

Prepared For:



Sydney Olympic Park - Site 13 Preferred Project Report - February 2010



Architecture Interior Design Urban Design Strategy

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Prepared for:



A joint venture between:





Landscape Architect

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Consultants

Town Planning ESD Structure Stormwater Mechanical/ Electrical	Colston Budd Hunt & Kafes Cundalls M+G Consulting M+G Consulting Medland Metropolis
Traffic	Transport & Traffic Planning Associates
Access	Morris Goding Access Consulting
BCA Surveyor Noise & Vibration	McKenzie Group Craig and Rhodes RTA Group

Site 13 Sydney Olympic Park

Preferred Project Report February 2010 S10849

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Site 13 Sydney Olympic Park

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discipline	stage	type/ doc number	title	sheet size	scale	revision	revision	revision	revision	
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	EA	2.01	Level 00 Plan	A1	200	-	3	6	9	
AR		2.00	Level 01-03 Plan	A1	200	_	1	3	3	
AR		2.05	Level 04 Plan	A1	200	_	1	3	3	
AR		2.06	Level 05 Plan	A1	200	_	1	2	2	
AR	EA	2.07	Roof Plan	A1	200	-	1	2	2	
AR	EA	2.11	Ground Floor Loading Dock Plan	A1	50		1	2	2	
		5.00	Elevations						$\left \right $	
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AR		5.02	North Elevation	A1	200	_	1	1	1	
AR		5.03	West Elevation	A1	200	_	1	1	1	
AR		5.04	South Elevation	A1	200	-	2	2	3	
AR		5.05	West Elevation - Internal Courtyard	A1	200	-	2	2	3	
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Site 13 Sydney Olympic Park

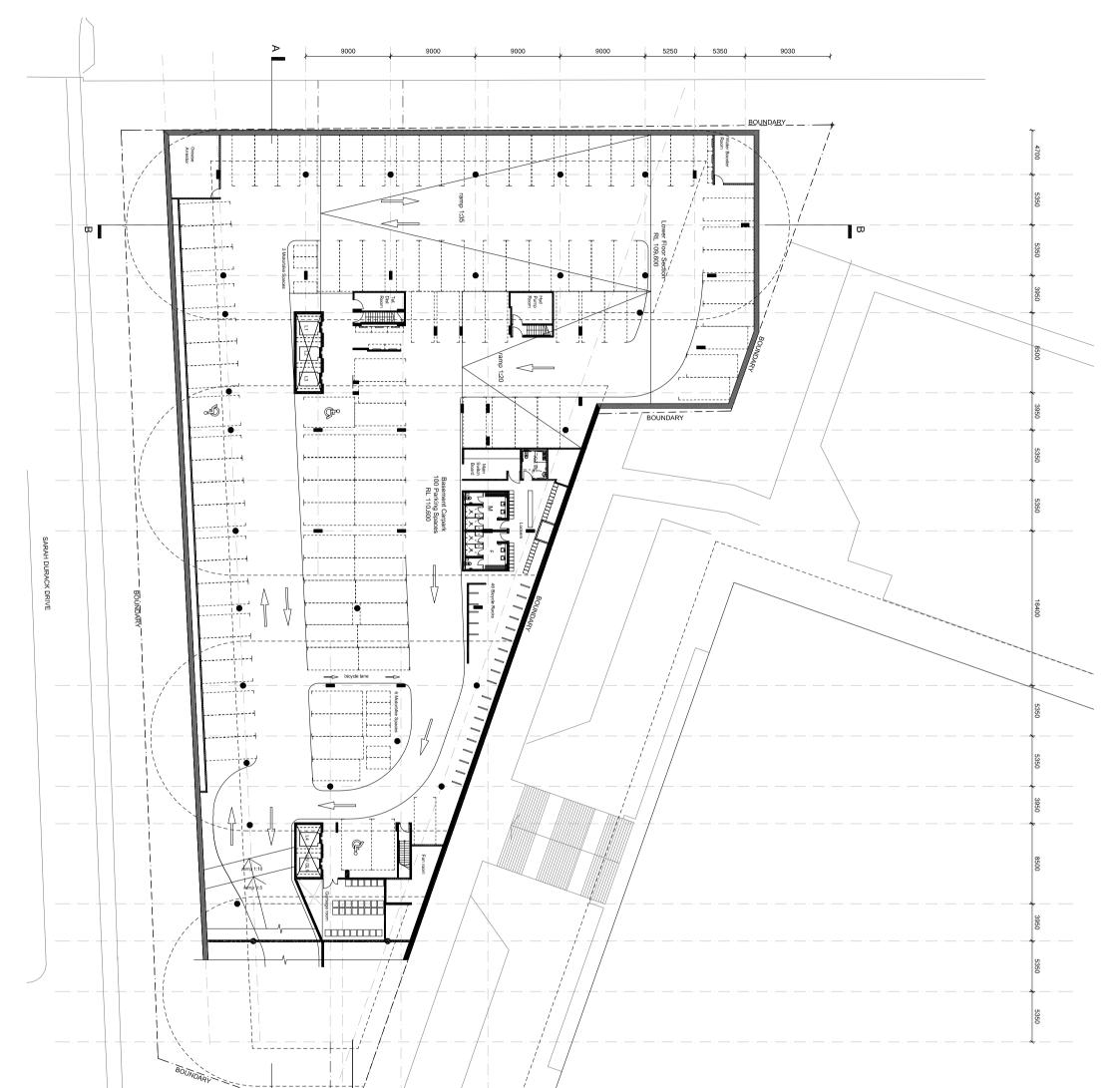
Preferred Project Report February 2010 S10849

	Area	Amendments
1.0	Basement:	Refer to drawings: AR-EA-2.01 and AR-EA-6-01 for ramp details
		1.01 Basement escape stair added
		1.02 Changed locations of bicycle storage, change rooms, hyd. pump room and
		switch room
		1.03 Additions of garbage room, grease arrestor, water booster room
		1.04 Number of carparking spaces reduced from 105 to 100
		1.05 Number of bicycle parking bays increased from 20 to 46
		1.06 Introduction of 9 motorbike spaces
		1.07 Partial rearrangement of parking layout
		1.08 Partial One-Way vehicular circulation
		1.09 Basement footprint reduced (at western end)
2.0	Ground Floor	Refer to drawing: AR-EA-2.03
		2.01 Level changes in office tenancies, retail areas and courtyard
		2.02 Retail service corridor introduced
		2.03 Core building A amended to fit additional fire corridors and fire exits
		2.04 Ramp between office tenancy and core building A introduced
		2.05 Substation configuration amended
		2.06 Café tenancy relocated and café entry from foyer introduced
		2.07 Split retail tenancies (2 instead of 1)
		2.08 Mezzanine Level introduced over retail tenancies
		2.09 Set out of ramps within building foyer amended
		2.10 Dock manager room relocated
		2.11 Visitor bicycle spaces introduced on ground floor (20 no.)
		2.12 Security swipe card readers introduced for vehicle entry into the basement carpark
		2.13 Security boomgate introduced inside carpark roller shutter for peak time control
		2.14 Substation kiosks relocated to align with southern boundary and lowered by 400mm
		2.15 Landscaped ramp at the south of Core A widened to full width of path
		2.16 Stairs removed to colonnade adjacent to café on Olympic Boulevard and replaced with ramps at 1:14 gradient
3.0	Typical Level	Refer to drawings: AR-EA-2.04, AR-EA-5.01 to 5.04, AR-EA-7.01, AR-EA-7.11
		3.01 Reduced size of vertical aluminium fins (sunshades)
		3.02 Deleted internal partition walls between office floor plates and naturally
		ventilated spaces 3.03 Deleted ventilation shafts
		3.04 Reduced projection beyond site boundary (slabs within the boundary, sunshades protrude 400mm over the boundary)
		3.05 Amended layout of shafts and bathrooms in building A + B cores
		3.06 Façade details have been developed beyond the state of documentation in DA report sketches
		3.07 Floor finish to lift lobbies and break out amended
		3.08 Replacement of black anodised aluminium cladding to projecting slab edges by aluminium cladding coated in black PVF2
		3.09 Replacement of clear glass on ground floor by clear performance glass
		3.10 Projection of clad concrete slab beyond the southern boundary by 300mm
		(glass façade remains inside of he boundary)
		3.11 Finish to southern wall of core B changed from off-form concrete to painted

		render finish
4.0	Roof (plantroom)	Refer to drawings: AR-EA-2-05 to 2-07, AR-EA-5.01 to 5.04
		4.01 Increased area of roof plant room
		4.02 Deletion of natural ventilation chimneys
		4.03 Solid cladding AND louvers as cladding to roof plantroom instead of louvres only
		4.04 Image of plantroom louvres added to external finishes board
5.0	Comorrol	Defente all plan and elevation drawings
5.0	General	Refer to all plan and elevation drawings 5.01 Structural grid amended
		5.02 Overall building set out on site amended in order to avoid projections over the boundary of more than 400mm
		5.03 Building floor areas:
		Total GFA reduced from 14,696m2 to 14,475m2
		Building A GFA reduced from 10,776m2 to 10,641m2
		Building B GFA reduced from 3,920m2 to 3,834m2
		5.04 Site boundary amended to Hard & Forester Survey (Drawing 112028003 rev01- 13.01.09)

