



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 8 granted on the 16 December 2015

in respect to MP 06-0250

Signed: [Signature]

Sheet No. 0 of 21

Sheet List Table	
Sheet Number	Sheet Title
0	SHEET LIST
1	STAGING AND LOT LAYOUT
2	STAGING PLAN
3	STAGE 5 - 6 DETAIL PLAN
4	STAGE 7 & 8A DETAIL PLAN
5	STAGES 8B - 10 DETAIL PLAN
6	STAGES 13 & 14 DETAIL PLAN
7	STAGES 15 - 17 DETAIL PLAN
8	STAGE 18 & 19 DETAIL PLAN
9	STAGE 20 DETAIL PLAN
10	INDICATIVE SEWER LAYOUT
11	INDICATIVE WATERMAIN LAYOUT
12	LAND TENURE PLAN
13	SUBJECT & ADJOINING TITLE DETAILS
14	CONCEPT SITE DRAINAGE PLAN - PROPOSED SWALES AND BASINS
15	FLOOD PRONE & LOW LYING AREAS
16	TYPICAL DRAINAGE TREATMENTS DETAIL 1
17	TYPICAL DRAINAGE TREATMENTS DETAIL 2
18	FOOTPATH & CYCLEWAY
19	TYPICAL ROAD DETAIL
20	AERIAL VIEW
21	BULK EARTHWORKS (CUT-FILL) PLAN

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SCALE

1: 1000

REVISION DATE

27/10/2015

PLOT DATE

27/10/2015

DA NUMBER

DRAWN/CHKD BY

IMc / AED

CC NUMBER

DRAWING TITLE

SHEET LIST REV-J

DEVELOPMENT

PROJECT PLAN J
FERN BAY SEASIDE VILLAGE
NELSON BAY ROAD, FERN BAY

CLIENT

RAWSON COMMUNITIES PTY LIMITED



NORTH POINT SURVEYS (NSW) PTY LTD
ATF NORTH POINT SURVEYS TRUST AEN 52 041 968 075
SURVEYING AND LAND DEVELOPMENT CONSULTANTS
Level 1 | 19 Stockton Street | Nelson Bay NSW 2315
PO Box 378 | Nelson Bay NSW 2315
Phone: 02 4984 2606
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0 OF 21

STAGING & LOT TABLE			
STAGE	LOTS	TOTAL	SUPER LOTS
1	DP 280005	COMPLETED - 105	
2	DP 280008	COMPLETED - 44	
3	DP 280021	COMPLETED - 33	
4	DP 280033	COMPLETED - 51	
5	53-103	COMPLETED - 51	
6	104-140	COMPLETED - 37	1 Commercial LOT (2299m²) LOT 140 - COMPLETED
7	141-171	COMPLETED - 31	
8A	172-218	COMPLETED - 47	
8B	801-835	35	
9	901-934	34	
10	1001-1036	36	
11			
12	DP 280037	COMPLETED - 50	
13	1301-1347	47	
14	1401-1435	35	
15	1501-1531	31	
16	1601-1661	61	
17	1701-1718	17	
18	430-445	16	4 LOTS (7687m²) LOTS 430, 434, 438 & 442
19	446-456	11	5 LOTS (7852m²) LOTS 447, 448, 454, 455 & 456, 1 Commercial (1166m²) LOT 446
20	457-474	18	6 LOTS (24477m²) LOTS 457, 458, 459, 467, 468 & 469
TOTAL (STAGES 8B,9,10, 13-20)		341	



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1 OF 21

LEGEND

- STAGE 4 - COMPLETED (DP 280033)
- STAGE 11 & 12 - COMPLETED (DP 280037)
- STAGE 5 - COMPLETED (DP 280053)
- STAGE 6 - COMPLETED (DP 280050)
- STAGE 7 - COMPLETED (DP 280050)
- STAGE 8A - COMPLETED (DP 280054)



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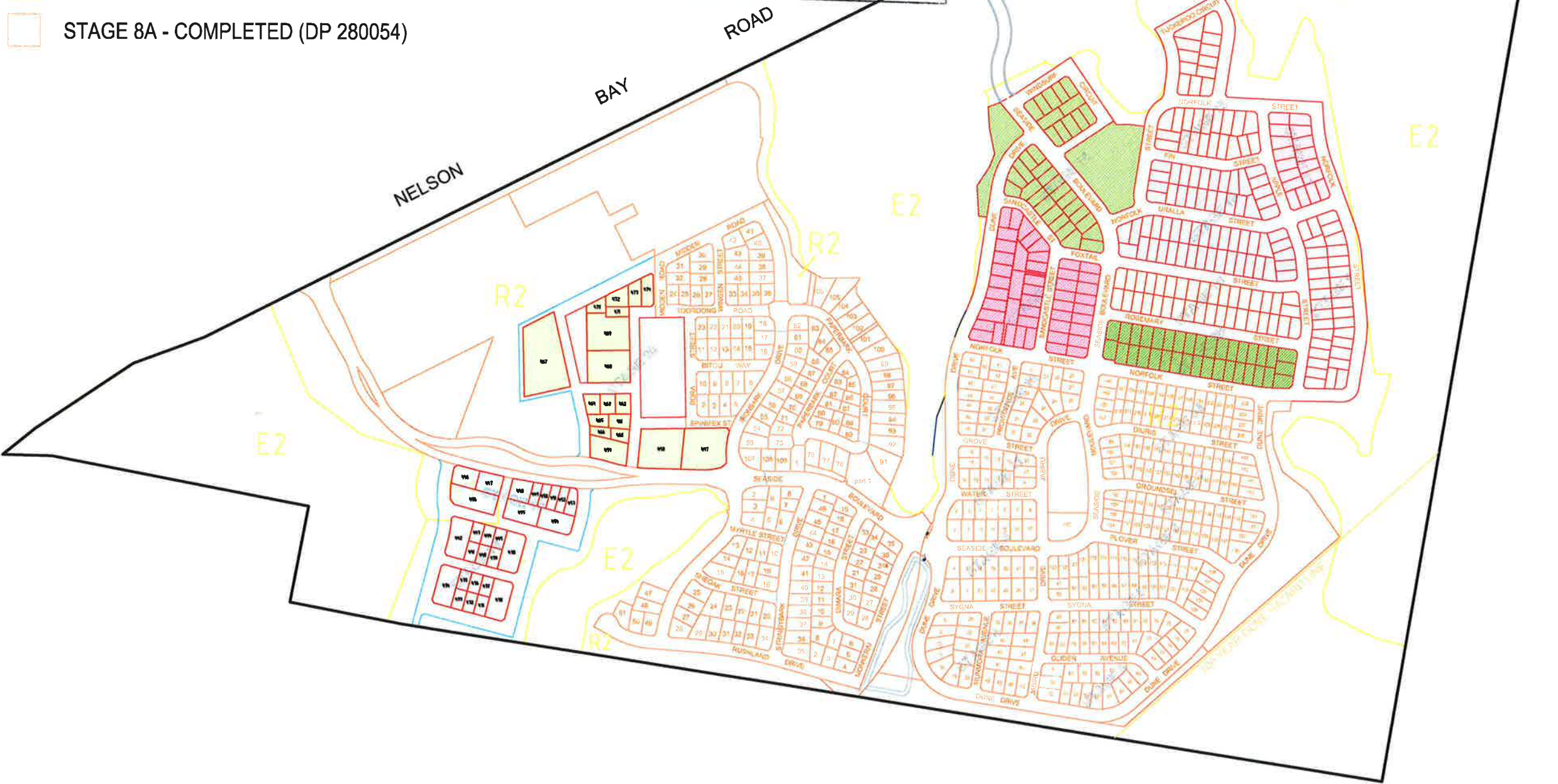
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STAGING PLAN
DEVELOPMENT
PROJECT PLAN J
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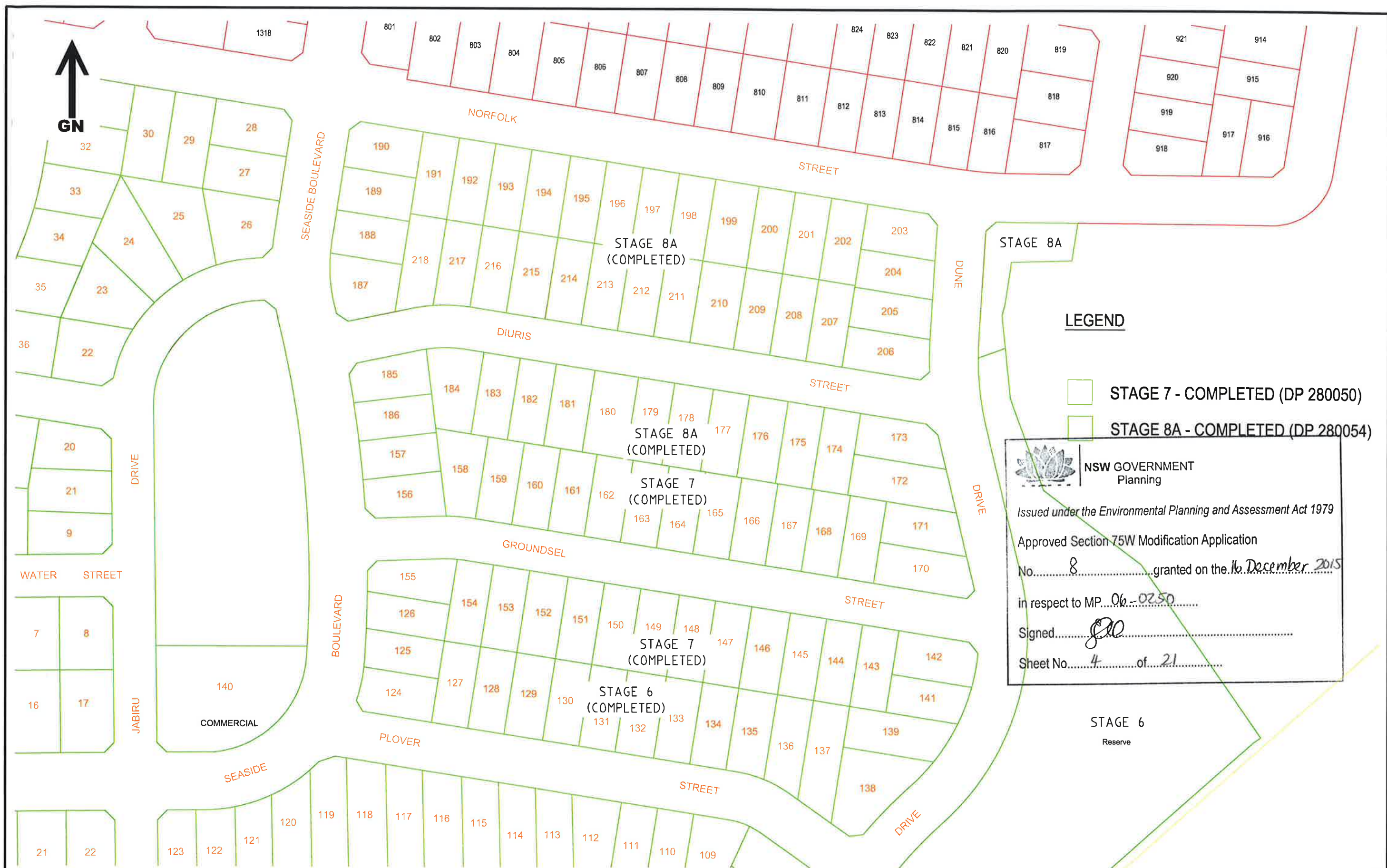
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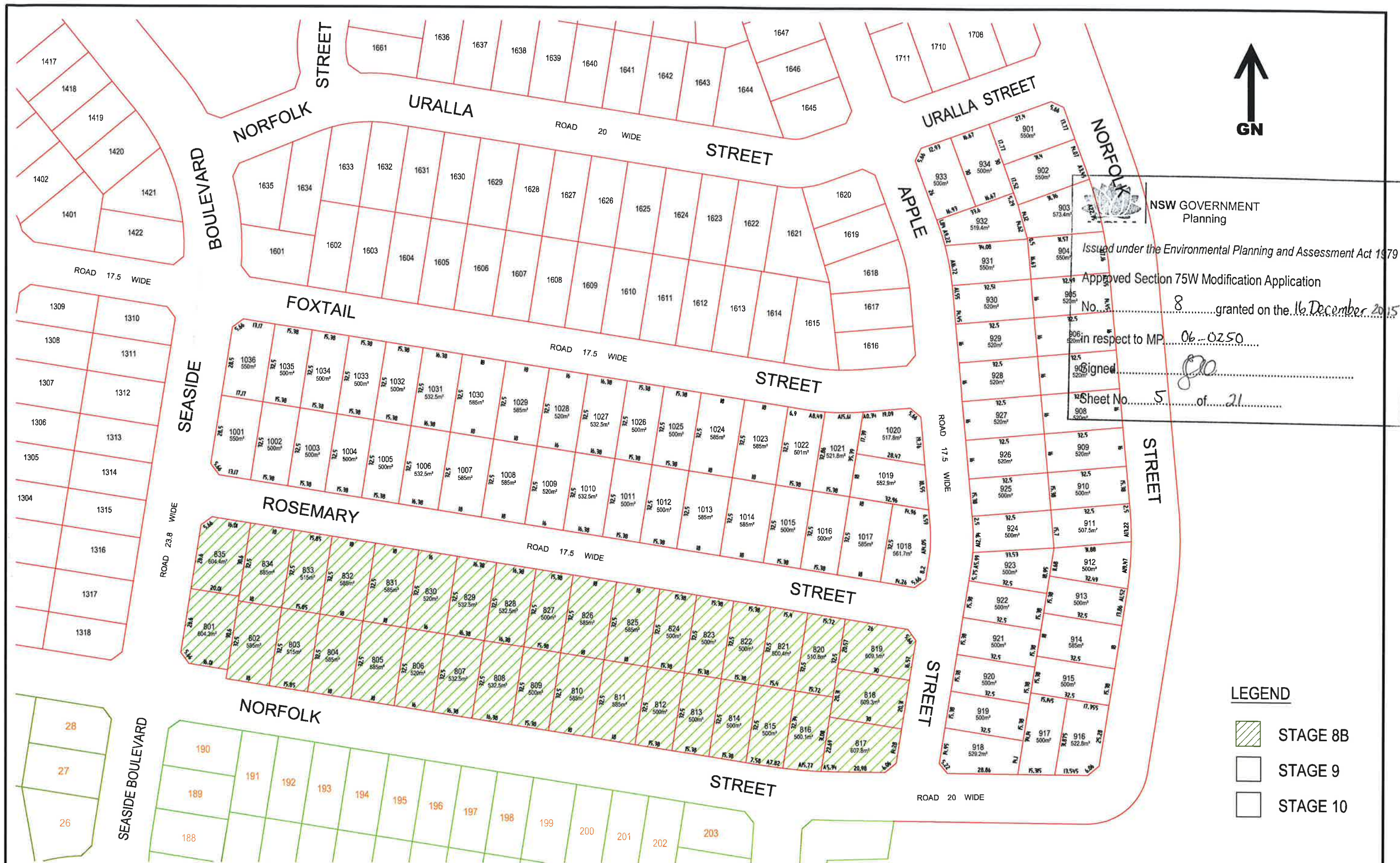
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Sheet No. 5 of 21

