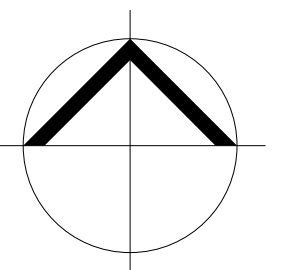


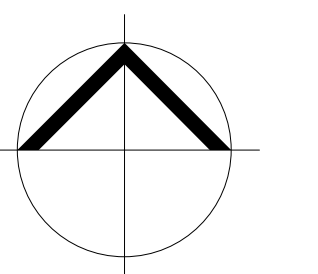
Part 3A Project Application

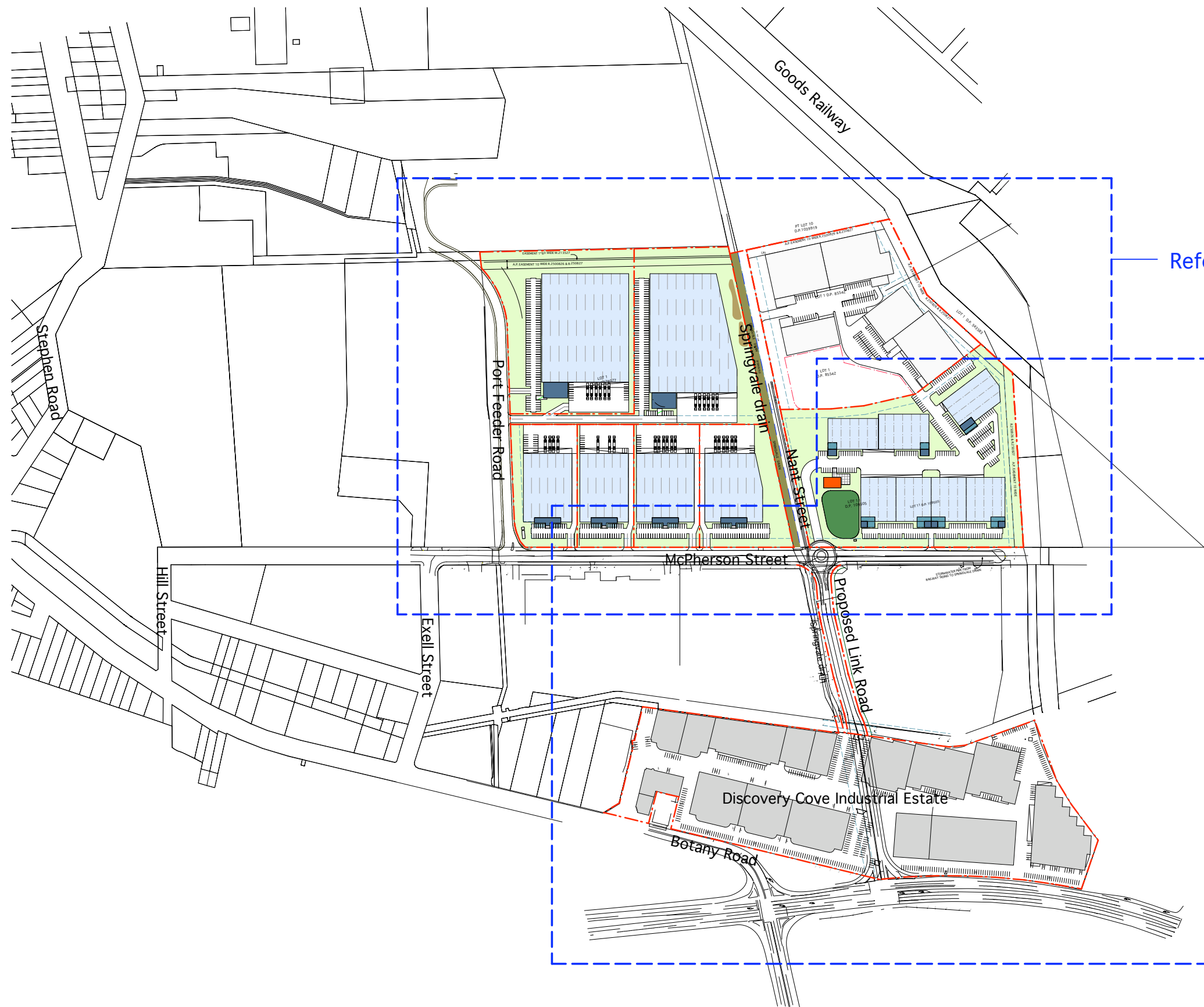


Drawing List

Proponent	Architecture		A1	A3
Orica	SRD DA001	Cover & Location Plan	NTS	NTS
Project Manager	SRD DA002	Aerial Context Plan	1:2500	1:5000
DBL Property	SRD DA003	Context Plan	1:2500	1:5000
Architect	SRD DA004	Staging Plan	1:2500	1:5000
KPA and Goodman	SRD DA005	Masterplan	1:1000	1:2000
Landscape Architect	SRD DA006	Stage 1 Site Plan	1:1000	1:2000
Habitation	SRD DA007	Stage 1 Roof Plan	1:1000	1:2000
Planner	SRD DA008	Stage 1 Elevations	1:500	1:1000
URS/ ISD	SRD DA009	Stage 1 Elevations/ Sections	1:500	1:1000
	SRD DA010	Stage 1 Detail Elevations	1:100	1:200
BCA Consultants	SRD DA011	Stage 2 Site Plan	1:1000	1:2000
Dix Gardener	SRD DA012	Stage 2 Roof Plan	1:1000	1:2000
Surveyor	SRD DA013	Stage 2 Elevations/ Sections	1:500	1:1000
AAM Hatch	SRD DA014	Stage 2 Road Link Site Plan	1:1000	1:2000
Civil/ Hydraulics	SRD DA015	Deleted		
Connell Wagner	SRD DA016	Proposed Subdivision Plan	1:2500	1:5000
Remediation/ HHRA	SRD DA017	Proposed Easements Plan	1:1000	1:2000
URS				
Flora and Fauna	Survey			
URS/ Biosphere Enviro Consultants				
Acoustic	12317A DA01	Existing Survey Plan		
Heggies	12317A DA02	Existing Survey Plan		
Air Quality				
Holmes Air Sciences				
Risk Assessment				
Lloyds Register				
S.94 Review				
Connell Wagner				
Water & Energy Efficiency				
Connell Wagner				

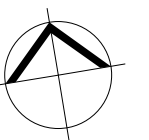


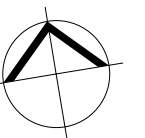




Refer Masterplan SRD DA005

Refer Stage 2 Plans
SRD DA011 & SRD DA015





Refer Plans SRD DA006 & SRD DA011



SOUTHLANDS AREA SCHEDULE	
Lot 1 DP 254392	0.285 Ha
Lot 1 DP 528680	9.530 Ha
Lot 1 DP 85542	6.130 Ha
Lot 11 DP 109505	2.343 Ha
TOTAL SITE AREA	18.288 Ha
Springvale Drain	0.289 Ha
Nant Street	0.347 Ha

MASTERPLAN DEVELOPMENT AREA SCHEDULE	
Total Site Area	18.288 Ha
less: Detention Basins	0.867 Ha
TOTAL DEV. AREA	17.421 Ha
Total Warehouse	71,700 sqm
Total Office	6,800 sqm
Cafe/ Amenities	240 sqm
Total Floor Area	78,740 sqm
Total Awning	2,835 sqm
FLOOR AREA	78,740 SQM
FOOTPRINT (incl. awning)	77,775 SQM
FSR	0.45:1
SITE COVER	65%
LANDSCAPE AREA	78,850 SQM (45%)
Total Carparking	817
STAGE 1	
TOTAL SITE AREA	98,150 sqm
DEV. SITE AREA	98,150 sqm
Total Warehouse	42,500 sqm
Total Office	4,000 sqm
Total Facility	46,500 sqm
Carparking Provided -on grade	437
STAGE 2	
TOTAL SITE AREA	46,300 sqm
DEV. SITE AREA	44,300 sqm
Total Warehouse	14,850 sqm
Total Office	1,400 sqm
Cafe/ Amenities	240 sqm
Total Facility	16,490 sqm
Carparking Provided -on grade	260
STAGE 3	
TOTAL SITE AREA	38,430 sqm
DEV. SITE AREA	31,760 sqm
Total Warehouse	14,350 sqm
Total Office	1,400 sqm
Total Facility	15,750 sqm
Carparking Provided -on grade	120





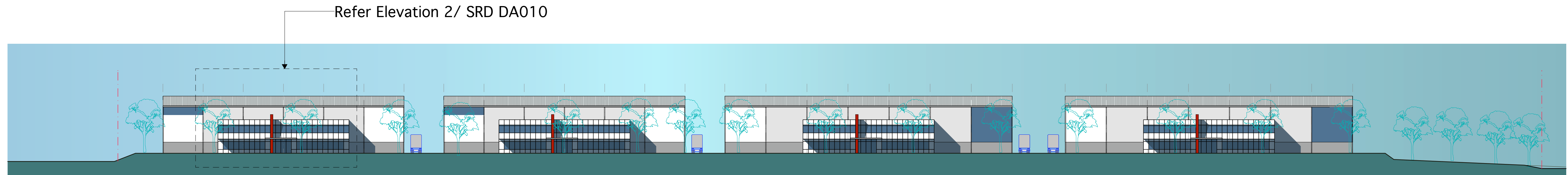
LEGEND
AW Awning
HS Hardstand

Development Area Schedule	
STAGE 1	
Site Area	98,150 sqm
Total Warehouse	42,500 sqm
Total Office (2 & 3 levels)	4,000 sqm
Total Floor Area	46,500 sqm
Awning	1,825 sqm
Footprint (incl awning)	46,640 sqm
Site Cover	48%
FSR	47%
Landscape Area	25.5% (25,260 sqm)
Carparking	437 cars
Minor Earthworks Area	45,210 sqm

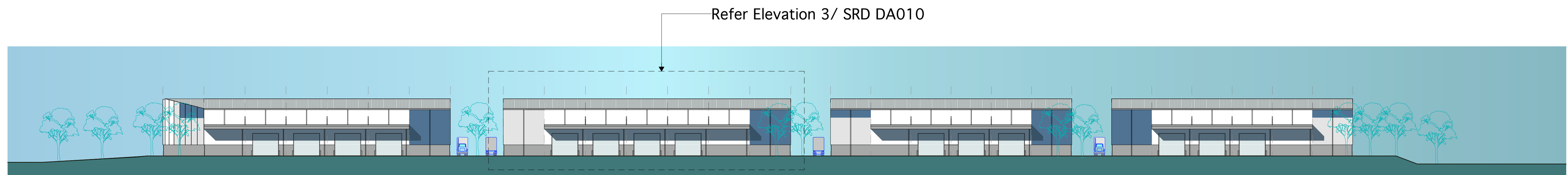


Legend

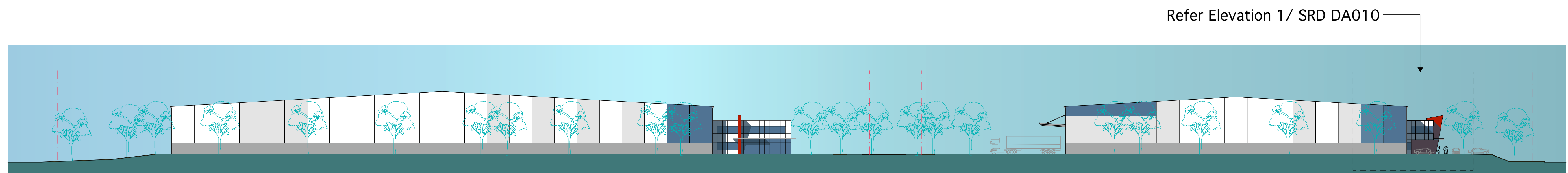
BG	Box Gutter
DP	Down Pipe
G	Gutter
MR	Metal Roofing
RC	Ridge Capping
RV	Roof Vent
TR	Translucent Roofing



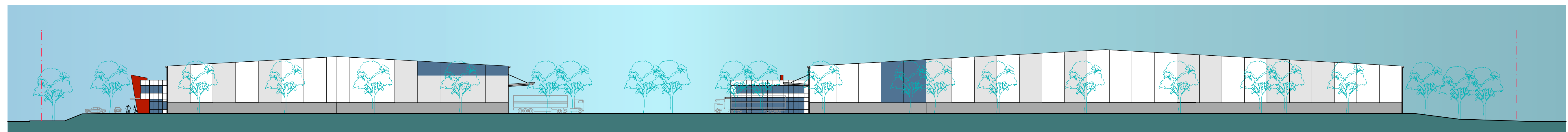
South Elevation (McPherson Street)



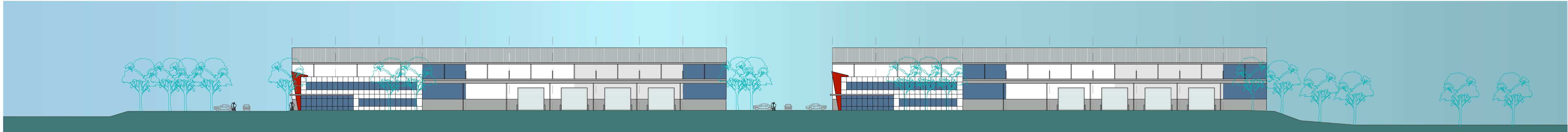
North Elevation (Warehouses 1-4)



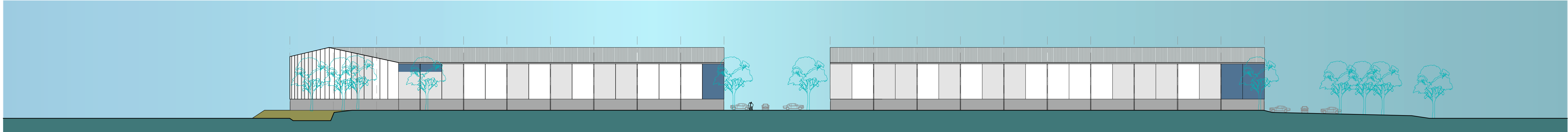
West Elevation (Port Feeder Road)



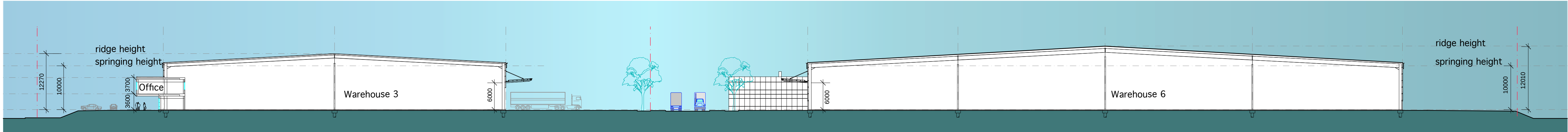
East Elevation



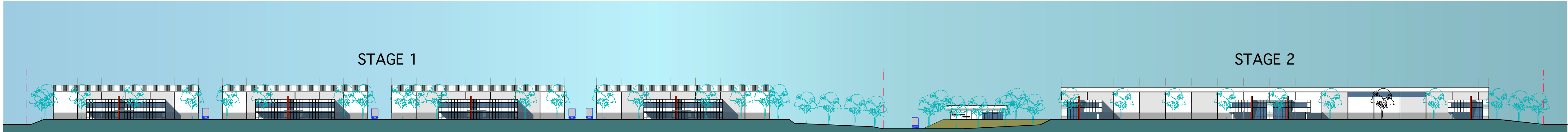
South Elevation (Warehouse 5 & 6)



