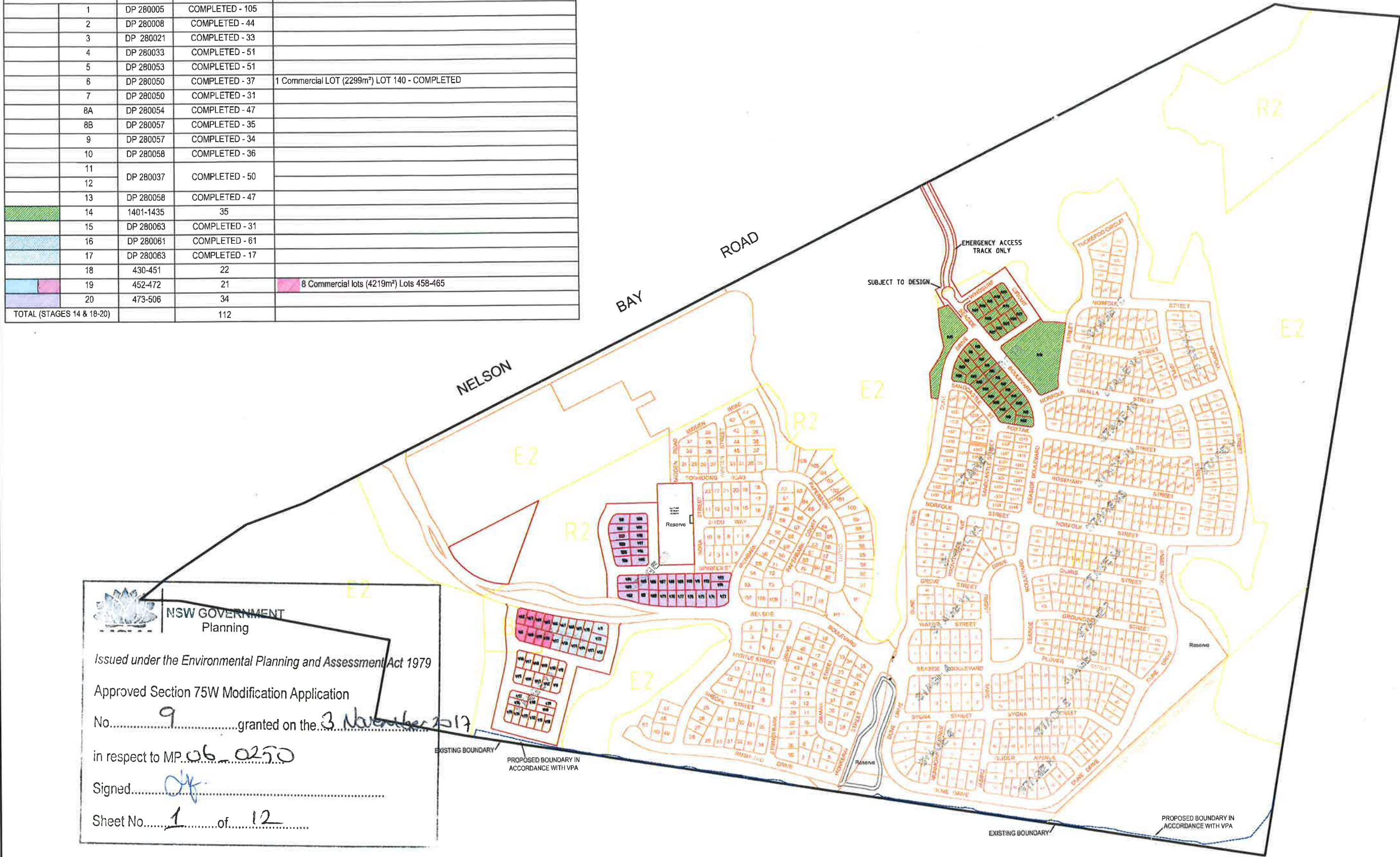



STAGING & LOT TABLE			
STAGE	LOTS	TOTAL	SUPER LOTS
1	DP 280005	COMPLETED - 105	
2	DP 280008	COMPLETED - 44	
3	DP 280021	COMPLETED - 33	
4	DP 280033	COMPLETED - 51	
5	DP 280053	COMPLETED - 51	
6	DP 280050	COMPLETED - 37	1 Commercial LOT (2299m²) LOT 140 - COMPLETED
7	DP 280050	COMPLETED - 31	
8A	DP 280054	COMPLETED - 47	
8B	DP 280057	COMPLETED - 35	
9	DP 280057	COMPLETED - 34	
10	DP 280058	COMPLETED - 36	
11			
12	DP 280037	COMPLETED - 50	
13	DP 280058	COMPLETED - 47	
14	1401-1435	35	
15	DP 280063	COMPLETED - 31	
16	DP 280061	COMPLETED - 61	
17	DP 280063	COMPLETED - 17	
18	430-451	22	
19	452-472	21	8 Commercial lots (4219m²) Lots 458-465
20	473-506	34	
TOTAL (STAGES 14 & 18-20)		112	