- LEGEND**
- STAGE 8B
 - STAGE 9
 - STAGE 10

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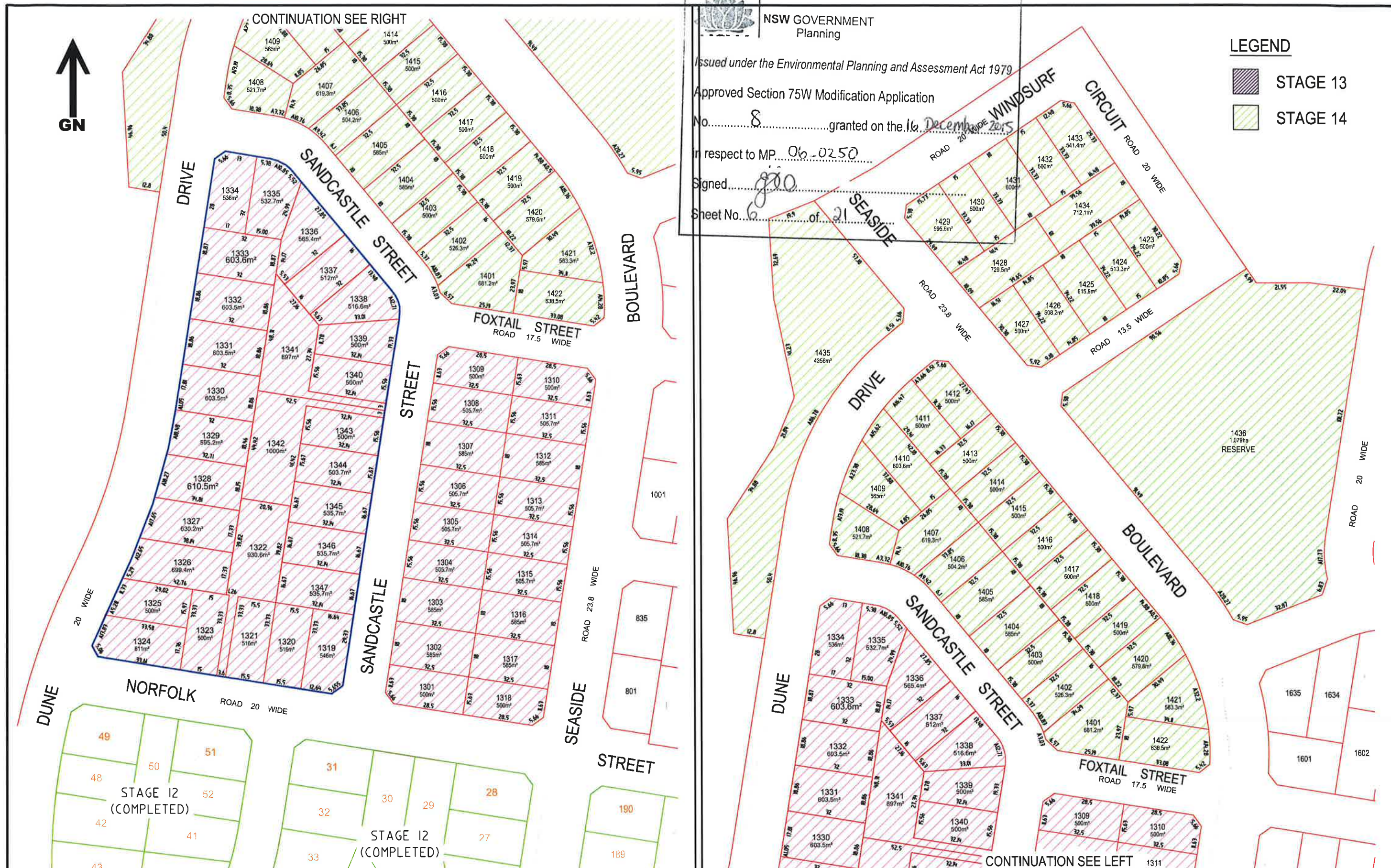
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LEGEND

- STAGE 13
- STAGE 14



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STAGES 13 & 14 DETAIL PLAN REV-J

DEVELOPMENT

PROJECT PLAN J
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NELSON BAY ROAD, FERN BAY

