

Prepared For:

OD | PARTNERSHIP PTY LIMITED

Sydney Olympic Park - Site 13

Preferred Project Report - February 2010



Architecture
Interior Design
Urban Design
Strategy

Sydney 243 Liverpool Street
East Sydney NSW 2010 Australia
T+612 9380 7288 F+612 9380 7280
syd@batesmart.com.au

Melbourne 1 Nicholson Street
Melbourne Victoria 3000 Australia
T+613 8664 6200 F+613 8664 6300
melb@batesmart.com.au

www.batesmart.com.au

Prepared for:



A joint venture between:



Landscape Architect

TDS+JAAA
Turf Design Studio + Jeppe Aagaard Andersen
P.O Box 419 Cronulla NSW 2230, 95 Kingsway, Cronulla 2230
Phone (+61 2) 9527 3380, Fax (+61 2) 9527 2307,
Email: sydney@turfdesign.com jaaa@jaaa.dk

Consultants

Town Planning	Colston Budd Hunt & Kafes
ESD	Cundalls
Structure	M+G Consulting
Stormwater	M+G Consulting
Mechanical/ Electrical	Medland Metropolis
Traffic	Transport & Traffic Planning Associates
Access	Morris Goding Access Consulting
BCA	McKenzie Group
Surveyor	Craig and Rhodes
Noise & Vibration	RTA Group

Site 13
Sydney Olympic Park

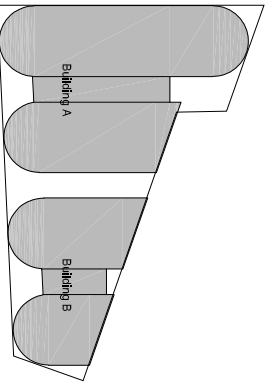
*Preferred Project Report
February 2010 S10849*

Contents

1.0	Revised Drawing List
2.0	Schedule of Amendments
3.0	Revised Plans
4.0	Revised Elevations/Sections
5.0	Facade Details
6.0	External Materials & Finishes Board
7.0	Revised 3D Sketch views
8.0	Revised Area Schedule
9.0	Garbage Collection Diagram
10.0	Staging Sketches
11.0	Indicative Cafe Fitout Sketch Plan

[illegible]

Area		Amendments
1.0	Basement:	Refer to drawings: AR-EA-2.01 and AR-EA-6-01 for ramp details
		1.01 Basement escape stair added
		1.02 Changed locations of bicycle storage, change rooms, hyd. pump room and switch room
		1.03 Additions of garbage room, grease arrestor, water booster room
		1.04 Number of carparking spaces reduced from 105 to 100
		1.05 Number of bicycle parking bays increased from 20 to 46
		1.06 Introduction of 9 motorbike spaces
		1.07 Partial rearrangement of parking layout
		1.08 Partial One-Way vehicular circulation
		1.09 Basement footprint reduced (at western end)
2.0	Ground Floor	Refer to drawing: AR-EA-2.03
		2.01 Level changes in office tenancies, retail areas and courtyard
		2.02 Retail service corridor introduced
		2.03 Core building A amended to fit additional fire corridors and fire exits
		2.04 Ramp between office tenancy and core building A introduced
		2.05 Substation configuration amended
		2.06 Café tenancy relocated and café entry from foyer introduced
		2.07 Split retail tenancies (2 instead of 1)
		2.08 Mezzanine Level introduced over retail tenancies
		2.09 Set out of ramps within building foyer amended
		2.10 Dock manager room relocated
		2.11 Visitor bicycle spaces introduced on ground floor (20 no.)
		2.12 Security swipe card readers introduced for vehicle entry into the basement carpark
		2.13 Security boomgate introduced inside carpark roller shutter for peak time control
		2.14 Substation kiosks relocated to align with southern boundary and lowered by 400mm
		2.15 Landscaped ramp at the south of Core A widened to full width of path
		2.16 Stairs removed to colonnade adjacent to café on Olympic Boulevard and replaced with ramps at 1:14 gradient
3.0	Typical Level	Refer to drawings: AR-EA-2.04 , AR-EA-5.01 to 5.04 , AR-EA-7.01 , AR-EA-7.11
		3.01 Reduced size of vertical aluminium fins (sunshades)
		3.02 Deleted internal partition walls between office floor plates and naturally ventilated spaces
		3.03 Deleted ventilation shafts
		3.04 Reduced projection beyond site boundary (slabs within the boundary, sunshades protrude 400mm over the boundary)
		3.05 Amended layout of shafts and bathrooms in building A + B cores
		3.06 Façade details have been developed beyond the state of documentation in DA report sketches
		3.07 Floor finish to lift lobbies and break out amended
		3.08 Replacement of black anodised aluminium cladding to projecting slab edges by aluminium cladding coated in black PVF2
		3.09 Replacement of clear glass on ground floor by clear performance glass
		3.10 Projection of clad concrete slab beyond the southern boundary by 300mm (glass façade remains inside of he boundary)
		3.11 Finish to southern wall of core B changed from off-form concrete to painted render finish
4.0	Roof (plantroom)	Refer to drawings: AR-EA-2-05 to 2-07 , AR-EA-5.01 to 5.04
		4.01 Increased area of roof plant room
		4.02 Deletion of natural ventilation chimneys
		4.03 Solid cladding AND louvers as cladding to roof plantroom instead of louvres only
		4.04 Image of plantroom louvres added to external finishes board
5.0	General	Refer to all plan and elevation drawings
		5.01 Structural grid amended
		5.02 Overall building set out on site amended in order to avoid projections over the boundary of more than 400mm
		5.03 Building floor areas: Total GFA reduced from 14,696m2 to 14,475m2 Building A GFA reduced from 10,776m2 to 10,641m2 Building B GFA reduced from 3,920m2 to 3,834m2
		5.04 Site boundary amended to Hard & Forester Survey (Drawing 112028003 rev01-13.01.09)