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in respect to MP. 06 0250


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Sheet No. 1 of 12



LEGEND

- STAGE 4 - COMPLETED (DP 280033)
- STAGE 11 & 12 - COMPLETED (DP 280037)
- STAGE 5 - COMPLETED (DP 280053)
- STAGE 6 - COMPLETED (DP 280050)
- STAGE 7 - COMPLETED (DP 280050)
- STAGE 8A - COMPLETED (DP 280054)
- STAGE 8B - COMPLETED (DP 280057)
- STAGE 9 - COMPLETED (DP 280057)
- STAGE 10 - COMPLETED (DP 280058)
- STAGE 13 - COMPLETED (DP 280058)
- STAGE 14
- STAGE 15 - COMPLETED (DP 280063)
- STAGE 16 - COMPLETED (DP 280061)
- STAGE 17 - COMPLETED (DP 280063)
- STAGE 18
- STAGE 19 RESIDENTIAL
- STAGE 19 COMMERCIAL
- STAGE 20

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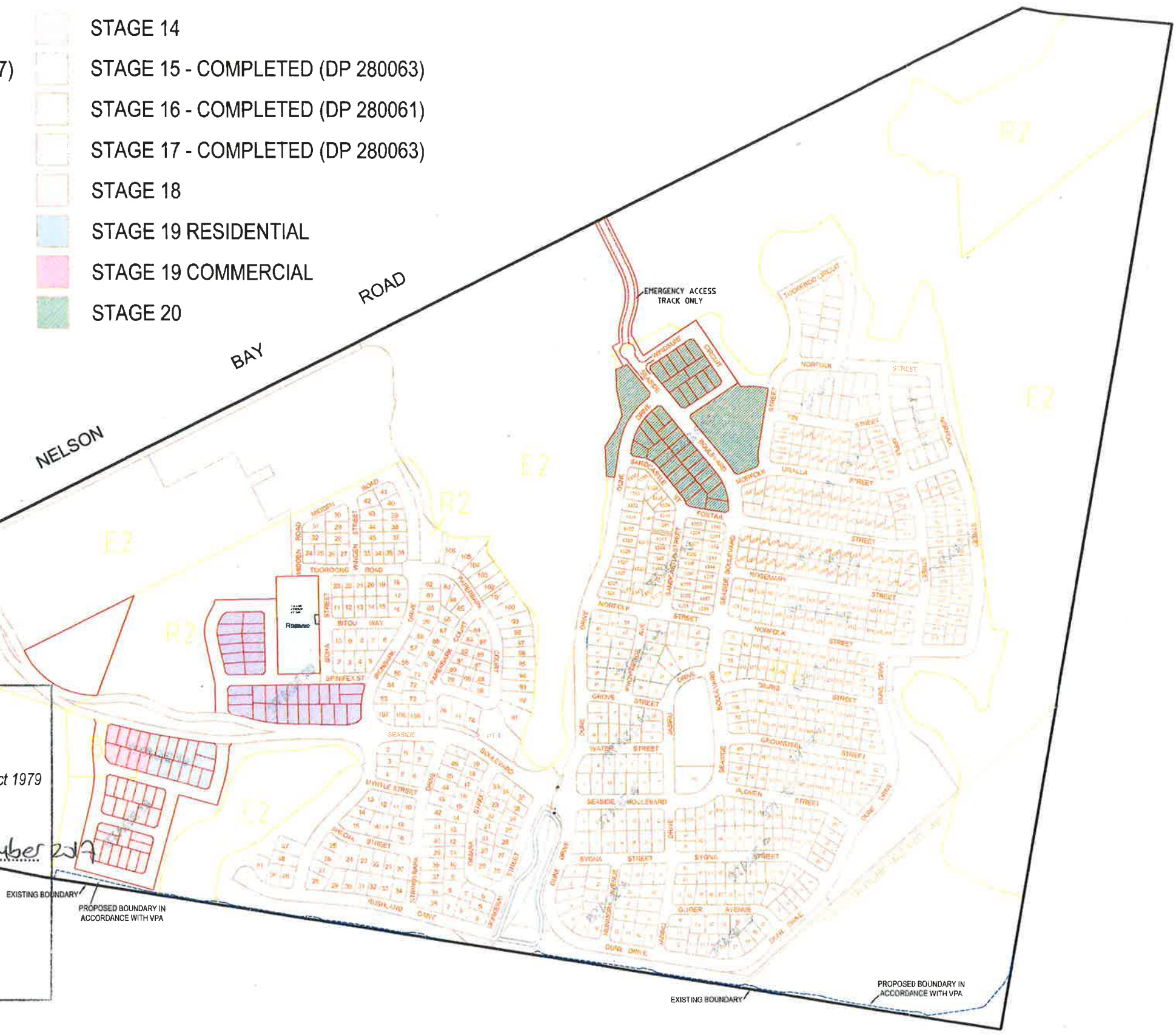
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# LEGEND

- STAGE 18
- STAGE 19
- STAGE 19 COMMERCIAL

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PROPOSED BOUNDARY IN ACCORDANCE WITH VPA

EXISTING BOUNDARY

PROPOSED BOUNDARY IN ACCORDANCE WITH VPA

4WD TRACK

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1: 1000

REVISION DATE  
21/08/2017

PLOT DATE  
21/08/2017

DA NUMBER

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CC NUMBER

DRAWING TITLE

STAGES 18 & 19 DETAIL PLAN REV N

DEVELOPMENT

PROJECT PLAN N  
FERN BAY SEASIDE VILLAGE  
NELSON BAY ROAD, FERN BAY

CLIENT

RAWSON COMMUNITIES PTY LIMITED



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## LEGEND

□ STAGE 20



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Sheet No. 4 of 12

Reserve



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1: 1000

REVISION DATE  
21/08/2017

PLOT DATE  
21/08/2017

DA NUMBER

DRAWN/CHKD BY  
IMc / AED

CC NUMBER

DRAWING TITLE

STAGE 20 DETAIL PLAN REV-N

DEVELOPMENT

PROJECT PLAN N  
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NELSON BAY ROAD, FERN BAY