CLIENT

RAWSON COMMUNITIES PTY LIMITED



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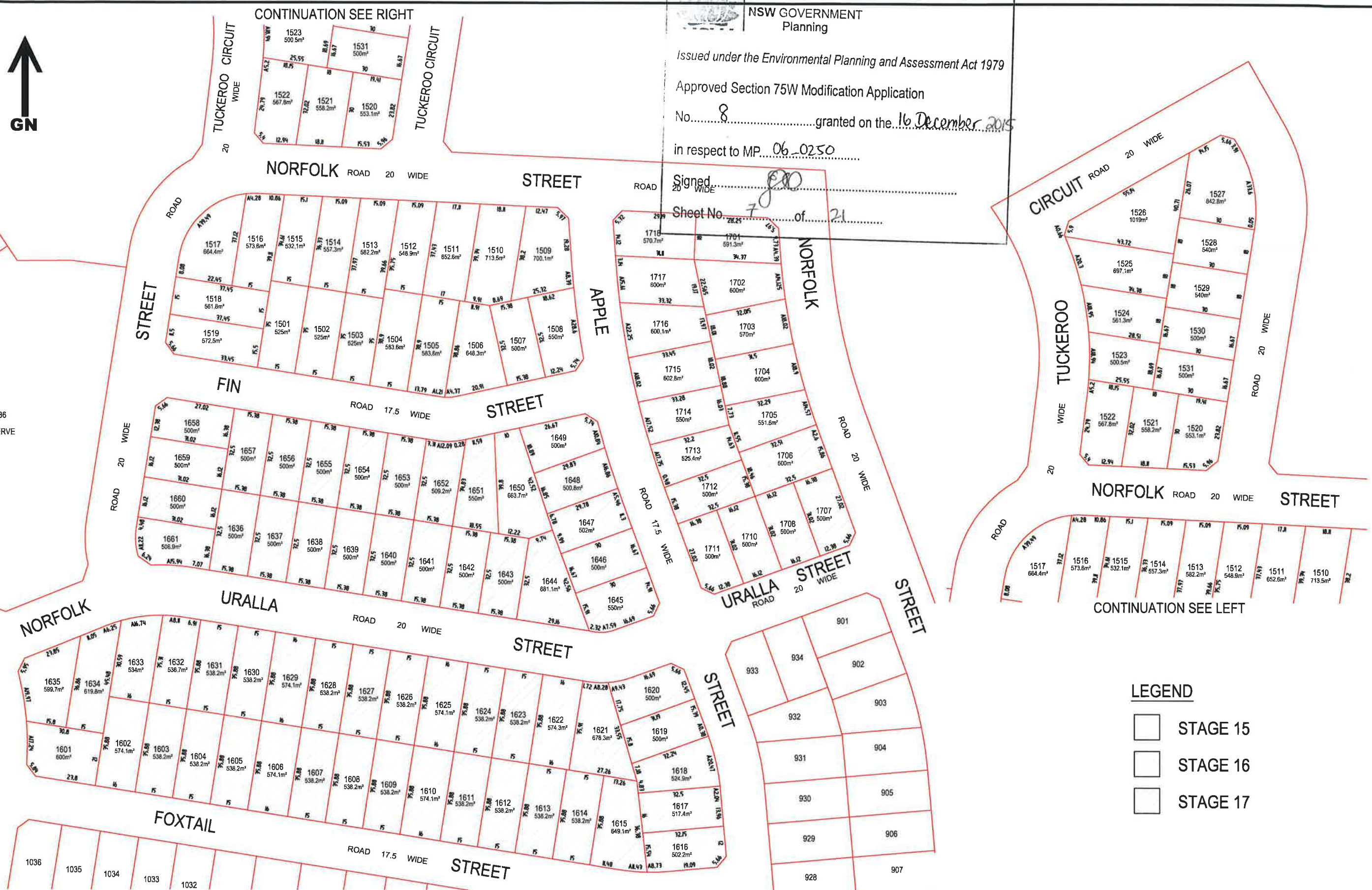
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RESERVE



LEGEND

- STAGE 15
- STAGE 16
- STAGE 17

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7 OF 21

A2



ROAD TO
CONNECT TO
4WD TRACK

LEGEND

- ☐ STAGE 18
- ☐ STAGE 19

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8 OF 21

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LEGEND

□ STAGE 20



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DRAWING TITLE

STAGE 20 DETAIL PLAN REV-J

DEVELOPMENT

PROJECT PLAN J
FERN BAY SEASIDE VILLAGE
NELSON BAY ROAD, FERN BAY

CLIENT

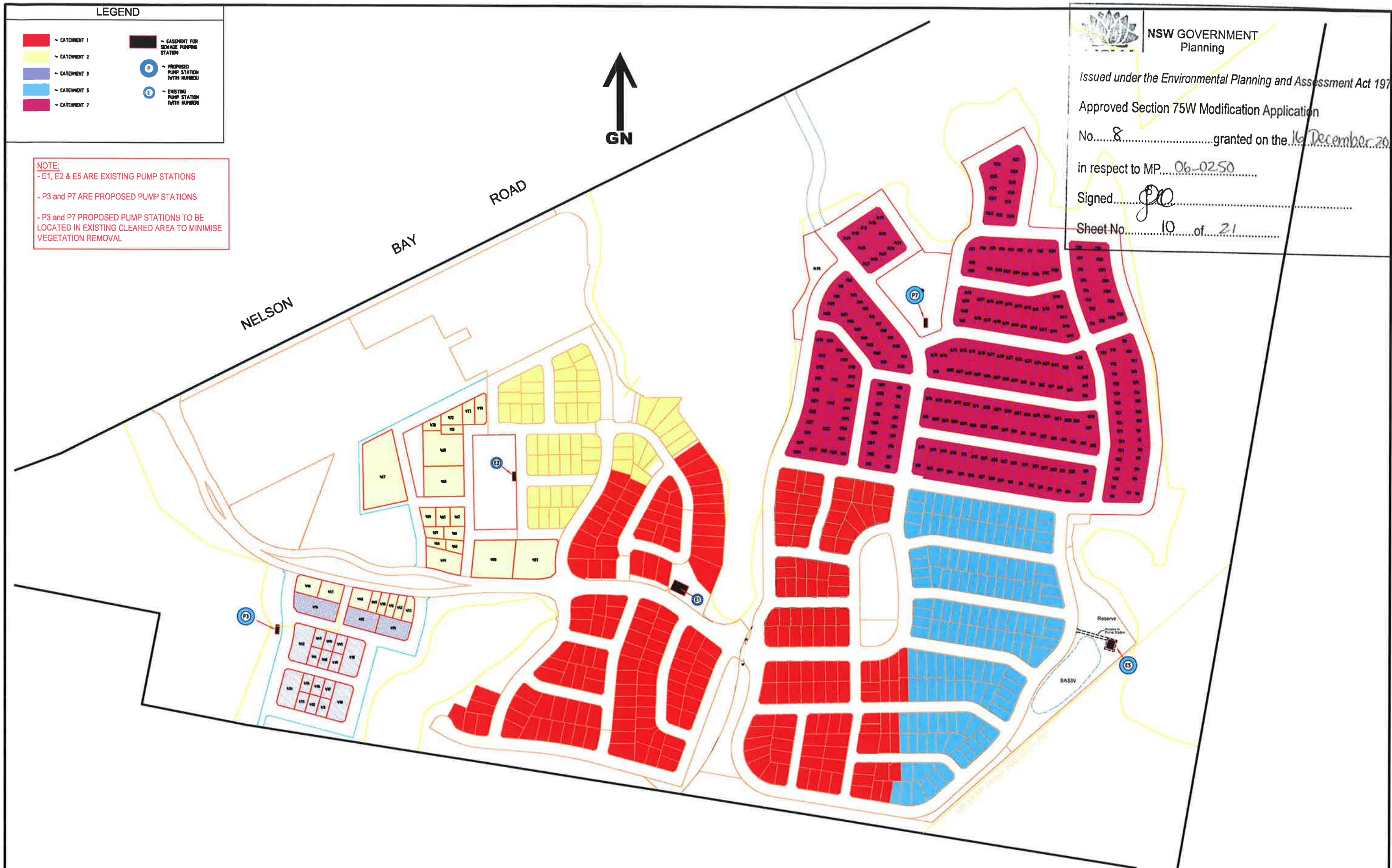
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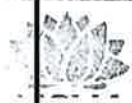
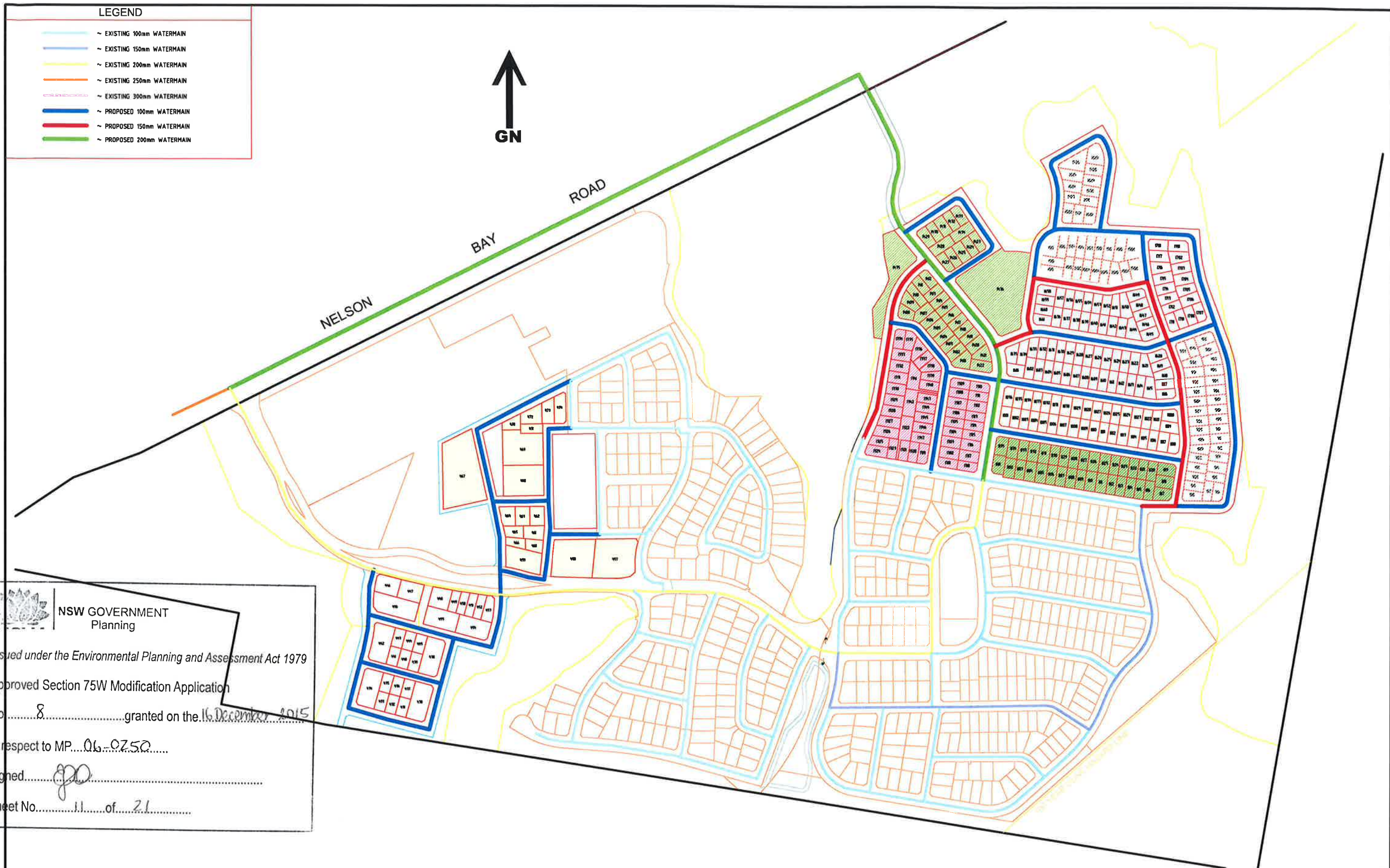
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9 OF 21