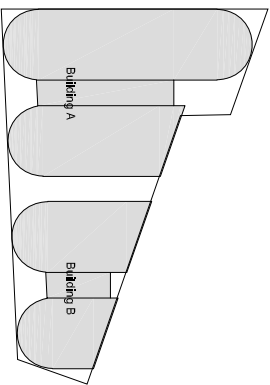
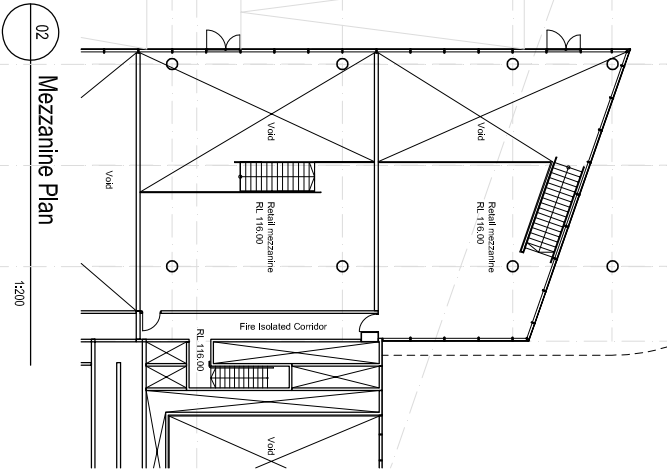
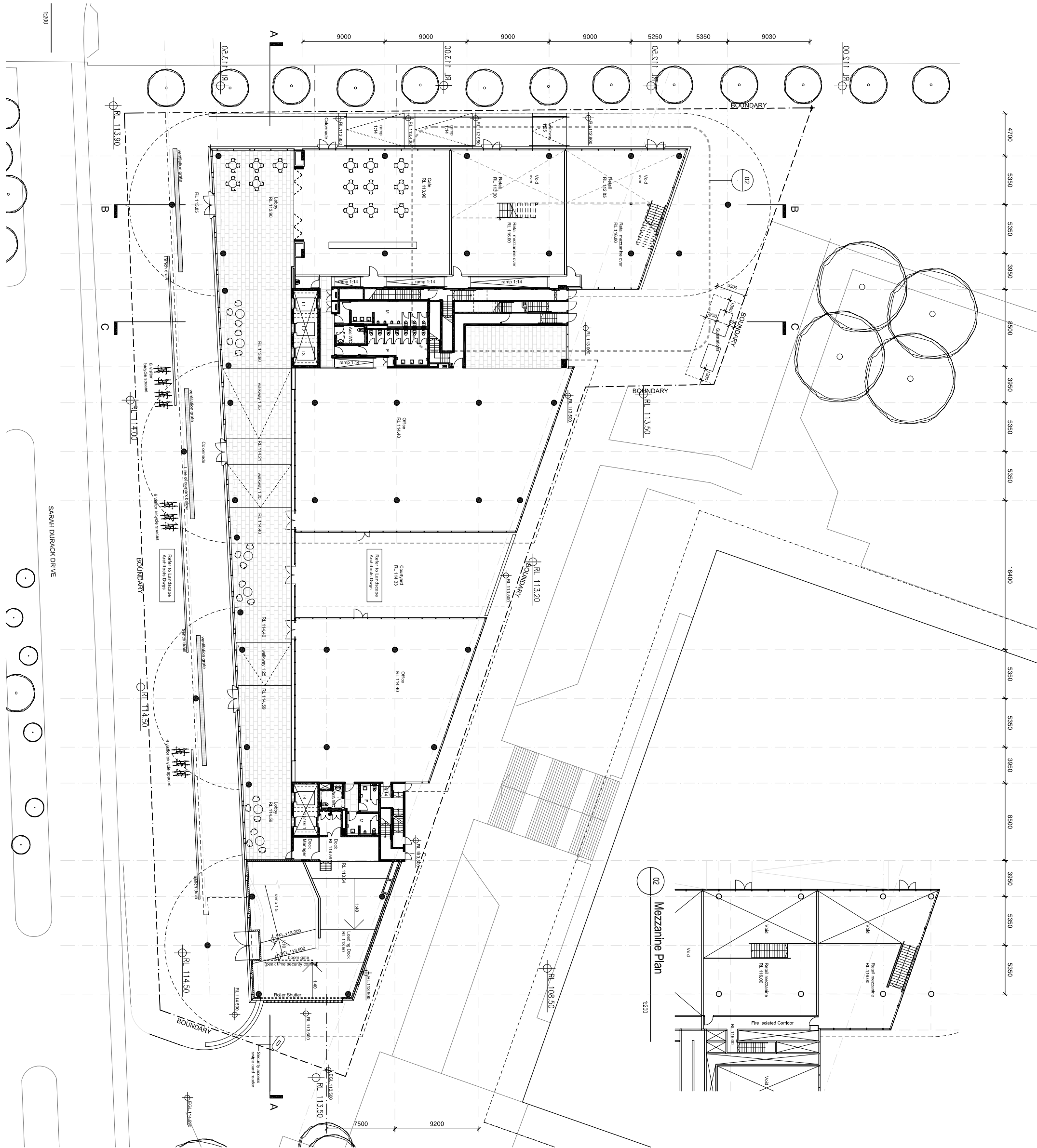
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