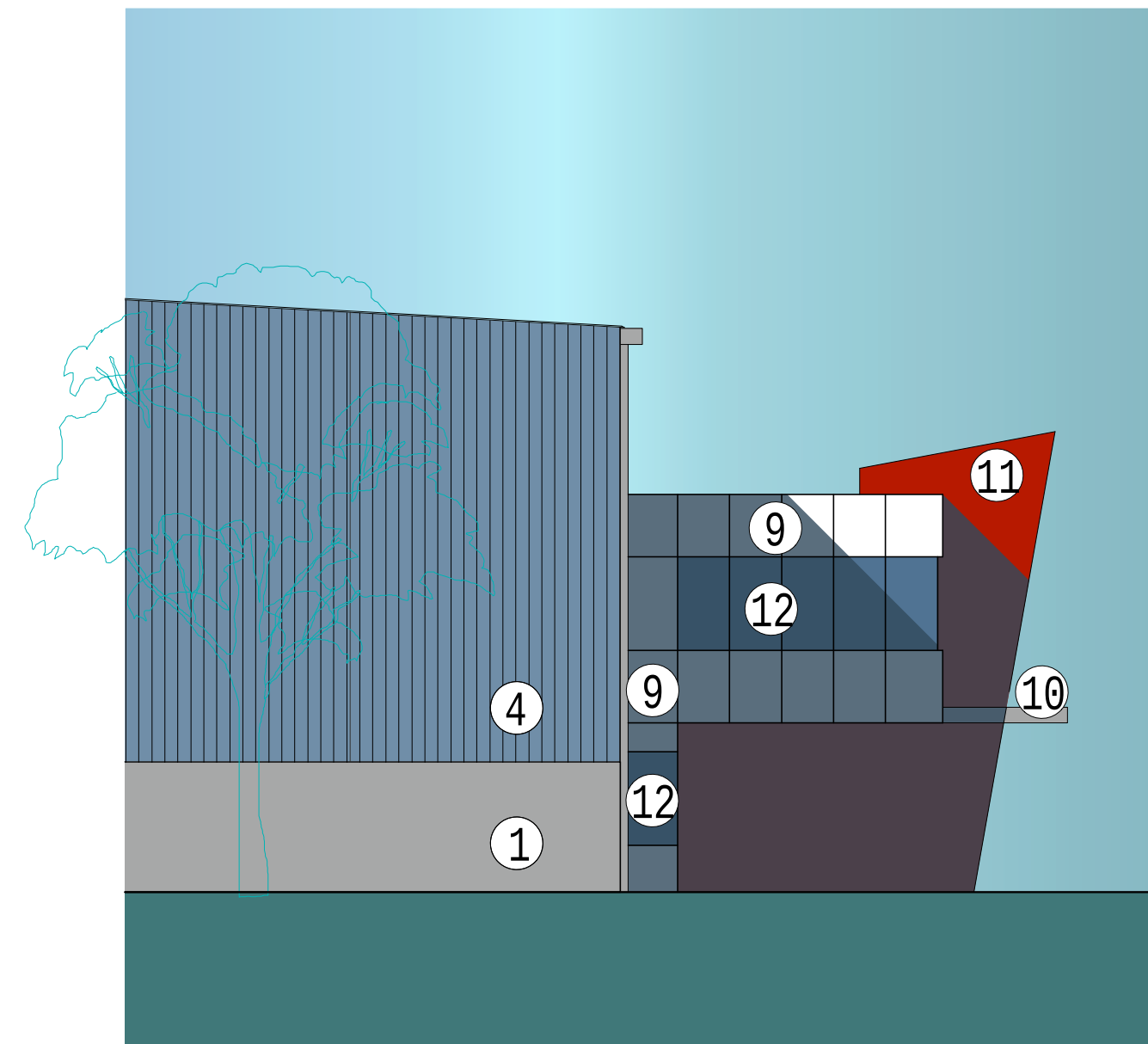
North Elevation



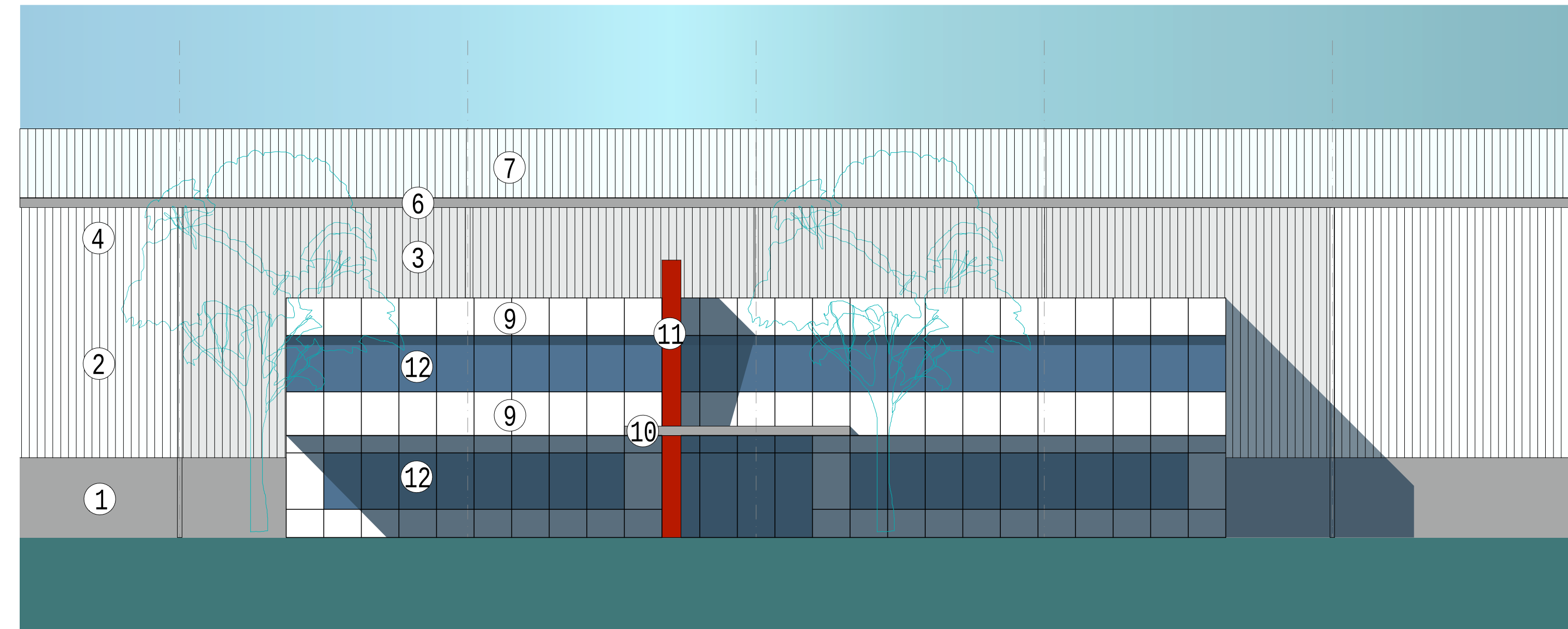
Section



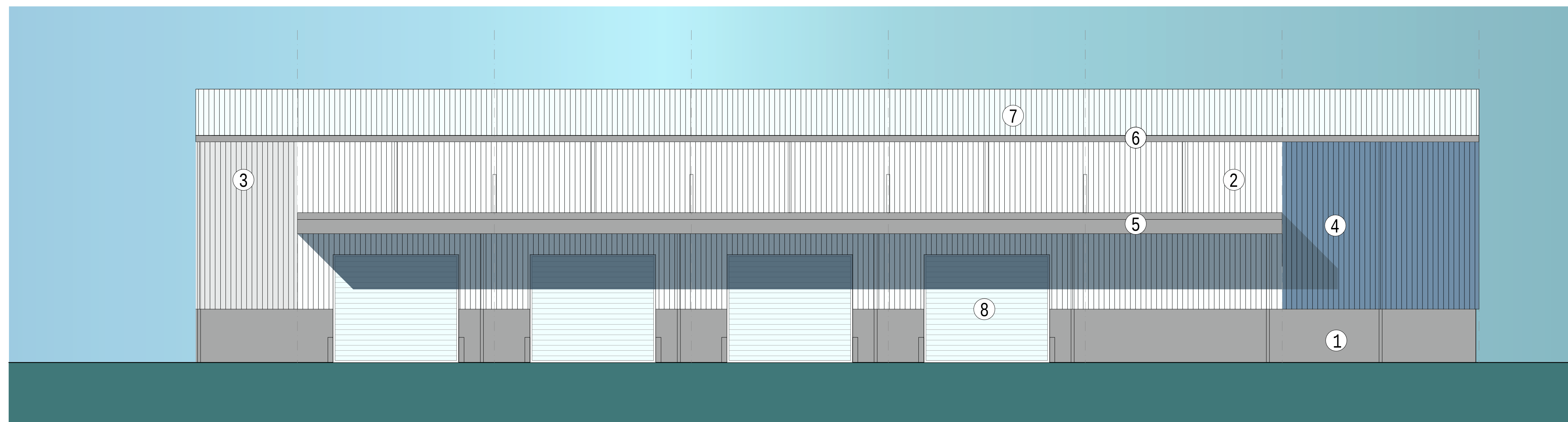
Elevation to McPherson Street (Stage 1 & Stage 2) Scale : NTS



Elevation 1



Elevation 2



Elevation 3

EXTERNAL FINISHES LEGEND	
①	Paint finish to precast concrete panel - Grey
②	Colorbond cladding - Shale Grey
③	Colorbond cladding - Windspray
④	Colorbond cladding - Deep Ocean
⑤	Colorbond fascia to canopy - Windspray
⑥	Colorbond downpipes and eavesgutter - Windspray
⑦	Zincalume roof sheeting
⑧	Metal roller shutters to match colorbond Windspray
⑨	Alucabond cladding (Silver Metallic 500)
⑩	Alucabond cladding (Grey Metallic 502)
⑪	Alucabond cladding (Banner Red 304)
⑫	Grey tint glazing in powdercoat aluminium framing

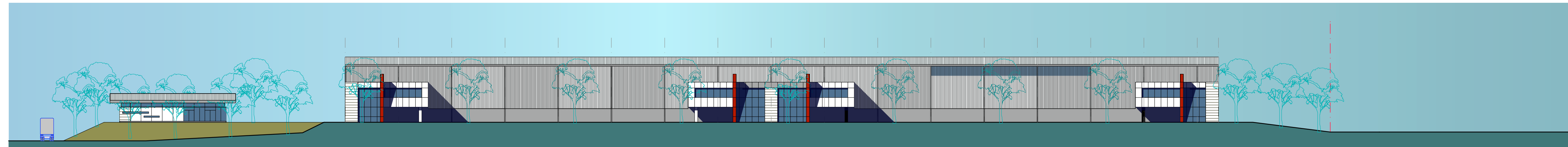


LEGEND	
AW	Awning
HS	Hardstand

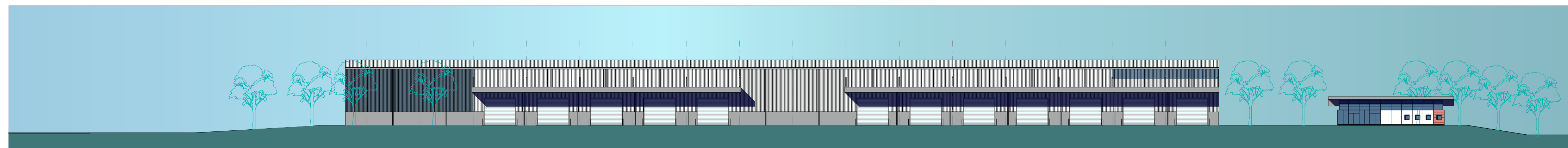
Development Area Schedule	
STAGE 2	
Total Site Area	46,300 sqm
less Detention Basins	2,000 sqm
Dev. Site Area	44,300 sqm
Total Warehouse	14,850 sqm
Total Office (2 levels)	1,400 sqm
Cafe/Amenities	240 sqm
Total Floor Area	16,490 sqm
Awning	505 sqm
Site Cover	40%
FSR	41%
Landscape Area	32% (12,960 sqm)
Carparking	260 cars



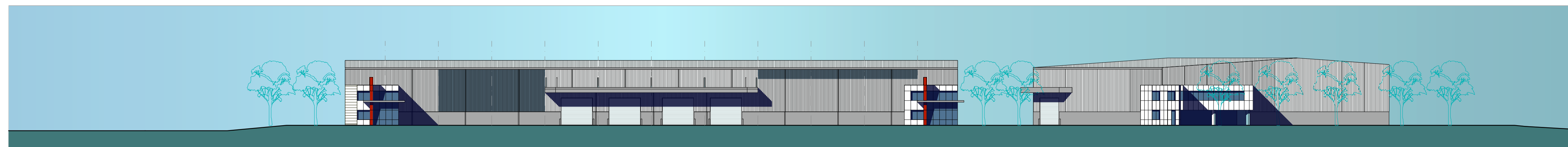
Legend	
BG	Box Gutter
DP	Down Pipe
G	Gutter
MR	Metal Roofing
RC	Ridge Capping
RV	Roof Vent
TR	Translucent Roofing



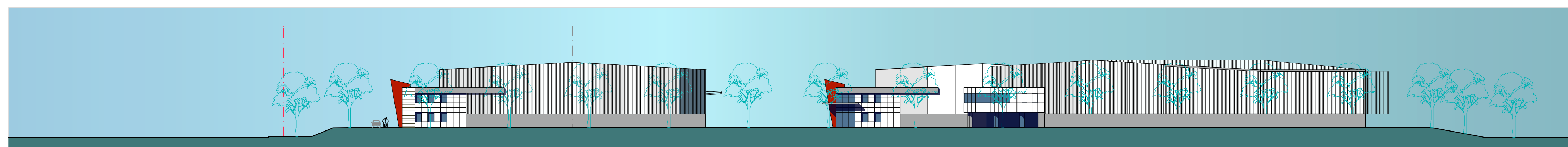
South Elevation (McPherson Street)



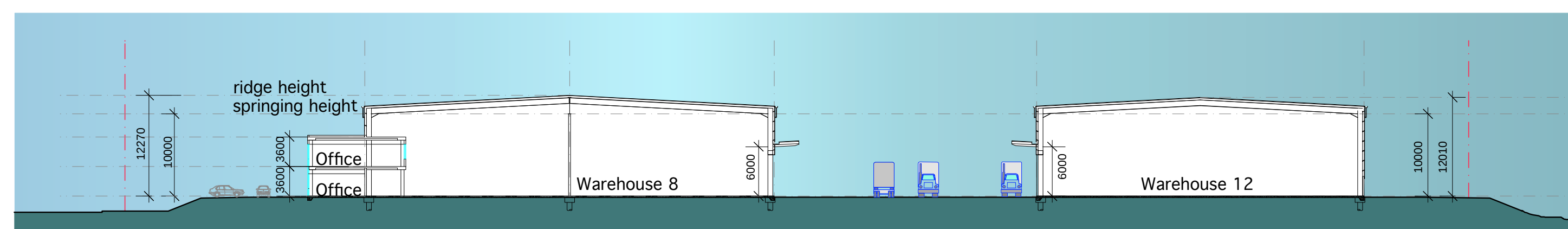
North Elevation (Inter Access Road)



South Elevation (Inter Access Road)



East Elevation



Section



West Elevation



Site Area Schedule

Total Site Area	75,790 sqm
Less:	
Proposed New Road	4,245 sqm

Total Developable	71,545 sqm
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Site 1	36,710 sqm
Site 2	34,835 sqm

Building Area - Total Existing	49,928 sqm
Building Area Demolished (Units 8 & 20)	7,099 sqm

Carparking - Total Existing	547
less Carspaces leased to Units 8 & 20	74

Total remaining carparking	473
----------------------------	-----

Carparking - Total Existing	547
Carparking lost to Road and Hardstand	148

Carparking remaining	399
----------------------	-----

Proposed New Carparking Deck (2 lev)	186
Proposed New Carparking on Site 2	74

	260
--	-----

Total Proposed Carparking	659
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Site 1	Units 2-7, 16-21
--------	------------------

Total Warehouse (excl unit 20)	12,545 sqm
Total Office (excl unit 20)	9,353 sqm

Carparking Existing	297
less Carspaces leased to Unit 20	39

Total remaining carparking	258
----------------------------	-----

Total required by council	391
---------------------------	-----

Total Proposed Carparking	393
---------------------------	-----

Site 2	Units 8-12
--------	------------

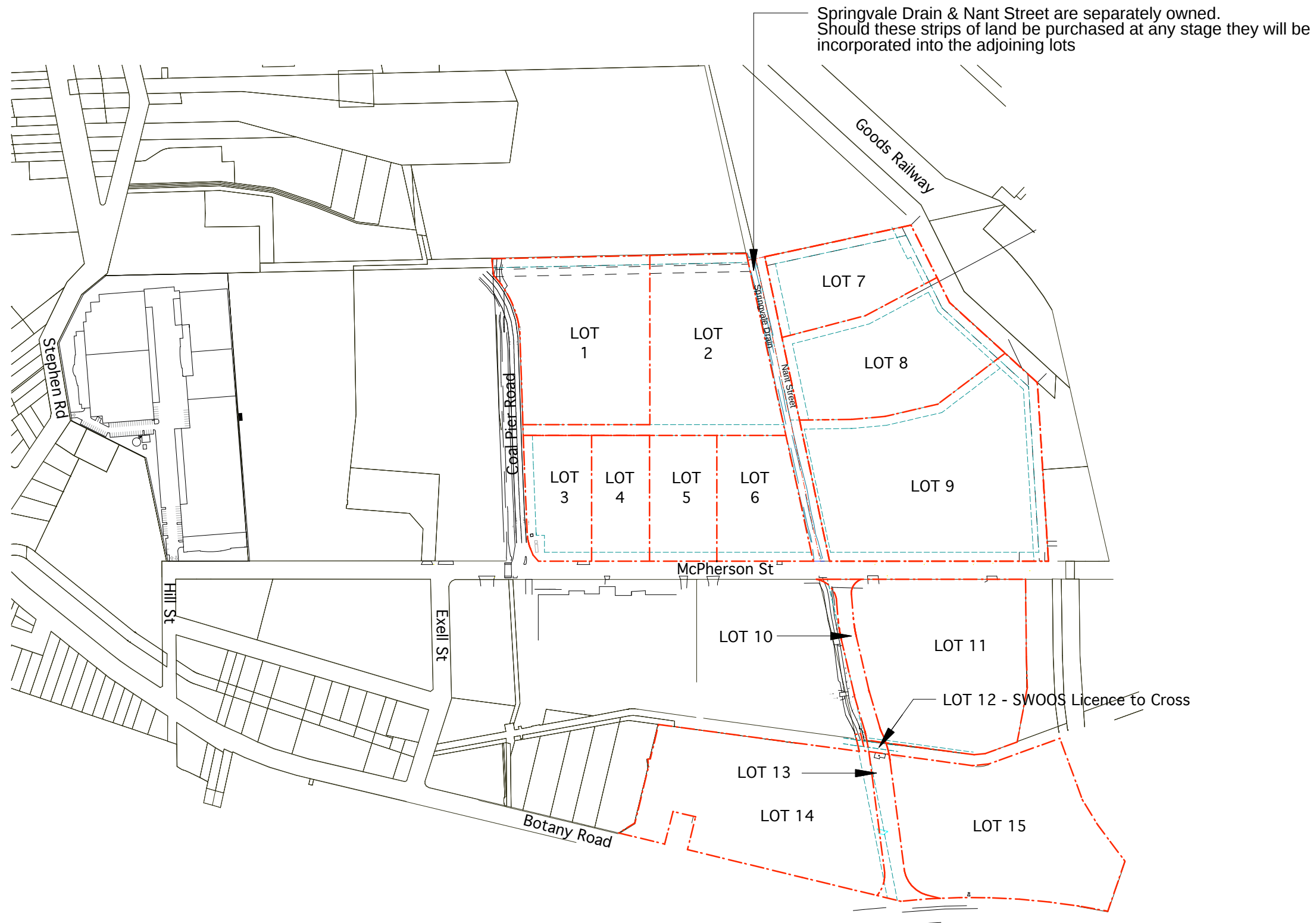
Total Warehouse (excl unit 8)	15,610 sqm
Total Office (excl unit 8)	5,321 sqm