CLIENT

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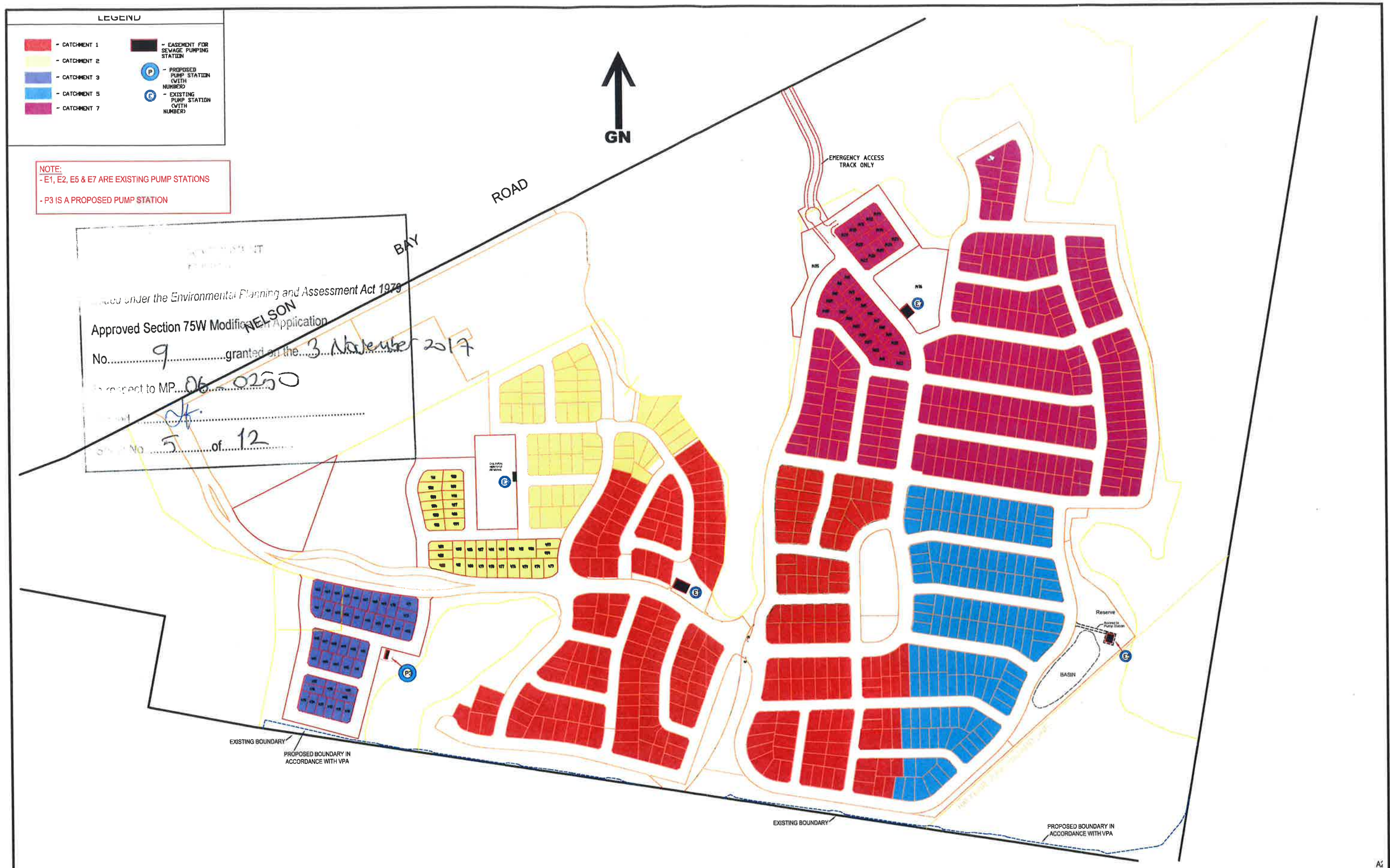
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1: 4000  
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21/08/2017  
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21/08/2017  
DA NUMBER