**A S H E
MORGAN
PROPERTY**

AREA 2 01 6

Bates Smart Pty Ltd ABN 70 004 999 400



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components.

Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

Row	File Name	Description	Initial	Checked
9	09.12.09	Amended for PPR Submission	NM	AG
8	08.12.09	Amended for PPR Submission	NM	AG
7	27.11.09	Amended for PPR Submission	NM	AG
6	27.07.09	Amended for PPR Submission	NM	AG
5	22.06.09	Amended for PPR Submission	NM	AG
4	06.11.08	Amended for PPR Submission	NM	AG
3	14.10.08	Amended for PPR Submission	NM	AG
2	10.10.08	Amended for PPR Submission	NM	AG
1	18.09.08	Amended for PPR Submission	NM	AG

OD | PARTNERSHIP PVT. LIMITED

AV Jennings
DEVELOPMENT

AS H E
MORGAN
PROPERTY

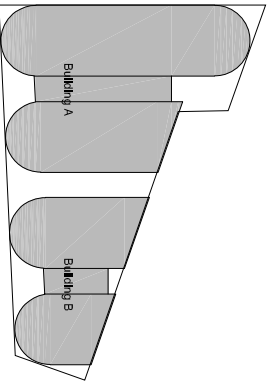
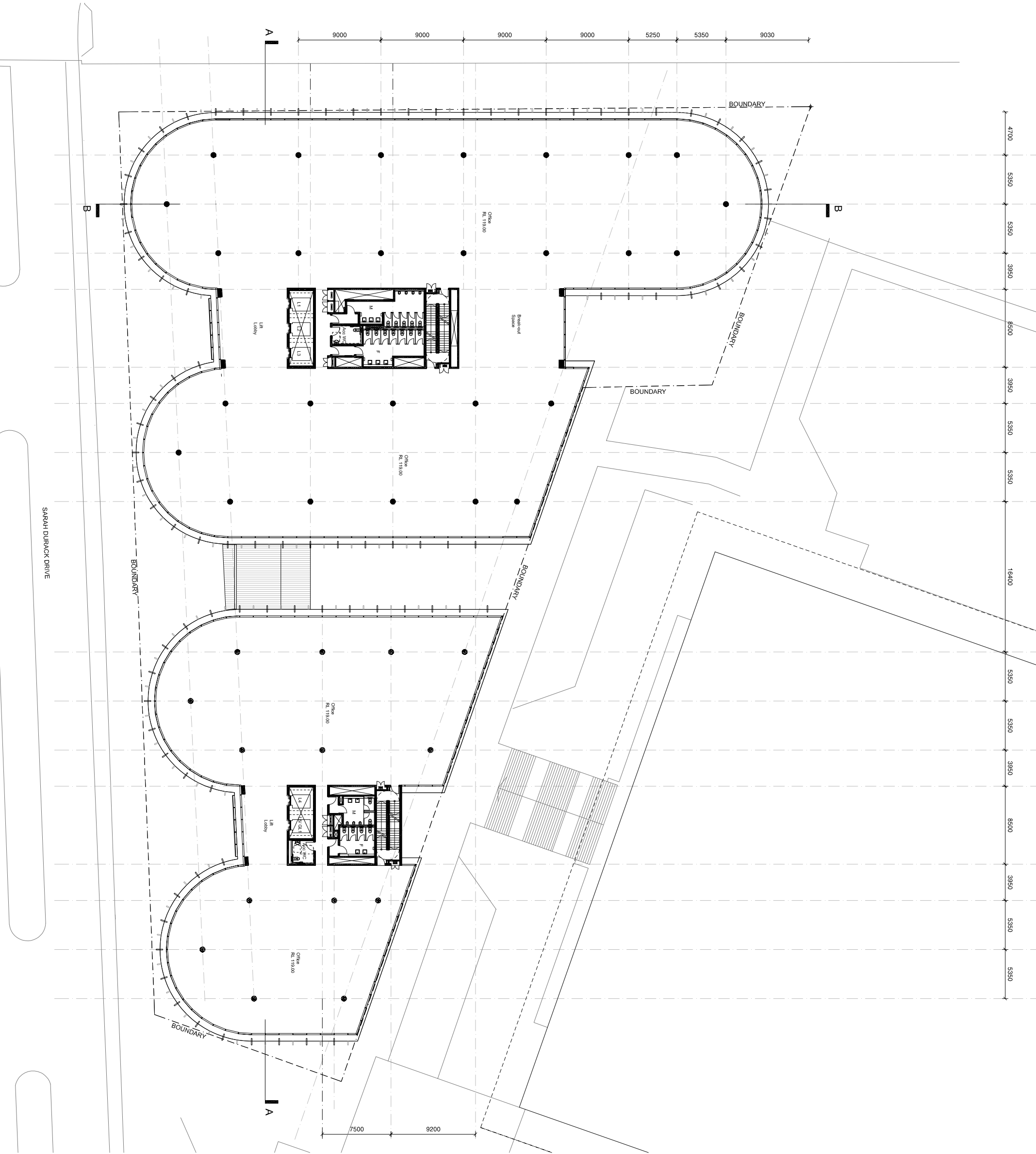
Sydney Olympic Park
Site 13
Ground Floor Plan
L00