Carparking Existing	250
less Carspaces leased to Unit 8	35

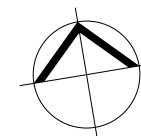
Total remaining carparking	215
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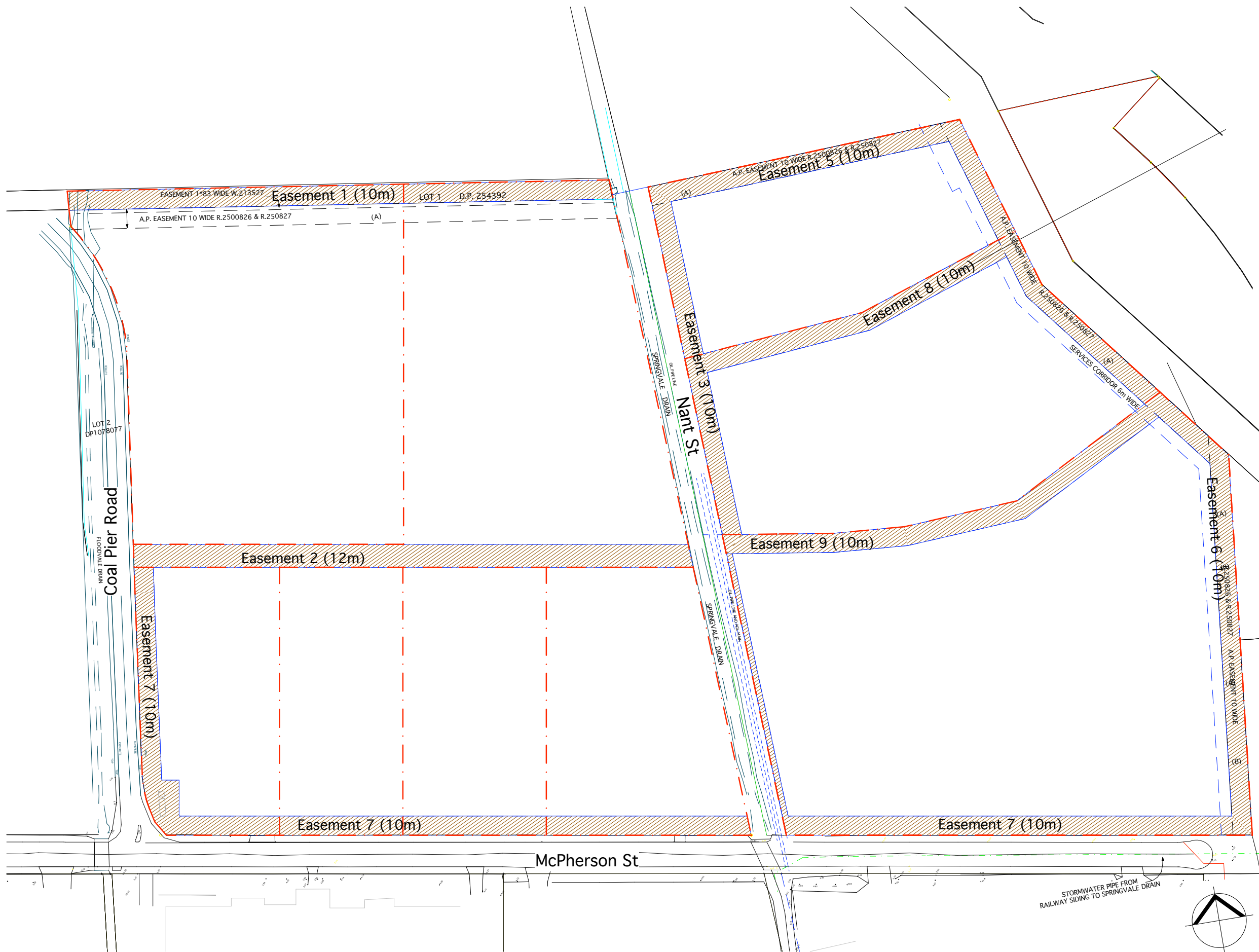
Total required by council	328
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Total Proposed Carparking	266
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Lot Area Schedule	
Lot 1	2.802 ha
Lot 2	2.770 ha
Lot 3	1.013 ha
Lot 4	0.899 ha
Lot 5	1.047 ha
Lot 6	1.284 ha
Lot 7	1.462 ha
Lot 8	2.381 ha
Lot 9	4.630 ha
Lot 10	0.333 ha
Lot 11	3.346 ha
Lot 12	0.270 ha
Lot 13	0.406 ha
Lot 14	3.638 ha
Lot 15	3.533 ha
Springvale Drain	0.289 ha
Nant Street	0.347 ha





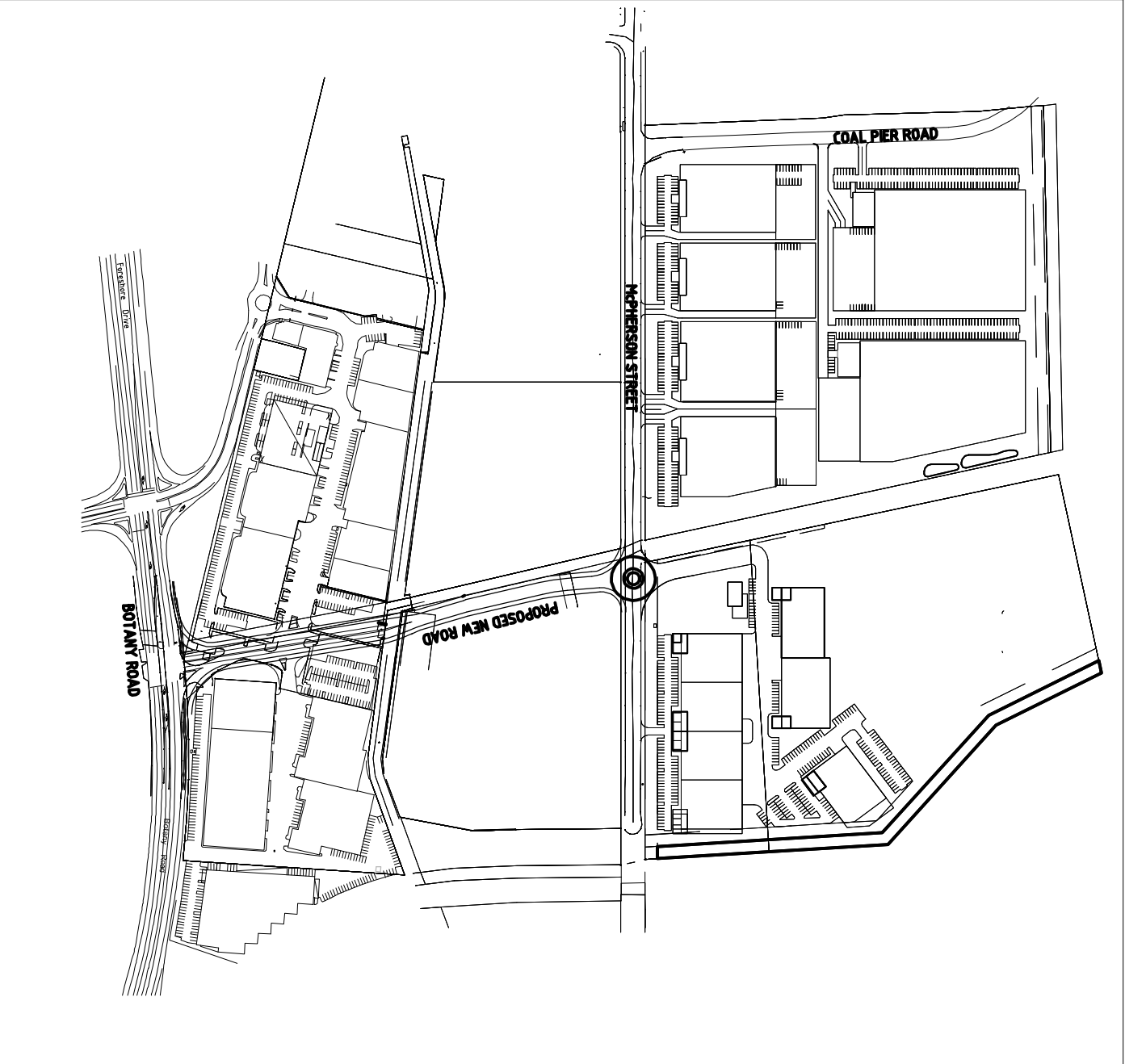
Area Schedule	
Easement 1	2,850 sqm
Easement 2	3,490 sqm
Easement 3	1,765 sqm
Easement 4	440 sqm
Easement 5	1,570 sqm
Easement 6	4,160 sqm
Easement 7	6,940 sqm
Easement 8	1,630 sqm
Easement 9	2,420 sqm
Total Easements (14%)	25,235 sqm
Total Site	182,880 sqm
Less Easements	25,235 sqm
	157,645 sqm

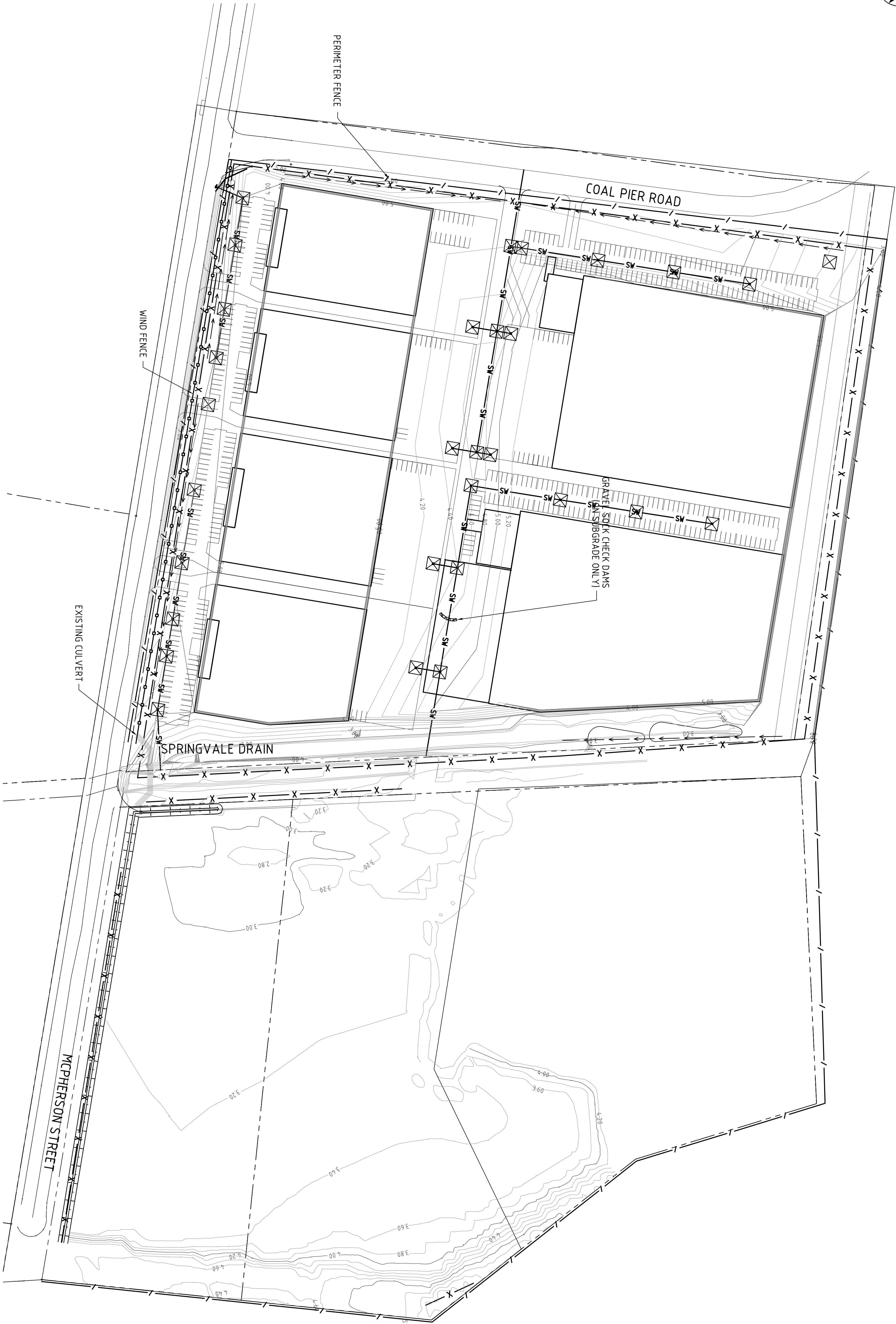
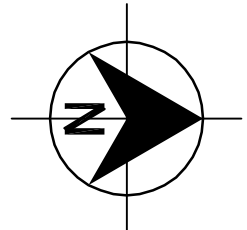
SOUTHLANDS CIVIL WORKS

DRAWING INDEX

<u>DRG NO</u>	<u>TITLE</u>
C000	COVER SHEET AND LOCALITY PLAN
C001	GENERAL NOTES AND LEGEND
C002	EROSION AND SEDIMENT CONTROL PLAN - STAGE 1
C003	EROSION AND SEDIMENT CONTROL PLAN - STAGE 2
C004	EROSION AND SEDIMENT CONTROL DETAILS
C010	BULK EARTHWORKS PLAN - STAGE 1
C011	BULK EARTHWORKS PLAN - STAGE 2
C020	BULK EARTHWORKS CROSS SECTIONS - STAGE 1
C021	BULK EARTHWORKS CROSS SECTIONS - STAGE 2
C031	NEW ENTRY ROAD-STAGE 2
C050	STORMWATER LAYOUT PLAN - STAGE 1 - SHEET 1 OF 2
C051	STORMWATER LAYOUT PLAN - STAGE 1 - SHEET 2 OF 2
C052	STORMWATER LAYOUT PLAN - STAGE 2
C101	SERVICES GENERAL ARRANGEMENT - SHEET 1 OF 2
C102	SERVICES GENERAL ARRANGEMENT - SHEET 2 OF 2

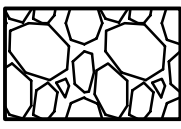
LOCALITY PLAN





- LEGEND**
- 

GRAVEL SOCK



STABILISED SITE ACCESS



BOUNDARY FENCE



WIND FENCE



SEDIMENT FENCE



CATCH DRAIN



GEOTEXTILE
STORMWATER
INLET FILTER

PLAN VIEW
SCALE 1:1000

05	01.12.10	SPRINGVALE DRAIN CONTOURS AMENDED	BL		
04	17.11.10	COAL PIER ROAD ADDED	BL		
03	02.11.10	UPDATED MODELLING INCORPORATED	BL		
02	28.09.07	ISSUED FOR DA-APPROVAL	MD		
01	08.05.07	ISSUED FOR PRE-DA APPROVAL	MD		
Rev.	Date	Revision Details	Drn	Ver.	App.



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Email: enquiry@ap.aurecongroup.com

Client:	ORICA
Architect:	

Project:	SOUTHLANDS INDUSTRIAL ESTATE
----------	---------------------------------

Drawn	Signed	Date
BL		
Designed	Signed	Date
RD		
Verified	Signed	Date
Approved	Signed	Date

Drawing Title:	EROSION AND SEDIMENT CONTROL PLAN STAGE 1
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**FOR APPROVAL
NOT FOR CONSTRUCTION**

Project No

204617

Scale

1:1000

Sheet Size

A1

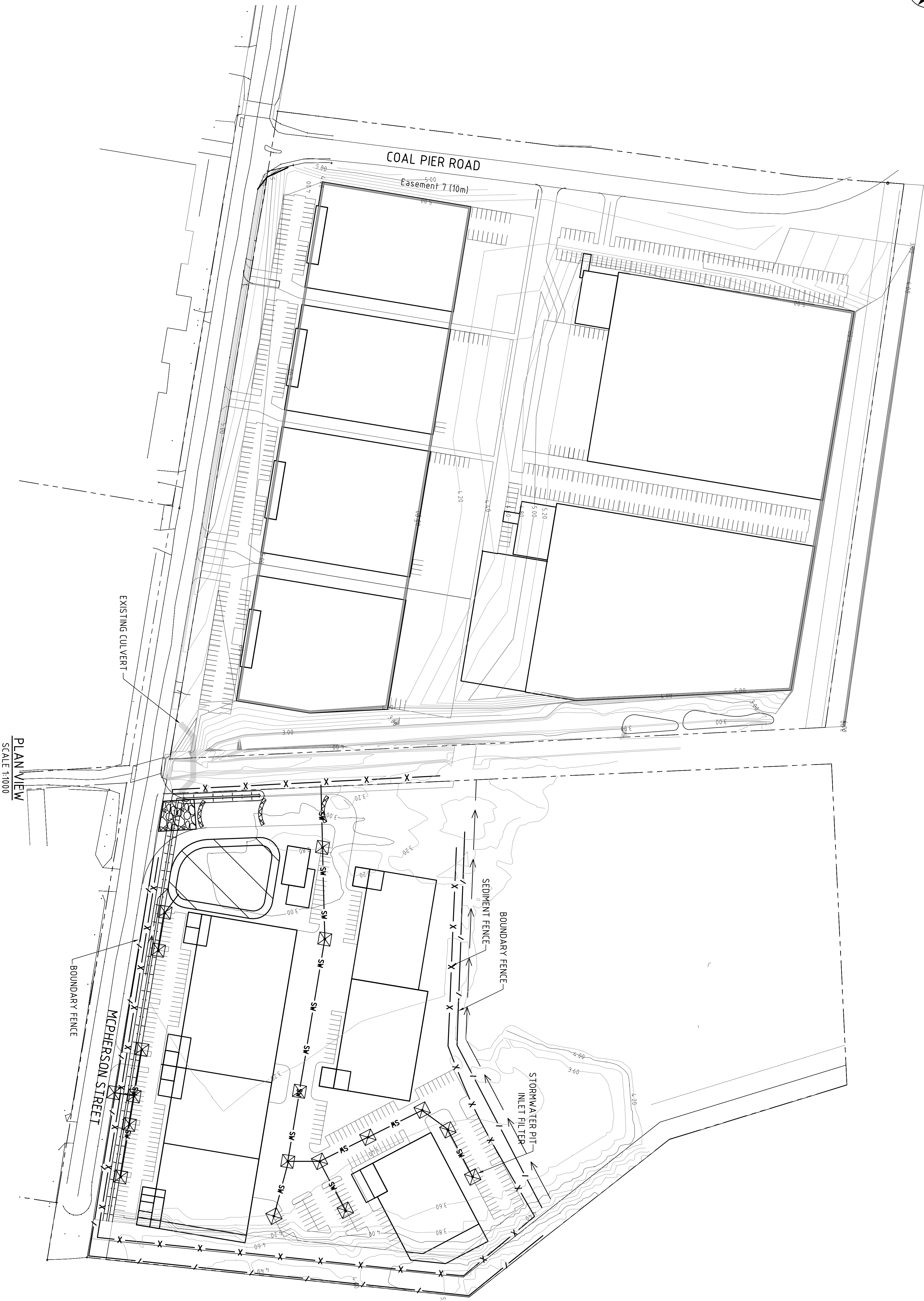
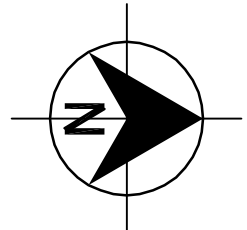
Drawing No

C-002

Rev.