DATUM  
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CC NUMBER

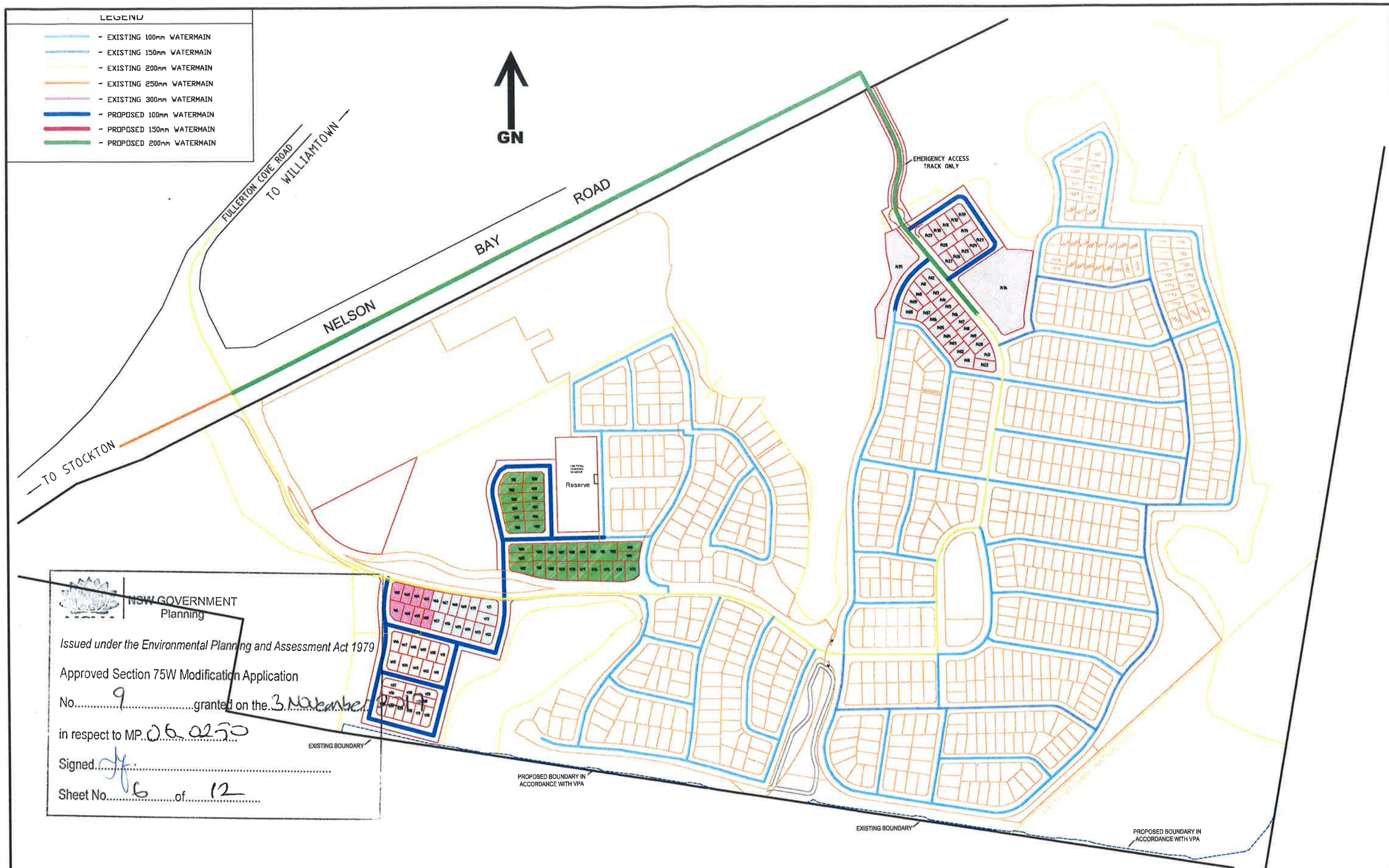
DRAWING TITLE  
INDICATIVE SEWER LAYOUT REV-N  
DEVELOPMENT  
PROJECT PLAN N  
FERN BAY SEASIDE VILLAGE  
NELSON BAY ROAD, FERN BAY  
CLIENT  
RAWSON COMMUNITIES PTY LIMITED

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1: 4000

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21/08/2017

PLOT DATE  
21/08/2017

DA NUMBER

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DRAWING TITLE  
INDICATIVE WATERMAIN LAYOUT REV-N

DEVELOPMENT  
PROJECT PLAN N  
FERN BAY SEASIDE VILLAGE  
NELSON BAY ROAD, FERN BAY

CLIENT  
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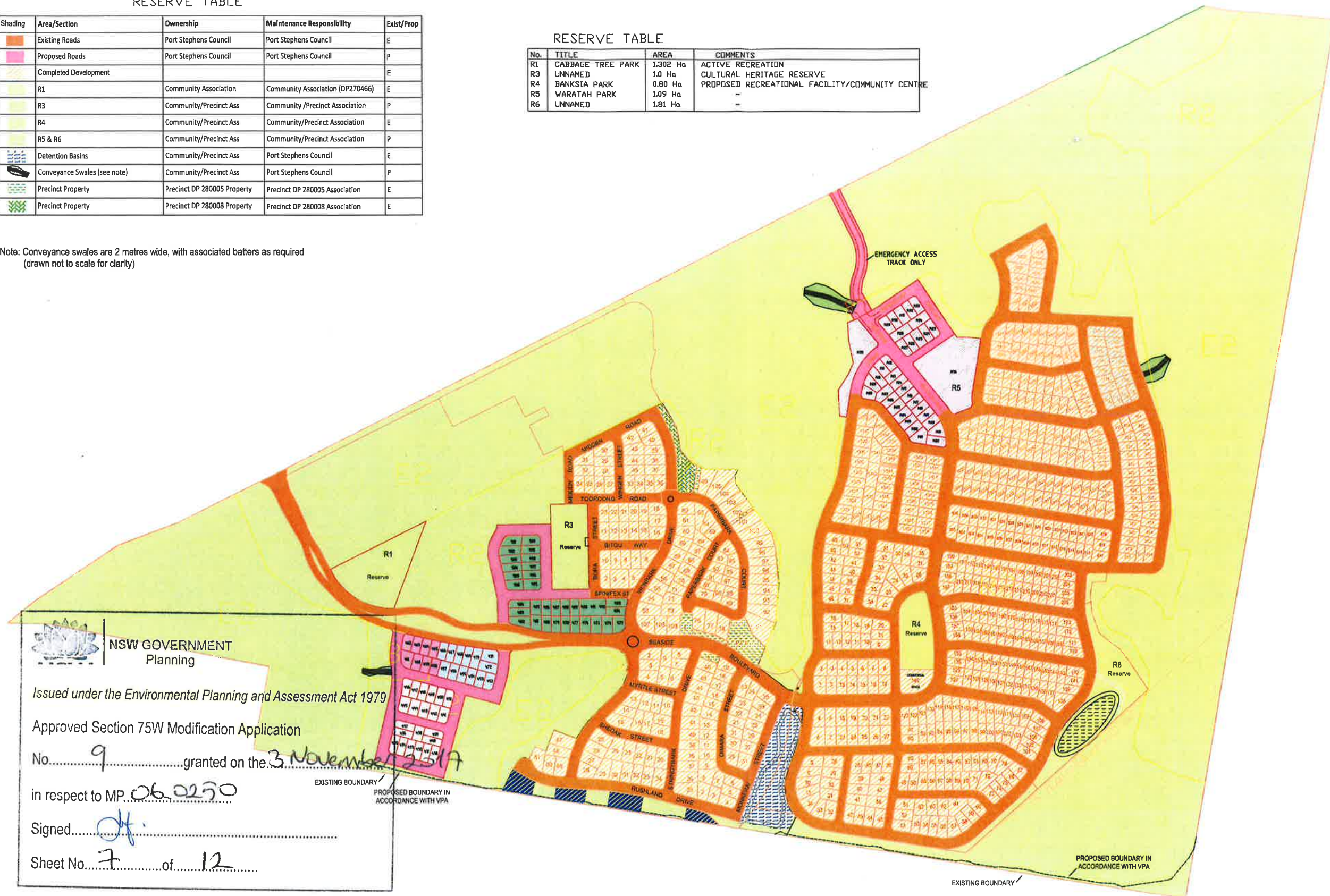
RESERVE TABLE