Site 13 Sydney Olympic Park 3.0 Revised Plans 3.i. Basement Plan (L001)

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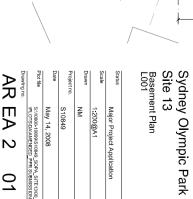


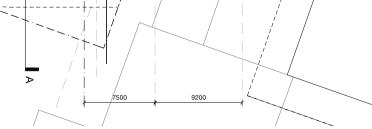
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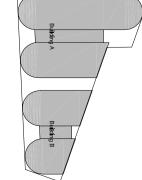
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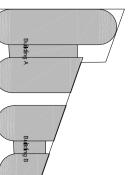
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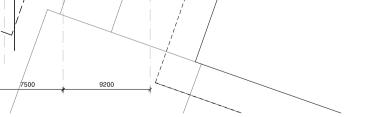
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Description	18.09.08 Amended for PPR Submission	10.10.08 Amended for PPR Submission	14.10.08 Amended for PPR Submission	06.11.08 Amended for PPR Submission	22.06.09 Amended for PPR Submission	27.07.09 Amended for PPR Submission		
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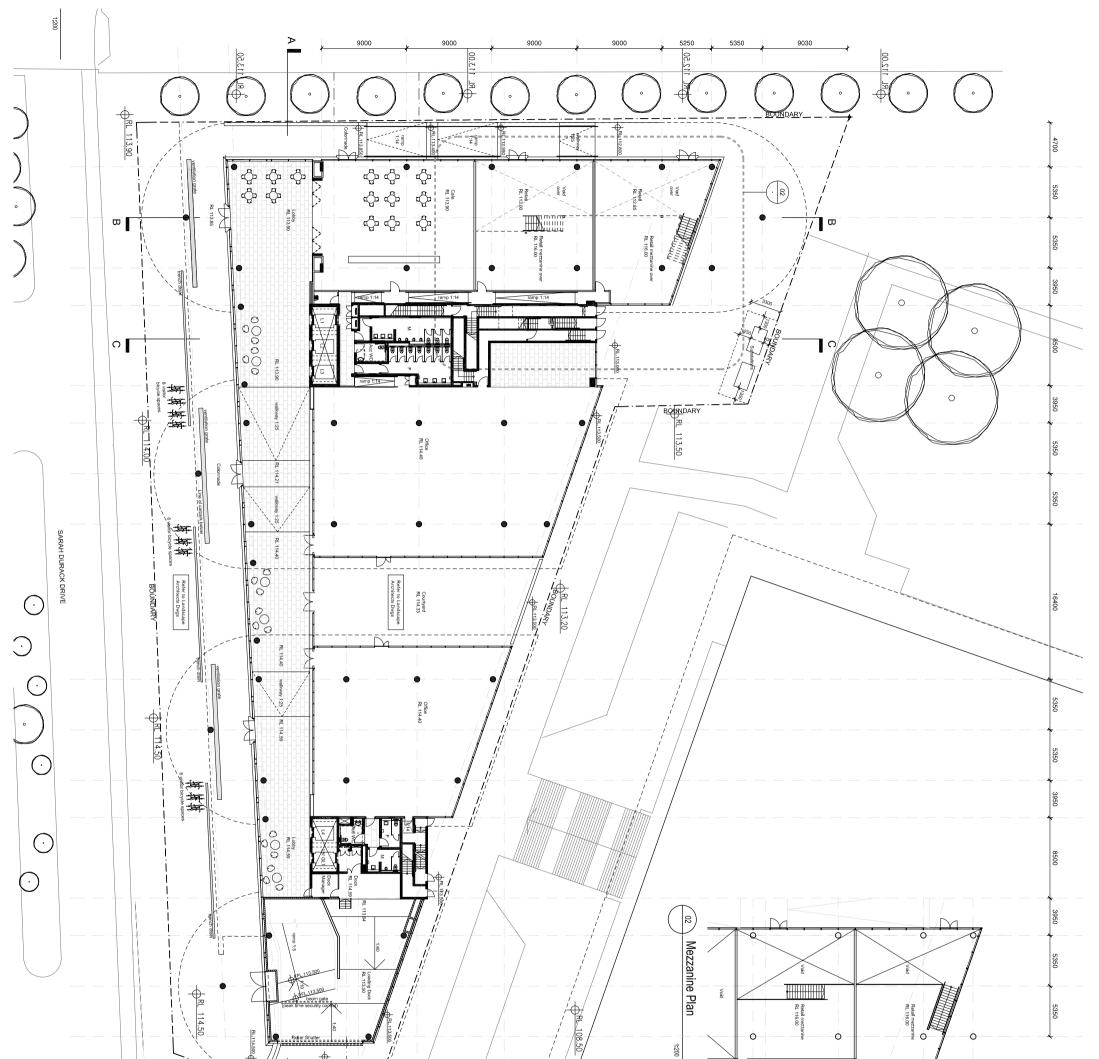




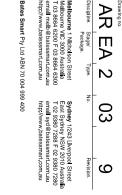
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Site 13 Sydney Olympic Park 3.0 Revised Plans 3.ii. Ground Floor Plan (L00)

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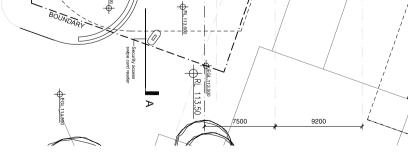
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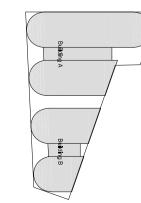
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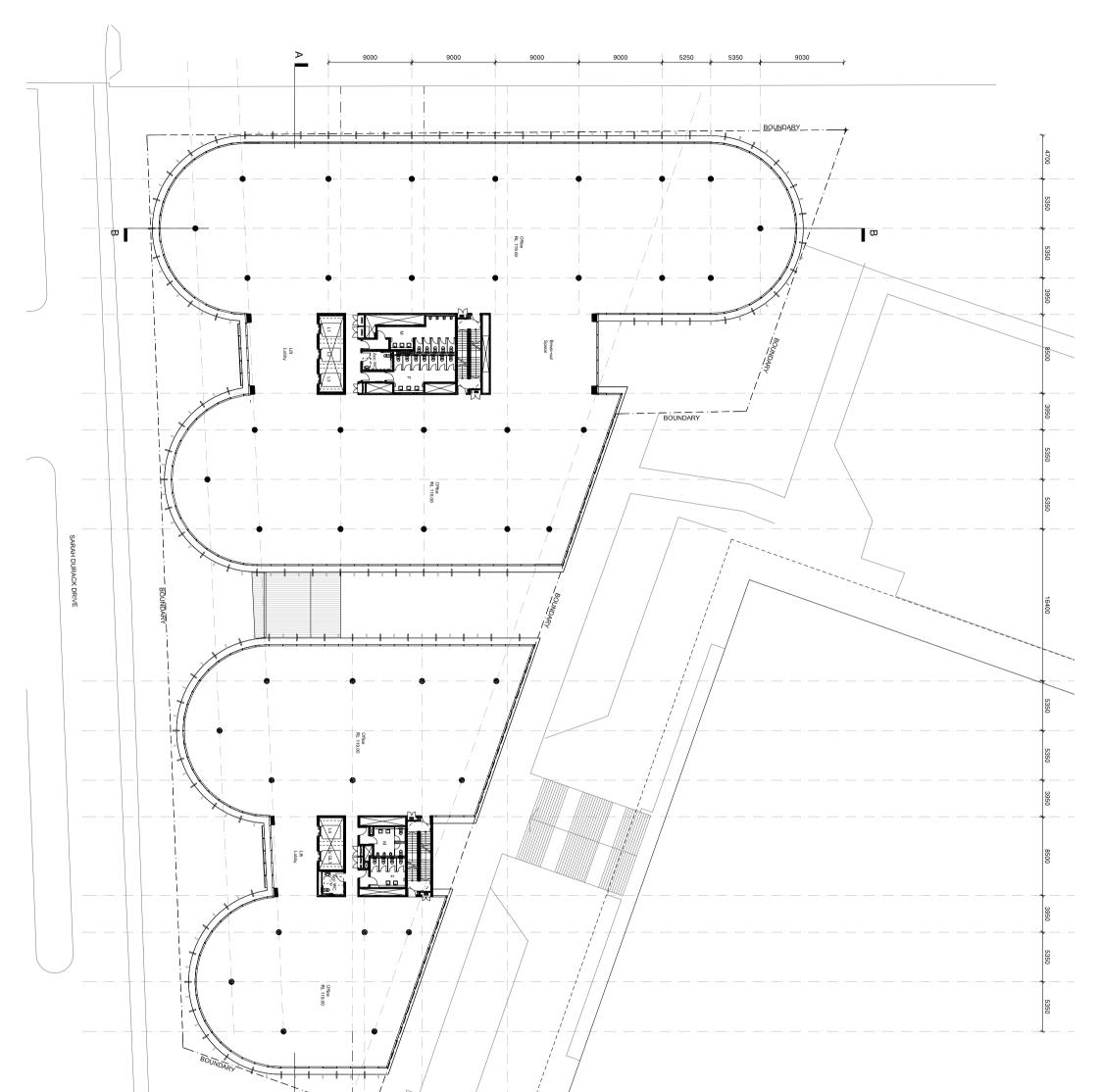
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Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, tittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components.