05

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PLAN VIEW
SCALE 1:1000

- GRAVEL SOCK
- STABILISED SITE ACCESS
- BOUNDARY FENCE
- SEDIMENT FENCE
- CATCH DRAIN
- DETENTION BASIN
- GEOTEXTILE
STORMWATER
INLET FILTER

04	01.12.10	SPRINGVALE DRAIN CONTOURS AMENDED	BL		
03	17.11.10	INTERNAL ROADS ADDED	BL		
02	02.11.10	UPDATED MODELLING INCORPORATED	BL		
01	30.10.07	ISSUED FOR DA APPROVAL	MD		
Rev.	Date	Revision Details	Dwn	Ver.	App.

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Email: corp@aurecongroup.com

Client:	ORICA
Architect:	

Project:		SOUTHLANDS INDUSTRIAL ESTATE	
Drawn	Signed	Date	Drawing Title: EROSION AND SEDIMENT CONTROL PLAN STAGE 2
BL			
Designed	Signed	Date	
RD			
Verified	Signed	Date	
Approved	Signed	Date	

FOR APPROVAL
NOT FOR CONSTRUCTION

Project No

204617

Scale

1:1000

Sheet Size

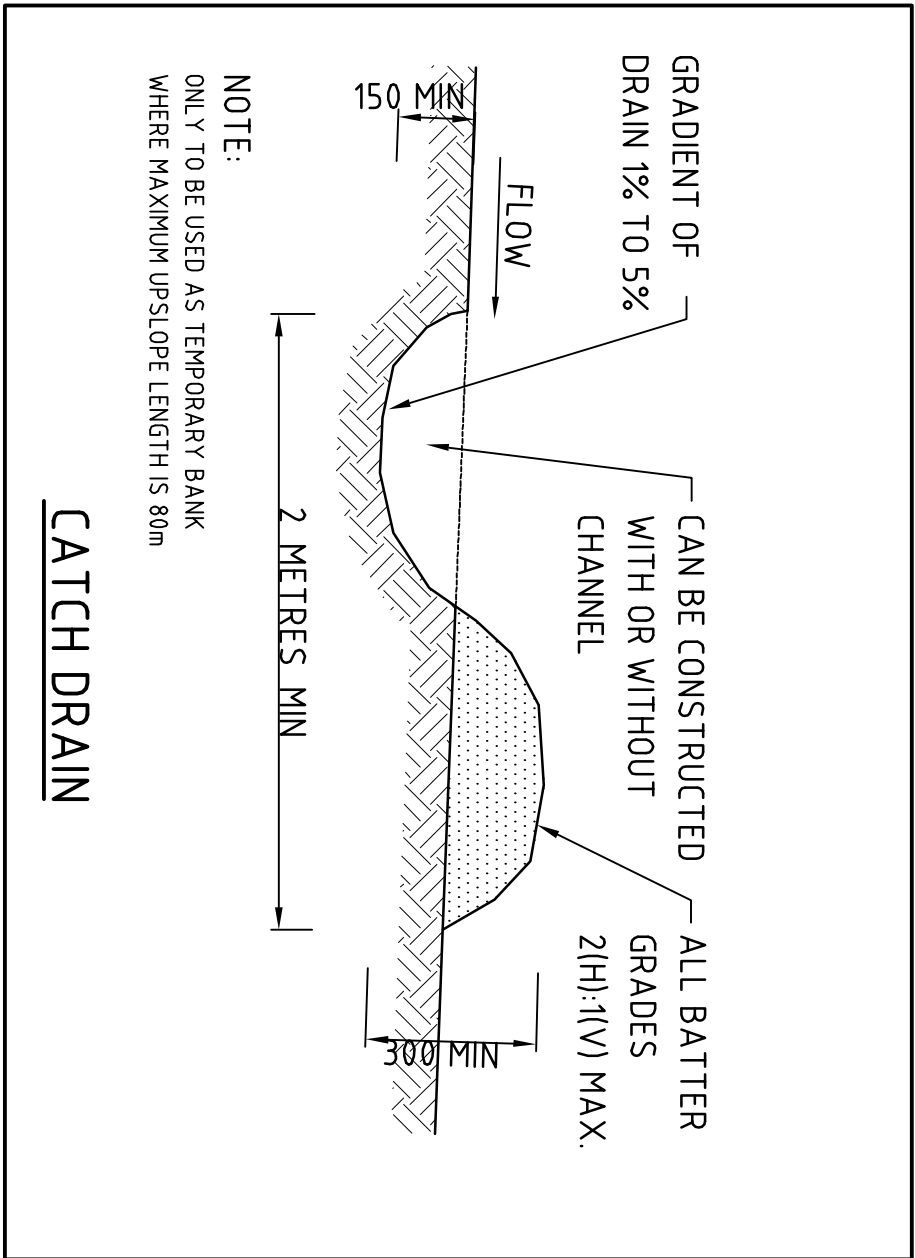
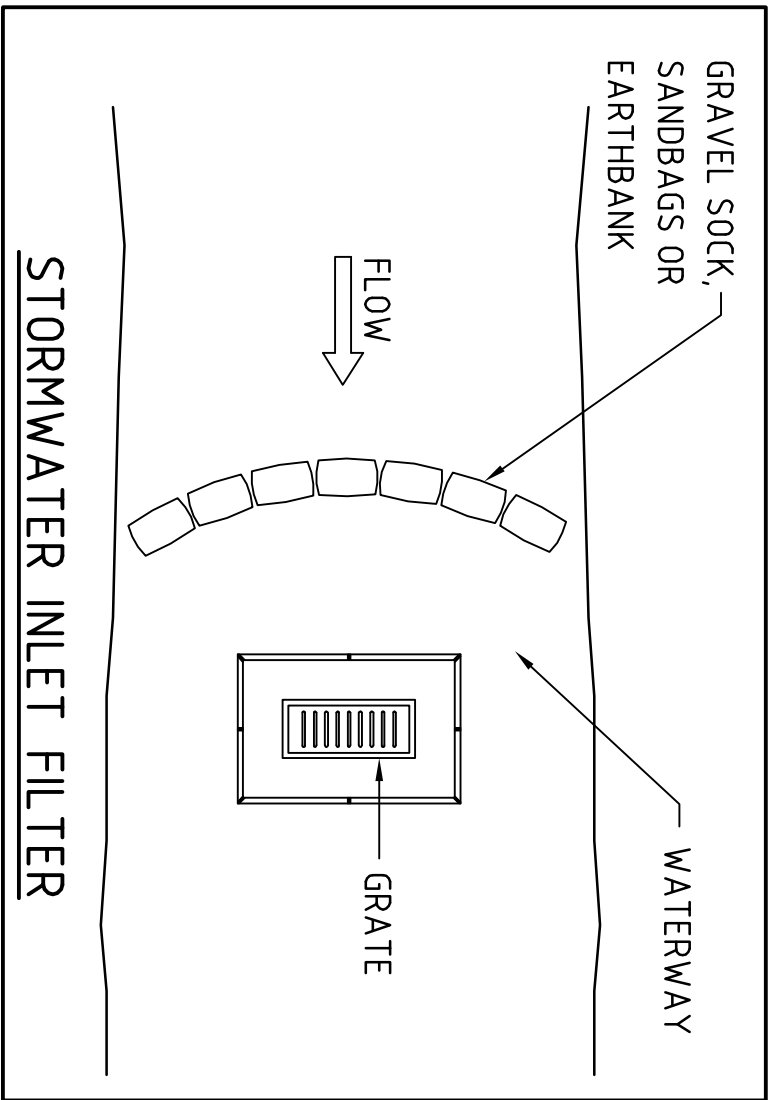
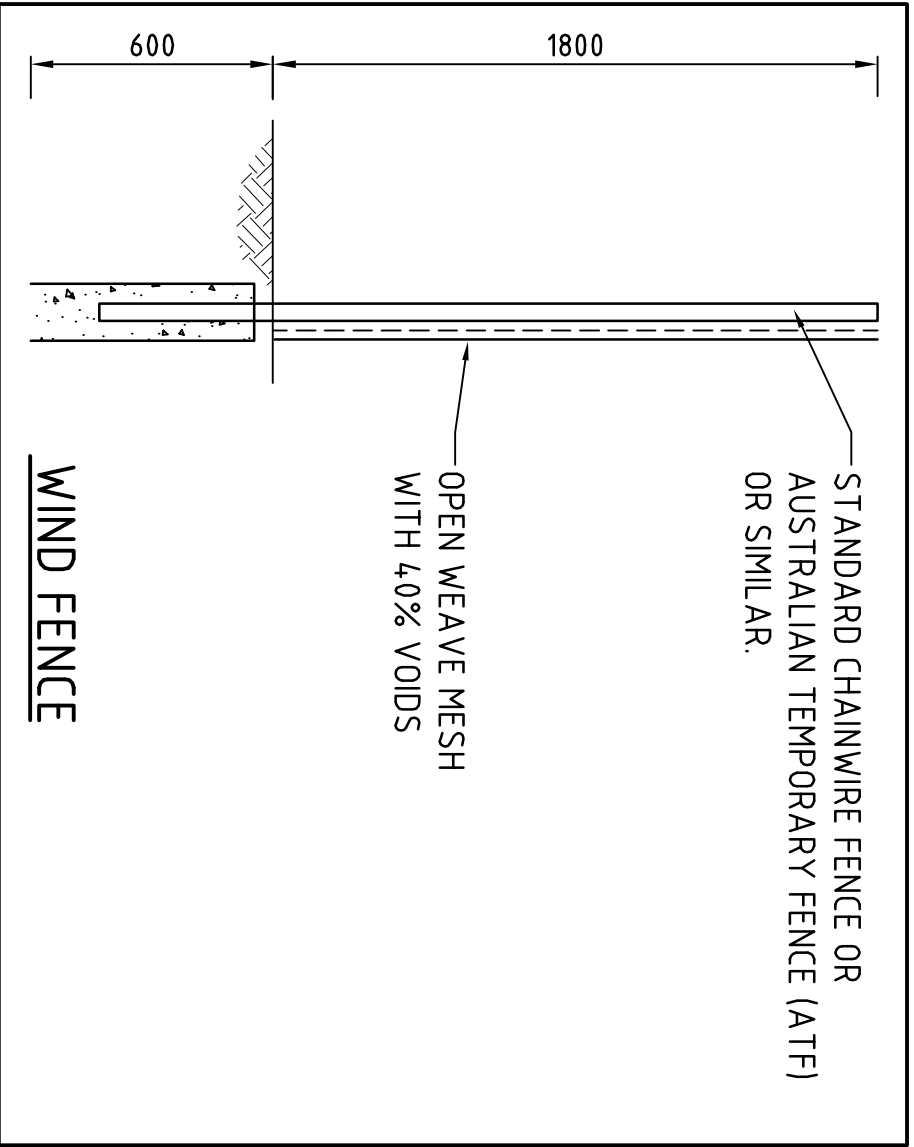
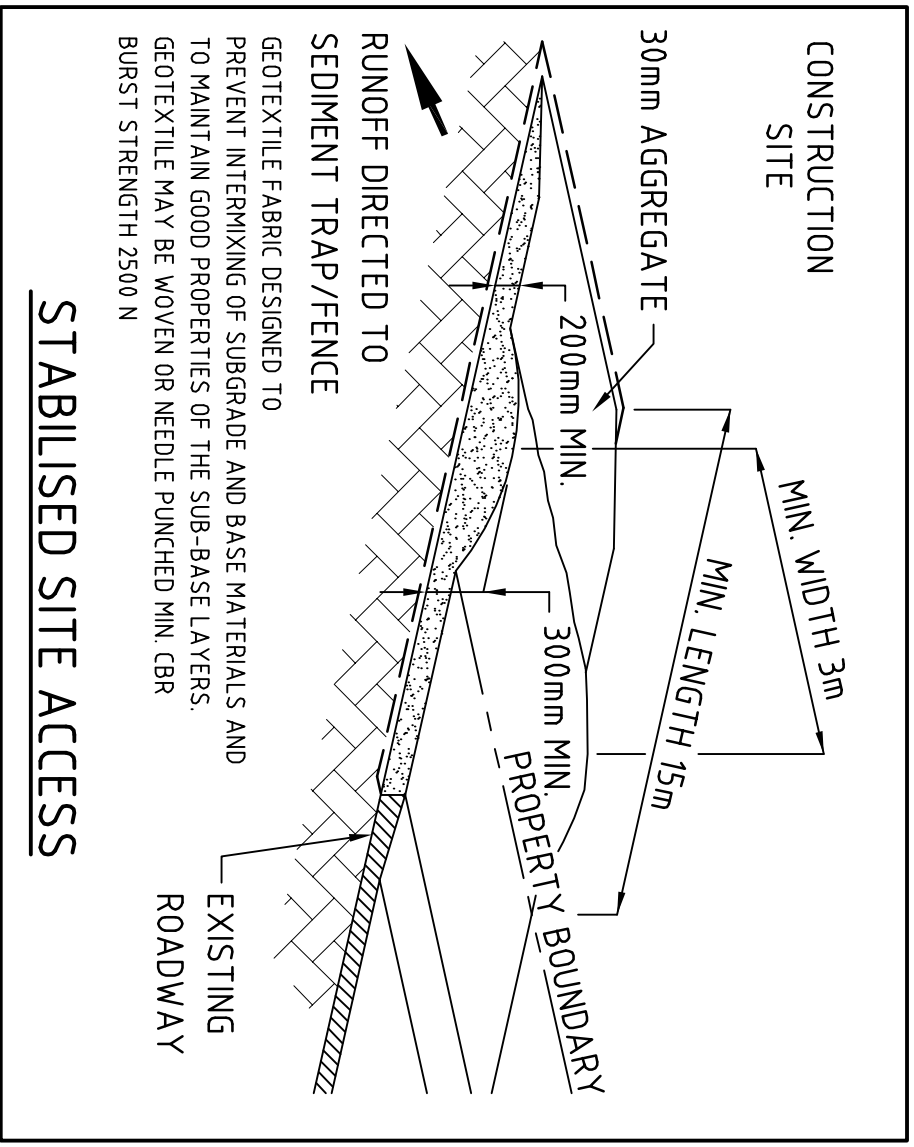
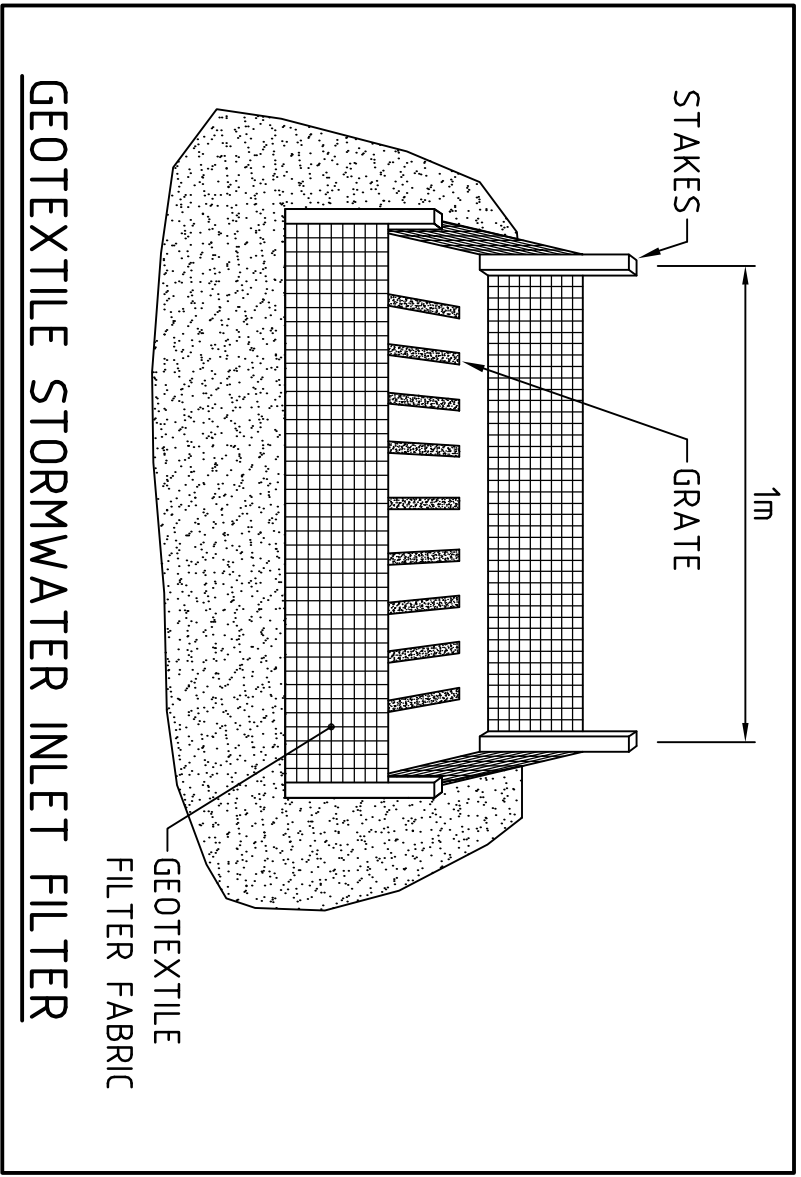
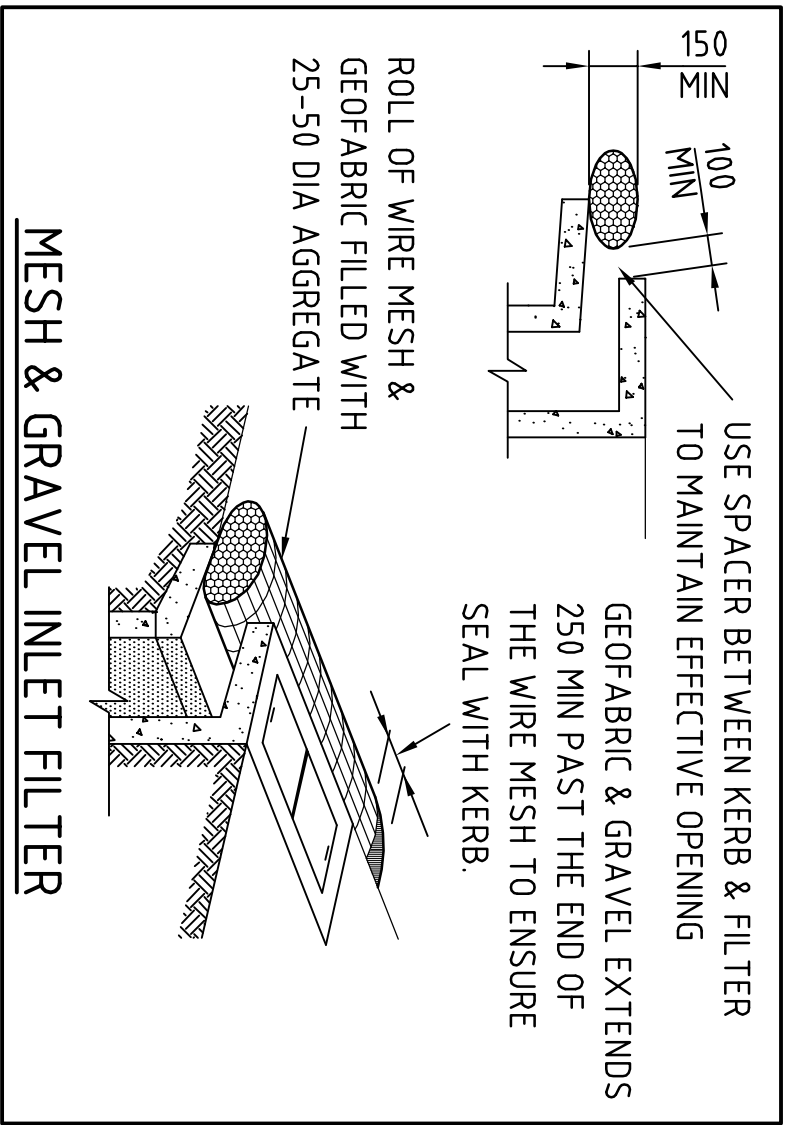
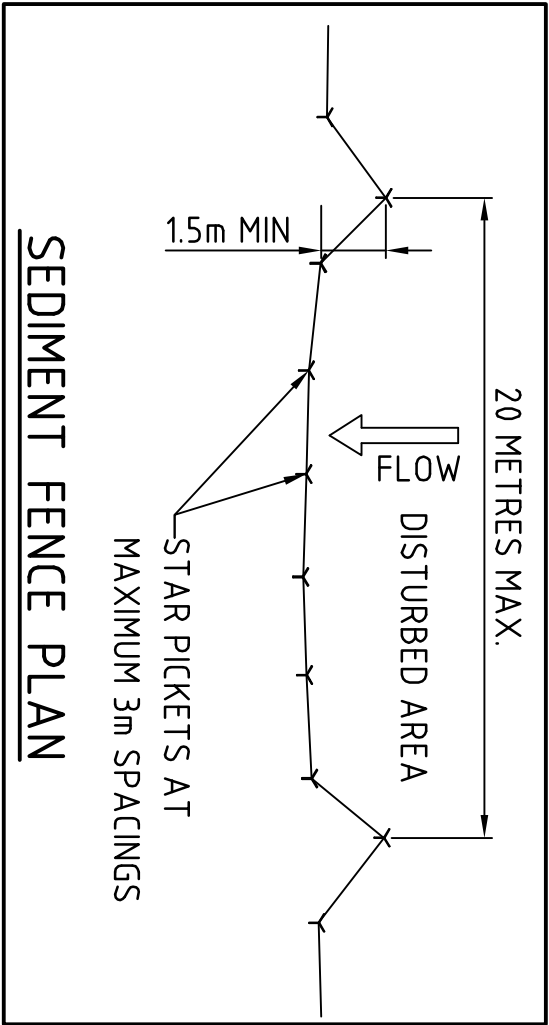
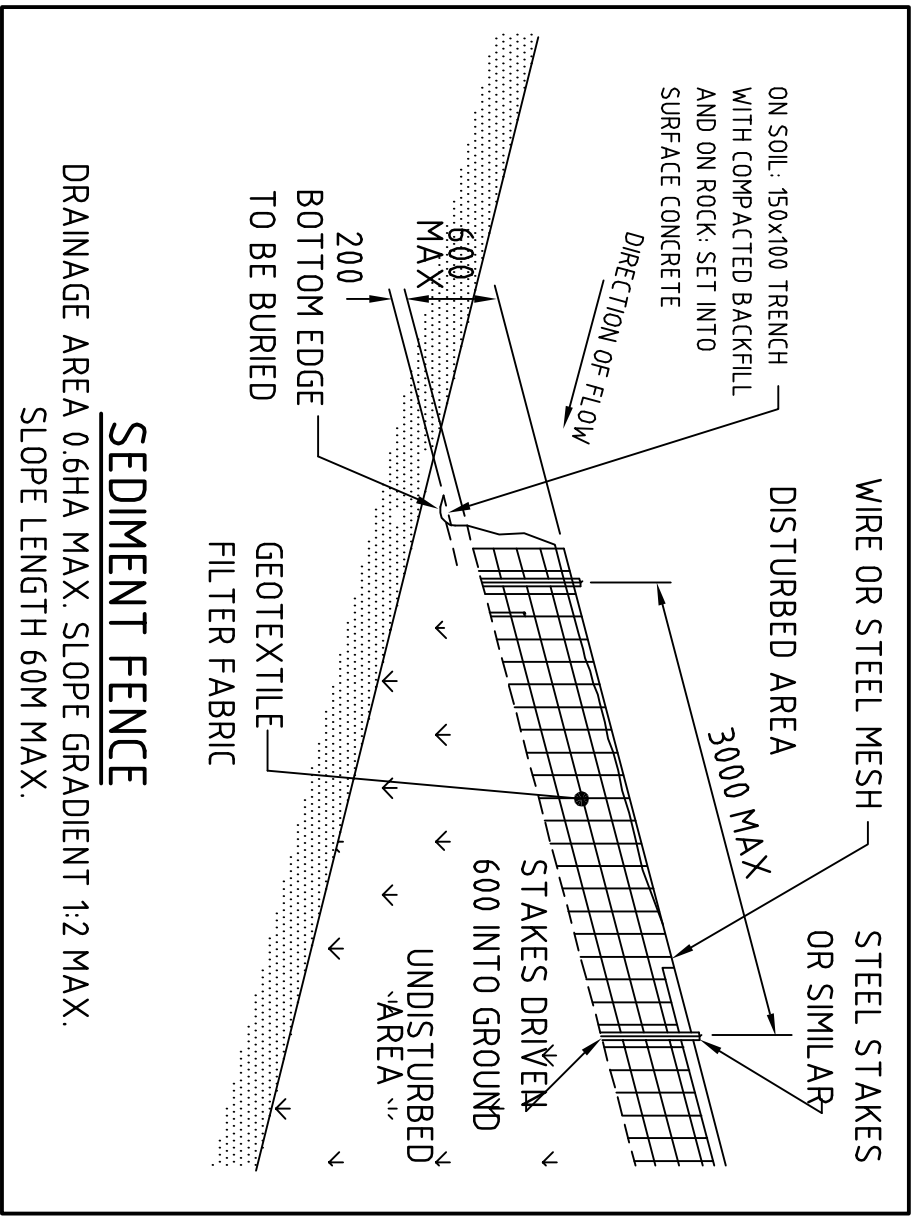
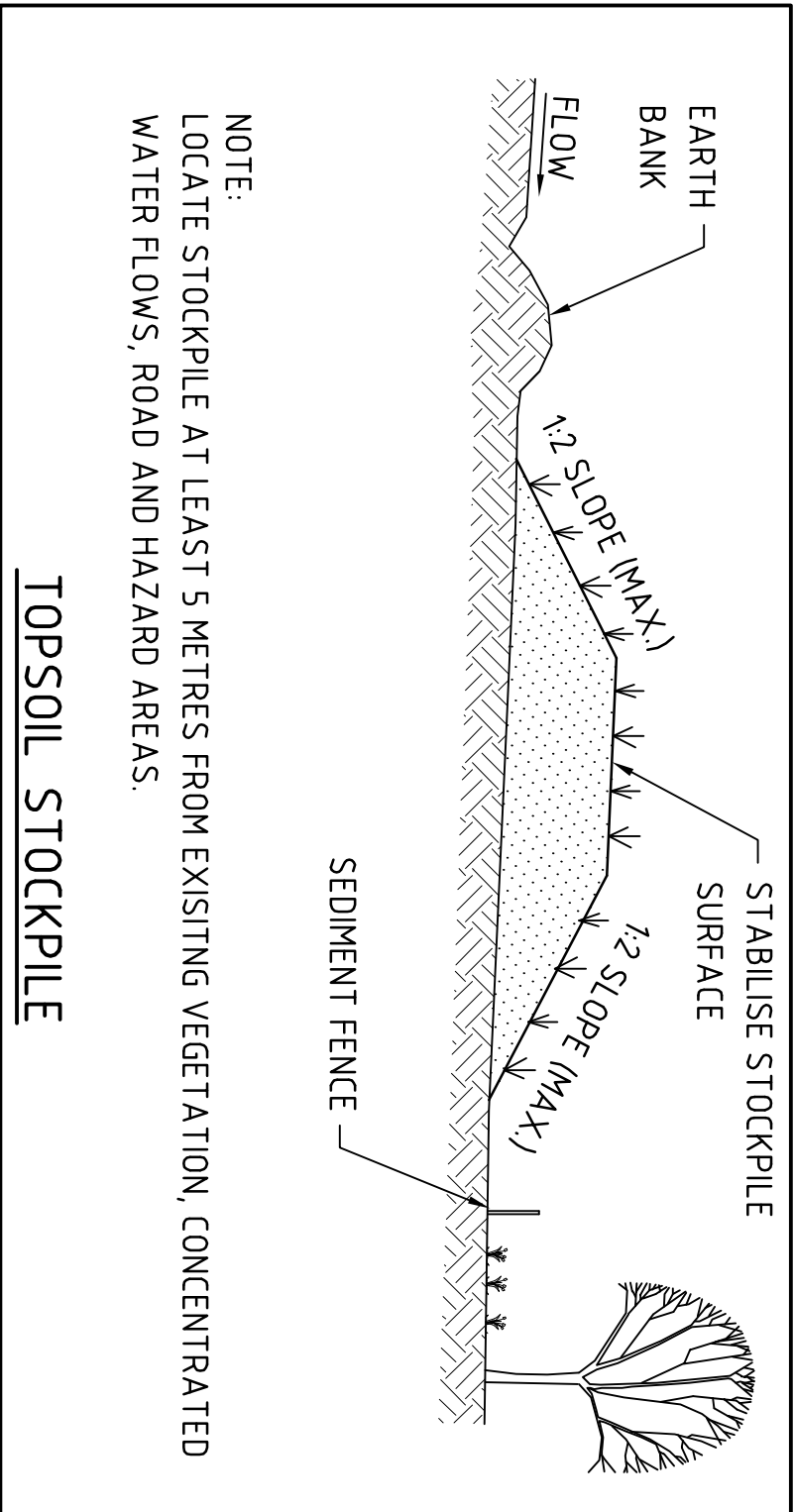
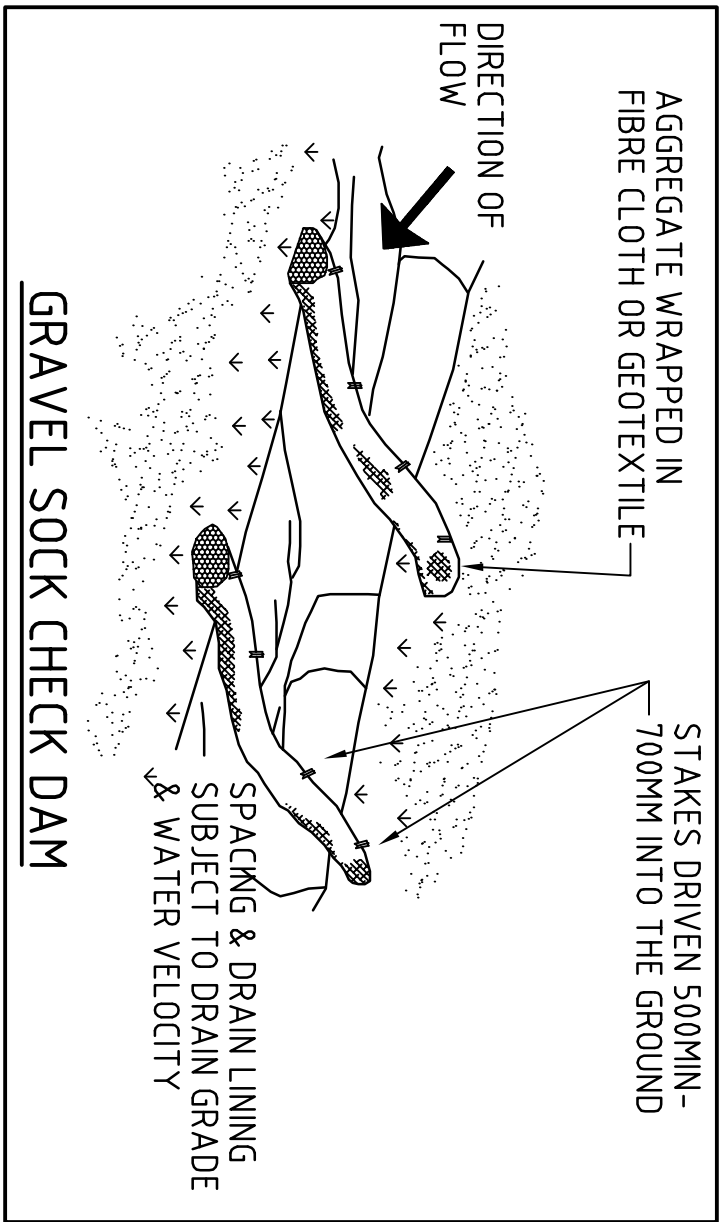
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Drawing No