Shading	Area/Section	Ownership	Maintenance Responsibility	Exist/Prop
	Existing Roads	Port Stephens Council	Port Stephens Council	E
	Proposed Roads	Port Stephens Council	Port Stephens Council	P
	Completed Development			E
	R1	Community Association	Community Association (DP270466)	E
	R3	Community/Precinct Ass	Community/Precinct Association	P
	R4	Community/Precinct Ass	Community/Precinct Association	E
	R5 & R6	Community/Precinct Ass	Community/Precinct Association	P
	Detention Basins	Community/Precinct Ass	Port Stephens Council	E
	Conveyance Swales (see note)	Community/Precinct Ass	Port Stephens Council	P
	Precinct Property	Precinct DP 280005 Property	Precinct DP 280005 Association	E
	Precinct Property	Precinct DP 280008 Property	Precinct DP 280008 Association	E

Note: Conveyance swales are 2 metres wide, with associated batters as required  
(drawn not to scale for clarity)

RESERVE TABLE

No.	TITLE	AREA	COMMENTS
R1	CABBAGE TREE PARK	1.302 Ha	ACTIVE RECREATION
R3	UNNAMED	1.0 Ha	CULTURAL HERITAGE RESERVE
R4	BANKSIA PARK	0.80 Ha	PROPOSED RECREATIONAL FACILITY/COMMUNITY CENTRE
R5	WARATAH PARK	1.09 Ha	-
R6	UNNAMED	1.81 Ha	-



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Planning

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No. 9 granted on the 3 November 2017