State	MA
Major Project Application	
Scale	1:200@A1, 1:400@A3
Drawn	NM
Project no.	S10849
Date	September 17, 2008
Pic file	S10001-0908051004_S02PA_SIT1190_MAMANO PLOTS\DRAWING\PPR SUBMISSION\CONRAE_EA_208_AMERICAN
Drawing no.	AR EA 2 03 9

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 02 9684 6200 F 02 9684 6300
email mel@batesmart.com.au
<http://www.batesmart.com.au>

Sydney 1243 Liverpool Street
East Sydney NSW 2010 Australia
T 02 9380 7288 F 02 9380 7280
email svw@batesmart.com.au
<http://www.batesmart.com.au>

Bates Smart Pty Ltd ABN 70 004 999 400



Check all dimensions and site conditions prior to commencement of any work. The purchaser or owner of any materials, fittings, plant, services or equipment and the preparation of this drawing and/or the installation of any component. Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification. All drawings may not be reproduced or distributed without prior permission from the architect.

3	27.07.09	Amended for PPR Submission	NM	AG
2	22.06.09	Amended for PPR Submission	NM	AG
1	10.10.08	Amended for PPR Submission	NM	AG
Rev.	Date	Description	Initial	Checked

OD | PARTNERSHIP PTY LIMITED

A Joint Venture between:
Avemnings
DEVELOPMENTS
ASHE
MORGAN
PROPERTY

Sydney Olympic Park
Site 13
Typical Floor Plan
L01

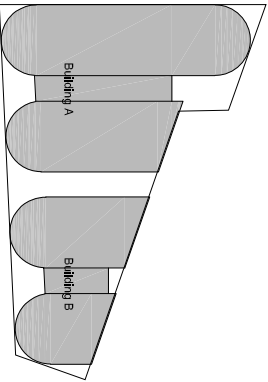
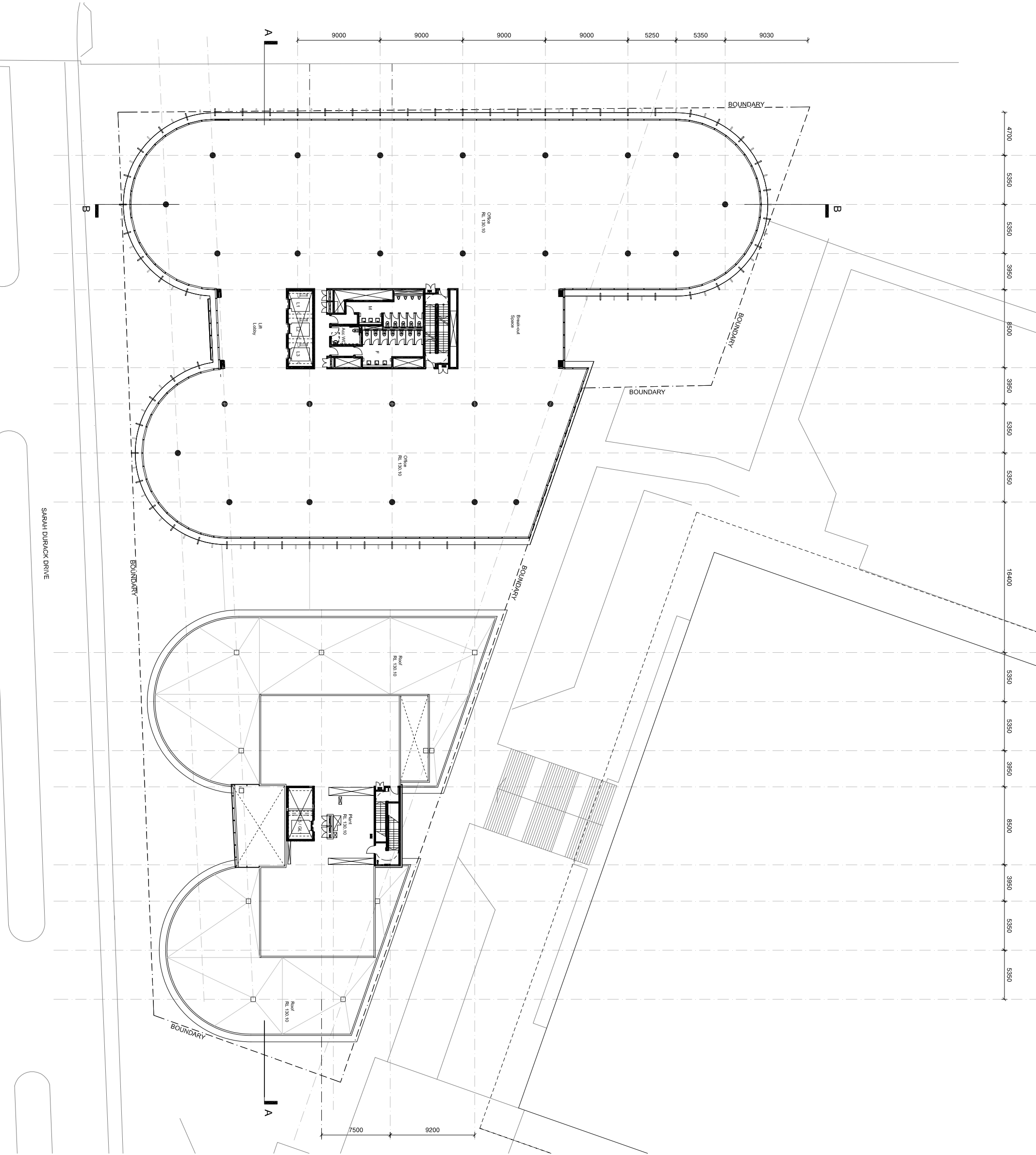


