

* HIBBARDS *

* PROPOSED DWELLING *

 **NSW GOVERNMENT**
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. MOD No. 1 granted on the 23/09/2013

in respect to MP 08-0003 MOD 1

Signed [Signature]

Sheet No. 44 of 51

- Sheet 1 Cover page + Drawing Schedule + Basix
- Sheet 2 Site Plan
- Sheet 3 Slab + Drainage Plan
- Sheet 4 Floor Plan
- Sheet 5 Roof Plan
- Sheet 6 Elevations
- Sheet 7 Section

BASIX

Water Details

Area garden/lawn: 250
Area native species: 0
3 Star Taps to all plumber fixture's.
3 Star rated shower heads.
3 Star rated flushing W.C x two.
Roof runoff area 220 Sqm.
200 Sqm runoff to rainwater tank
Down pipe's are to discharge
into rain water tank.
Rain water tank size 3000 ltr.
Rain water connected to:
Garden & Lawn, all WC's, laundry,
Rain water tank overflow is to
discharge to interalotment drain.

BASIX

Energy

Solar Absorptance >0.70 Dark
Hot water: 5 Star Gas LPG
Cooling: N/A
Heating: N/A
No active heating to Bedrooms
Natural ventilation to Bathrooms
Kitchen exhaust: individual fan,
not ducted. Manual on/off switch.
Natural ventilation to laundry
Electric oven & Cooktop
Outdoor clothes line to be installed

BASIX

Thermal Comfort

R3.0 Insulation to ceiling.
R1.5 Insulation to outside walls.
R1.5 Insulation to internal garage walls
Insulation to outside walls
Concrete roof tiles with Sarking.
Eave & gutter width 600mm

Window Type	Material	Notes	Qty
1818sw	U-Value: 6.44 SHGC:0.15	Bedroom 2	1
1824sw	U-Value: 6.44 SHGC:0.15	Theatre	1
0909sw	U-Value: 6.44 SHGC:0.15	Ensuite	1
1224sw	U-Value: 6.44 SHGC:0.15	Bedroom 1	1
2124sd	U-Value: 6.44 SHGC:0.15	Family Room	1
1218sw	U-Value: 6.44 SHGC:0.15	Bedroom 3 & 4	2
0906sw	U-Value: 6.44 SHGC:0.15	W/C	1
0912sw	U-Value: 6.44 SHGC:0.15	Bathroom	1
2115sd	U-Value: 5.7 SHGC:0.41	Laundry	1
0915sw	U-Value: 6.44 SHGC:0.15	Garage	1

FRONT PAGE

Scale N.A

HIBBARDS

BUILDERS OF QUALITY HOMES
32 Moonee St, Coffs Harbour, NSW 2450

PAUL TRESEDER DRAFTING SERVICES

16 Cowell Street, Gladesville, NSW, 2111
Mobile: 0432120545

CLIENT:

PROPOSED DWELLING FOR
HIBBARDS

LOCATED AT LOT 19
PETTINA PARK
COFFS HARBOUR, NSW

NOTE:
DOOR SIZES SHOWN REFER TO DOOR SIZES
NOT THE OPENING WIDTH.
DO NOT SCALE OFF DRAWING
READ ALL DIMENSIONS.
CHECK ALL DIMENSIONS ON SITE
BEFORE FABRICATING ANYTHING.
DRAWINGS TO BE CHECKED BY A
PRACTISING STRUCTURAL ENGINEER
PRIOR TO CONSTRUCTION.
THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

DATE:
19/06/2013

SHEET No:
1 of 1

REF:
HIB-13/023
JOB CODE

BLN :
41122C



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

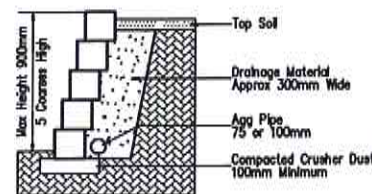
No. MOD No. 1 granted on the 23/09/2013

in respect to MP 08-0003 MOD 1

Signed [Signature]

Sheet No. 45 of 51

"FLINDERS RETAINING WALL SYSTEM"

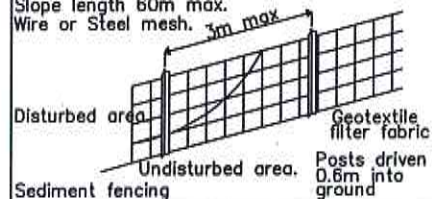


TYPICAL CROSS SECTION

LEGEND

POWER	(P)
WATER	(W)
SEWER	(S)
TELSTRA	(T)