Site 13 Sydney Olympic Park 3.0 Revised Plans 3.iii. Typical Floor Plan (L01-L03)

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Sydney Olympic Park Site 13 Typical Floor Plan L01

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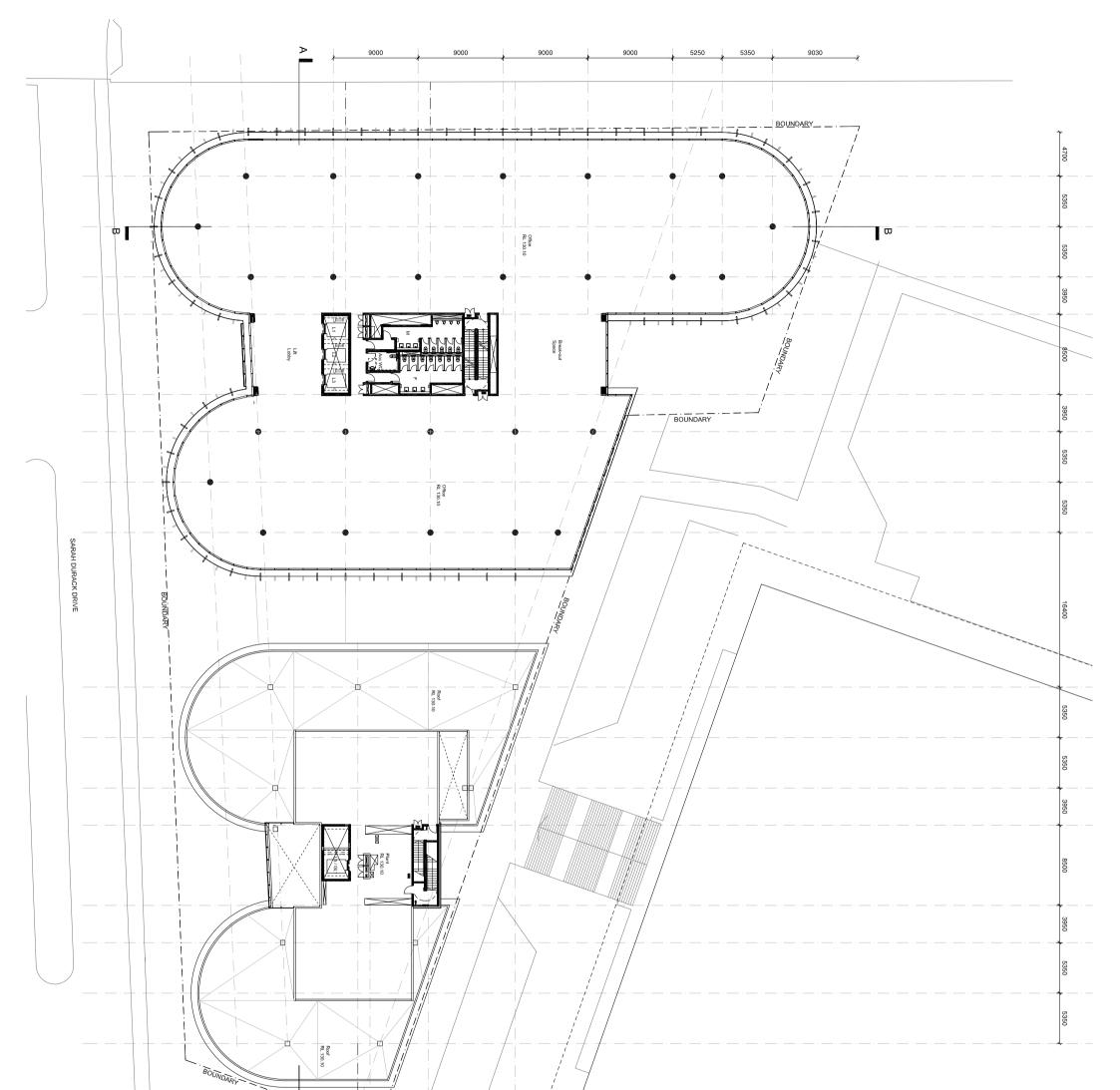
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Site 13 Sydney Olympic Park 3.0 Revised Plans 3.iv. Level 4 Plan (L04)

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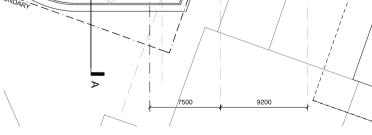




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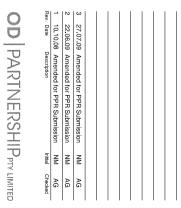


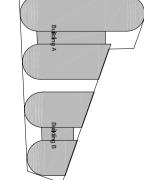
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Sydney Olympic Park Site 13 ^{Floor Plan} Lo4

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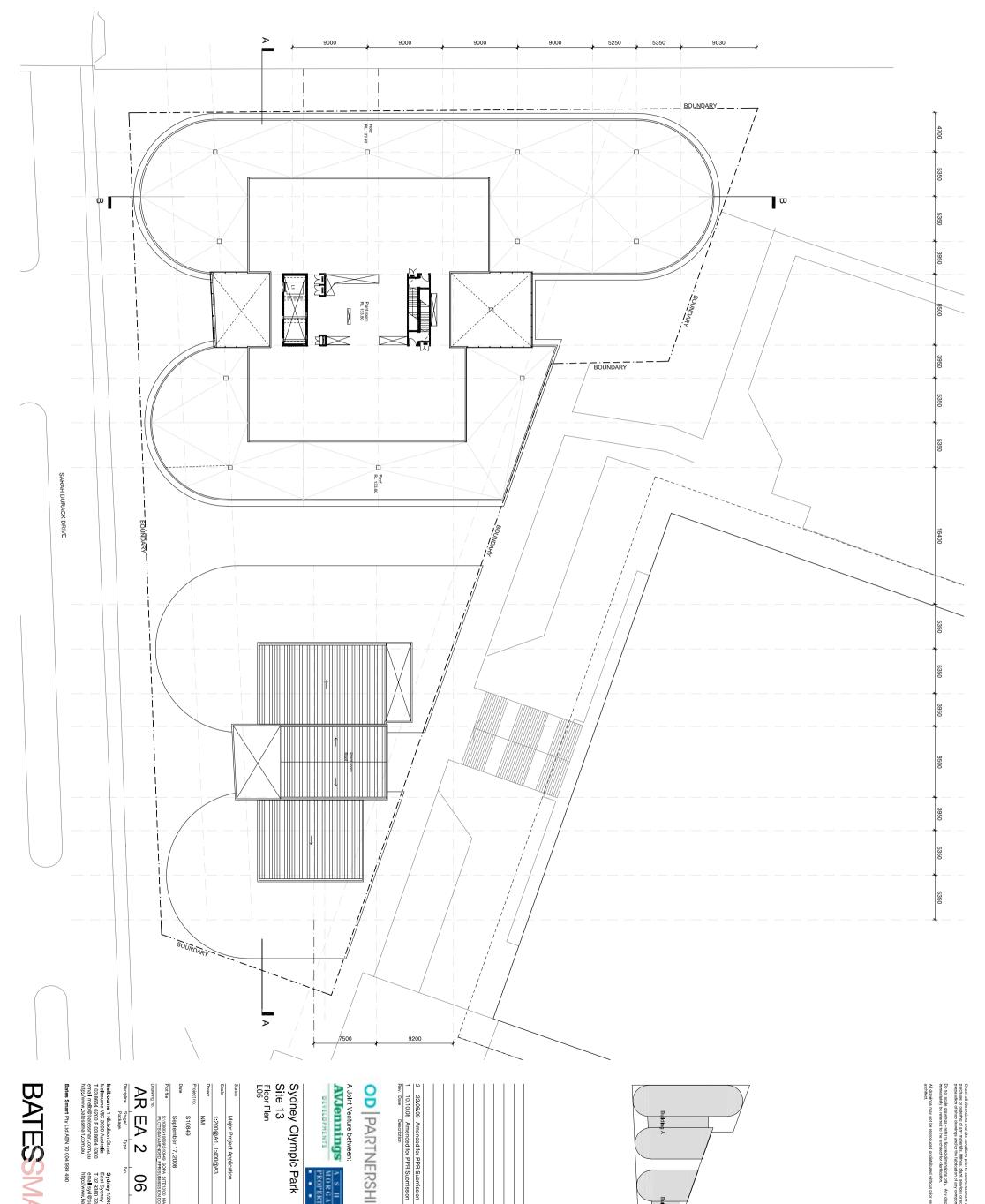