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DRAWING TITLE

INDICATIVE WATERMAIN LAYOUT REV-J

DEVELOPMENT

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11 OF 21

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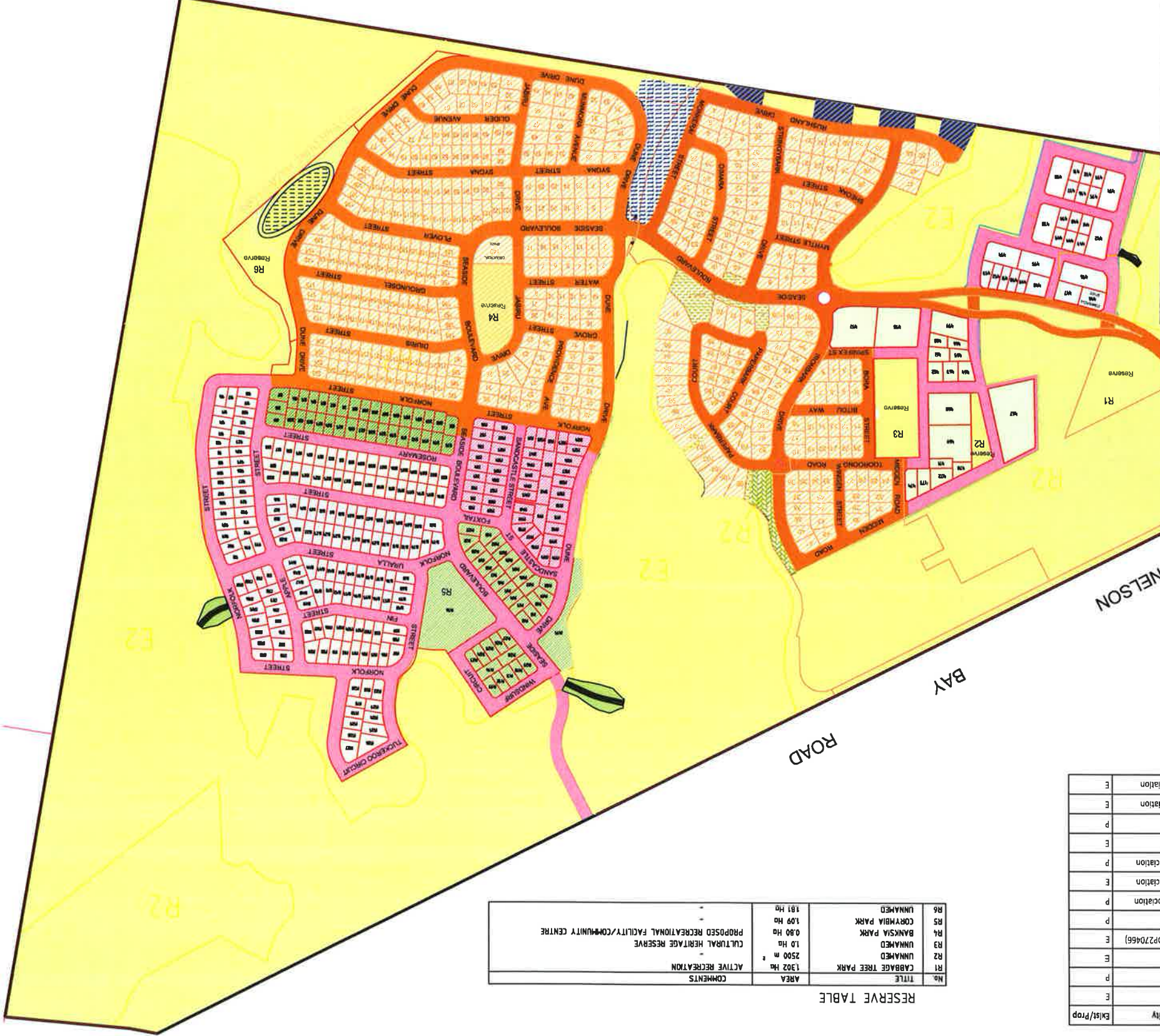
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12 OF 21

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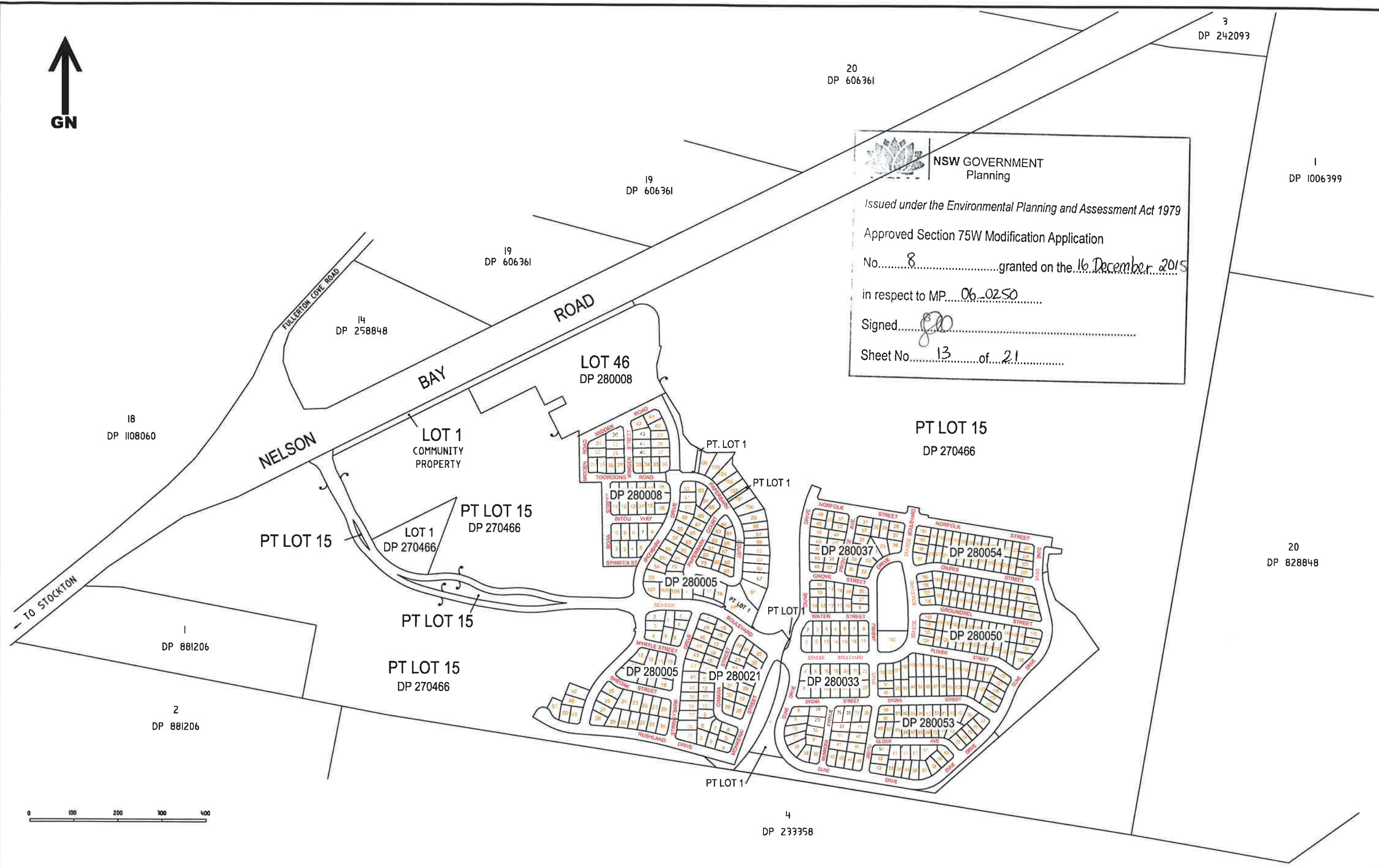


Shading	Area/Section	Ownership	Maintenance Responsibility	Exist/Prop
Orange	Existing Roads	Port Stephens Council		E
Pink	Proposed Roads	Port Stephens Council		P
Yellow	Completed Development			E
Yellow	R1	Community Association	Community Association (DP270466)	E
Yellow	R2	Precinct Association		P
Yellow	R3	Community/Precinct Ass	Community/Precinct Association	E
Yellow	R4	Community/Precinct Ass	Community/Precinct Association	E
Yellow	R5 & R6	Community/Precinct Ass	Community/Precinct Association	P
Blue	Detention Basins	Community/Precinct Ass	Port Stephens Council	E
Blue	Conveyance Swales (see note)	Community/Precinct Ass	Port Stephens Council	P
Green	Precinct Property	Precinct DP 280005 Property	Precinct DP 280008 Association	E
Green	Precinct Property	Precinct DP 280008 Property	Precinct DP 280005 Association	E

Note: Conveyance swales are 2 metres wide, with associated batters as required (drawn not to scale for clarity)

No.	Title	Area	Comments
R1	CABBAGE TREE PARK	1302 Ha	ACTIVE RECREATION
R2	UNNAMED	2500 m ²	
R3	UNNAMED	1.0 Ha	CULTURAL HERITAGE RESERVE
R4	BANKSIA PARK	0.80 Ha	PROPOSED RECREATIONAL FACILITY/COMMUNITY CENTRE
R5	CORYMBIA PARK	109 Ha	
R6	UNNAMED	181 Ha	

