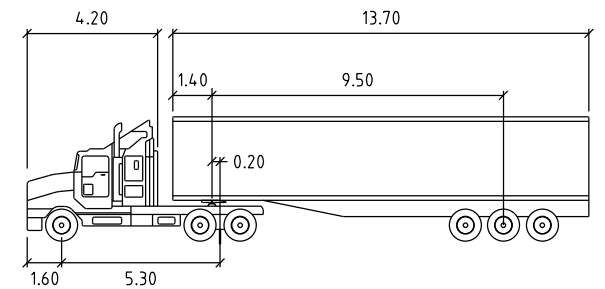
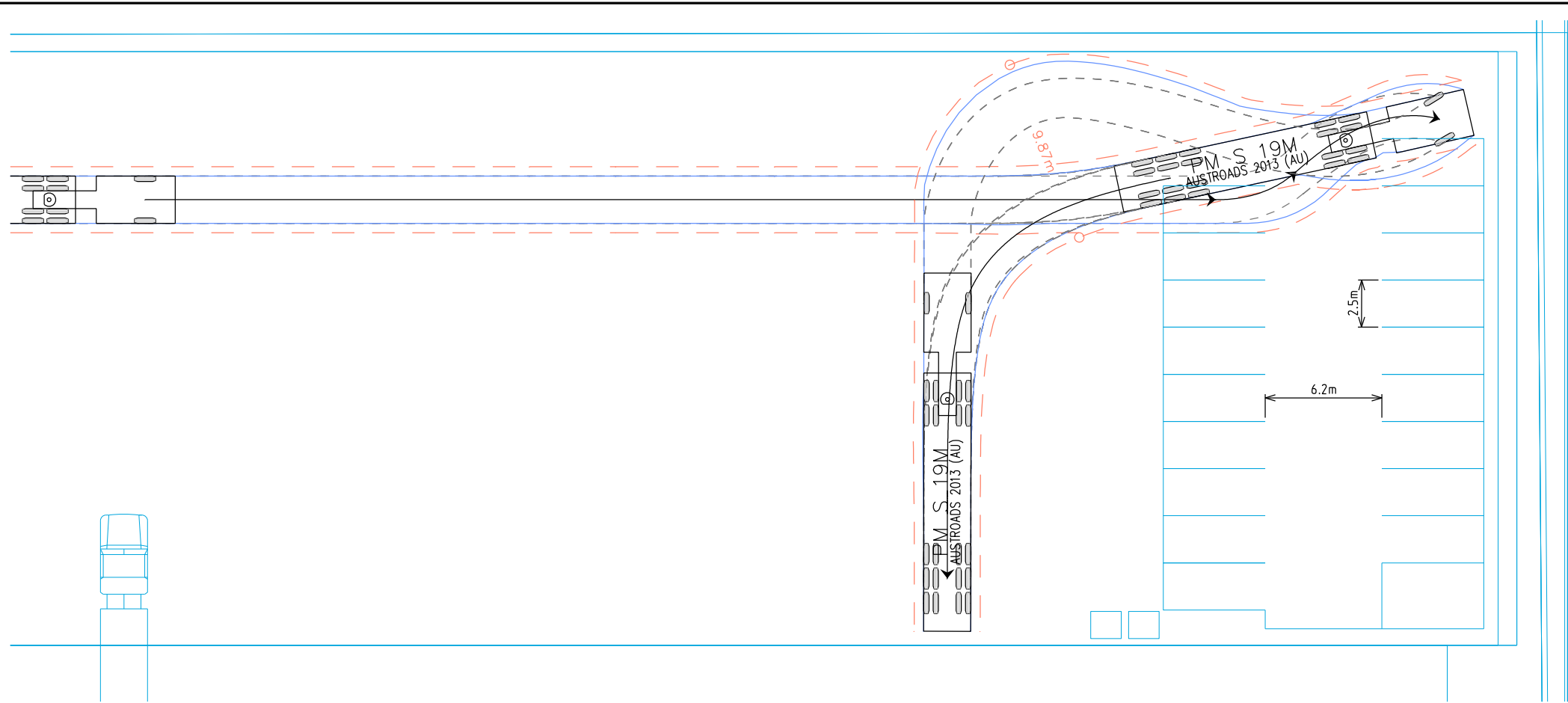
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APPROVED: BLO