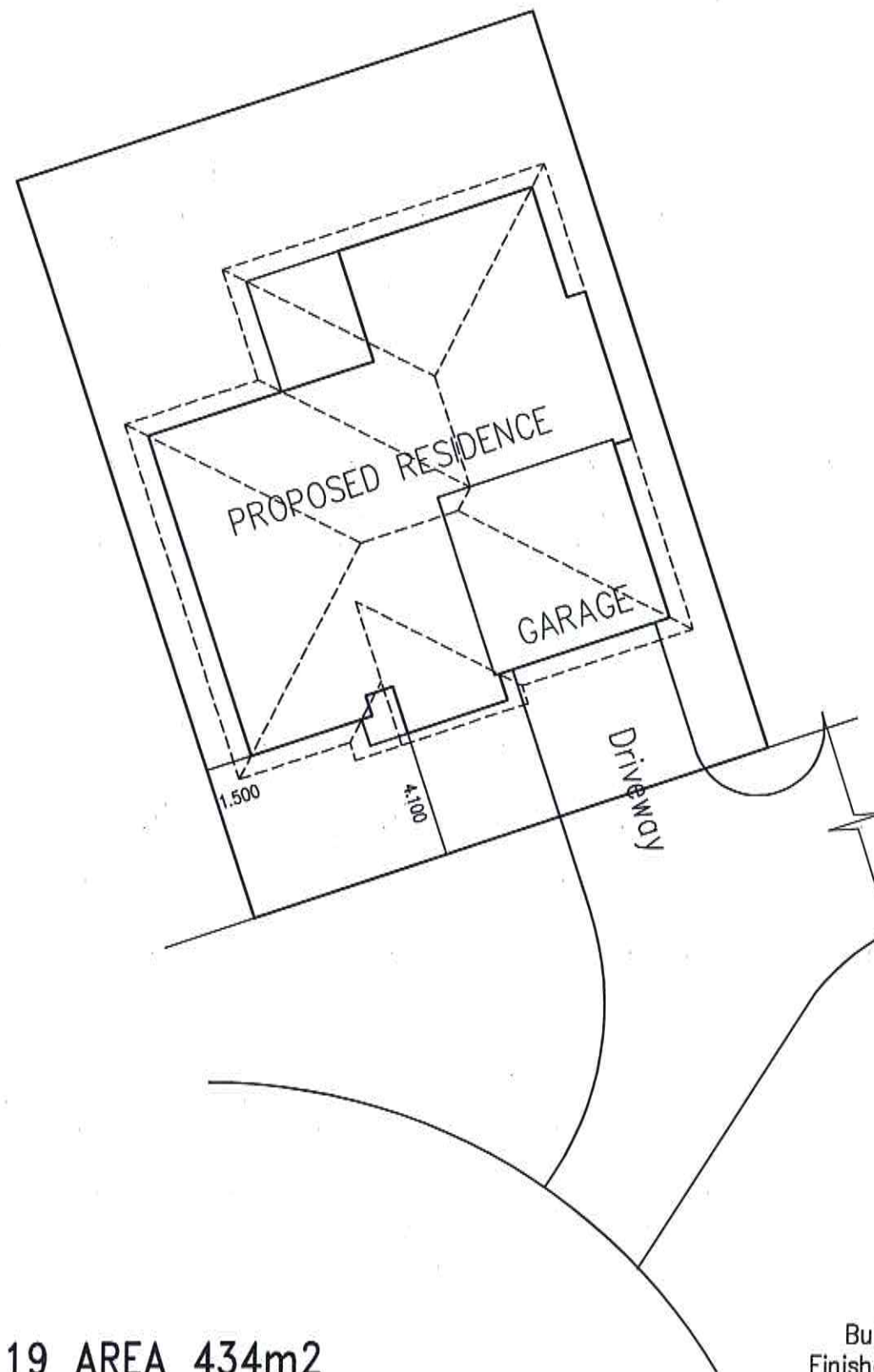
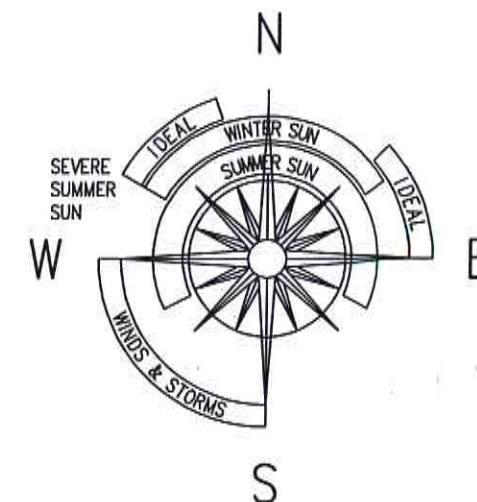
Drainage area 0.6ha. max. Slope gradient 1:2 max.
Slope length 60m max.
Wire or Steel mesh.