C-003

Rev.

04



02	28.09.07	ISSUED FOR DA APPROVAL	MD		
01	08.05.07	ISSUED FOR PRE-DA APPROVAL	MD		
Rev.	Date	Revision Details	Drn	Ver.	App.



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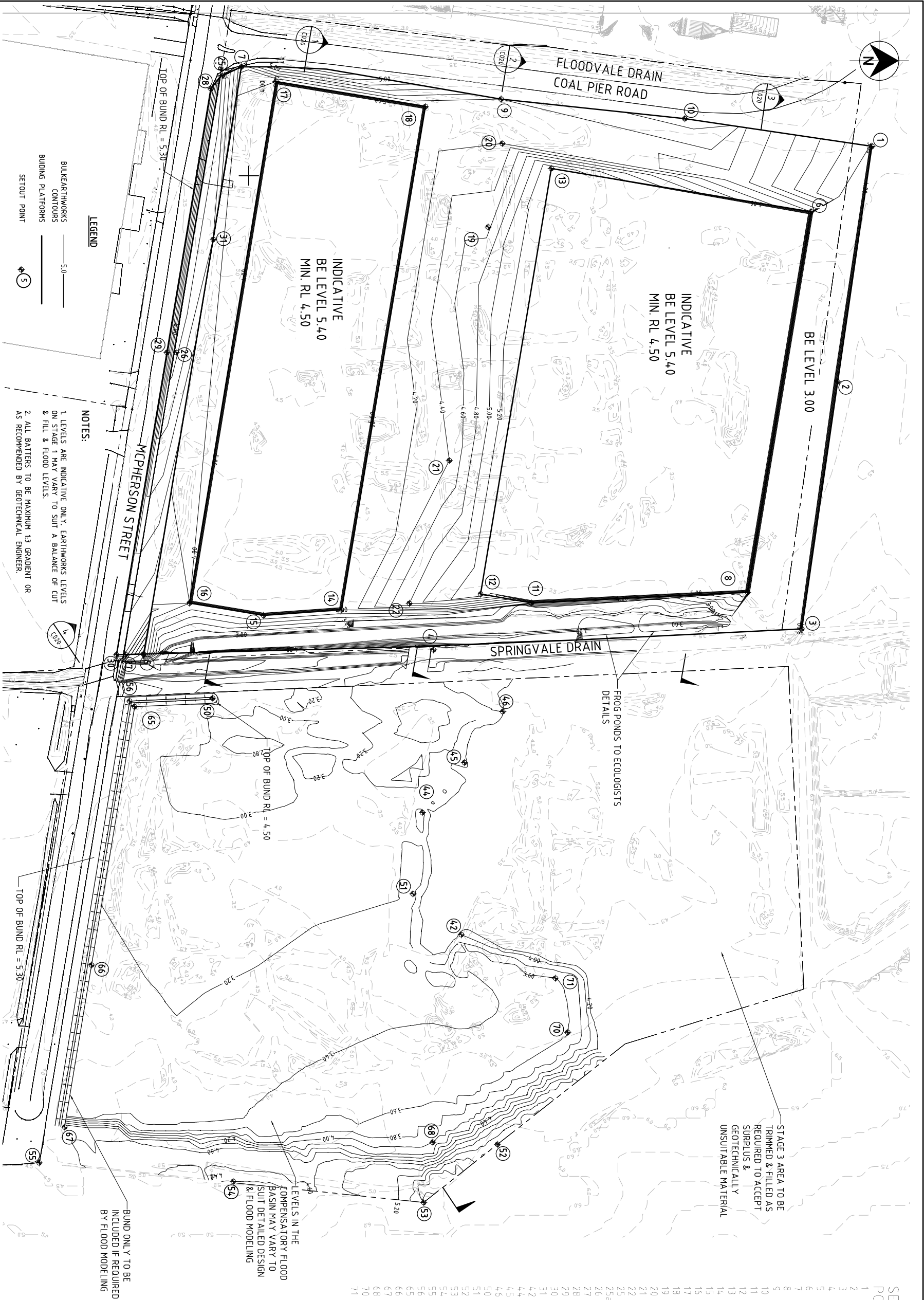
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Client:	ORICA
Architect:	