in respect to MP 06 0250

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Sheet No. 7 of 12

EXISTING BOUNDARY  
PROPOSED BOUNDARY IN  
ACCORDANCE WITH VPA

EXISTING BOUNDARY

PROPOSED BOUNDARY IN  
ACCORDANCE WITH VPA

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1: 5000

REVISION DATE  
21/08/2017

PLOT DATE  
21/08/2017

DA NUMBER

DRAWN/CHKD BY  
IMC / AED

CC NUMBER

DRAWING TITLE

LAND TENURE PLAN REV-N

DEVELOPMENT

PROJECT PLAN N  
FERN BAY SEASIDE VILLAGE  
NELSON BAY ROAD, FERN BAY

CLIENT

RAWSON COMMUNITIES PTY LIMITED



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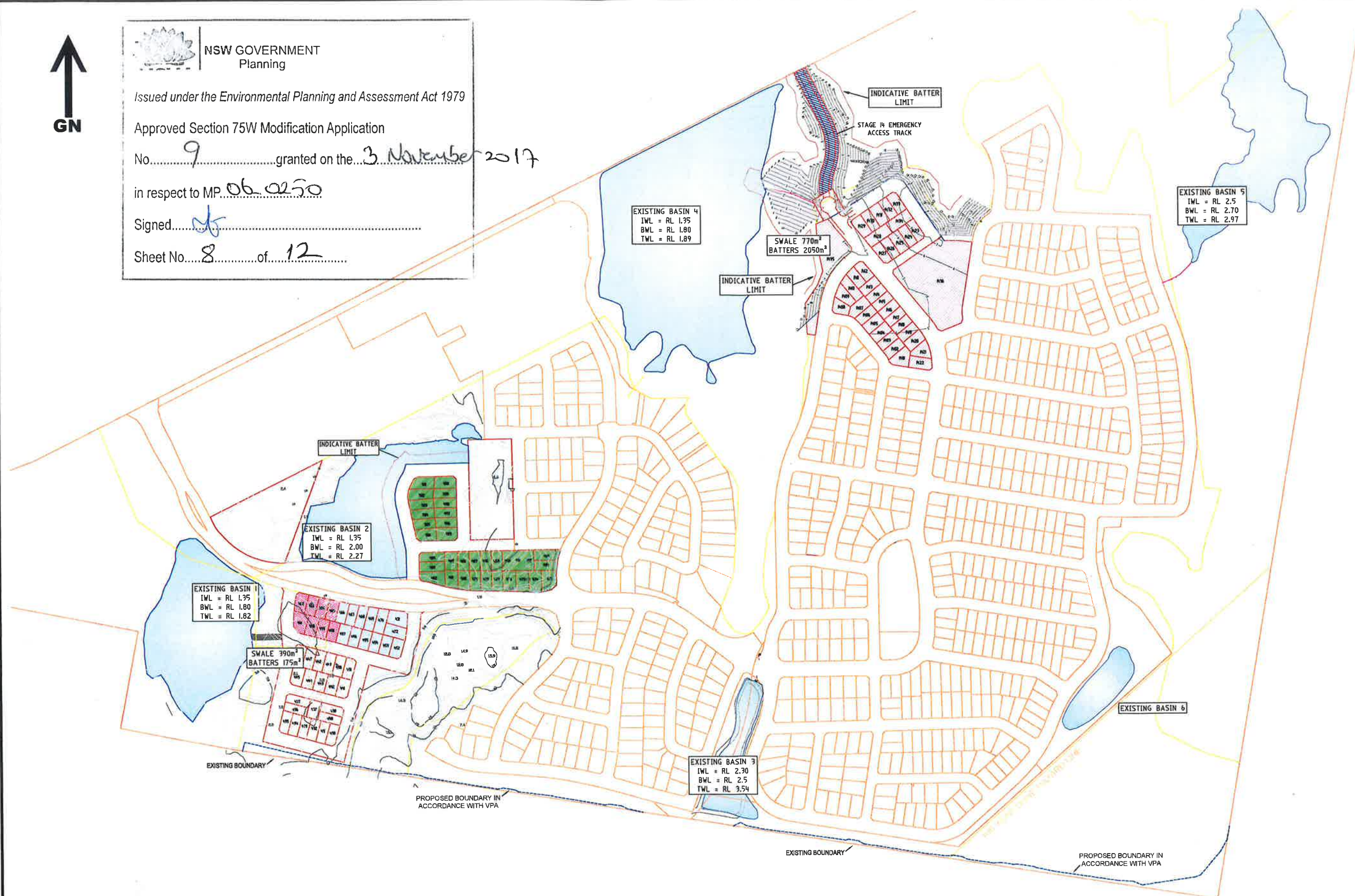
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No. 9 granted on the 3 November 2017

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1: 4000  
REVISION DATE  
21/08/2017  
PLOT DATE  
21/08/2017  
DA NUMBER

DATUM  
AHD  
CONTOURS  
AS SHOWN  
DRAWN/CHKD BY  
IMC / AED  
CC NUMBER

DRAWING TITLE  
CONCEPT SITE DRAINAGE PLAN-PROPOSED SWALES AND BASINS REV-N  
DEVELOPMENT  
CIVIL DESIGN PLANS N  
FERN BAY SEASIDE VILLAGE  
NELSON BAY ROAD, FERN BAY  
CLIENT  
RAWSON COMMUNITIES PTY LIMITED



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KEY

AREAS OF THE SITE BELOW RL 1.8m  
(NOTE: RL 1.8m IS THE 100 YEAR ARI FLOOD LEVEL  
FOR THE HUNTER RIVER ACCORDING TO THE LOWER  
HUNTER FLOOD STUDY BY LAWSON & TRELOAR)

NOTE:- THE PROPOSED MINIMUM ROAD & SITE LEVELS ARE  
2.6m & 2.8m AHD RESPECTIVELY.  
THE SITE CONTOURS SHOWN ON THIS PLAN HAVE  
BEEN OBTAINED USING A COMBINATION OF GROUND  
SURVEY AND AERIAL PHOTOGRAPHY.