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Site 13 Sydney Olympic Park 3.0 Revised Plans 3.v. Level 5 Plan (L05)

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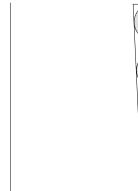
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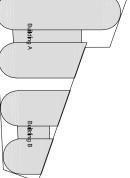
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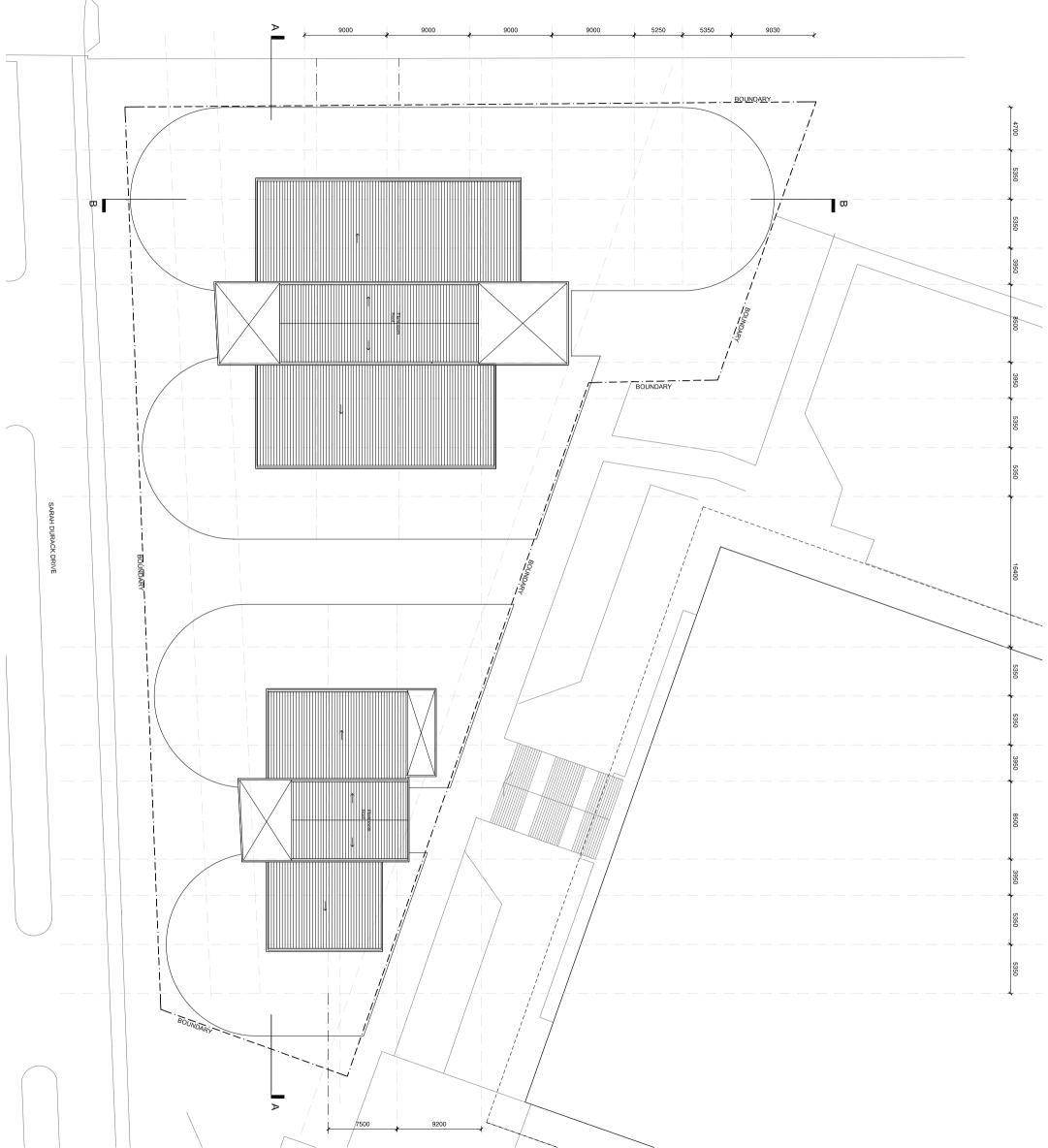




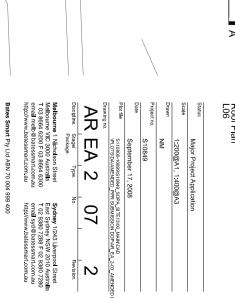
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Site 13 Sydney Olympic Park 3.0 Revised Plans 3.vi. Roof Plan (L06)

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Sydney Olympic Park Site 13 Roof Plan



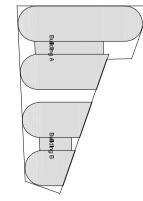




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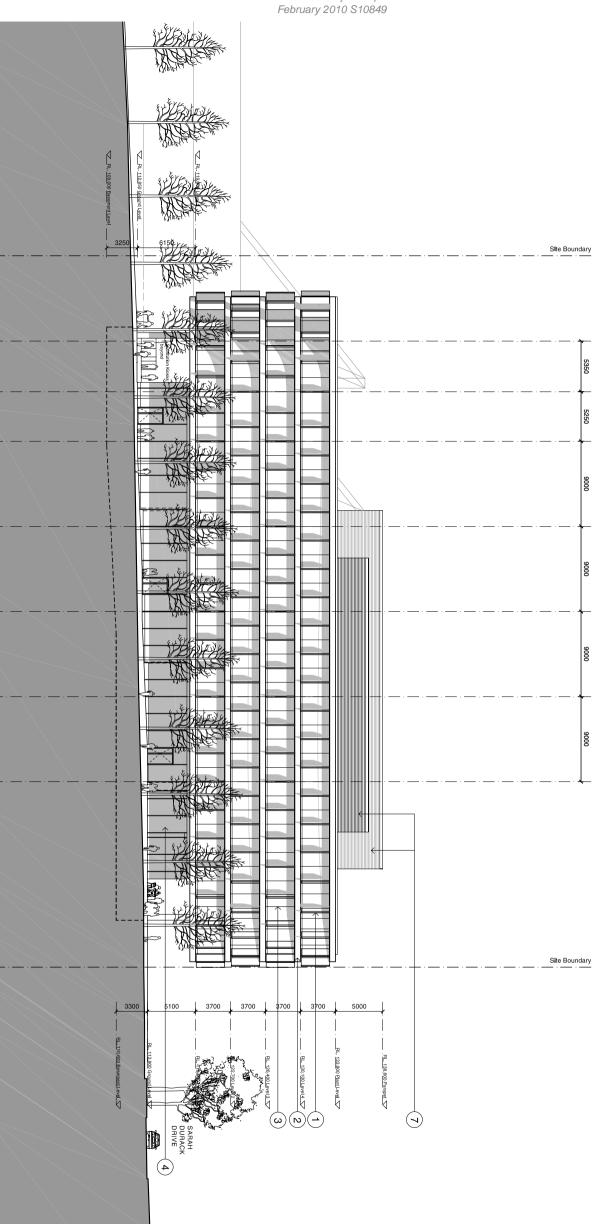


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Site 13 Sydney Olympic Park

4.0 Revised Elevations 4.i. East Elevation

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i roller door le Class 1 finish to columns ck glazing grey finish to concrete core

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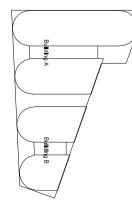
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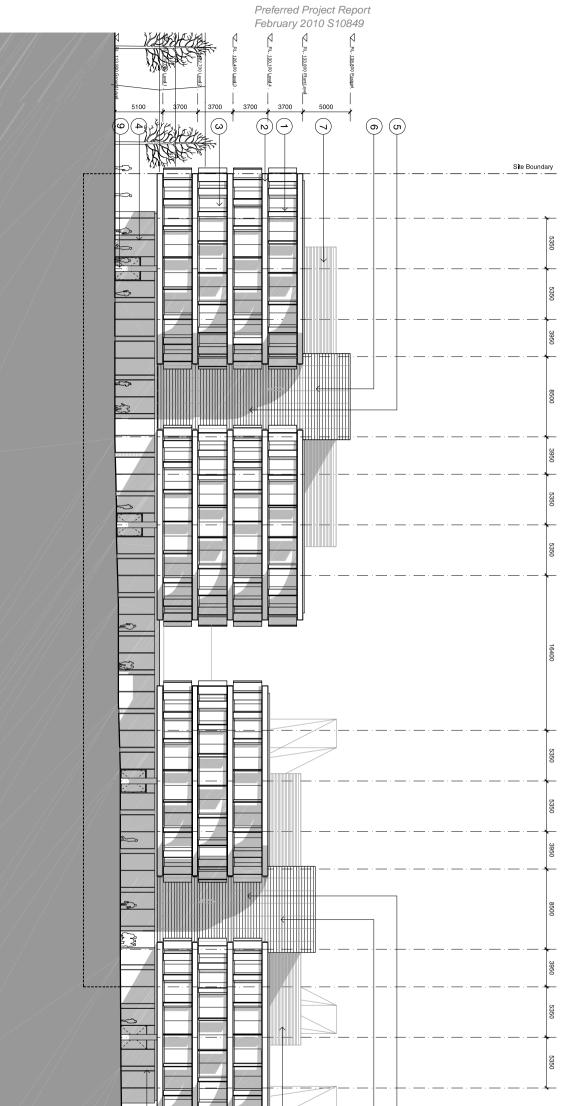
Site 13 Sydney Olympic Park 4.0 Revised Elevations 4.ii. North Elevation