GN
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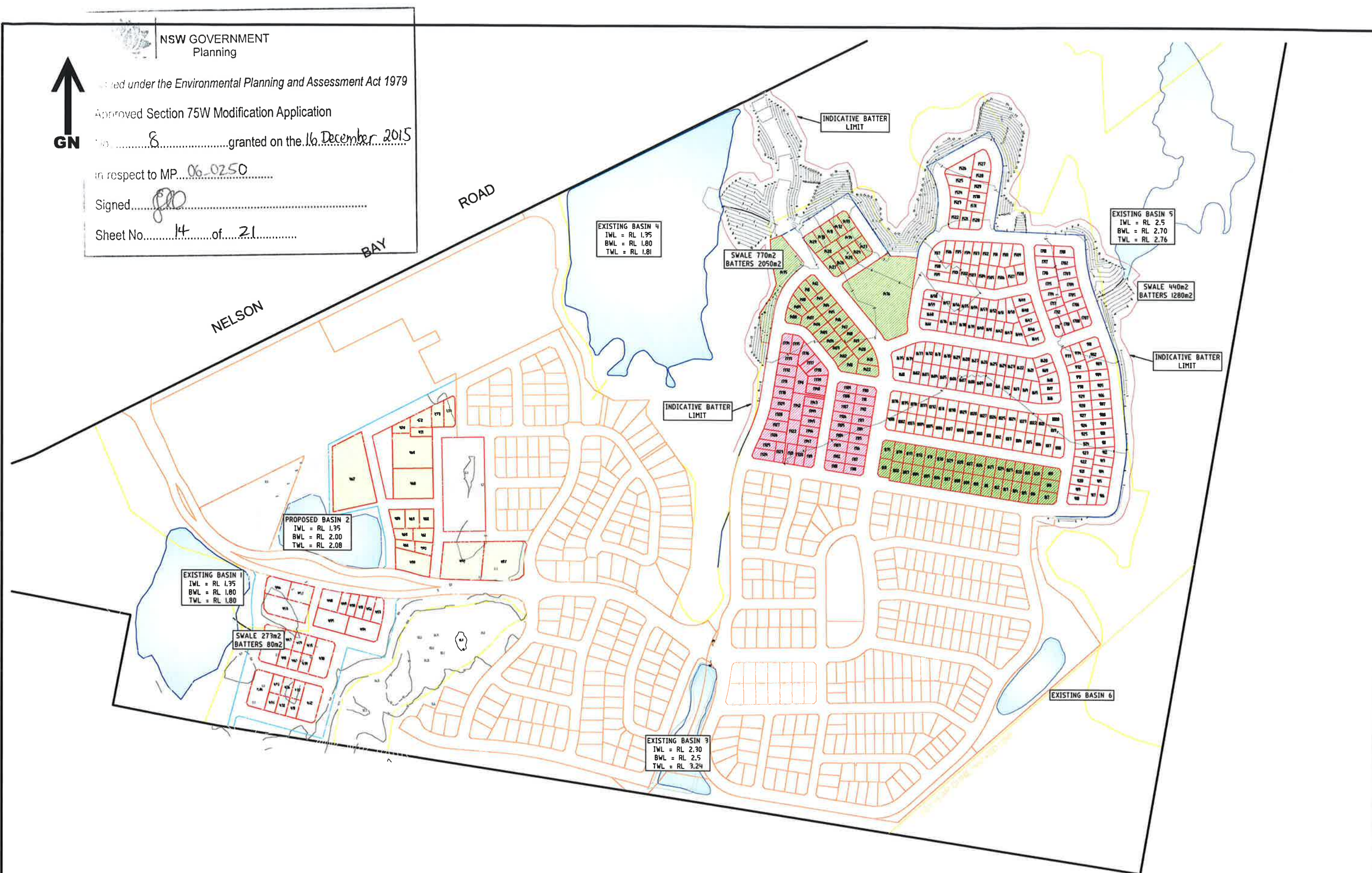
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CONCEPT SITE DRAINAGE PLAN-PROPOSED SWALES AND BASINS REV-J

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14 OF 21



KEY

AREAS OF THE SITE BELOW RL 1.8m
(NOTE: RL 1.8m IS THE 100 YEAR ARI FLOOD LEVEL FOR THE HUNTER RIVER ACCORDING TO THE LOWER HUNTER FLOOD STUDY BY LAWSON & TRELOAR)

NOTE:- THE PROPOSED MINIMUM ROAD & SITE LEVELS ARE 2.6m & 2.8m AHD RESPECTIVELY.
- THE SITE CONTOURS SHOWN ON THIS PLAN HAVE BEEN OBTAINED USING A COMBINATION OF GROUND SURVEY AND AERIAL PHOTOGRAPHY.

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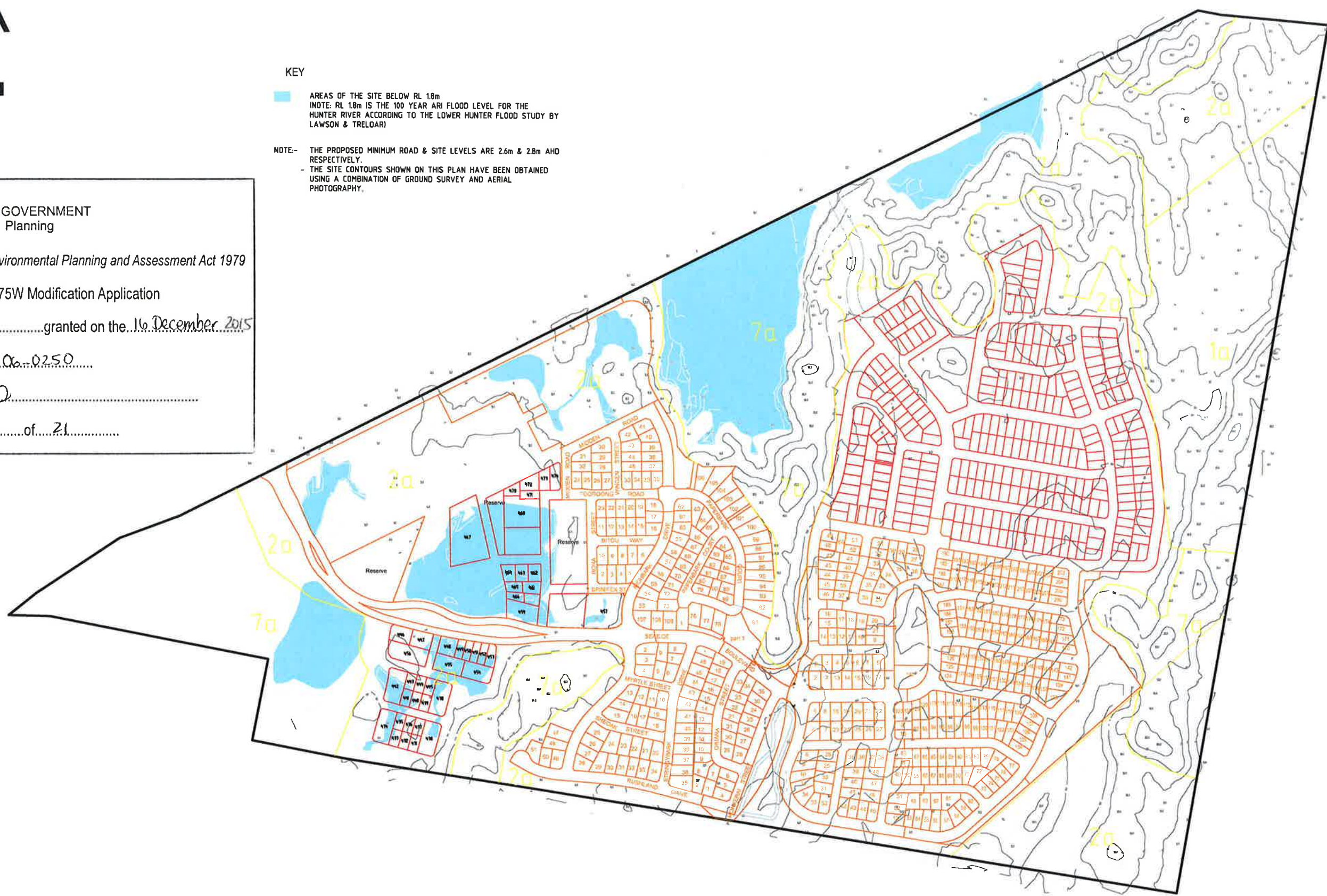
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No. 8 granted on the 16 December 2015

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Sheet No. 15 of 21



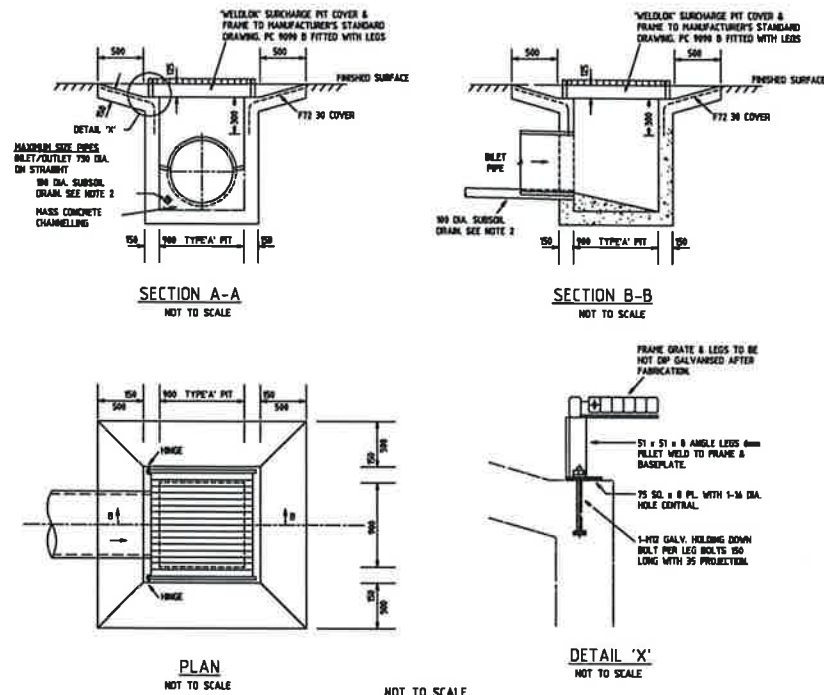
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SCALE 1: 5000	DATUM AHD	DRAWING TITLE FLOOD PRONE & LOW LYING AREAS REV-J
REVISION DATE 27/10/2015	CONTOURS X m	DEVELOPMENT PROJECT PLAN J FERN BAY SEASIDE VILLAGE NELSON BAY ROAD, FERN BAY
PLOT DATE 27/10/2015	DRAWN/CHKD BY IMc / AED	CLIENT RAWSON COMMUNITIES PTY LIMITED
DA NUMBER	CC NUMBER	

NORTH POINT SURVEYS (NSW) PTY LTD
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SURVEYING AND LAND DEVELOPMENT CONSULTANTS
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Phone: 02 4984 2606
Email: admin@northpointsurveys.com.au

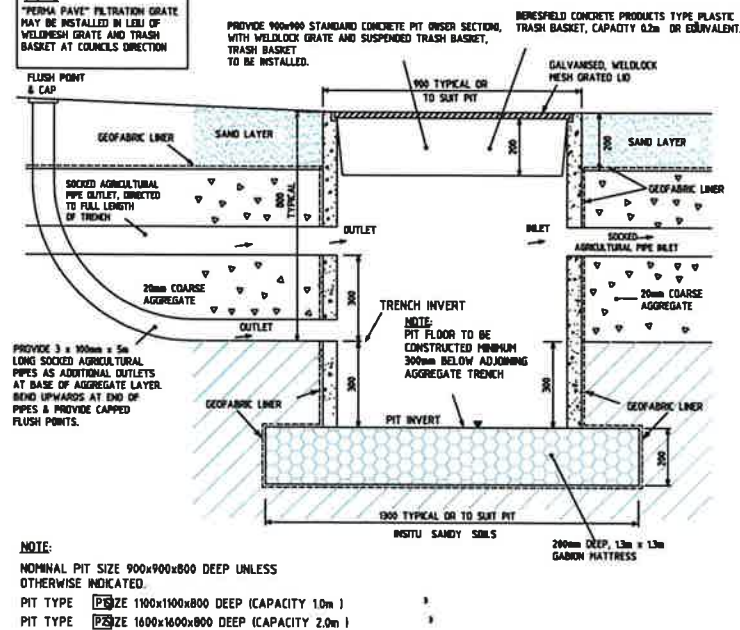
29850 J

SURCHARGE PIT - RM11(TYPE A)