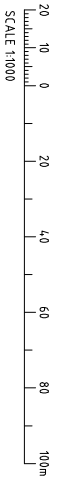
Project:	SOUTHLANDS INDUSTRIAL ESTATE		
	Drawn	Signed	Date
	MD		
	Designed SV	Signed	Date
	Verified	Signed	Date
	Approved	Signed	Date

Drawing Title:	CIVIL WORKS EROSION AND SEDIMENT CONTROL DETAILS
----------------	--

Project No.	204617
Scale	AS SHOWN
Sheet Size	A1
Drawing No.	C004
Rev.	02



PLAN VIEW
SCALE 1:1000



SETOUT TABLE		
POINT	EASTING	NORTHING RL
1	334884.869	6241420.685
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3	335133.245	6241384.577
4	335142.324	6241186.777
5	335146.180	6241045.863
6	334918.559	6241389.340
7	334844.000	6241096.274
8	335114.460	6241356.695
9	334860.569	6241229.807
10	334870.664	6241324.374
11	335119.838	6241245.411
12	335115.287	6241219.372
13	334896.287	6241255.689
14	335123.457	624114.7774
15	335126.291	6241107.588
16	335119.946	6241069.508
17	334851.510	6241114.017
18	334864.331	6241190.956
19	334926.427	6241223.161
20	334883.394	6241230.421
21	335046.582	6241203.187
22	335118.339	6241180.867
23	334852.311	6241114.402
24	334848.529	6241086.434
25	334990.986	6241062.619
26	335146.430	6241036.591
27	334855.262	6241080.544
28	334990.989	6241057.901
29	335146.554	6241031.953
30	334931.049	6241079.916
31	335288.848	6241207.585
32	335227.778	6241210.957
33	335202.051	6241189.334
34	335175.803	6241230.691
35	335167.154	6241079.665
36	335267.853	6241182.734
37	335398.499	6241228.016
38	335428.416	6241190.015
39	335417.444	6241090.312
40	335408.255	6240995.123
41	335168.637	6241036.950
42	335177.526	6241039.510
43	335304.493	6241017.356
44	335387.885	6241003.529
45	335395.679	6241192.930
46	335339.106	6241262.379
47	335311.242	6241256.052

01	01.12.10	SPRINGVALE DRAIN CONTOURS AMENDED	BL		
02	17.11.10	BUND WALL FINALISED	BL		
03	02.11.10	UPDATED MODELLING INCORPORATED	BL		
04	13.11.06	REVISED BATTER GRADIENTS	MD		
05	28.09.07	ISSUED FOR DA APPROVAL	MD		
06	26.07.11	RL'S AMENDED	BH		
07	25.07.11	ADDITIONAL NOTES ADDED	BH		
Rev	Date	Revision Details	Dwn	Ver	App

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Facsimile: +61 2 8880 3658
Email: enquiry@arecongroup.com

Client:	ORICA
Project:	SOUTHLANDS INDUSTRIAL ESTATE

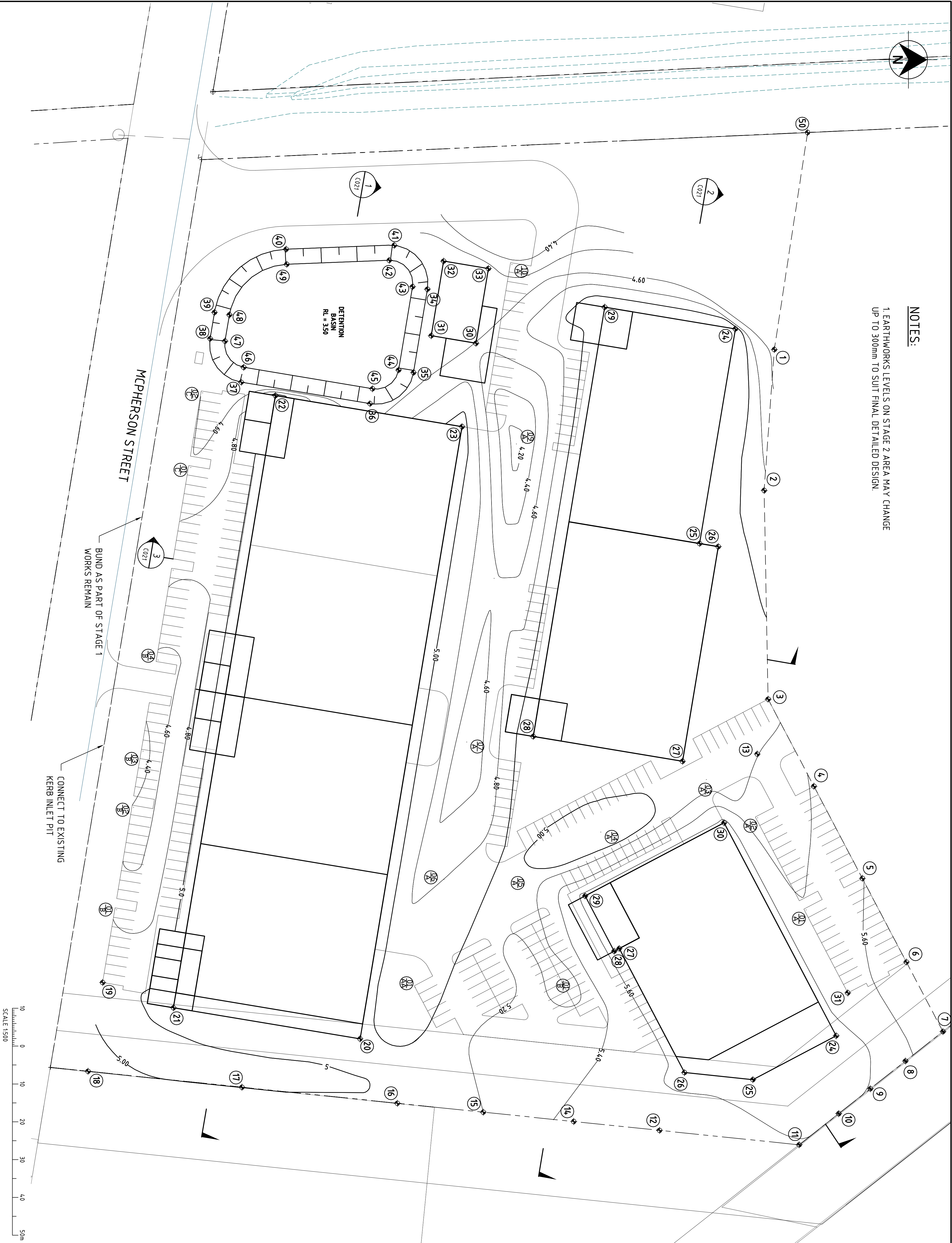
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MD		
Designed	Signed	Date
RD		
Verified	Signed	Date
Approved	Signed	Date

Drawing Title:	INDICATIVE BULK EARTHWORKS PLAN STAGE 1
----------------	--

Project No:	204617
Scale:	1:1000
Drawing No:	C-010
Rev:	09

NOTES:

1. EARTHWORKS LEVELS ON STAGE 2 AREA MAY CHANGE
UP TO 300mm TO SUIT FINAL DETAILED DESIGN.

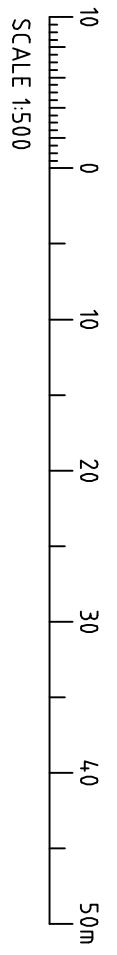


SETOUT TABLE
POINT EASTING

		NORTHING RL
1	335218.262	624.1183.44.2
2	335255.484	624.1180.752
3	335310.655	624.1181.796
4	335333.664	624.1193.903
5	335358.001	624.1206.708
6	335380.126	624.1218.34.9
7	335398.499	624.1228.016
8	3354.06.287	624.1218.092
9	3354.13.609	624.1208.874
10	3354.20.187	624.1200.4.68
11	3354.28.416	624.1190.015
12	3354.24.604	624.1153.111
13	335325.166	624.1178.934
14	3354.22.260	624.1130.4.31
15	3354.19.791624.1106.525	5.20
16	3354.17.443	624.1083.816
17	3354.13.196	624.104.2.753
18	3354.08.987	624.1002.065
19	335385.534	624.1005.931
20	3354.00.419	624.1073.966
21	335392.200	624.1024.645
22	335230.430	624.1051.595
23	335238.649	624.1100.921
24	335212.809	624.1173.151
25	335269.527	624.1163.700
26	335270.349	624.1168.632
27	335327.067	624.1159.181
28	335320.492	624.1119.775
29	335207.056	624.1138.627
30	33534.3.326	624.1170.172
31	335214.622	624.1092.760
32	335194.894	624.1096.047
33	335196.865	624.1107.884
34	335202.315	624.1091.769
35	335224.345	624.1088.098
36	335232.566	624.1076.590
37	335226.894	624.104.2.546
38	335215.387	624.1034.333
39	335208.441	624.1035.4.91
40	335191.743624.1054.4.35	4.50
41	335190.729	624.1082.980
42	335194.678	624.1081.669
43	335201.657	624.1087.873
44	335223.689	624.1084.152
45	335228.619	624.1077.247
46	335222.948	624.104.3.211
47	335216.045	624.1038.278
48	335209.098	624.1039.4.36
49	335195.738	624.1054.592

STORMWATER SETOUT TABLE
POINT EASTING

		NORTHING RL
01/A	335366.337	624.1191.826
02/A	335342.000	624.1179.021
03/A	335331.762	624.1165.708
04/A	335345.790	624.1137.569
05/A	335358.253	624.1112.546
06/A	335358.253	624.1096.105
07/A	335321.984	624.1102.14.9
08/A	33524.3.213	624.1115.274
09/A	335195.811624.1114.089	4.30
10/A	335164.340	624.1118.234
01/A	335386.584	624.1088.917
01/B	335383.979	624.1126.082
01/C	335378.4.35	624.1104.4.04
02/B	335339.193	624.1014.101
03/B	335324.399	624.1016.573
04/B	335300.334	624.1020.583
02/BB	335300.334	624.1020.583
01/BB	335276.558	624.1024.545
01/C	335249.4.32	624.1029.065
02/C	335229.704	624.1032.352
HW/C	335223.677	624.1036.844



Rev.	Date	Revision Details	Drn	Ver.	App.
01	30.10.07	ISSUED FOR DA APPROVAL	MD		

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Client:	ORICA
Project:	SOUTHLANDS INDUSTRIAL ESTATE

Drawn	Signed	Date
MD		
Designed	Signed	Date
SV		
Verified	Signed	Date
RD		
Approved	Signed	Date

Drawing Title:	BULK EARTHWORKS PLAN STAGE 2
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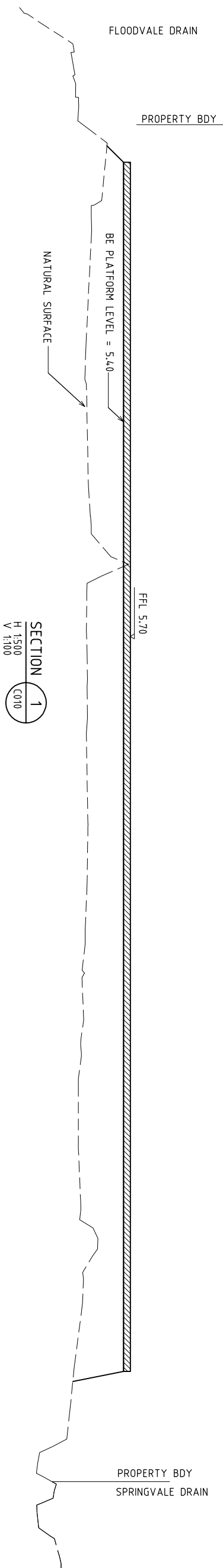
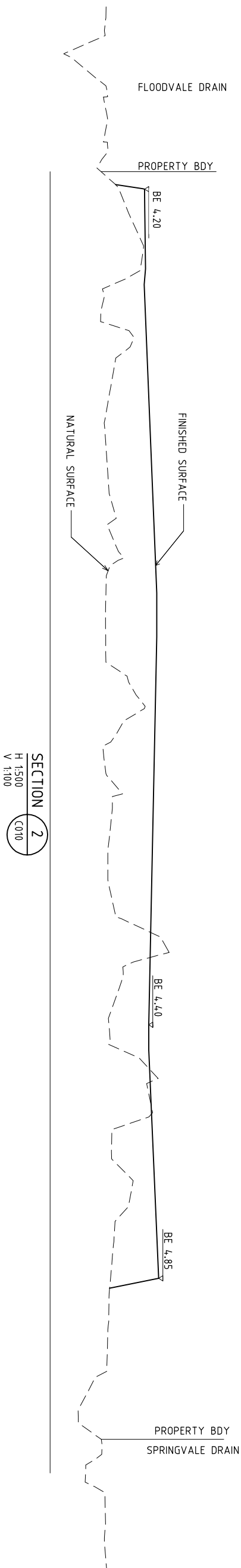
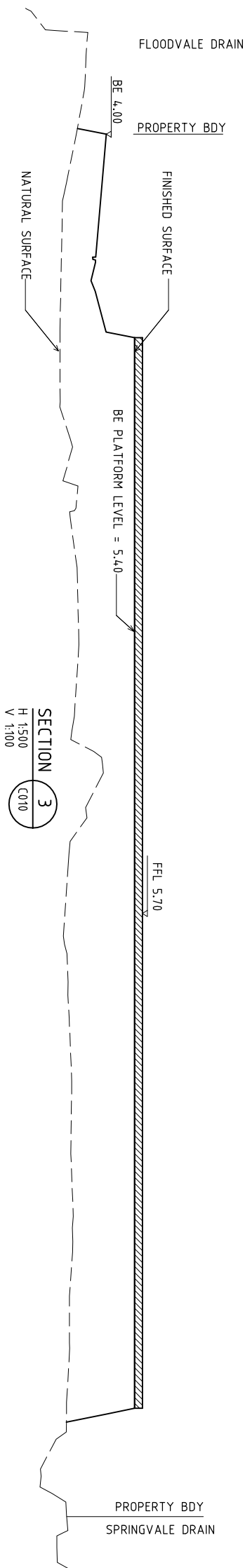
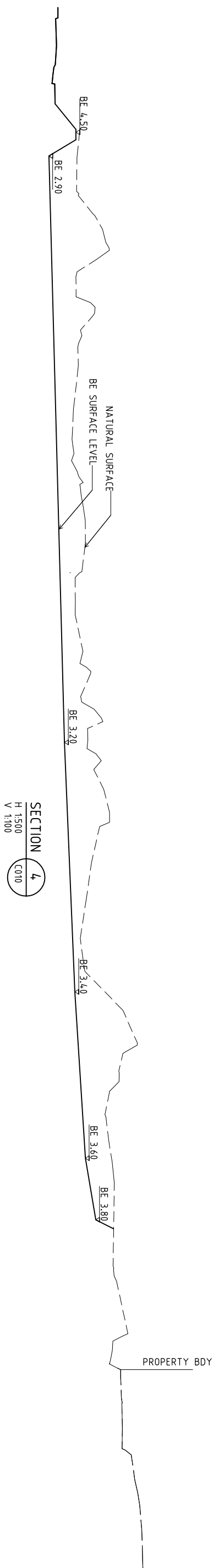
FOR APPROVAL
NOT FOR CONSTRUCTION

Project No: 204617

Scale: 1:500

Drawing No: C-011

Rev: 01



NOTE:
ALL LEVELS ARE INDICATIVE ONLY.
LEVELS MAY VARY TO SUIT A BALANCE
OF CUT & FILL & FLOOD LEVELS.