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Planning

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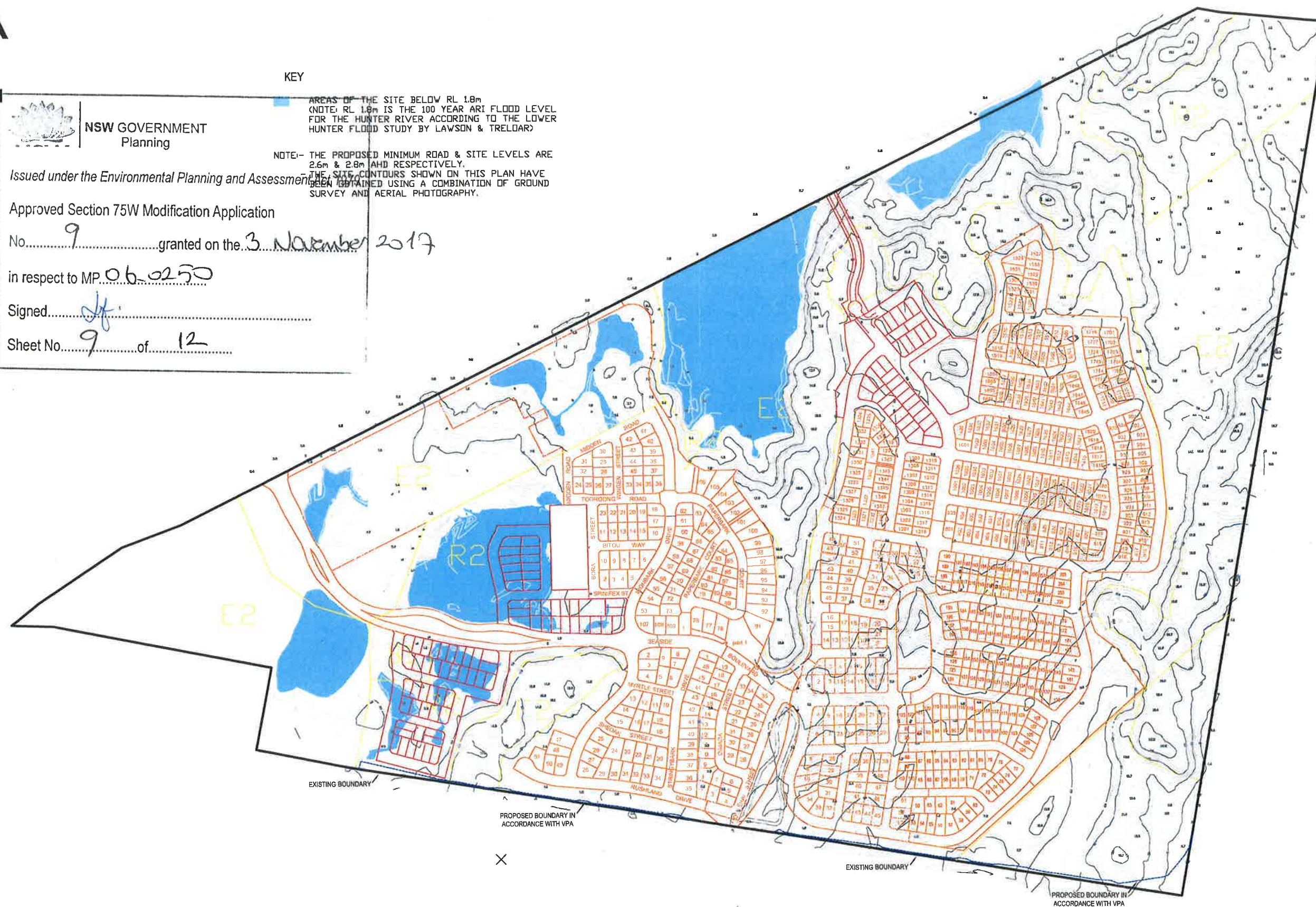
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1: 5000  
REVISION DATE  
21/08/2017  
PLOT DATE  
21/08/2017  
DA NUMBER

DATUM  
AHD  
CONTOURS  
1 m  
DRAWN/CHKD BY  
IMC / AED  
CC NUMBER

DRAWING TITLE  
FLOOD PRONE & LOW LYING AREAS REV-N  
DEVELOPMENT  
PROJECT PLAN N  
FERN BAY SEASIDE VILLAGE  
NELSON BAY ROAD, FERN BAY  
CLIENT  
RAWSON COMMUNITIES PTY LIMITED

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Development Applications  
Planning and Assessment Act 1979  
Development Application  
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SCALE  
1: 5000

REVISION DATE  
05/07/2017

PLOT DATE  
21/08/2017

DA NUMBER

DRAWN/CHKD BY  
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CC NUMBER

DRAWING TITLE

AERIAL VIEW REV-N

DEVELOPMENT

PROJECT PLAN N  
FERN BAY SEASIDE VILLAGE  
NELSON BAY ROAD, FERN BAY

CLIENT

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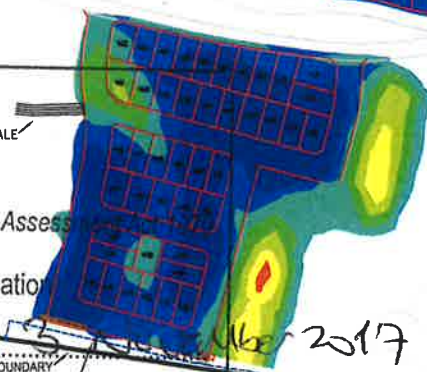
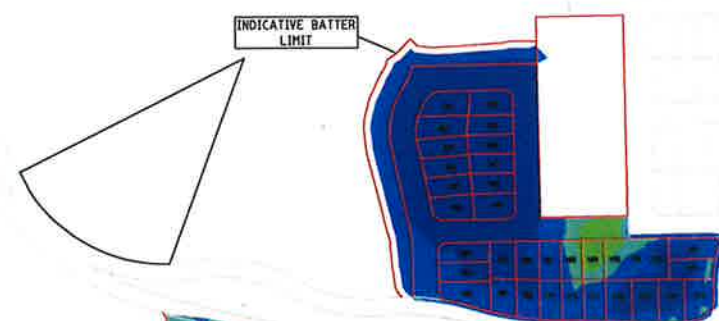
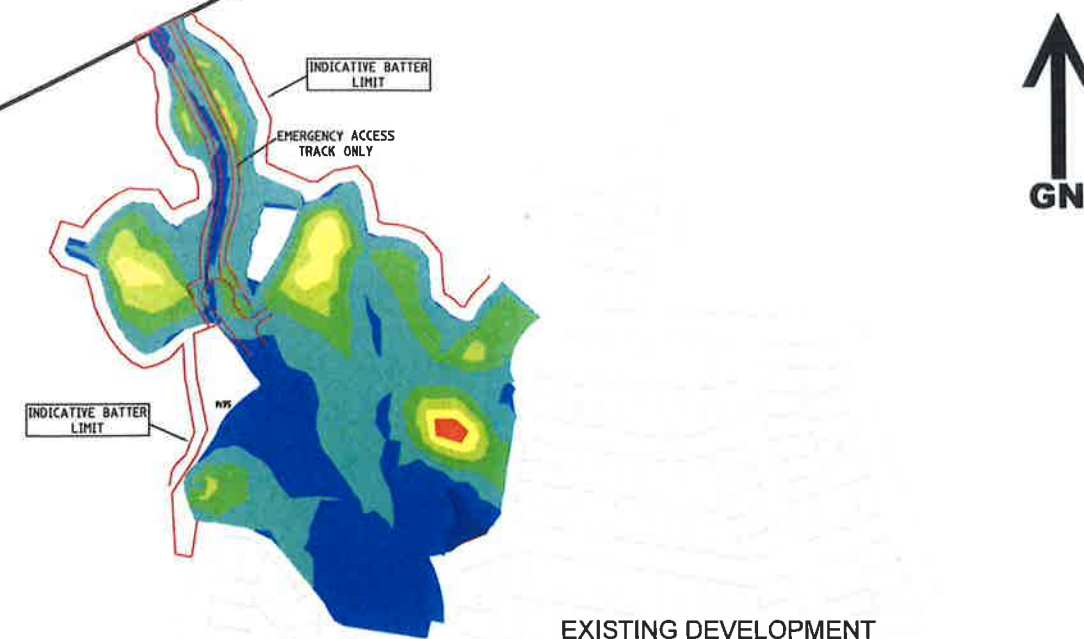
**29850 N**