Status	Major Project Application
Scale	1:200@A1, 1:400@A3
Drawn	NM
Project no.	S10849
Date	September 17, 2008
Pic title	S:\10849-10899510849_SCPA_SITE1300_L01\DWG\10849-10899510849_SCPA_SITE1300_L01.DWG
Drawing no.	10849-10899510849_SCPA_SITE1300_L01.DWG
Discipline	Super
Package	Type
No.	Revision

AR EA 2 04 3

Melbourne 1 Nicholson Street
Sydney 1243 Liverpool Street
T 03 8664 6200 F 03 8664 6300
email melb@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd AEN 70 004 999 400



Check all dimensions and the contents of this drawing prior to commencement of any work. The purchaser or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components. Do not scale drawings - refer to listed dimensions only. Any discrepancies shall immediately be referred to the architect for clarification. All drawings may not be reproduced or distributed without prior permission from the architect.

3	27.07.09	Amended for PPR Submission	NM	AG
2	22.06.09	Amended for PPR Submission	NM	AG
1	10.10.08	Amended for PPR Submission	NM	AG
Rev. Date	Description	Initial	Checked	

OD | PARTNERSHIP PTY LIMITED

A Joint Venture between:
Avemnings
DEVELOPMENTS



Sydney Olympic Park
Site 13
Floor Plan
L04

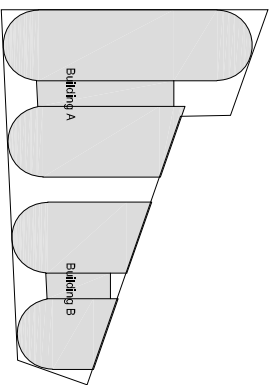
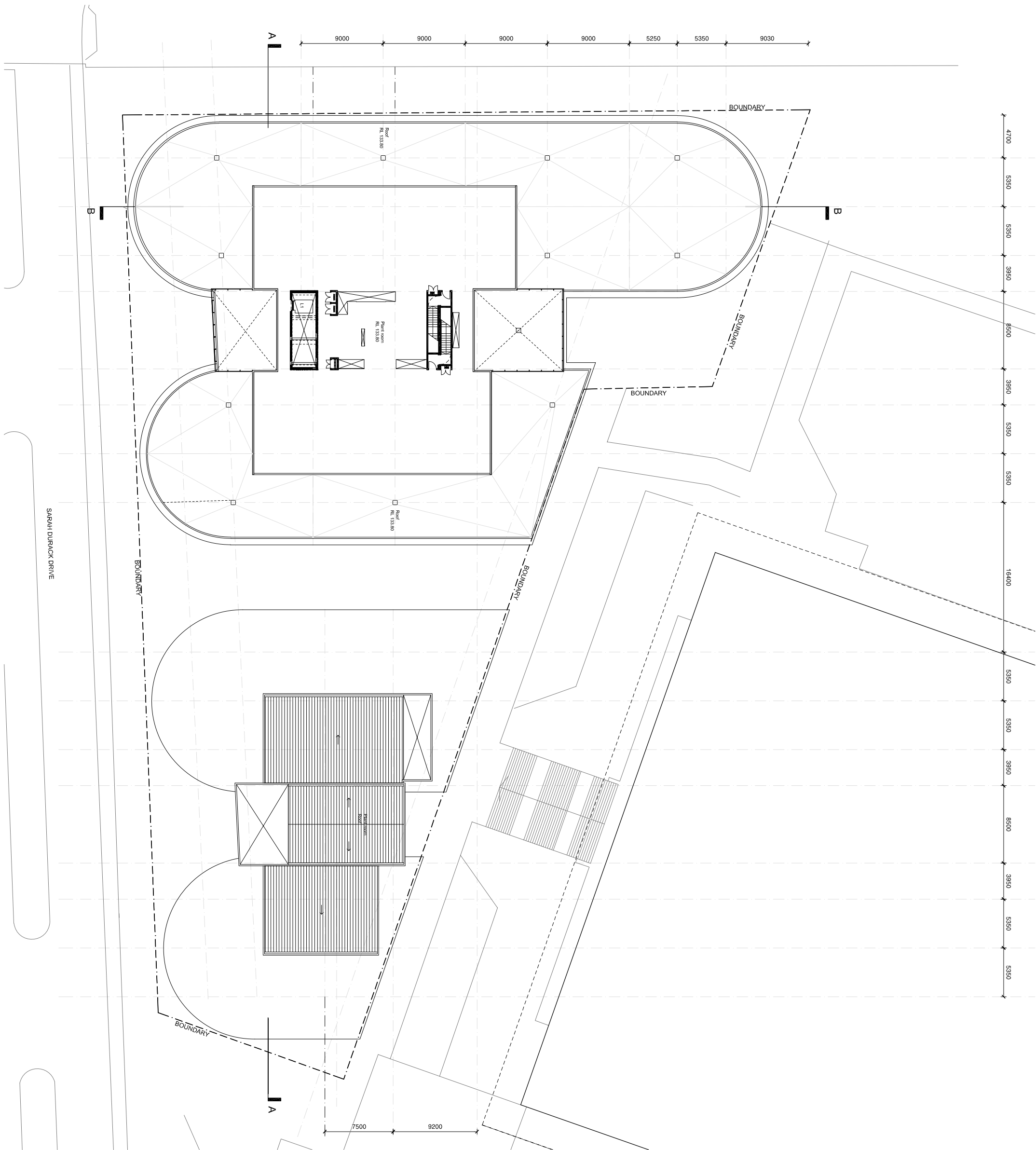