• Sediment fencing

Gravel

→ Diversion bank (if required)



LOT 19 AREA 434m2

Builder to Confirm all
Finished Floor Levels on Site

© Copyright

Copying of this
Plan is Strictly
Prohibited without
Written Permission

builder

HIBBARD'S

BUILDERS OF QUALITY HOMES
32 MOONEE ST COFFS HARBOUR
B/LIC NO 41122C
PH 02 66503300

project type

PROPOSED RESIDENCE

client

HIBBARDS

address

**LOT 19
STREET
SUBURB**

D.P. ??????

title

SITE PLAN

BUILT TO BUILDERS DISCRETION

SCALE 1:200 @ A3

sheet

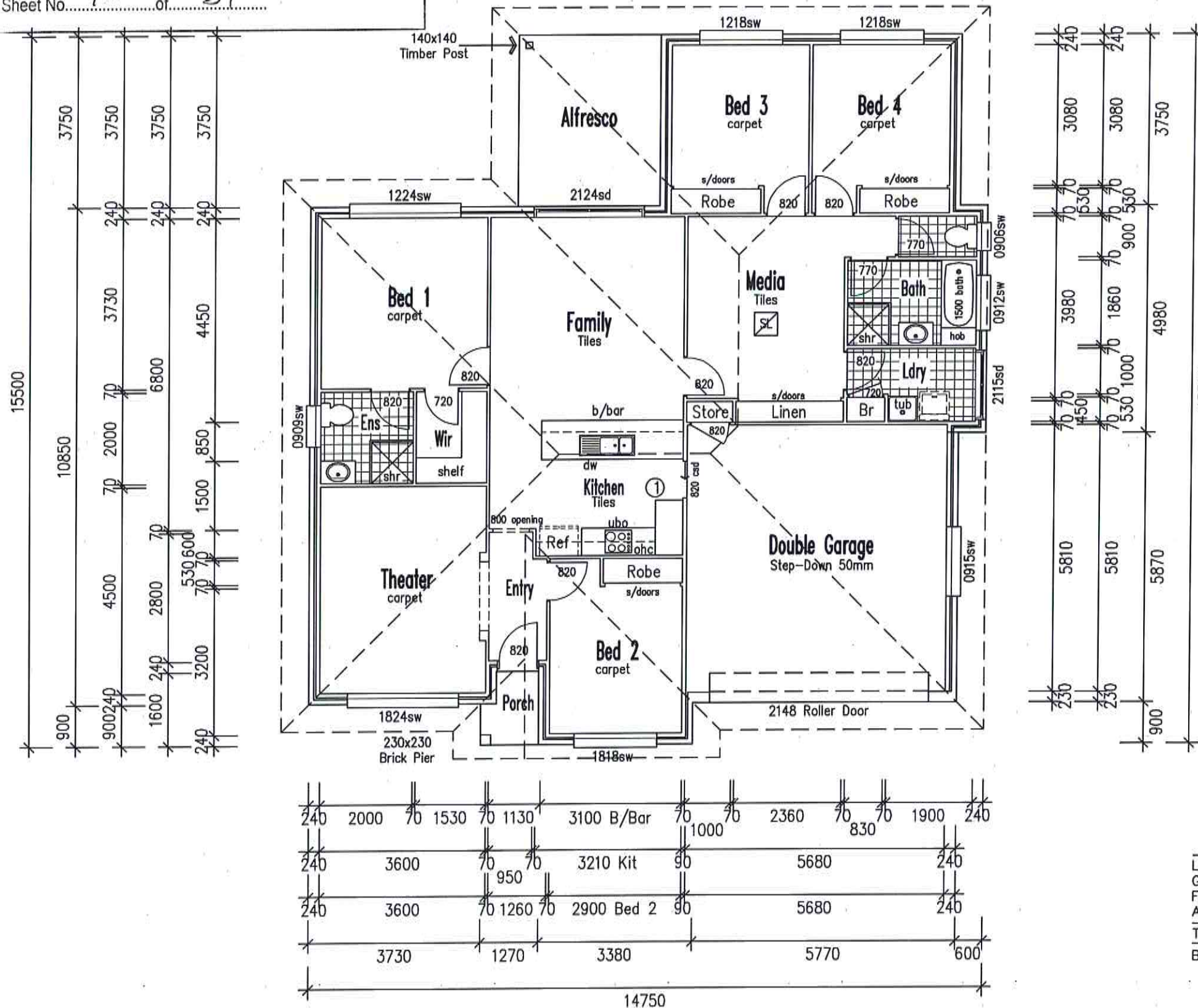
02

revision

A



Sheet No. 46 of 51



① PANTRY BY KITCHEN MANUFACTURE

DO NOT SCALE THESE PLANS.
CHECK AND ESTABLISH ALL DIMENSIONS.
ALL REFERENCE TO CONCRETE SLABS AND
FOOTINGS REFER TO ENGINEERS DETAIL.