20 OF 21



CUT (-ve) & FILL (+ve) DEPTHS DATA			
NUMBER	DEPTH	DEPTH	COLOUR
1	-11.1	-10.0	
2	-10.0	-8.0	
3	-8.0	-6.0	
4	-6.0	-4.0	
5	-4.0	-2.0	
6	-2.0	0.0	
7	0.0	2.0	
8	2.0	4.0	
9	4.0	6.3	

PROPOSED RETAINING WALL 




NSW GOVERNMENT  
Planning

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No. 9 granted on the 13/08/2017

in respect to MP. 06.0250

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CONCEPTUAL SWALE TO BASIN

EXISTING BOUNDARY

PROPOSED BOUNDARY IN ACCORDANCE WITH VPA

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SCALE 1: 4000	DATUM AHD	DRAWING TITLE BULK EARTHWORKS (CUT-FILL) PLAN REV-N
REVISION DATE 21/08/2017	DEPTH CONTOURS 2 m	DEVELOPMENT PROJECT PLAN N FERN BAY SEASIDE VILLAGE NELSON BAY ROAD, FERN BAY
PLOT DATE 21/08/2017	DRAWN/CHKD BY IMc / AED	
DA NUMBER	CC NUMBER	CLIENT RAWSON COMMUNITIES PTY LIMITED

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## LEGEND

### PROPOSED STREETSCAPE PLANTING

- SWAMP MAHOGANY PAPERBARK FOREST  
-bush palette with complementary street trees
- SWAMP MAHOGANY PAPERBARK FOREST  
-urban palette with complementary street trees
- APPLE BLACKBUTT FOREST  
-bush palette with complementary street trees
- APPLE BLACKBUTT FOREST  
-urban palette with complementary street trees
- HEATH  
-bush palette with complementary street trees
- HEATH  
-urban palette with complementary street trees
- BRUSH BOX  
-Cophostemon Conferta
- GRAFTED CALYPSO QUEEN  
-Corymbia ficifolia
- QUANDONG  
-Elaeocarpus Eumundi
- TUCKEROO  
-Cupaniopsis Anacardioides

NOTE: Streetscape planting will also apply to the Controlled Vegetation Zones (CVZ) within individual lots

### EXISTING VEGETATION

- To be retained and managed to ecological principles and bushfire requirements
- SWAMP MAHOGANY PAPERBARK FOREST
- APPLE BLACKBUTT FOREST
- WET HEATH
- SWAMP SCLEROPHYLL FOREST
- POTENTIAL STORMWATER MANAGEMENT INFRASTRUCTURE
- PATHWAY

NELSON

SEASIDE BOULEVARD

BAY

ROAD

EMERGENCY ACCESS TRACK ONLY

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No. 9 granted on the 3 November 2017

In respect to MP 06-0250

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Sheet No. 12 of 12

PROPOSED BOUNDARY IN ACCORDANCE WITH VPA

EXISTING BOUNDARY

EXISTING BOUNDARY

PROPOSED BOUNDARY IN ACCORDANCE WITH VPA



## NOTES

PLANT SELECTIONS TO BE FINALISED BASED ON PORT STEPHENS COUNCIL'S REQUIREMENTS & AVAILABILITY OF PLANT MATERIAL AT THE TIME OF IMPLEMENTATION

THIS PLAN IS A MODIFICATION OF THE PLAN PREPARED BY terras DATED 19/01/2012 REF. 9276.5

THIS PLAN IS A MODIFICATION OF THE PLAN PREPARED BY ERM DATED 11/12/2009 REF. 0063154hv\_PPP\_05

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SCALE  
1:7000

ISSUE DATE  
05/07/2017

PLOT DATE  
21/08/2017

FILENAME  
N:\NPS\34878 Rawson Communities - Fern Bay Seaside Village\Drawings\DEPT PLANNING REVISIONS\Rev N\29850 LANDSCAPE PLAN REV-N.dwg

DATUM  
N/A

CONTOURS  
N/A

DRAWN/CHKD BY  
IMc / AED

DRAWING TITLE  
29850 LANDSCAPE PLAN REV N

PROPERTY DETAILS  
FERN BAY SEASIDE VILLAGE

CLIENT  
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**29850  
LANDSCAPE  
PLAN REV-N**

1 OF 1

A3