Site Boundary

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screen Profied steel wall cladding with Colorbond finish

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nal Finishee Clear anolised aluminium to vertical this Aurinium cladding gaand coated to black PVP2 hish to site edges Performance double glazed units with green vision glass and black powydrocat framing Performance clear single glazing with black powdercoat framing Operative windows Clear and side aluminium tixed horizontal

Plot file

May 14, 2008 S10849 MN

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Sydney Olympic Park Site 13

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North Elevation

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Bates Smart Pty Ltd ABN 70 004 999 400

Financiess weatherproof ventilation louves -colour and spacing to match profiled steel clading Periorated metal roler door Off-form concrete Cass 1 finish to columns Black colour-back glazing Bendered dark gra/ finish to concrete core wal & pordum White paint finish to concrete soffit (typical floors only) FC sheet lining to Level 1 soffit

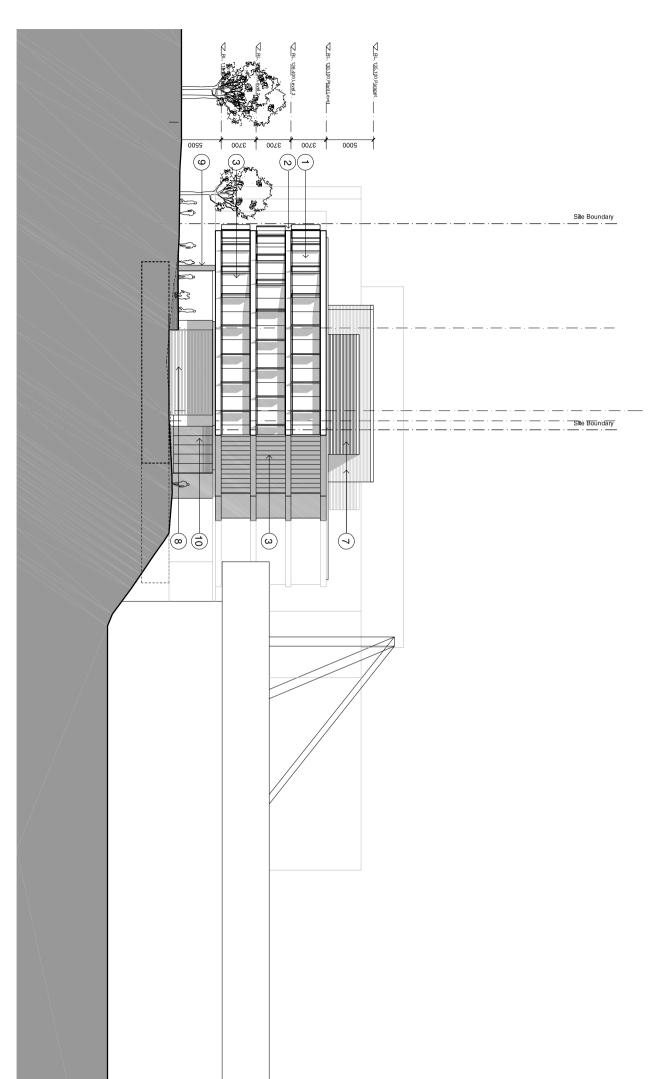
Melbourne 1 Nicholson Street Melbourne VIC 3000 Australia T 03 8664 6200 email melb @batessmart.com.au http://www.batessmart.com.au

Sydney 1/243 L.Werpool Street East Sydney NSW 2010 Australia T 02 9380 7286 F 02 9380 7280 emall syd @batessmart.com.au http://www.batessmart.com.au

Site 13 Sydney Olympic Park 4.0 Revised Elevations 4.iii. West Elevation

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Preferred Project Report February 2010 S10849



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screen Profiled steel wall cladding with Colorbond fhish

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Drawing no. Plot file Date Project no. Drawn Scale Status

> May 14, 2008 S10849 MN

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Sydney Olympic Park Site 13

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West Elevation

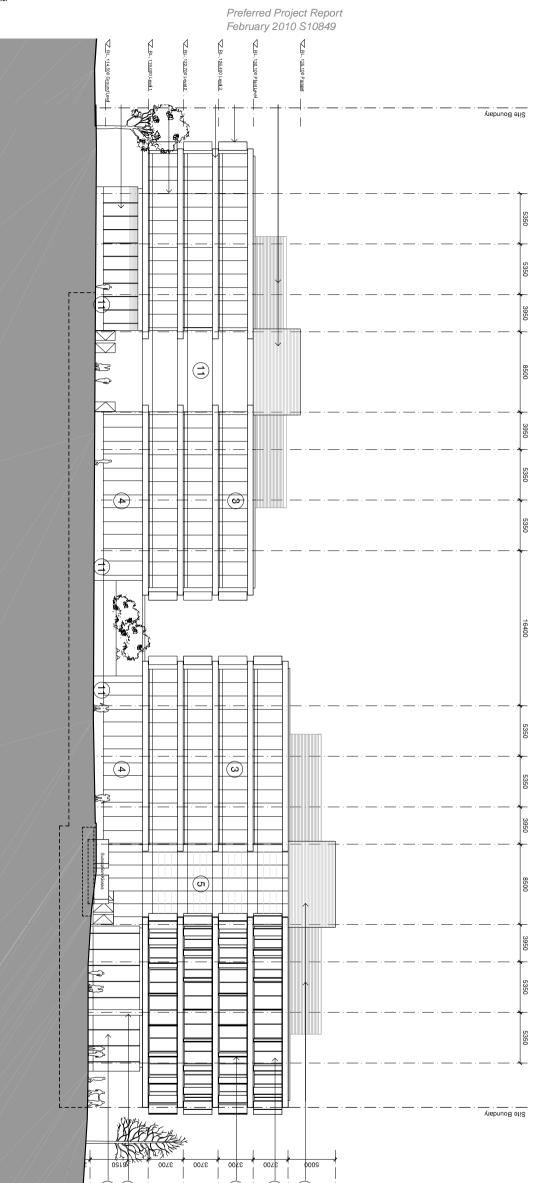
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Stage/ Package

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Site 13 Sydney Olympic Park 4.0 Revised Elevations 4.iv. South Elevation



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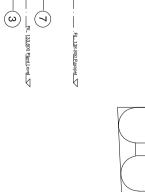
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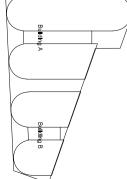
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Site Boundary

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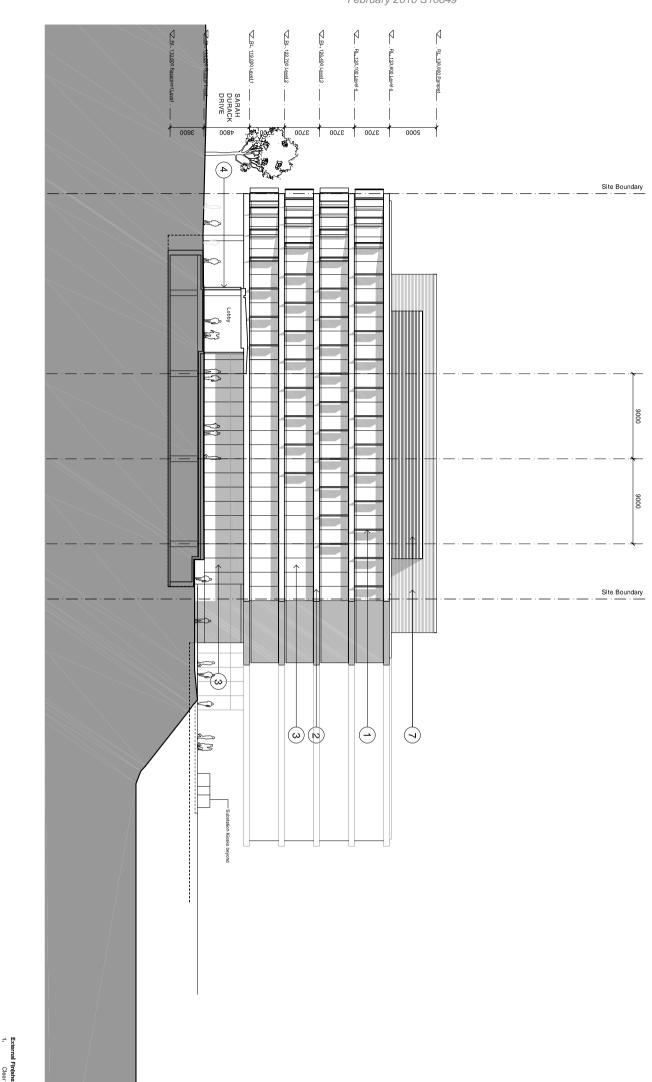
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4.0 Revised Elevations 4.v. West Elevation - Internal Courtyard