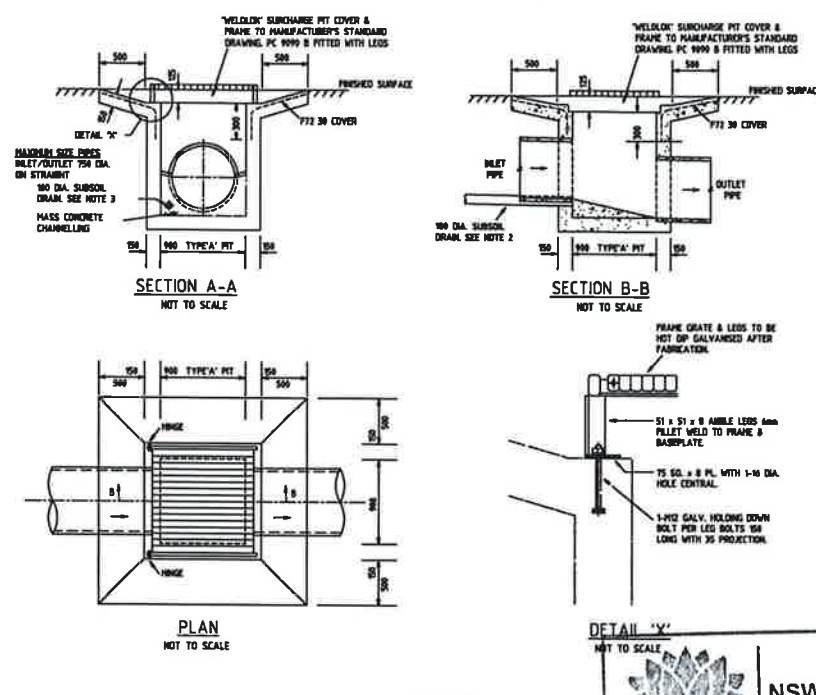
- NOTES**
1. COMPRESSIVE STRENGTH OF CONCRETE FC AT 28 DAYS TO BE 20 MPa.
 2. 100 DIA. SUBSOL DRAINAGE 3000 LONG WRAPPED IN FABRIC COSK TO BE PROVIDED IN PIPE TRENCHES ADJACENT TO INLET PIPES.
 3. PROVIDE CLIMB INCHS TO R.M.3 WHERE PIT IS DEEPER THAN 1200.

NOTE:
"PERMA PAVE" FILTRATION GRATE
MAY BE INSTALLED IN LIEU OF
WELDMESH GRATE AND TRASH
BASKET AT COUNCIL'S DIRECTION



BIO RETENTION SURFACE INLET PIT
NOT TO SCALE

SURFACE INLET PIT - RM11(TYPE A)



- NOTES**
1. COMPRESSIVE STRENGTH OF CONCRETE
Fc AT 28 DAYS TO BE 20 MPa.
 2. TOP OF BENCHING TO BE 1/2 OF OUTLET
PIPE DIAMETER.
 3. 100 DIA. SUBSOIL DRAINAGE 3000 LONG
WRAPPED IN FABRIC COSK TO BE PROVIDED
IN PIPE TRENCHES ADJACENT TO INLET
PIPES.
 4. PROVIDE CLIPB IRONS TO R.M.J WHERE
PIT IS DEEPER THAN 1200.

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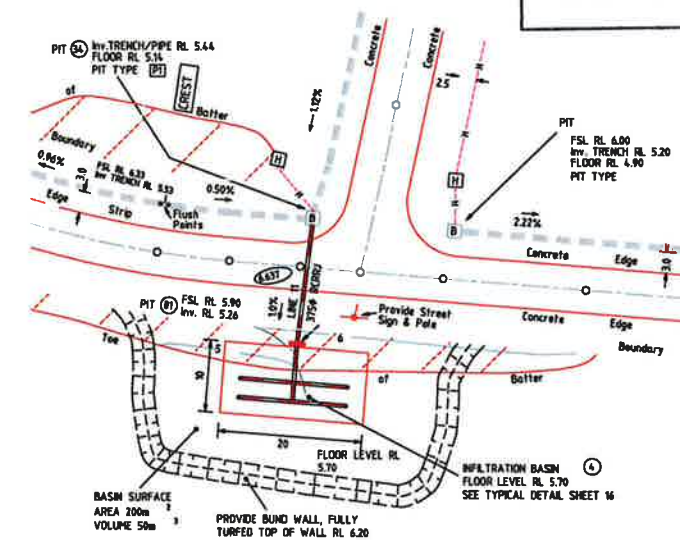
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TYPICAL INFILTRATION BASIN
NOT TO SCALE

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SCALE	AS SHOWN
REVISION DATE	27/10/2015
PLOT DATE	27/02/2015
DA NUMBER	

DATUM	AHD
CONTOURS	X m
DRAWN/CHKD BY	IMc / AED
CC NUMBER	

DRAWING TITLE	TYPICAL DRAINAGE TREATMENTS DETAIL1 REV-J
DEVELOPMENT	PROJECT PLAN J FERN BAY SEASIDE VILLAGE NELSON BAY ROAD, FERN BAY
CLIENT	RAWSON COMMUNITIES PTY LIMITED



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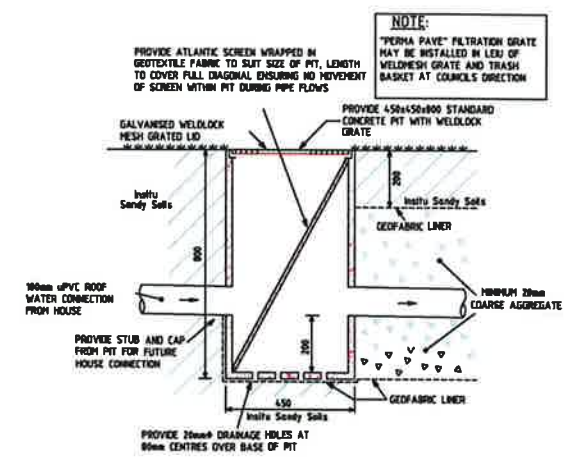
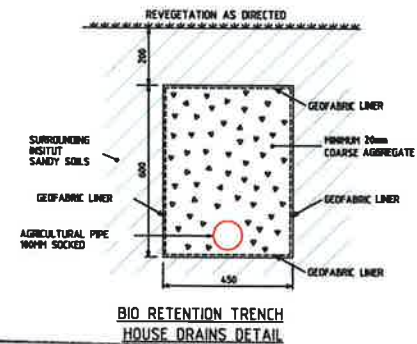
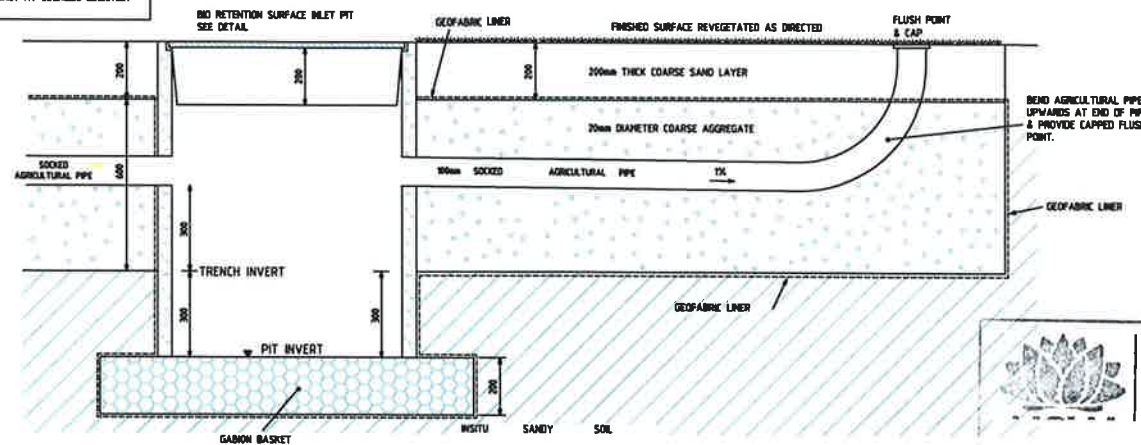
29850 J

16 OF 21

2



NOTE:
"PERMA PAVE" FILTRATION GRATE
MAY BE INSTALLED IN LEU OF
WELDNESH GRATE AND TRASH
BASKET AT COUNCIL'S DIRECTION



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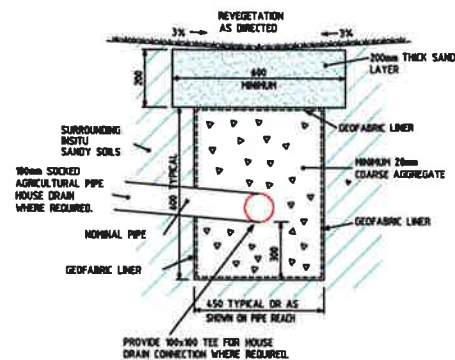
Approved Section 75W Modification Application

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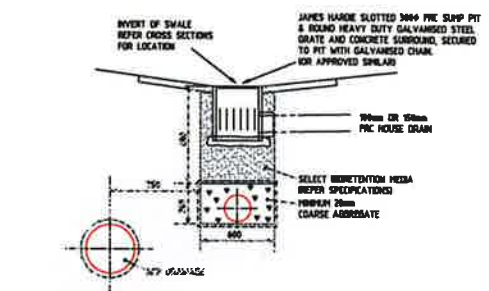
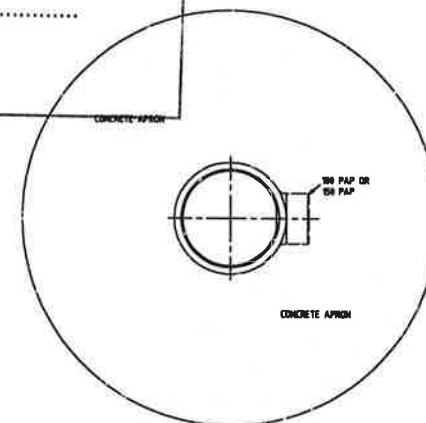
Signed 820

Sheet No. 17 of 21

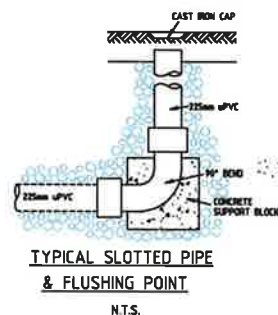


BIO RETENTION SWALE AND TRENCH
NOT TO SCALE

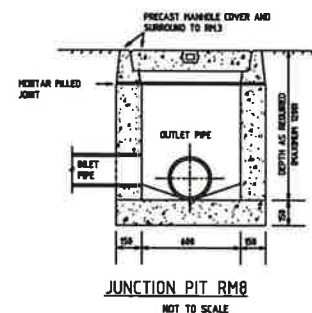
- NOTES:
1. PITS CONSTRUCTED IN CRESTS TO BE USED FOR FLUSHING 100mm SOCKED AGRICULTURAL PIPE, 100mm AGRICULTURAL PIPE TO BE CLEARLY ACCESSIBLE.
 2. TAKE 100mm SOCKED AGRICULTURAL PIPE OUTLET OR 375mm RCRJ CONCRETE PIPE.
 3. DRAINAGE INSTALLATION AS DIRECTED AND SPECIFICATION TO BE WITH 'STORMWATER MANAGEMENT AT THE PROPOSED STOCKTON BEACH DEVELOPMENT STAGE 2' BY URBAN WATER CYCLE SOLUTIONS, JANUARY, 2005.