DRAWING NO. 16S1264000-01-01-P3

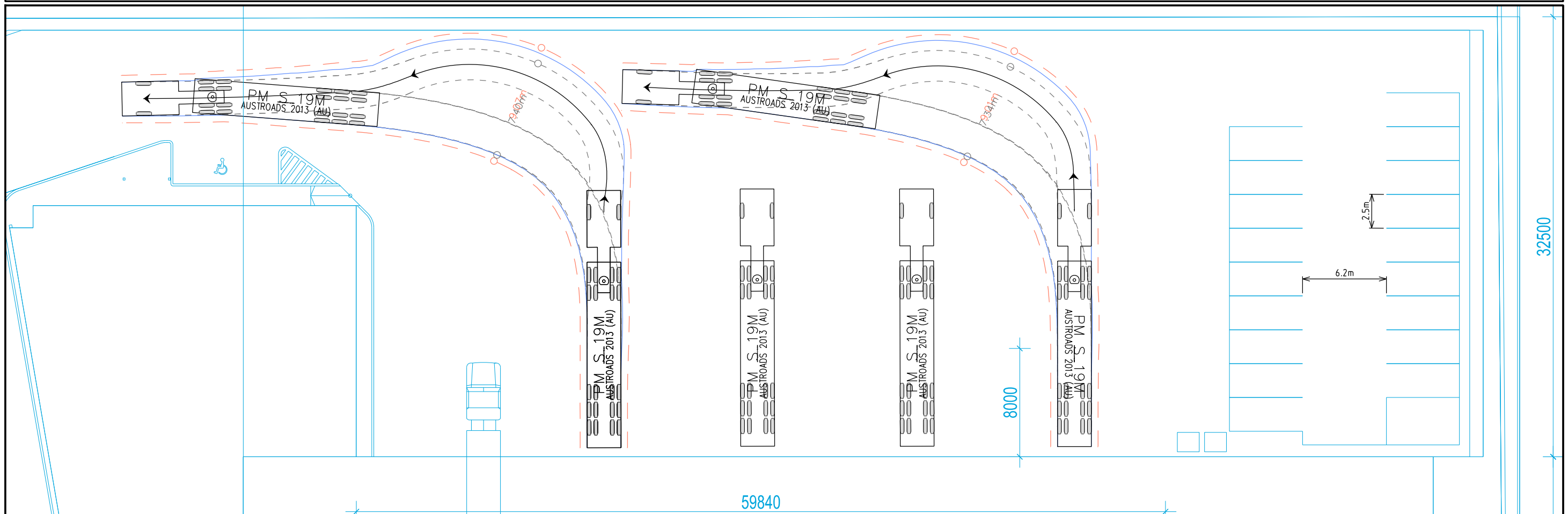
SHEET: 01 OF 02



PM S 19M	metres		
Tractor Width	: 2.50	Lock to Lock Time	: 6.0
Trailer Width	: 2.50	Steering Angle	: 27.8
Tractor Track	: 2.50	Articulating Angle	: 70.0
Trailer Track	: 2.50		

SWEPT PATH KEY

- VEHICLE CENTRE LINE
 - - VEHICLE TYRE PATH
 - VEHICLE BODY PATH
 - - 500mm CLEARANCE FROM VEHICLE BODY
- ASSUMED SPEED 5km/h