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Sydney 1/243 Liverpool Street East Sydney NSW 2010 Australia T 02 9380 7288 F 02 9380 7280 email syd@batessmart.com.au http://www.batessmart.com.au

Sydney Olympic Park Site 13

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West Elevation - Internal Courtyard

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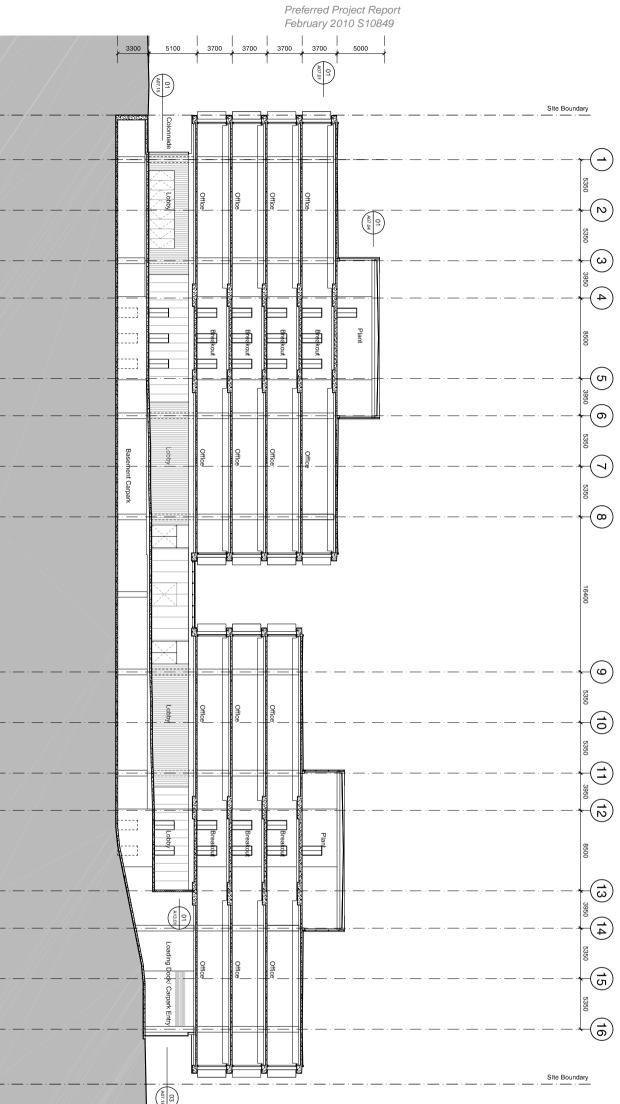
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Building B

Site 13 Sydney Olympic Park 4.0 Sections 4.vi. Section A



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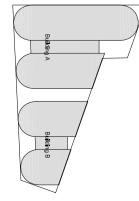
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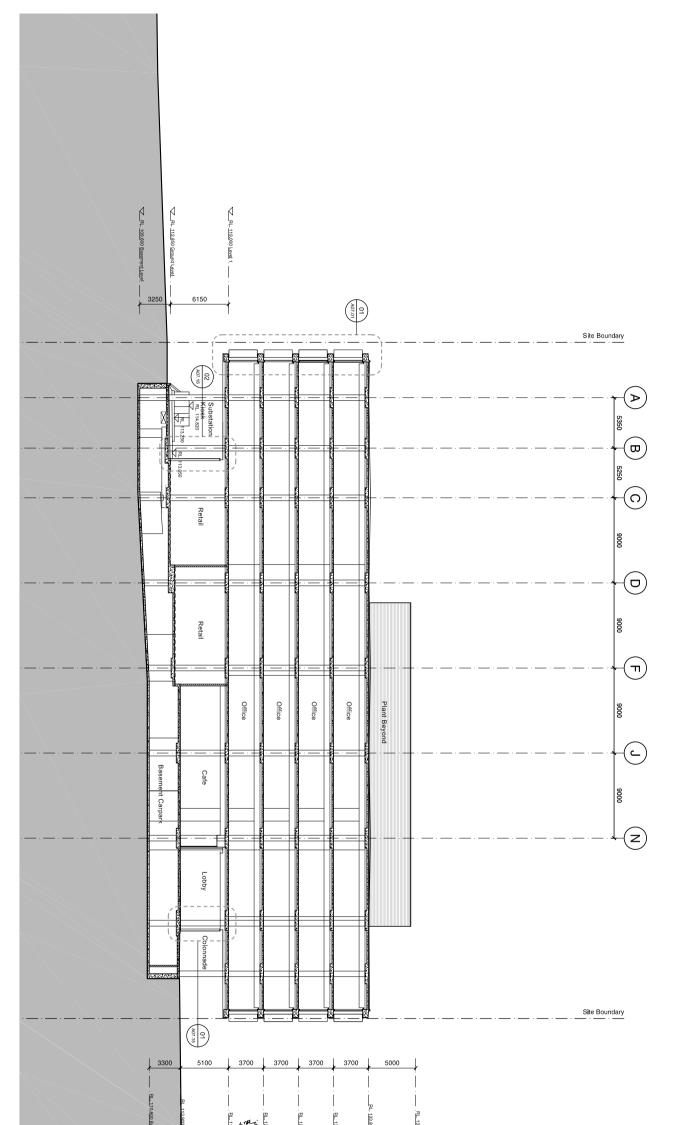


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Site 13 Sydney Olympic Park 4.0 Sections 4.vii. Section B

Preferred Project Report February 2010 S10849



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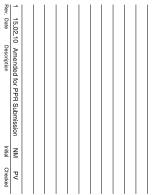
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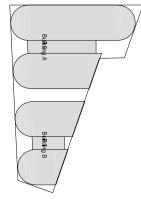


RL_130_100_Level 4.

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Plant Level

RL 138.800 Parapet V



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Site 13 Sydney Olympic Park 5.0 Facade Details 5.i. Facade Sections Details

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Preferred Project Report February 2010 S10849

Л A C RL 138 300 Parapet √ RL. 122,700 Level 2 Л П П RL 113.900 Ground Level RL 119 000 Level <u>RL</u>, 1<u>26</u>,4<u>00</u> Level 3</u> RL 130 100 Level RL, 133,800 Plant Level ් 12 4 (N) (ω) (\neg) 3 Boundary Facade Section 1 3100 -* Offlce Office Office Office 2700 1:50 G Reta 1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999 -(ர (の) (\neg) 2 4300 Facade Section 2 G 3100 1:50 4000 Offlce Office Office Office Plant Lobb 9 8 11 9 2. 1. Exte 7a. 7b . <u>5</u> ω 3 12.