[illegible]

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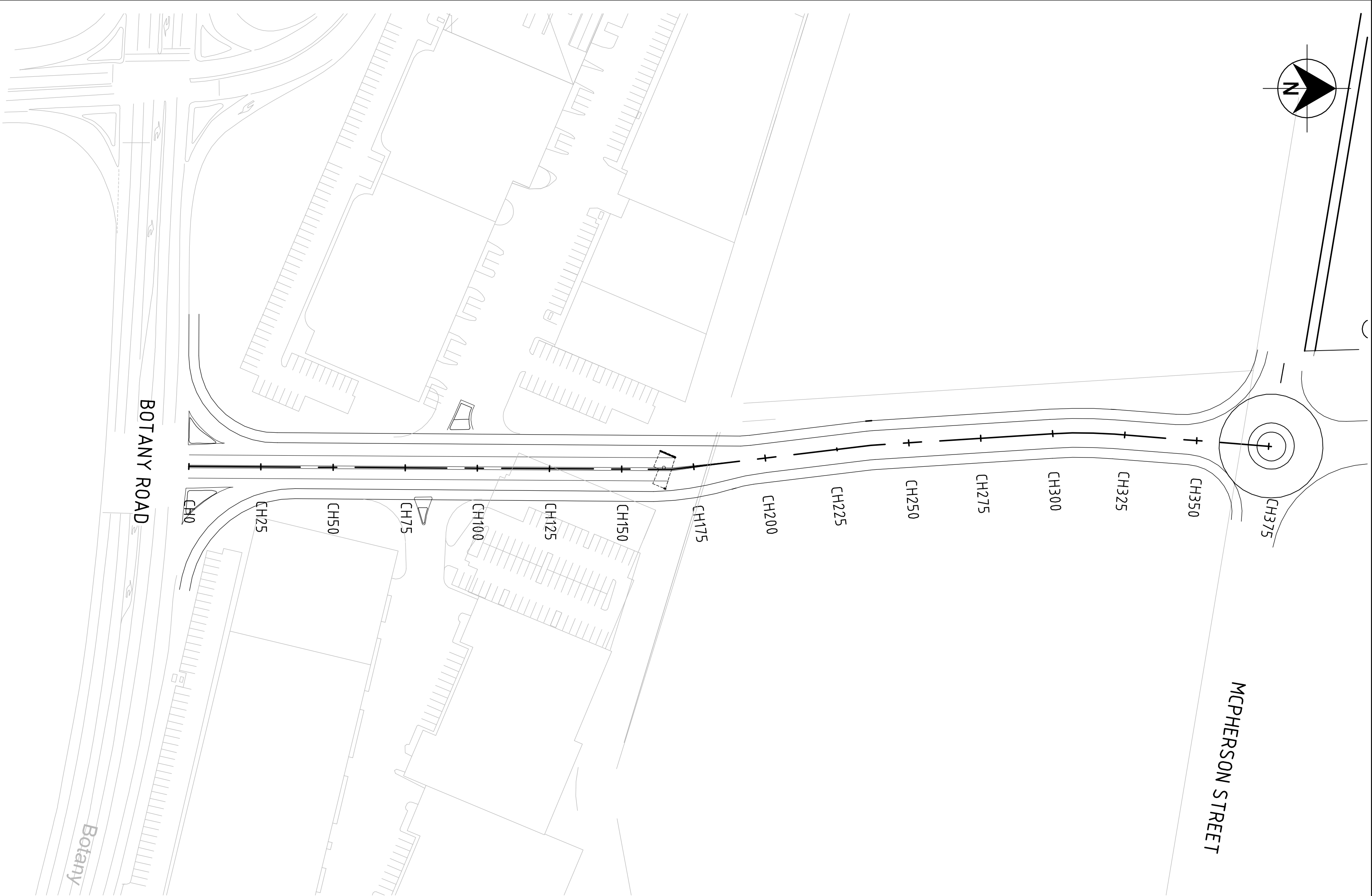
Client:	
Architect:	ORICA

Project: **SOUTHLANDS
INDUSTRIAL ESTATE**

Drum MD	Signed	Date
Designed SV	Signed	Date
Verified	Signed	Date
Approved	Signed	Date

INDICATIVE BULK EARTHWORKS
PLAN
CROSS SECTIONS
STAGE 1

Project No.		204617
Scale	AS SHOWN	Sheet Size A1
Drawing No.	C020	Rev. 06



PLAN VIEW
SCALE 1:1000

04	13.11.07	TYPICAL CROSS SECTION AMENDED	MD		
03	28.09.07	ISSUED FOR DA APPROVAL	MD		
02	21.09.07	BUILDING PLATFORMS RAISED	MD		
01	08.05.07	ISSUED FOR PRE-DA APPROVAL	MD		
Rev.	Date	Revision Details	Dwn	Ver.	App.



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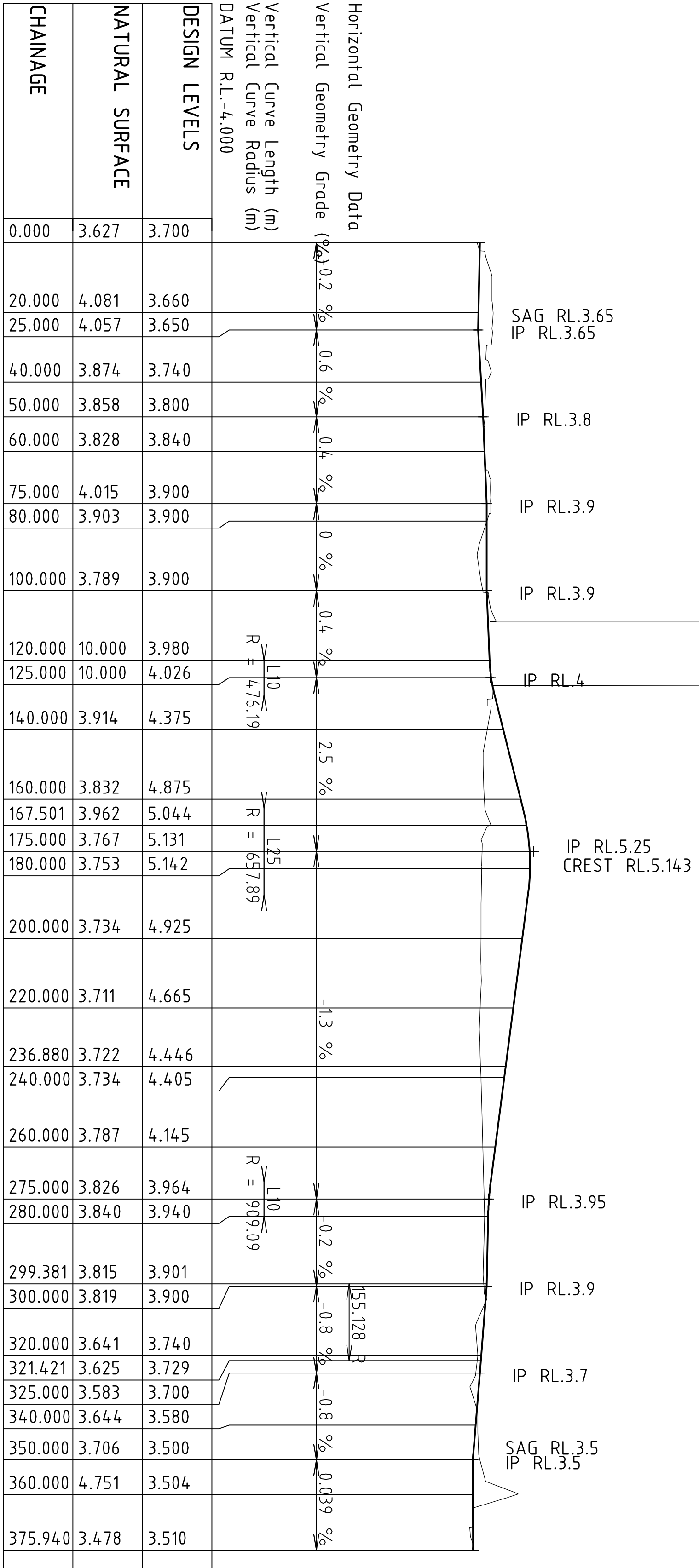
Client:	ORICA
Architect:	

Project:	SOUTHLANDS INDUSTRIAL ESTATE
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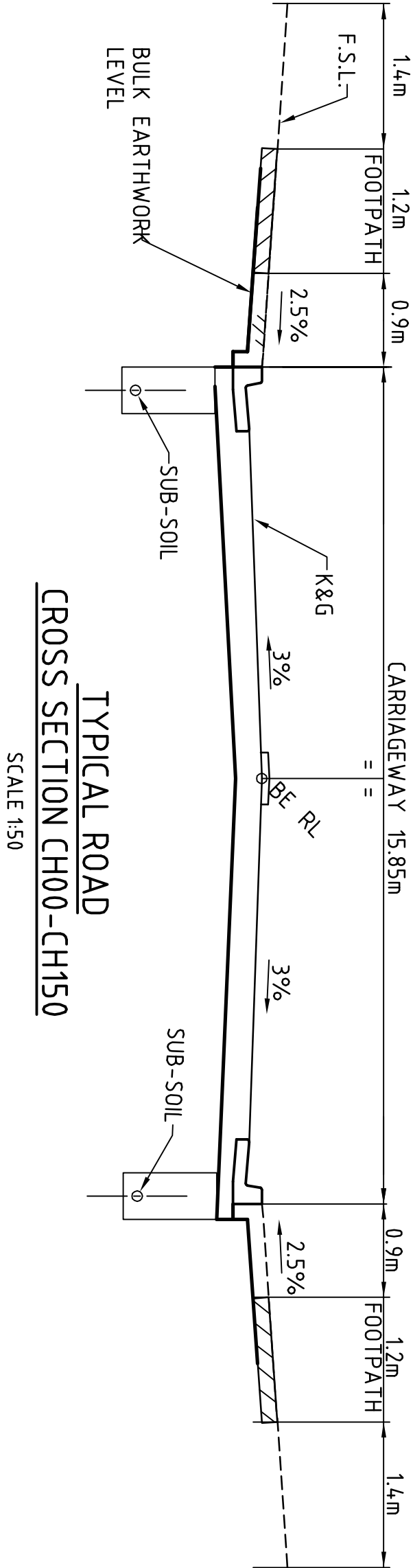
Drawn	Signed	Date
MD		
Designed	Signed	Date
RD		
Verified	Signed	Date
Approved	Signed	Date

Drawing Title:	NEW ENTRY ROAD STAGE 2
----------------	------------------------

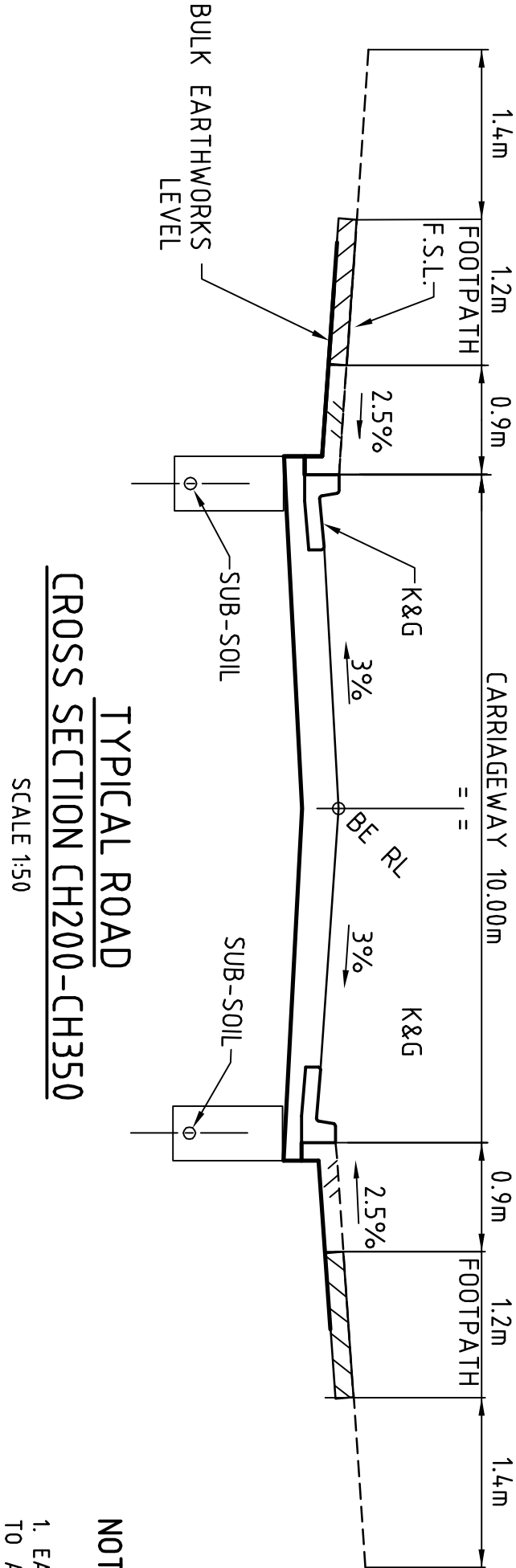
Project No	204617
Scale	1:1000
Sheet Size	A1
Drawing No	Rev.
C-031	04



LONGITUDINAL SECTION CL1
HORIZONTAL 1:1000
VERTICAL 1:100



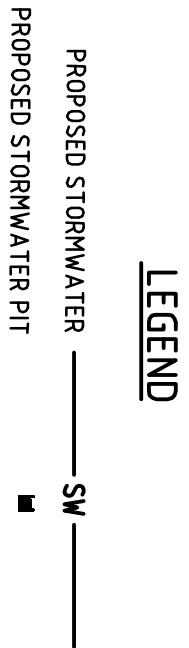
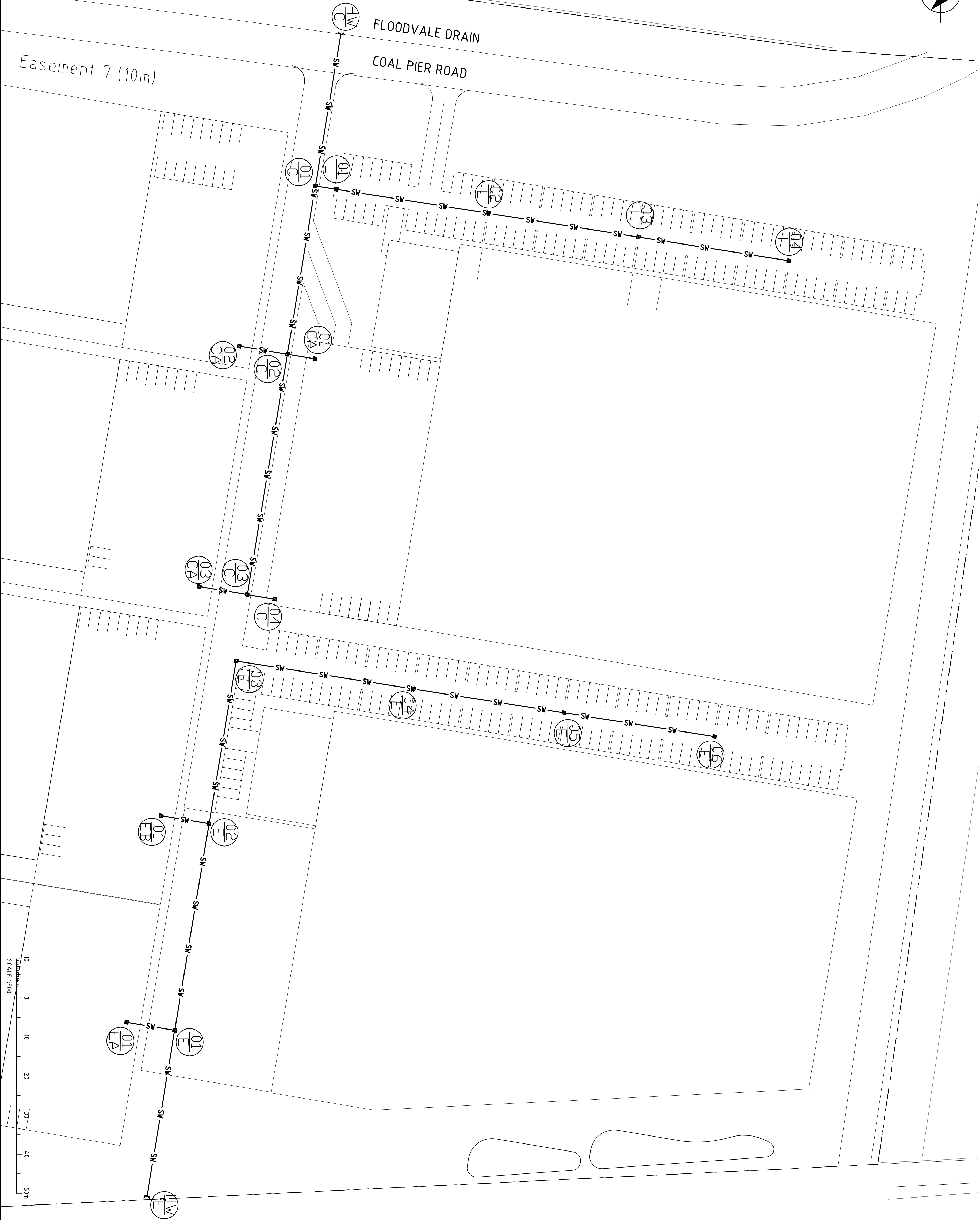
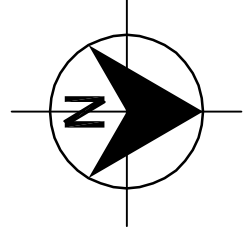
TYPICAL ROAD
CROSS SECTION CH00-CH150
SCALE 1:50



TYPICAL ROAD
CROSS SECTION CH200-CH350
SCALE 1:50

- NOTES:
- EARTHWORKS LEVELS MAY CHANGE UP TO 300mm TO ACCOMMODATE FINAL DESIGN OF BUILDING
 - THE DESIGN OF GROUND WATER TO BE DETERMINED BY CONTRACTOR ON SITE DURING THE TIME OF CONSTRUCTION

FOR APPROVAL
NOT FOR CONSTRUCTION



Rev.	Date	Revision Details	Drn	Ver.	App.
01	06.05.07	ISSUED FOR PRE-DA APPROVAL	MD		
02	28.09.07	ISSUED FOR DA APPROVAL	MD		
03	02.11.10	UPDATED MODELLING INCORPORATED	BL		



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Client:	ORICA
Architect:	

Project:		SOUTHLANDS INDUSTRIAL ESTATE		
Drawn	Signed	Date	Drawing Title: CONCEPT STORMWATER LAYOUT PLAN STAGE 1 SHEET 1 OF 2	
MD				
Designed	Signed	Date		
SV				
Verified	Signed	Date		
RD				
Approved	Signed	Date		

FOR APPROVAL
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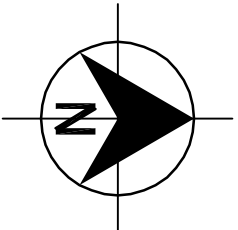
Project No. 204617