Status	Major Project Application
Scale	1:200@A1, 1:400@A3
Drawn	NM
Project no.	S10849
Date	September 17, 2008
Plot file	S:\10849-1099510949_SCPA_SITE13\00_LIAISON\CD PLOTS\AMENDED_PPR_SUBMISSION\OPR\EA-249_AMENDED.L04.DWG
Drawing no.	AR EA 2 05 3
Discipline	Struct
Package	Type
No.	Revision

Melbourne 1 Nicholson Street
Sydney NSW 1580
T 03 9564 6300 F 03 9564 6300
email: melb@batesmart.com.au
http://www.batesmart.com.au

Sydney 1/243 Liverpool Street
Sydney NSW 1580
T 03 9564 6300 F 03 9564 6300
email: syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400



Do not scale drawings - refer to figure dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

OD | PARTNERSHIP PVT. LIMITED

A Joint Venture between
AVJennings
DEVELOPMENTS

**A S H E
MORGAN
PROPERTY**

Sydney Olympic Park
Site 13
Floor Plan
L05

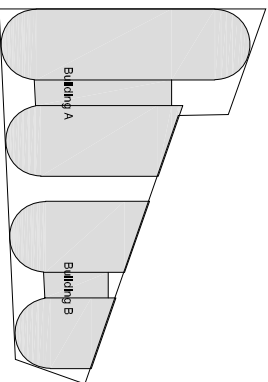
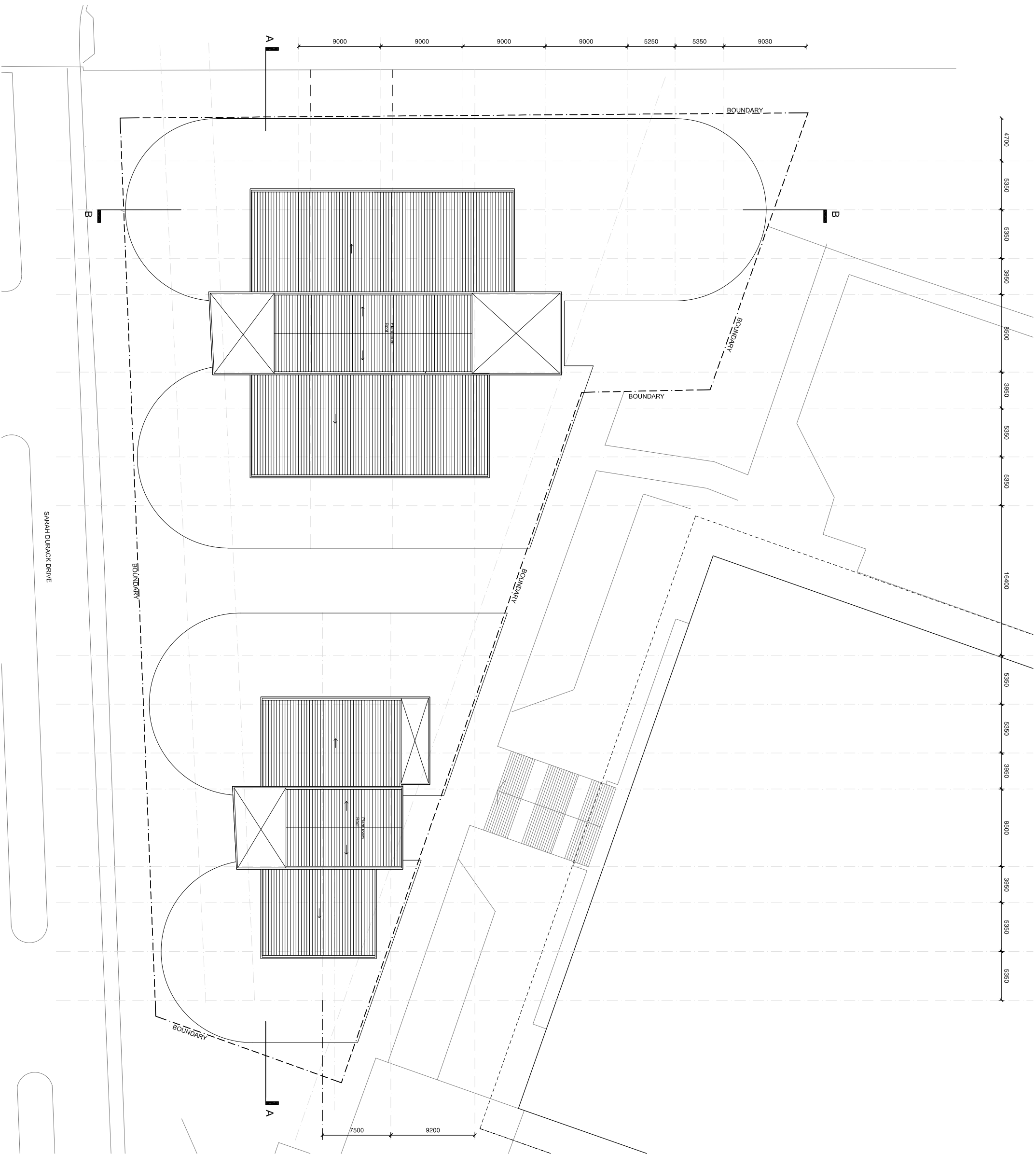


Status	Major Project Application					
Scale	1:200@A1, 1:400@A3					
Drawing	NM					
Project no.	S10849					
Date	September 17, 2008					
Title	S10849, proposed new square setting, LAMKARD PL, STOWMANED, PRR SUBMISSION DOPAS EA-203 AMENDED					