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Facade Section Details

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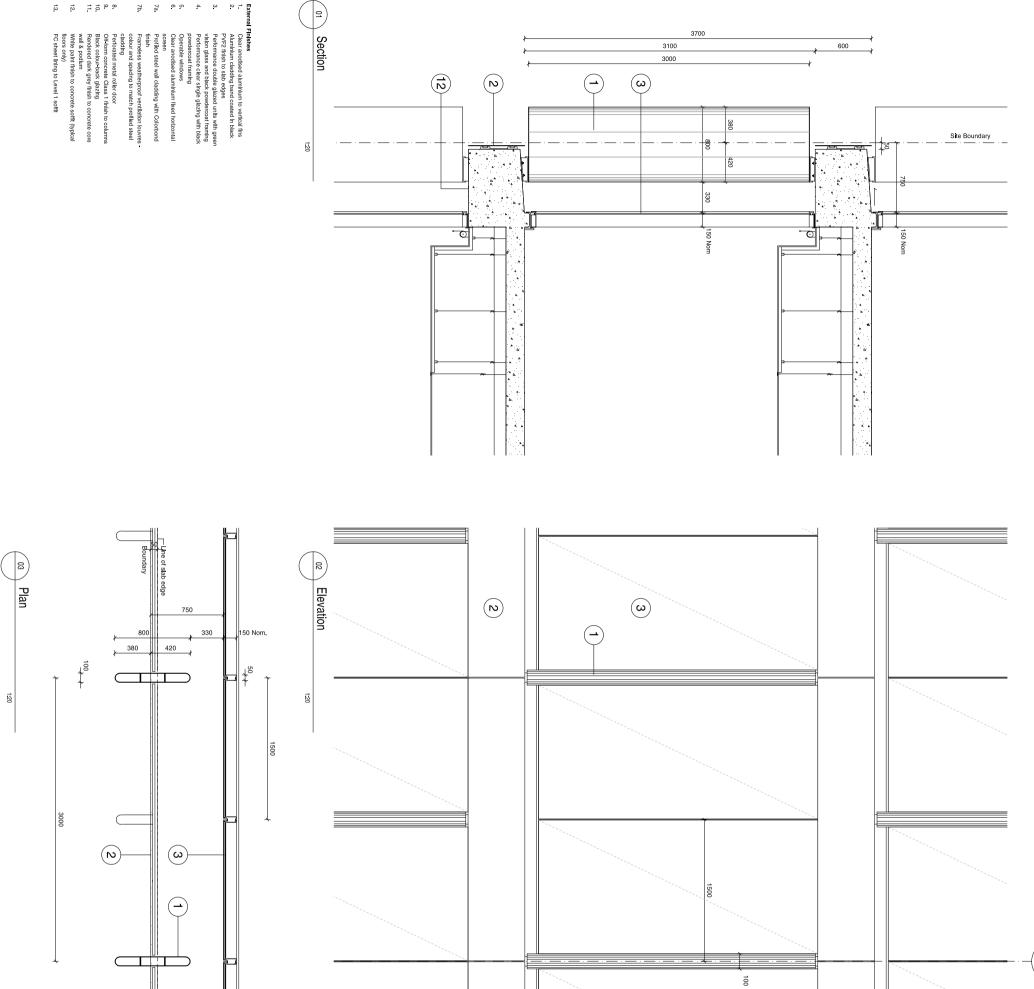
White paint finish to concrete soffit floors only) FC sheet lining to Level 1 soffit

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Site 13 Sydney Olympic Park 5.0 Facade Details 5.ii. Vertical Fin Details

Preferred Project Report February 2010 S10849





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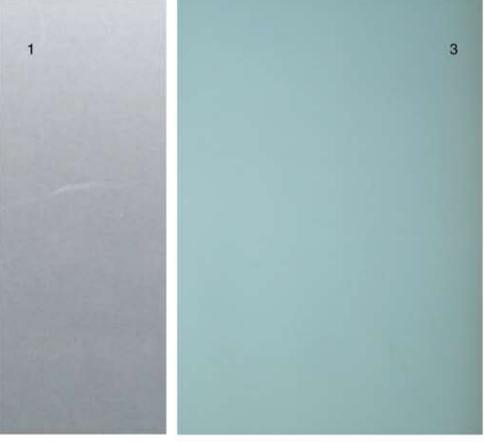
Preferred Project Report February 2010 S10849

External Finishes

- Clear anodised aluminium to vertical fins 1.
- Aluminium cladding band coated in black PVF2 finish 2. to slab edges
- Performance double glazed units with green vision glass 3. and black powdercoat framing
- Performance clear single glazing with black powdercoat framing 4.
- Operable windows 5.

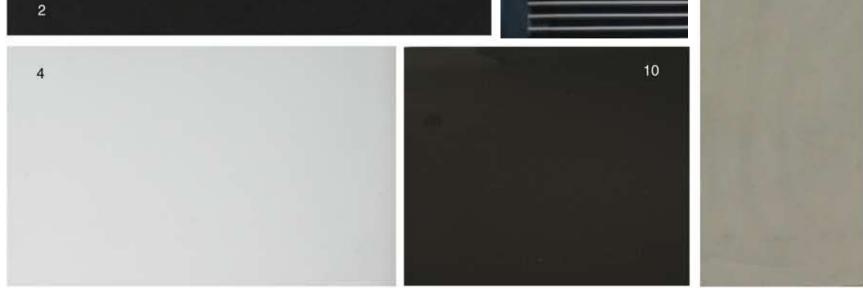
- Clear anodised aluminium fixed horizontal screen
 Clear anodised aluminium fixed horizontal screen
 Profiled steel wall cladding with Colorbond finish
 Frameless weatherproof ventilation louvres -colour and spacing to match profiled steel cladding
- Perforated metal roller door 8.
- Off-form concrete Class 1 finish to columns 9.
- 10. Black colour-back glazing
- Rendered dark grey finish to concrete core wall & podium
 White paint finish to concrete soffit (typical floors only)
- 13. FC sheet lining to Level 1 soffit











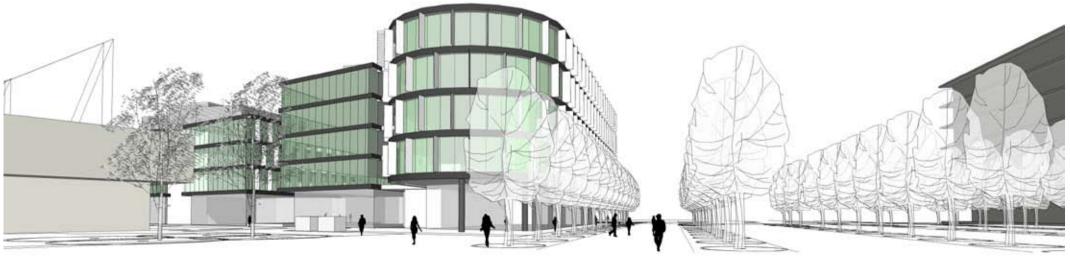
Site 13 Sydney Olympic Park

Preferred Project Report February 2010 S10849



Revised View 1 - Looking east down Sarah Durack Avenue









Revised View 2 - Looking north up Olympic Boulevard

Site 13 Sydney Olympic Park 7.0 Revised 3D sketch views

Preferred Project Report February 2010 S10849



Revised View 3 - Looking south-east towards Olympic Boulevard from Sarah Durack Avenue



Revised View 4 - Looking north-west from Olympic Boulevard

Site 13 Sydney Olympic Park

Project Report

Preferred Project Report February 2010 S10849

	GBA (sqm)	GFA (sqm)		NLA (sqm)
Building A			Building A1	
Ground Floor	1,727	1,577	Ground Floor	572
Mezzanine	169	164	Mezzanine	165
Level 1	2,337	2,225	Level 1	1,200
Level 2	2,337	2,225	Level 2	1,200
Level 3	2,337	2,225	Level 3	1,200
Level 4	2,337	2,225	Level 4	1,200
			SUB TOTAL	5,537
				0,007
			Building A2	105
			Ground Floor	495
			Level 1	804
			Level 2	804
			Level 3	804
			Level 4	804
			SUB TOTAL	3,711
			Building A Breakout	
			Ground Floor	53
			Level 1	166
			Level 2	166
			Level 3	166
			Level 4	166
			SUB TOTAL	717
TOTAL BUILDING A	11,244	10,641		9,965
Building B			Building B1	
Ground Floor	878	573	Ground Floor	323
Level 1	1,168	1,087	Level 1	605
Level 2	1,168	1,087	Level 2	605
Level 3	1,168	1,087	Level 3	605
			SUB TOTAL	2,138
			Building B2	
			Ground Floor	0
			Level 1	406
			Level 2	406
			Level 3	406
			SUB TOTAL	1,218
			Building B Breakout	
			Ground Floor	0
			Level 1	43
			Level 2	43
			Level 3	43
			SUB TOTAL	129
TOTAL BUILDING B	4,382	3,834		3,485
TOTAL BUILDING A + B	15,626	14,475		13,450