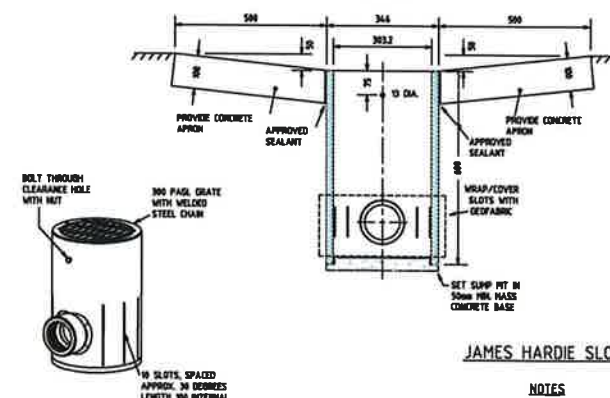
TYPICAL ARRANGEMENT
300mm FRC SUMP PIT BIORETENTION SWALE
AND STORMWATER DRAINAGE LINE
NOT TO SCALE



TYPICAL SLOTTED PIPE
& FLUSHING POINT
N.T.S.



JUNCTION PIT RM8
NOT TO SCALE



JAMES HARDIE SLOTTED FRC SUMP PIT
NOT TO SCALE

- NOTES
1. COMPRESSIVE STRENGTH OF CONCRETE
F_c AT 28 DAYS TO BE 20 MPa.

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REVISION DATE
27/10/2015
PLOT DATE
27/10/2015
DA NUMBER

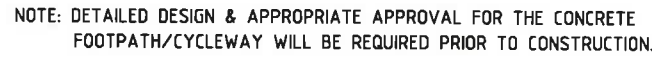
DATUM
AHD
CONTOURS
X m
DRAWN/CHKD BY
IMc / AED
CC NUMBER

DRAWING TITLE
TYPICAL DRAINAGE TREATMENTS DETAIL 2 REV-J
DEVELOPMENT
PROJECT PLAN J
FERN BAY SEASIDE VILLAGE
NELSON BAY ROAD, FERN BAY
CLIENT
RAWSON COMMUNITIES PTY LIMITED

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17 OF 21



18 OF 21

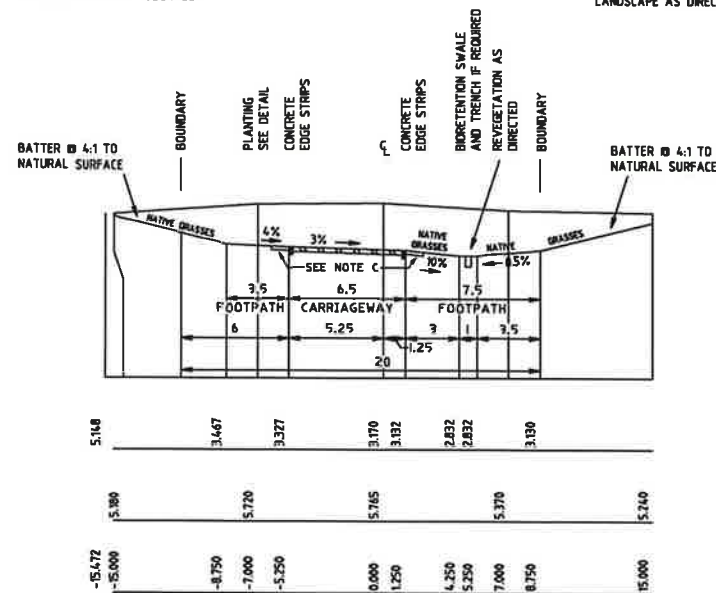
SUBGRADE NOTES

- REFER TO GEOTECHNICAL REPORT FOR PAVEMENT DETAILS AND GEOTECHNICAL ADVICE.
- SUBGRADE TO BE OF CLEAN SAND TO DEPTH OF 500mm. WHERE EXISTING MATERIAL IS CONSIDERED UNSUITABLE, REFER TO SUBGRADE PREPARATION ADVICE IN GEOTECHNICAL REPORT.
- IF WET CLAY MATERIAL IS ENCOUNTERED IN SUBGRADE THEN SUBGRADE SUITABILITY IS TO BE ASSESSED BY CONSULTANT GEOTECHNICAL ENGINEERS.
- IN AREAS OF GRADE OF GREATER THAN 10%, CONSULTANT GEOTECHNICAL ENGINEER IS TO ASSESS SUITABILITY OF MATERIAL AND VERIFY SUBBASE THICKNESS.

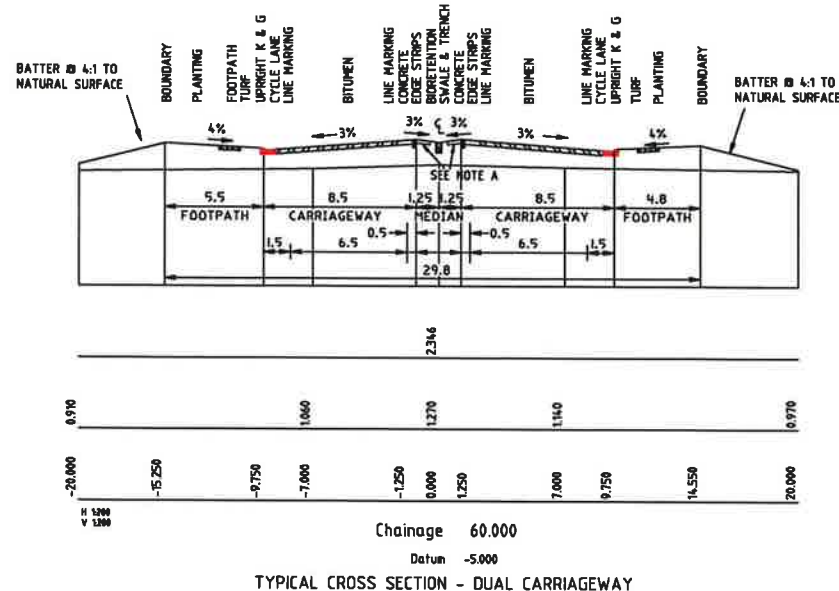
PAVEMENT DETAILS

ROAD No.1
 -PRIME 7mm COAT & 25mm AC RESIDENTIAL MIX
 -100mm COMPACTED BASECOURSE
 -200mm COMPACTED SUBBASE
 -COMPACTED SAND SUBGRADE

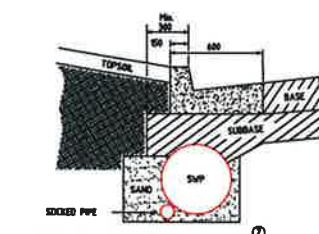
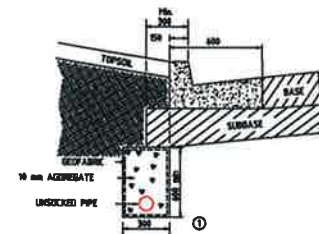
NOTE C
 PROVIDE 10m WIDE
 100mm THICK CRUSHER
 DUST LAYER, AT 60mm
 BELOW FSL, COVER WITH
 TOPSOIL & TURF OR
 LANDSCAPE AS DIRECTED



TYPICAL CROSS SECTION - SINGLE CARRIAGEWAY



TYPICAL CROSS SECTION - DUAL CARRIAGEWAY



TYPICAL SUBSOIL DRAINAGE DETAIL

NOTE: -GEOTEXTILE IN ALL SUBSOIL DRAINS TO BE PLACED ON TOP AND BOTH SIDES AS DETAILED.
 -SUBSOIL DRAINS TO BE CONSTRUCTED IN ACCORDANCE WITH PORT STEPHENS COUNCIL'S STANDARD DRAWING D4, SEE PORT STEPHENS COUNCIL'S SUBDIVISION CODE - PART 2.



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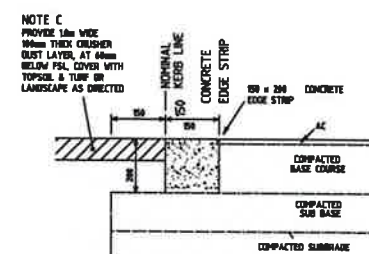
Signed: [Signature]

Sheet No. 19 of 21



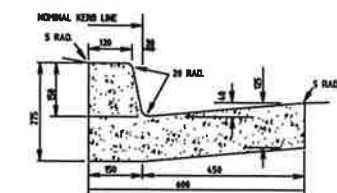
TYPICAL INTERSECTION DETAIL

SCALE 1:200



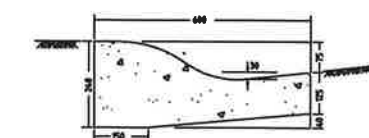
TYPICAL CONCRETE EDGE STRIP DETAIL

N.T.S.



TYPICAL 150mm KERB & GUTTER

N.T.S.



TYPICAL ROLL KERB & GUTTER

N.T.S.