ALL REFERENCE TO ROOF TRUSSES
REFER TO MANUFACTURERS DETAIL.
WC DOOR TO HAVE LIFT OFF HINGES.
ELECTRICAL LAYOUT IS SUBJECT TO CHANGE

[illegible]

UNDERGROUND POWER-	10 L/M
SEWER-	30 L/M
WATER-	10 L/M

EXTERNAL WALLS -	SISALATION & 1.5 BATTS
UNDER TILES -	SISALATION
UNDER CUSTOM ORB-	SISALATION
CEILING -	R2.5 BATTS

BUILDERS OF QUALITY HOMES
32 MOONEE ST COFFS HARBOUR
B/LIC NO 41122C
PH 02 66503300

PROPOSED RESIDENCE

HIBBARDS

LOT 19
D.P.
STREET
COFFS HARBOUR

FLOOR PLAN

SCALE 1:100 @ A3

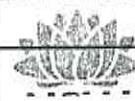
BUILT TO BUILDERS DISCRETION

sheet

rev

03

A



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

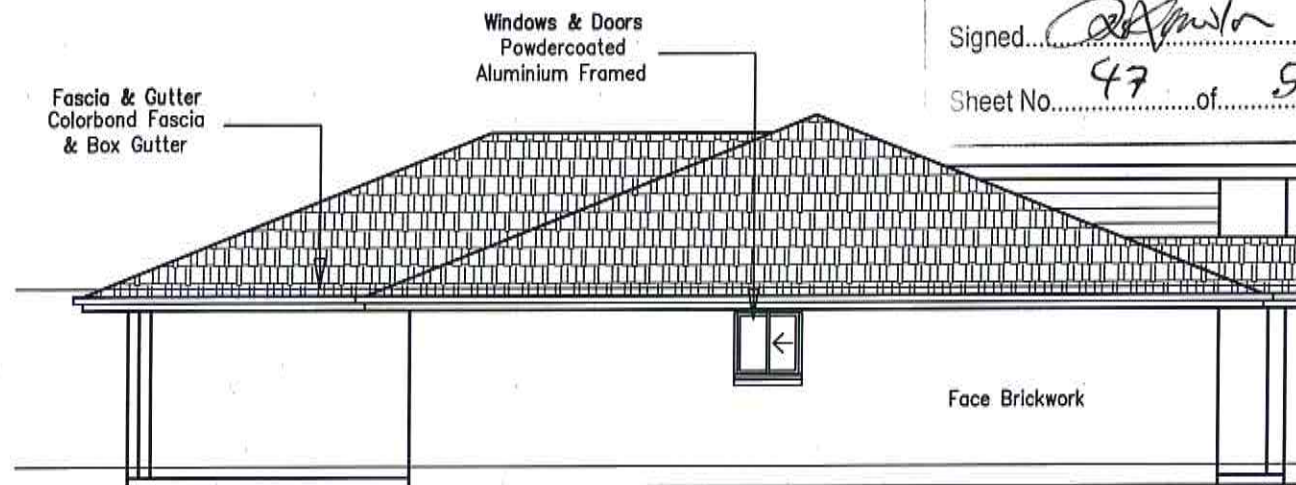
Approved Section 75W Modification Application