Scale 1:500

Drawing No. C-050

Rev. 03

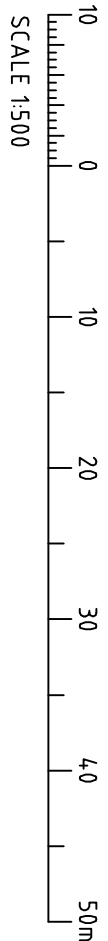
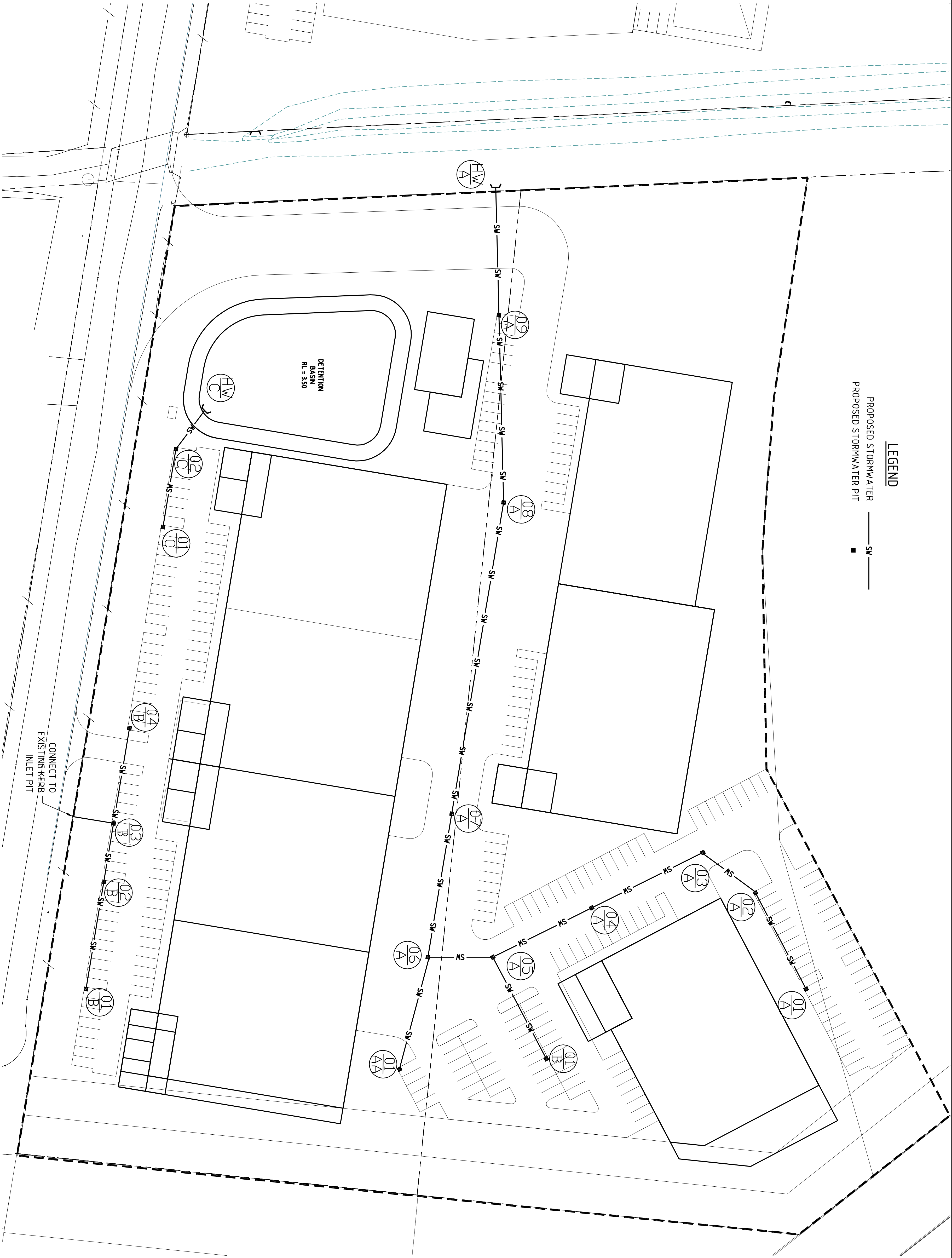
Sheet Size A1



LEGEND

PROPOSED STORMWATER — SW —
PROPOSED STORMWATER PIT ■

STORMWATER SETOUT TABLE			
POINT	EASTING	NORTHING	RL
01/A	335366.337	624.1191.826	5.40
02/A	335342.000	624.1179.021	5.25
03/A	335331.762	624.1165.708	5.10
04/A	335345.790	624.1137.569	4.80
05/A	335358.253	624.1112.546	5.00
06/A	335358.253	624.1096.105	4.80
07/A	335321.984	624.1102.149	4.40
08/A	335243.213	624.1115.274	4.10
09/A	335195.817	624.1114.089	4.30
01/AA	335164.340	624.1118.234	
01/AB	335386.584	624.1088.917	
01/BC	335383.979	624.1126.082	4.78
02/BA	335378.435	624.1104.404	4.62
02/BB	335339.193	624.1014.101	4.40
03/BA	335324.399	624.1016.573	
04/BA	335300.334	624.1020.583	4.68
02/BB	335300.334	624.1020.583	
01/BB	335276.558	624.1024.545	
01/CC	335249.432	624.1029.065	
02/CC	335229.704	624.1032.352	4.50
HW/CC	335223.677	624.1036.844	



02	02.11.10	UPDATED MODELLING INCORPORATED	BL		
01	30.10.07	ISSUED FOR DA APPROVAL	MD		
Rev.	Date	Revision Details	Drn	Ver.	App.



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Client:	ORICA
Architect:	

Project:	SOUTHLANDS INDUSTRIAL ESTATE	
Drawn	Signed	Date
MD		
SV	Signed	Date
RD	Signed	Date
Approved	Signed	Date
Drawing Title:	CONCEPT STORMWATER LAYOUT PLAN STAGE 2	

FOR APPROVAL
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Project No

204617

Scale

1:500

Drawing No

C-052

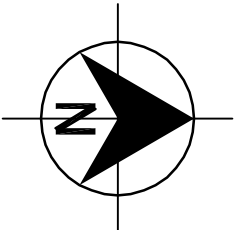
Rev.

02

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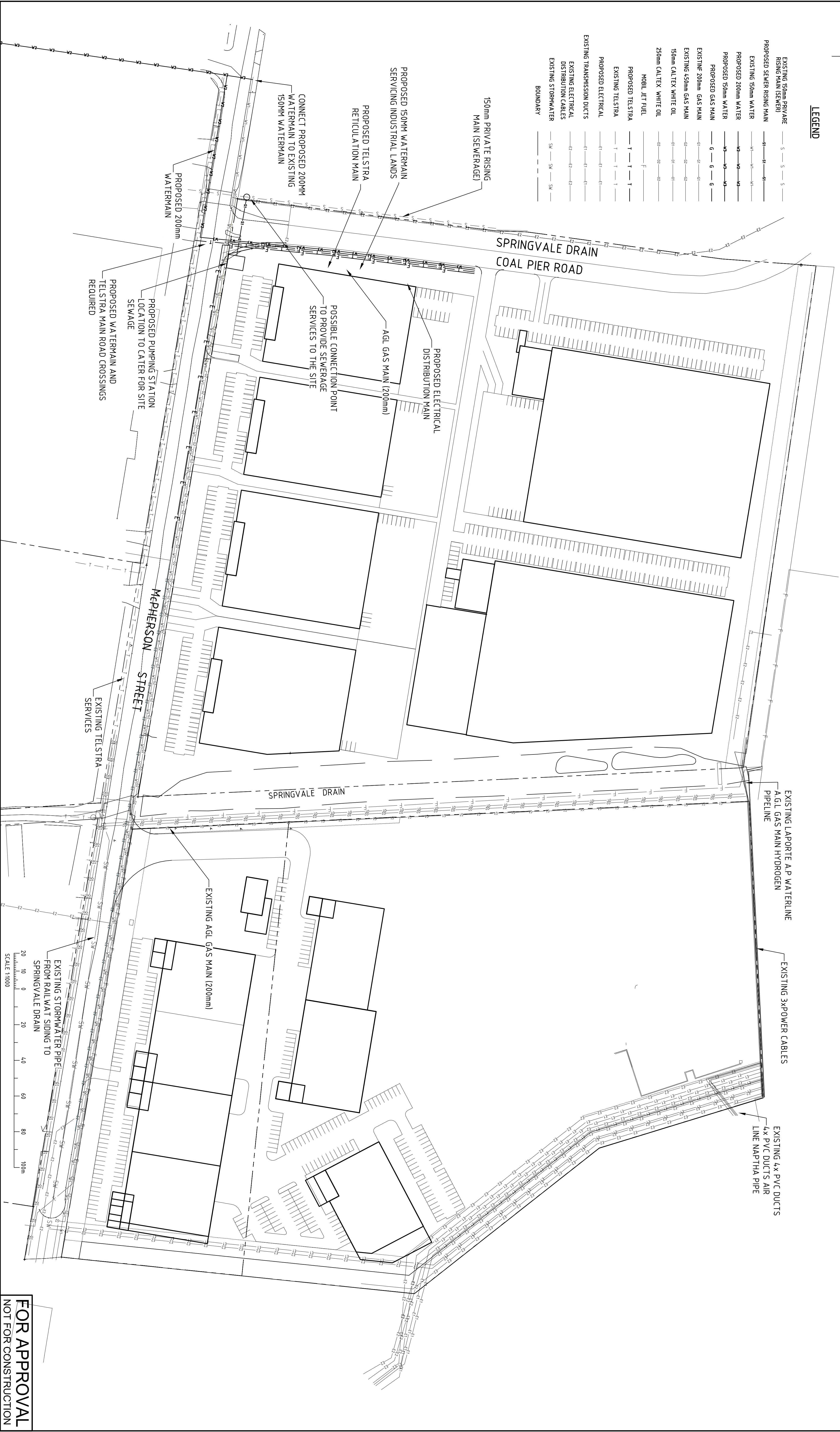
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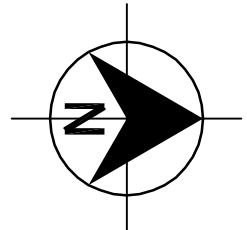


LEGEND

EXISTING 150mm PRIVATE RISING MAIN (SEWER)	— S — S — S —
PROPOSED SEWER RISING MAIN	— S1 — S1 — S1 —
EXISTING 150mm WATER	— W1 — W1 — W1 —
PROPOSED 200mm WATER	— W2 — W2 — W2 —
PROPOSED 150mm WATER	— W3 — W3 — W3 —
PROPOSED GAS MAIN	— G — G — G —
EXISTING 200mm GAS MAIN	— G1 — G1 — G1 —
EXISTING 450mm GAS MAIN	— G2 — G2 — G2 —
EXISTING 150mm GAS MAIN	— G3 — G3 — G3 —
150mm CALTEX WHITE OIL	— O1 — O1 — O1 —
250mm CALTEX WHITE OIL	— O2 — O2 — O2 —
MOBIL JET FUEL	— F —
PROPOSED TELSTRA	— T — T — T —
EXISTING TELSTRA	— T1 — T1 — T1 —
PROPOSED ELECTRICAL	— E1 — E1 — E1 —
EXISTING TRANSMISSION DUCTS	— E2 — E2 — E2 —
EXISTING ELECTRICAL DISTRIBUTION CABLES	— E3 — E3 — E3 —
EXISTING STORMWATER	— SW — SW — SW —
BOUNDARY	— — — —

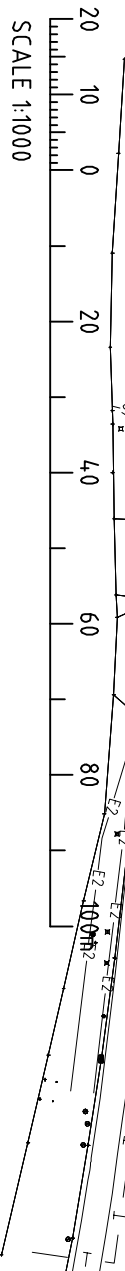
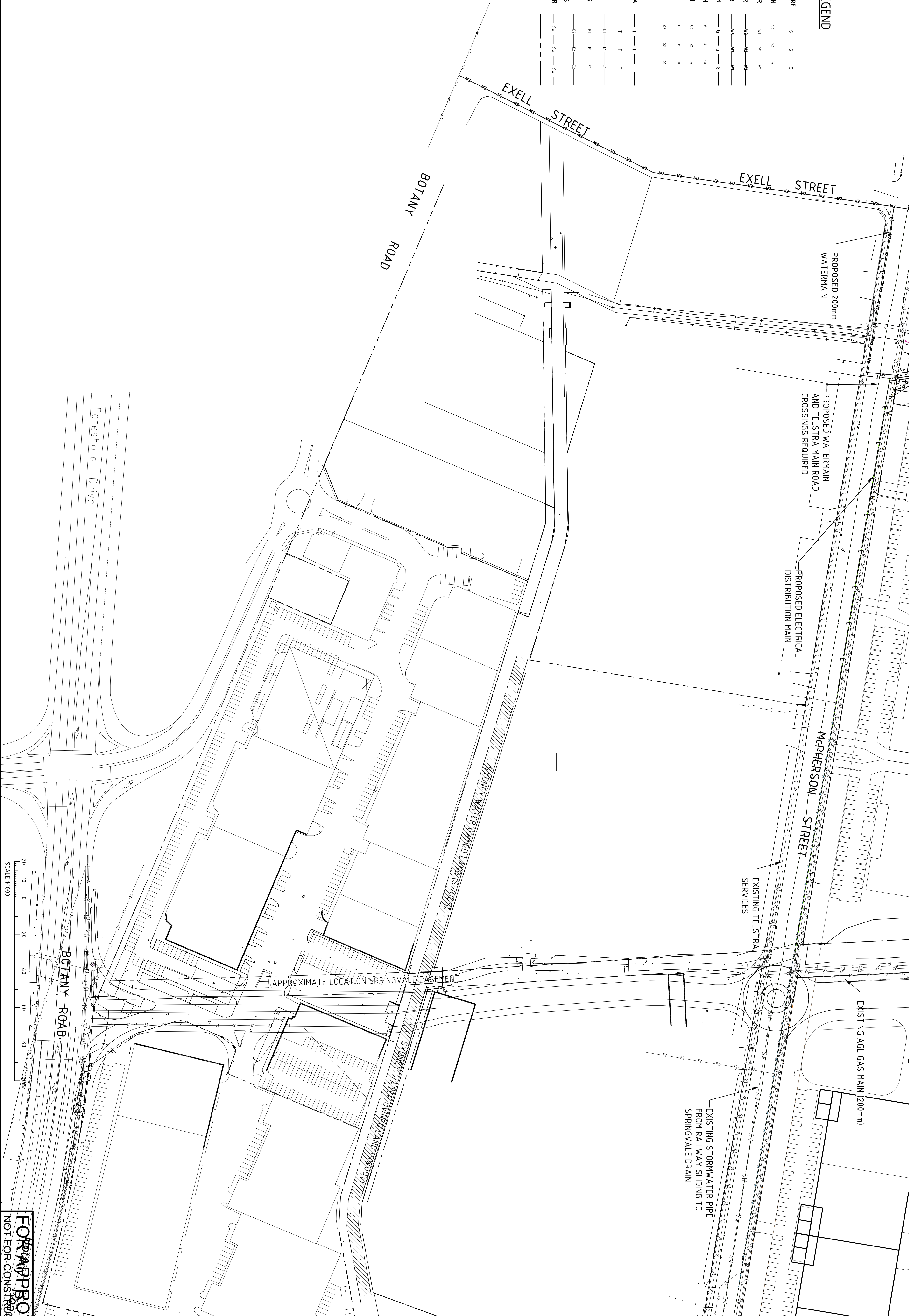


		Client: ORICA		Project: SOUTHLANDS INDUSTRIAL ESTATE		Drawing Title: SERVICES PLAN SHEET 1 OF 2		Project No: 204617	
Aurecon Australia Pty Ltd ABN 64 005 159 873 Telephone: +61 2 8886 4100 2 Palmer Street, North Parramatta New South Wales 2151 Australia Email: enquiry@aurecongroup.com Facsimile: +61 2 8880 3658		Architect:		Drawn: MD Designed: SV Verified: RD Approved:		Date: Date: Date: Date:		Scale: 1:100 Drawing No: C-101	
Rev. Date Revision Details		Dm Ver. App.		Rev. Date Revision Details		Dm Ver. App.		Rev. Date Revision Details	
04 02.11.10 UPDATED MODELING INCORPORATED		BL		04 02.11.10 UPDATED MODELING INCORPORATED		BL		04 02.11.10 UPDATED MODELING INCORPORATED	
03 28.09.07 ISSUED FOR DA APPROVAL		MD		03 28.09.07 ISSUED FOR DA APPROVAL		MD		03 28.09.07 ISSUED FOR DA APPROVAL	
02 08.05.07 ISSUED FOR PRE-DA APPROVAL		MD		02 08.05.07 ISSUED FOR PRE-DA APPROVAL		MD		02 08.05.07 ISSUED FOR PRE-DA APPROVAL	
01 30.03.07 ISSUED FOR CO-ORDINATION		BL		01 30.03.07 ISSUED FOR CO-ORDINATION		BL		01 30.03.07 ISSUED FOR CO-ORDINATION	



LEGEND

- EXISTING 150mm PRIVATE RISING MAIN (SEWER) — S — S — S —
- DIS-USED RISING MAIN — S2 — S2 — S2 —
- EXISTING WATER — W1 — W1 — W1 —
- PROPOSED 200mm WATER — W2 — W2 — W2 —
- PROPOSED 150mm WATER — W3 — W3 — W3 —
- PROPOSED GAS MAIN — G — G — G —
- EXISTING 200mm GAS MAIN — G1 — G1 — G1 —
- EXISTING 450mm GAS MAIN — G2 — G2 — G2 —
- 150mm CALTEX WHITE OIL — O1 — O1 — O1 —
- 250mm CALTEX WHITE OIL — O2 — O2 — O2 —
- MOBIL JET FUEL — F —
- PROPOSED TELSTRA — T — T — T —
- EXISTING TELSTRA — T — T — T —
- PROPOSED ELECTRICAL — E1 — E1 — E1 —
- EXISTING TRANSMISSION DUCTS — E2 — E2 — E2 —
- EXISTING ELECTRICAL DISTRIBUTION CABLES — E3 — E3 — E3 —
- EXISTING STORMWATER — SW — SW — SW —
- BOUNDARY — - - - -



Rev.	Date	Revision Details	Drn	Ver.	App
01	30.03.07	ISSUED FOR CO-ORDINATION	BL		
02	08.05.07	ISSUED FOR PRE-DA APPROVAL	MD		
03	28.09.07	ISSUED FOR DA APPROVAL	MD		
04	02.11.10	UPDATED MODELING INCORPORATED	BL		



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Email: enquiry@ap.aurecongroup.com

Client:	ORICA
Architect:	

Project:	SOUTHLANDS INDUSTRIAL ESTATE
----------	------------------------------

Drawn	Signed	Date
MD		
Designed	Signed	Date
SV		
Verified	Signed	Date
RD		
Approved	Signed	Date

Drawing Title:	SERVICES PLAN SHEET 2 OF 2
----------------	----------------------------

Project No	204617
Scale	1:100
Drawing No	C-102
Rev.	04