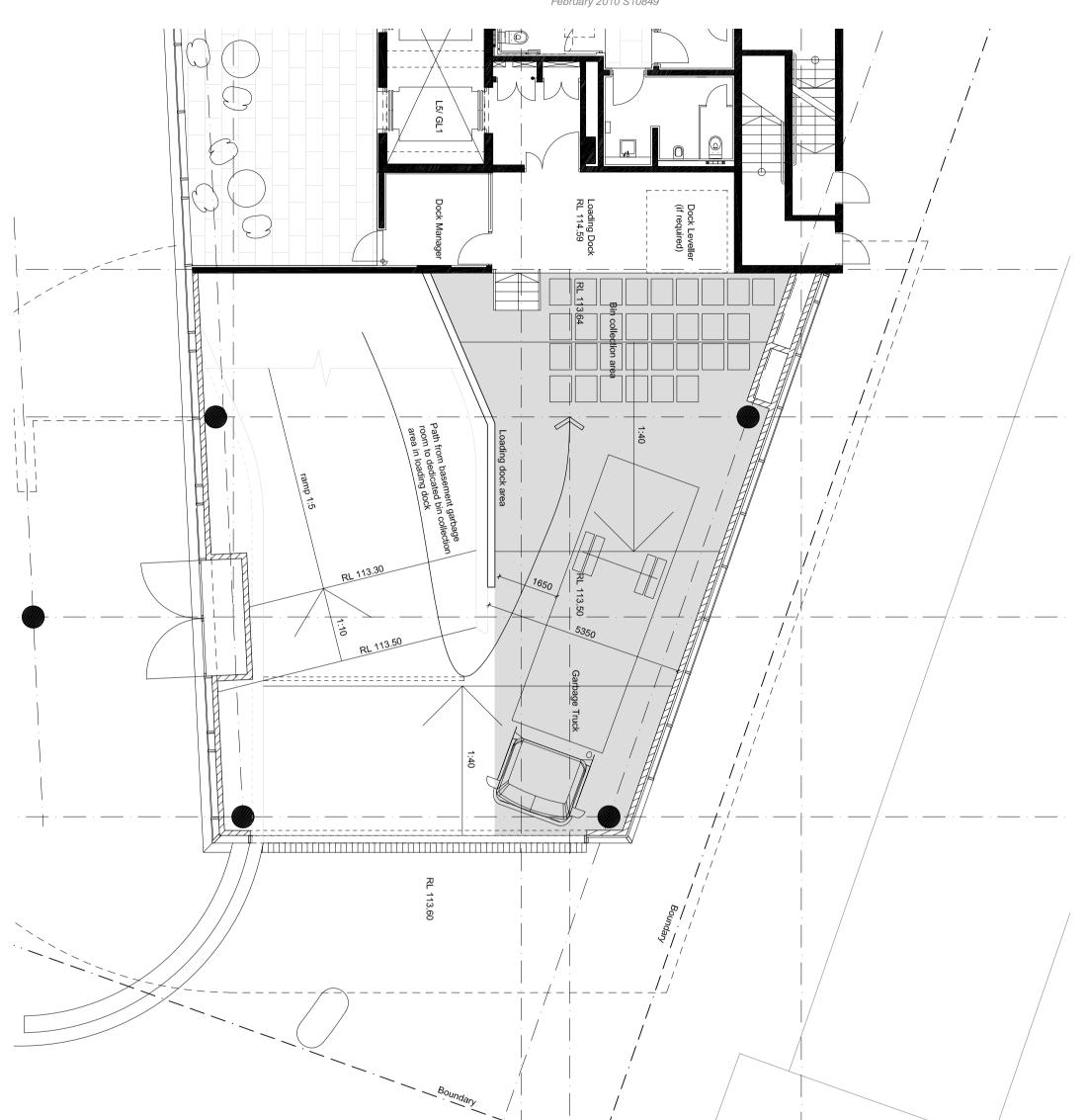
	GBA (sqm)	car
Basement Level 1	3,753	
Plant Building A	973	
Plant Building B	473	
Total GBA	20,825	

Site 13 Sydney Olympic Park

9.0 Garbage Collection Diagram

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Project no.

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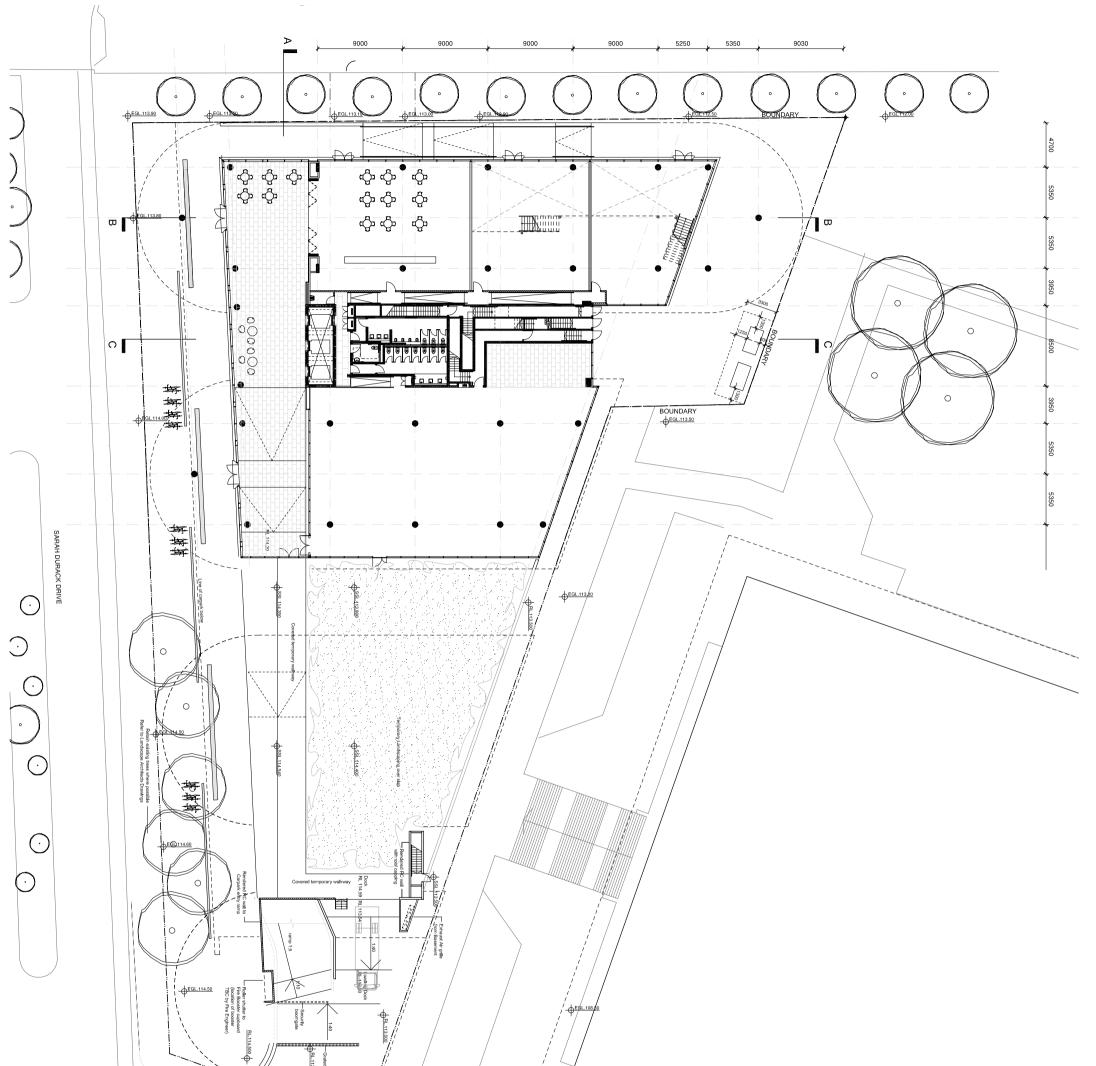
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Ground Floor Loading Dock Plan Garbage collection diagram

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Site 13 Sydney Olympic Park 10.0 Staging Sketches 10.i. Stage 1 - Ground Floor Plan

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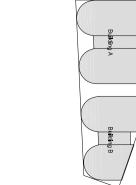
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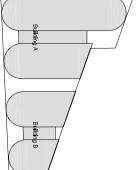
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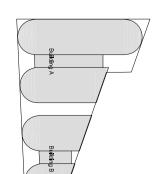
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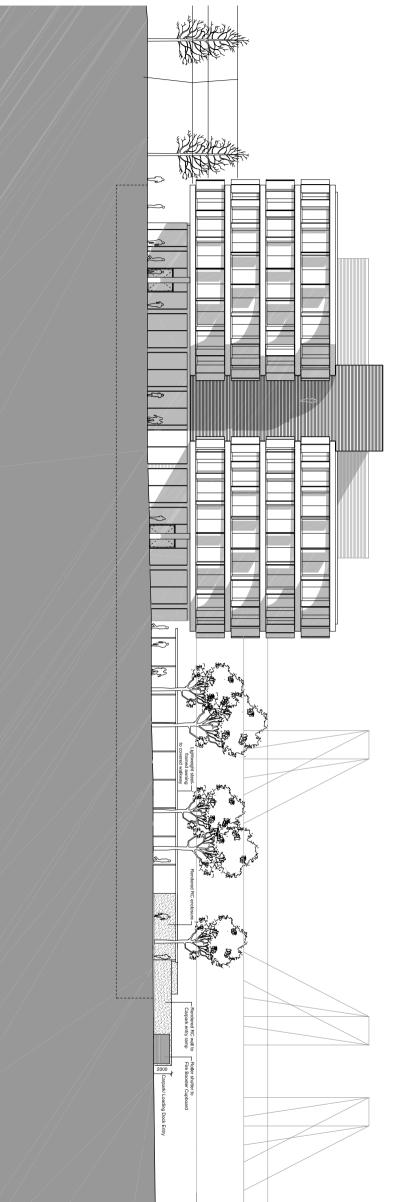
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Site 13 Sydney Olympic Park 10.0 Staging Sketches 10.ii. Stage 1 - North Elevation

Preferred Project Report February 2010 S10849

1) Stage 1 - North Elevation 1:100 @ A1



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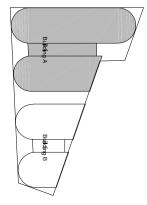
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L L Site 13 Sydney Olympic Park 11.0 Indicative Cafe Fitout Sketch Plan (Provided for Information only)

Preferred Project Report February 2010 S10849