No. MOD No. 1 granted on the 23/09/2013

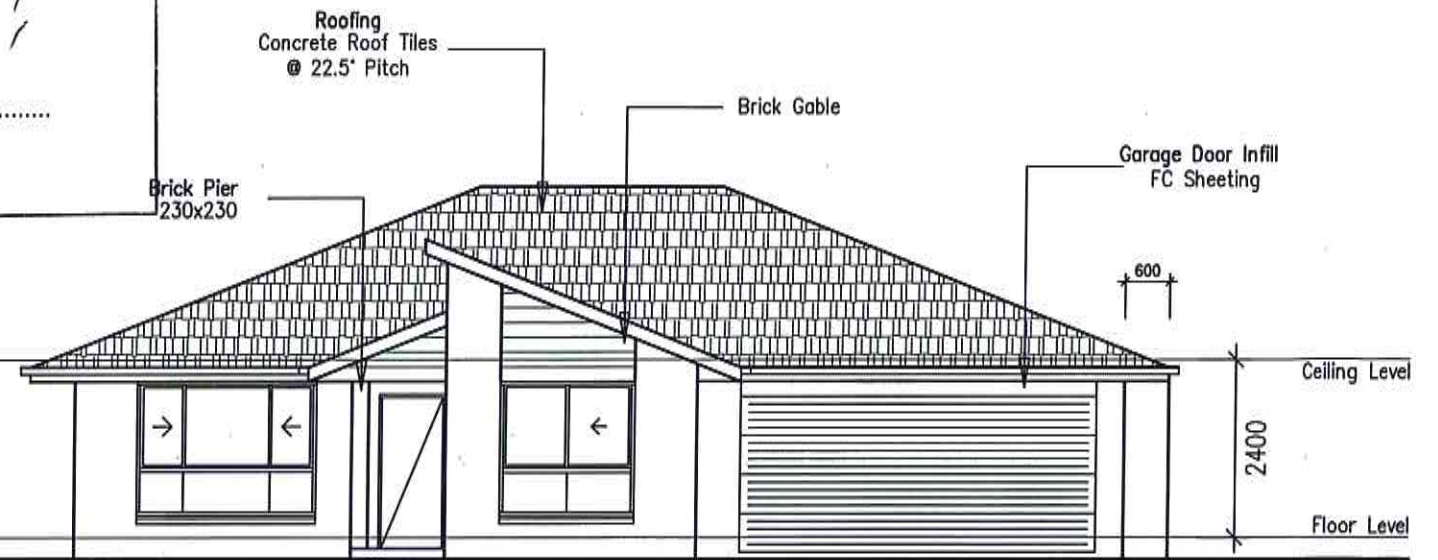
in respect to MP 08-0003 MOD 1

Signed [Signature]

Sheet No. 47 of 51



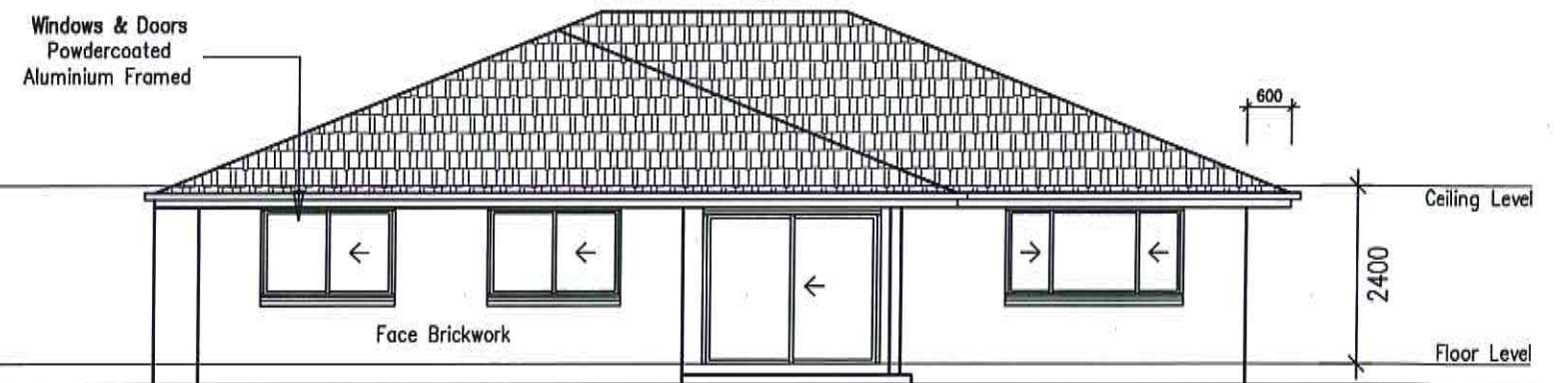
SIDE ELEVATION



FRONT ELEVATION



SIDE ELEVATION



BACK ELEVATION

FRONT C

© Copyright
Copying of this
Plan is Strictly
Prohibited without
Written Permission

builder

HIBBARD'S

BUILDERS OF QUALITY HOMES
32 MOONEE ST COFFS HARBOUR
B/LIC NO 41122C
PH 02 66503300

project type

PROPOSED RESIDENCE

client

HIBBARDS

address

**LOT 19
STREET
COFFS HARBOUR**

title

ELEVATIONS
BUILT TO BUILDERS DISCRETION
SCALE 1:100 @ A3

sheet

04

revision

A