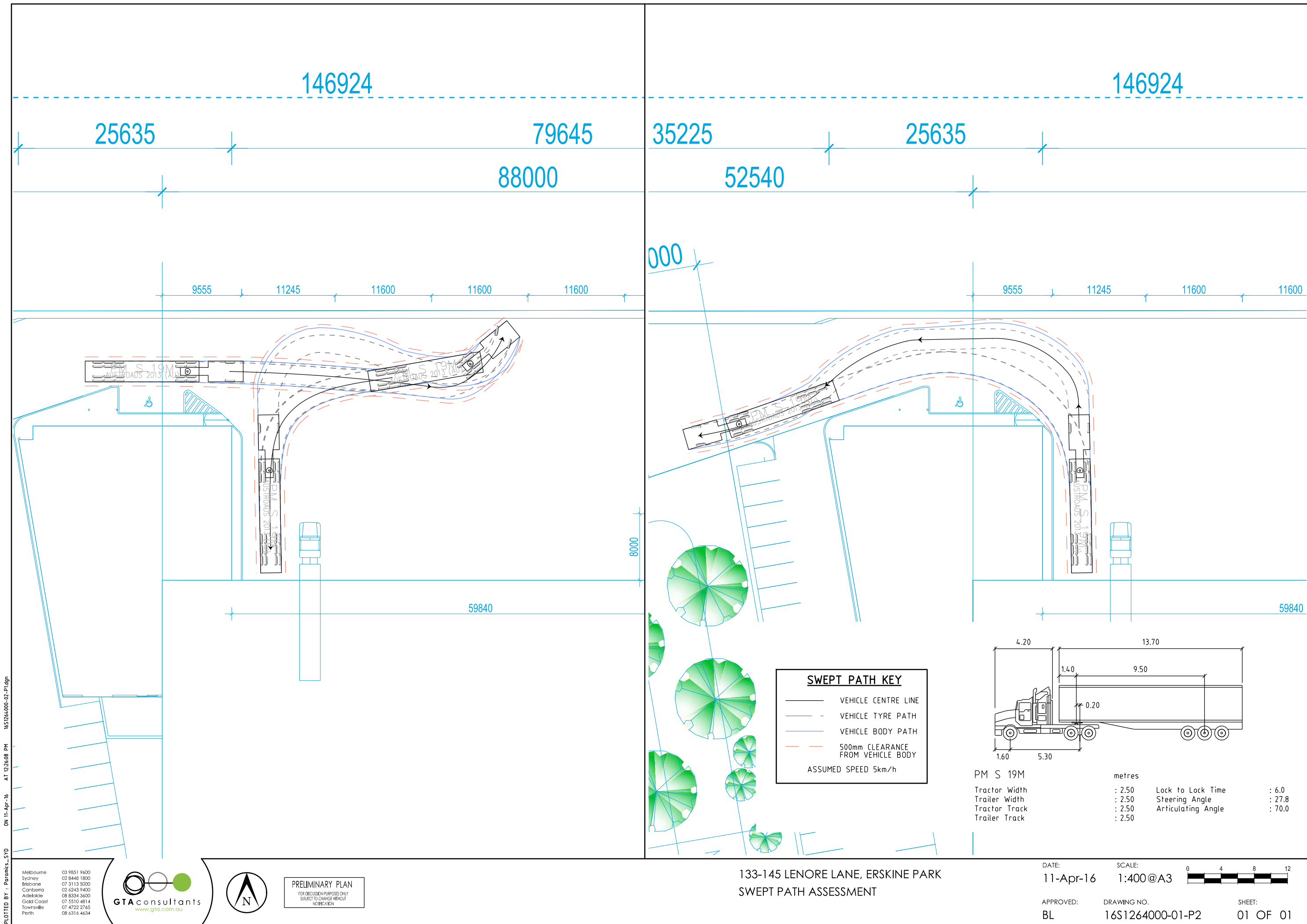
Plotting BY: wendy.zheng
ON: 11/04/2016 AT 2:28:48 PM
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PRELIMINARY PLAN
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133-145 LENORE LANE, ERSKINE PARK
SWEPT PATH ASSESSMENT
19.0m SEMI RIGID VEHICLE

DATE: 11.04.2016
SCALE: 1:300@A3
APPROVED: BLO
DRAWING NO. 16S1264000-01-02-P3
SHEET: 02 OF 02



16S1264000-02-Pl.dgn
ON 11-Apr-16 AT 12:26:08 PM
PLOT BY : Peramics, SYD

Melbourne 03 9851 9600
Sydney 02 8448 1800
Brisbane 07 3113 5000
Canberra 02 6243 9400
Adelaide 08 8334 3600
Gold Coast 07 5510 4814
Townsville 07 4722 2765
Perth 08 6316 4634



PRELIMINARY PLAN
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133-145 LENORE LANE, ERSKINE PARK
SWEPT PATH ASSESSMENT

DATE: 11-Apr-16
SCALE: 1:400@A3
APPROVED: BL
DRAWING NO. 16S1264000-01-P2
SHEET: 01 OF 01