Discipline	Sheet/ Package	Type	No	Revision		
AR	EA	2	06	2		

Melbourne 1 Melbison Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email melb@bailesmart.com.au
<http://www.bailesmart.com.au>

Sydney 12/43 Liverpool Street
East Sydney NSW 2010 Australia
T 02 9380 7288 F 02 9380 7288
email syd@bailesmart.com.au
<http://www.bailesmart.com.au>

Bates Smart Ply Ltd ABN 70 004 999 400



Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components.

All drawings may not be reproduced or distributed without prior permission from the architect.

2	22.06.09	Amended for PPR Submission	NM	AG
1	10.10.08	Amended for PPR Submission	NM	AG
Rev.	Date	Description	Initial	Checked

OD | PARTNERSHIP PVT. LIMITED

AV Jennings



Sydney Olympic Park
Site 13
Roof Plan
L06

Series	Major Project Application			
Scale	1:200@A1, 1:400@A3			
Drawn	NMI			
Project no.	S10249			
Date	September 17, 2008			
Plot file	S:\000-000000\Draw_Separ_SitePlan_JUN08 14100\Drawn\Draw_Submission\03\A1_1:200.dwg			
Drawing no.	AREA 2 07 2			
Discipline	Sewer	Type	No.	Revision

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mel@ballssmart.com.au
<http://www.ballssmart.com.au>