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 27/10/2015
 PLOT DATE
 27/10/2015
 DA NUMBER

DATUM
 AHD
 CONTOURS
 X m
 DRAWN/CHKD BY
 IMc / AED
 CC NUMBER

DRAWING TITLE
 TYPICAL ROAD DETAIL REV-J
 DEVELOPMENT
 PROJECT PLAN J
 FERN BAY SEASIDE VILLAGE
 NELSON BAY ROAD, FERN BAY
 CLIENT
 RAWSON COMMUNITIES PTY LIMITED



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DATUM	AHD
REVISION DATE	27/10/2015
CONTOURS	X m
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CC NUMBER	

DRAWING TITLE	AERIAL VIEW REV-J
DEVELOPMENT	PROJECT PLAN J
CLIENT	RAWSON COMMUNITIES PTY LIMITED FERN BAY SEASIDE VILLAGE NELSON BAY ROAD, FERN BAY

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North Point Surveys

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CUT (-ve) & FILL (+ve) DEPTHS DATA			
NUMBER	DEPTH	DEPTH	COLOUR
1	-11.1	-10.0	Red
2	-10.0	-8.0	Red
3	-8.0	-6.0	Yellow
4	-6.0	-4.0	Yellow
5	-4.0	-2.0	Green
6	-2.0	0.0	Green
7	0.0	2.0	Blue
8	2.0	4.0	Blue
9	4.0	6.3	Dark Blue



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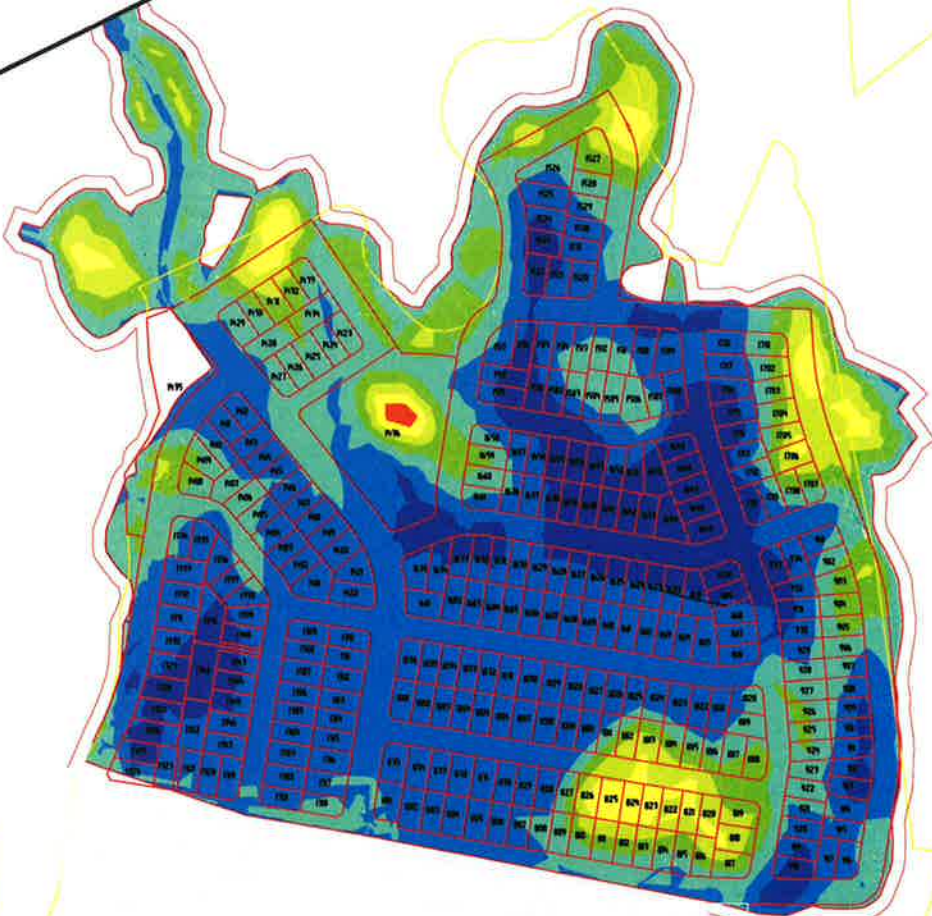
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EXISTING
DEVELOPMENT

EXISTING
DEVELOPMENT

EXISTING
DEVELOPMENT

EXISTING
DEVELOPMENT

EXISTING DEVELOPMENT

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SCALE
1: 4000
REVISION DATE
27/10/2015
PLOT DATE
27/10/2015
DA NUMBER

DATUM
AHD
DEPTH CONTOURS
2 m
DRAWN/CHKD BY
IMc / AED
CC NUMBER

DRAWING TITLE
BULK EARTHWORKS (CUT-FILL) PLAN REV-J
DEVELOPMENT
PROJECT PLAN J
FERN BAY SEASIDE VILLAGE
NELSON BAY ROAD, FERN BAY
CLIENT
RAWSON COMMUNITIES PTY LIMITED



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21 OF 21

LEGEND

PROPOSED STREETSCAPE PLANTING

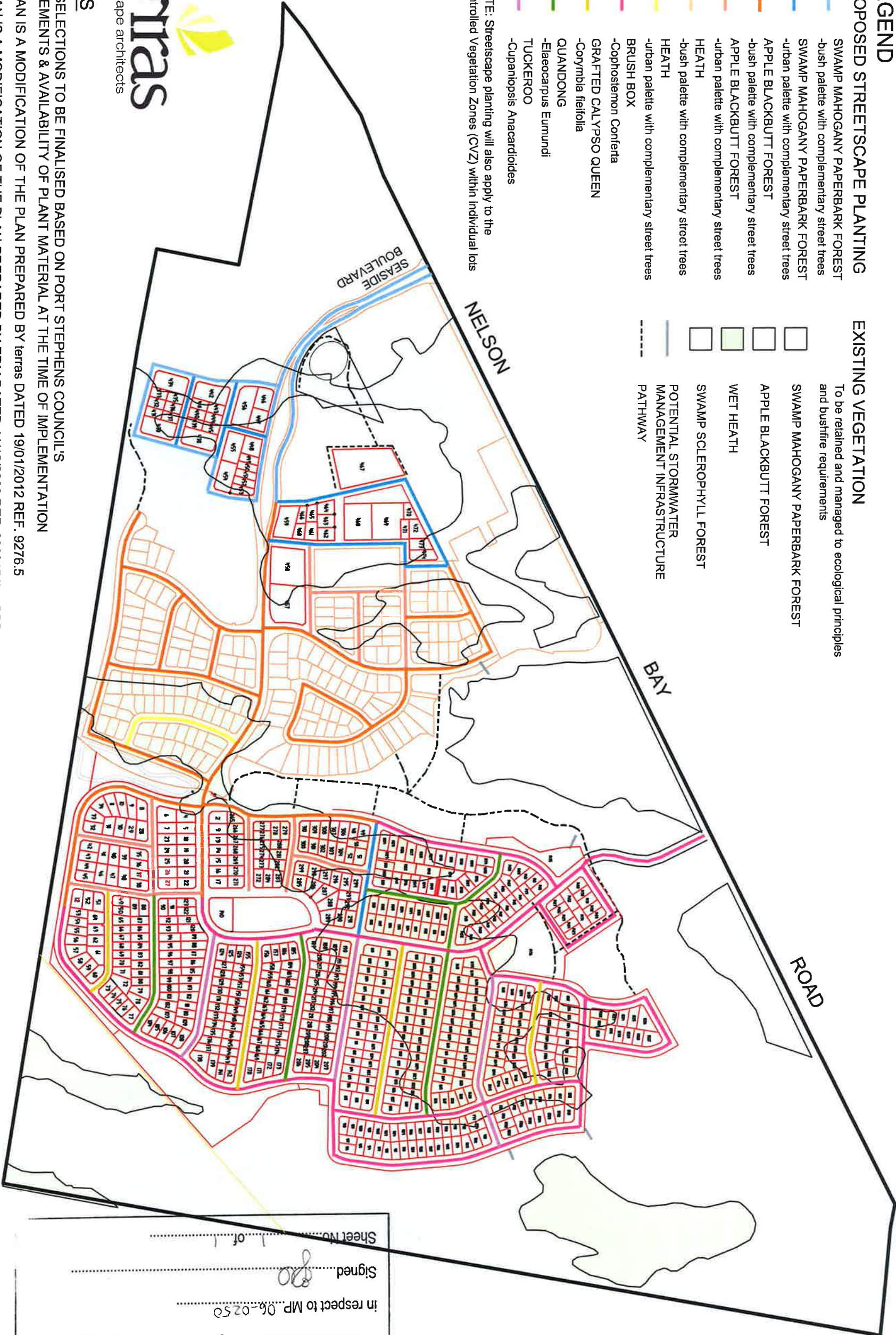
- SWAMP MAHOAGANY PAPERBARK FOREST
- bush palette with complementary street trees
- SWAMP MAHOAGANY PAPERBARK FOREST
- urban palette with complementary street trees
- APPLE BLACKBUTT FOREST
- bush palette with complementary street trees
- APPLE BLACKBUTT FOREST
- urban palette with complementary street trees
- HEATH
- bush palette with complementary street trees
- HEATH
- urban palette with complementary street trees
- BRUSH BOX
- Cophosiemon Conferta
- GRAFTED CALYPSO QUEEN
- Corymbia fleifolia
- QUANDONG
- Elaeocarpus Eumundi
- TUCKEROO
- Cupaniopsis Anacardioides

NOTE: Streetscape planting will also apply to the Controlled Vegetation Zones (CVZ) within individual lots

EXISTING VEGETATION

To be retained and managed to ecological principles and bushfire requirements

- SWAMP MAHOAGANY PAPERBARK FOREST
- APPLE BLACKBUTT FOREST
- WET HEATH
- SWAMP SCLEROPHYLL FOREST
- POTENTIAL STORMWATER MANAGEMENT INFRASTRUCTURE
- PATHWAY



NOTES

PLANT SELECTIONS TO BE FINALISED BASED ON PORT STEPHENS COUNCILS REQUIREMENTS & AVAILABILITY OF PLANT MATERIAL AT THE TIME OF IMPLEMENTATION
THIS PLAN IS A MODIFICATION OF THE PLAN PREPARED BY terras DATED 19/01/2012 REF. 9276.5
THIS PLAN IS A MODIFICATION OF THE PLAN PREPARED BY ERM DATED 11/12/2009 REF. 0063154hv_ppp_05

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SCALE	DATUM
1:7000	N/A
ISSUE DATE	CONTOURS
27/10/2015	N/A
PLOT DATE	DRAWN/CHKD BY
27/10/2015	IMC / AED

DRAWING TITLE	CLIENT
29850 LANDSCAPE PLAN REV J	RAWSON COMMUNITIES PTY LIMITED
PROPERTY DETAILS	
FERN BAY SEASIDE VILLAGE	

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