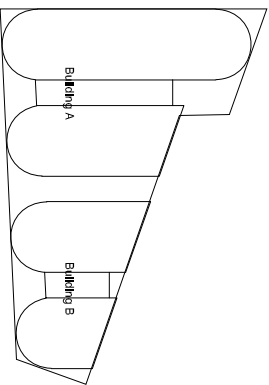
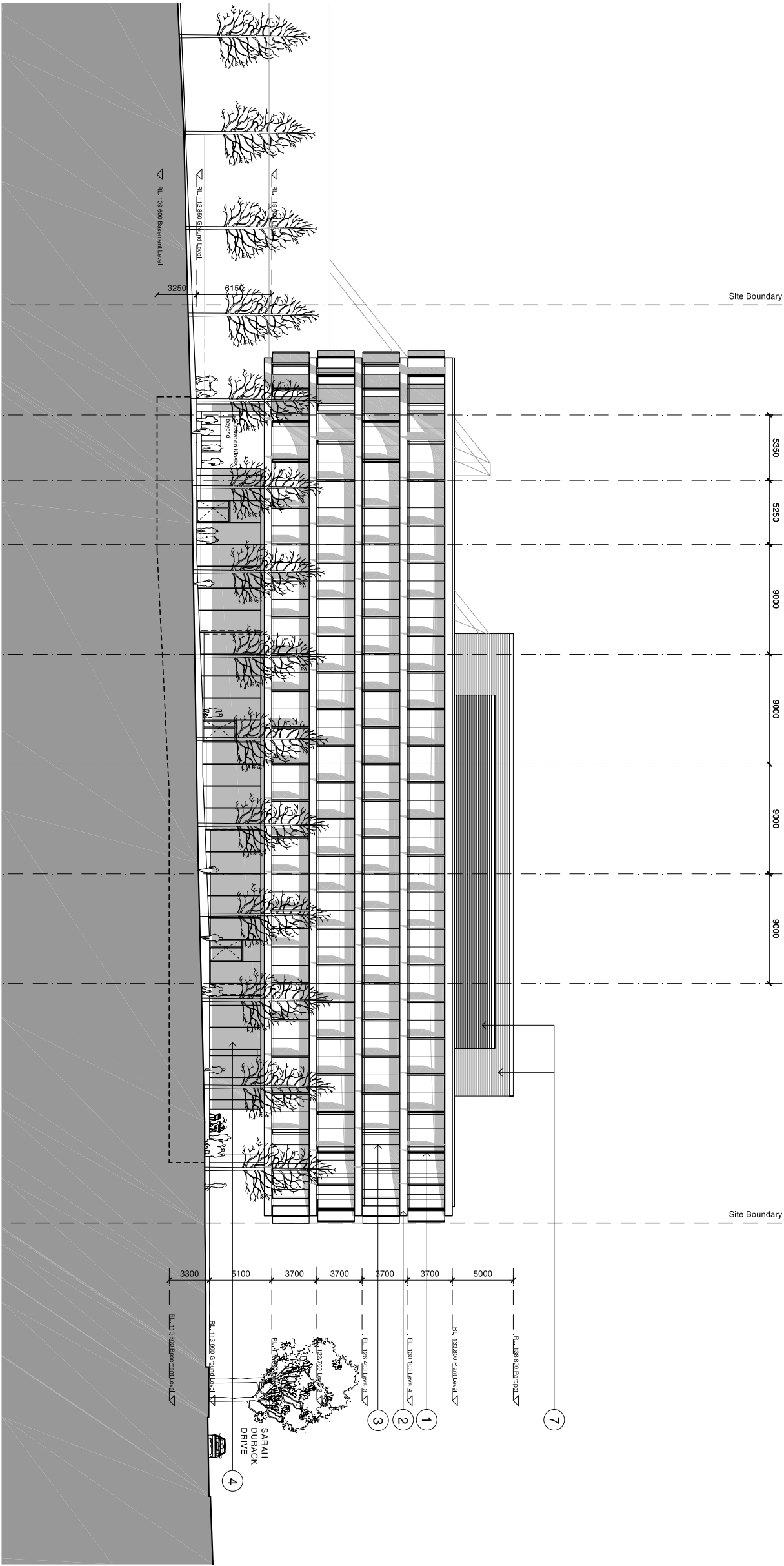
Sydney 1/243 Liverpool Street
East Sydney NSW 2010 Australia
T 02 9380 7288 F 02 9380 7280
email syd@ballssmart.com.au
<http://www.ballssmart.com.au>

Bates Smart Ply Ltd ABN 70 004 999 400

Site 13

Sydney Olympic Park

Preferred Project Report
February 2010 S10849

[illegible]

OD | PARTNERSHIP PTV LIMITED

AV Jennings
DEVELOPMENT

A S H E
M O R G A N
P R O P E R T Y

Sydney Olympic Park
Site 13
East Elevation

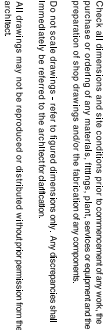
System	Major Project Application			
Scale	1:200 @A1, 1:400 @A3			
Drawn	NM			
Project no.	S10849			
Date	May 14, 2008			
Plot title	S10849, WESTSIDE SQ., SITTING HARBOR PLOT-DIVIDED, PER SUBMISSION DOWNS EA, S-UL DWG			
Drawing no.	AR EA 5 01 3			
Discipline	Sheet	Type	No	Revision
Package:				

Melbourne: T: Nindson Street
Melbourne VIC 3000 Australia
T 03 9664 6200 F 03 9664 6300
email mel@baatesmart.com.au
<http://www.baatesmart.com.au>

Sydney: 12/43 Liverpool Street
East Sydney NSW 2010 Australia
T 02 9380 7288 F 02 9380 7280
email syd@baatesmart.com.au
<http://www.baatesmart.com.au>

Bates Smart Pty Ltd ABN 70 004 999 400

Bates Smart Ply Ltd ABN 70 004 999 400

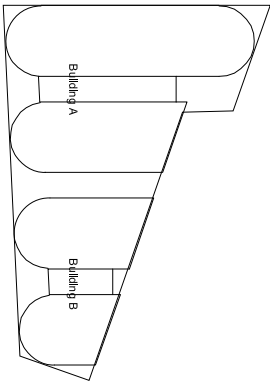
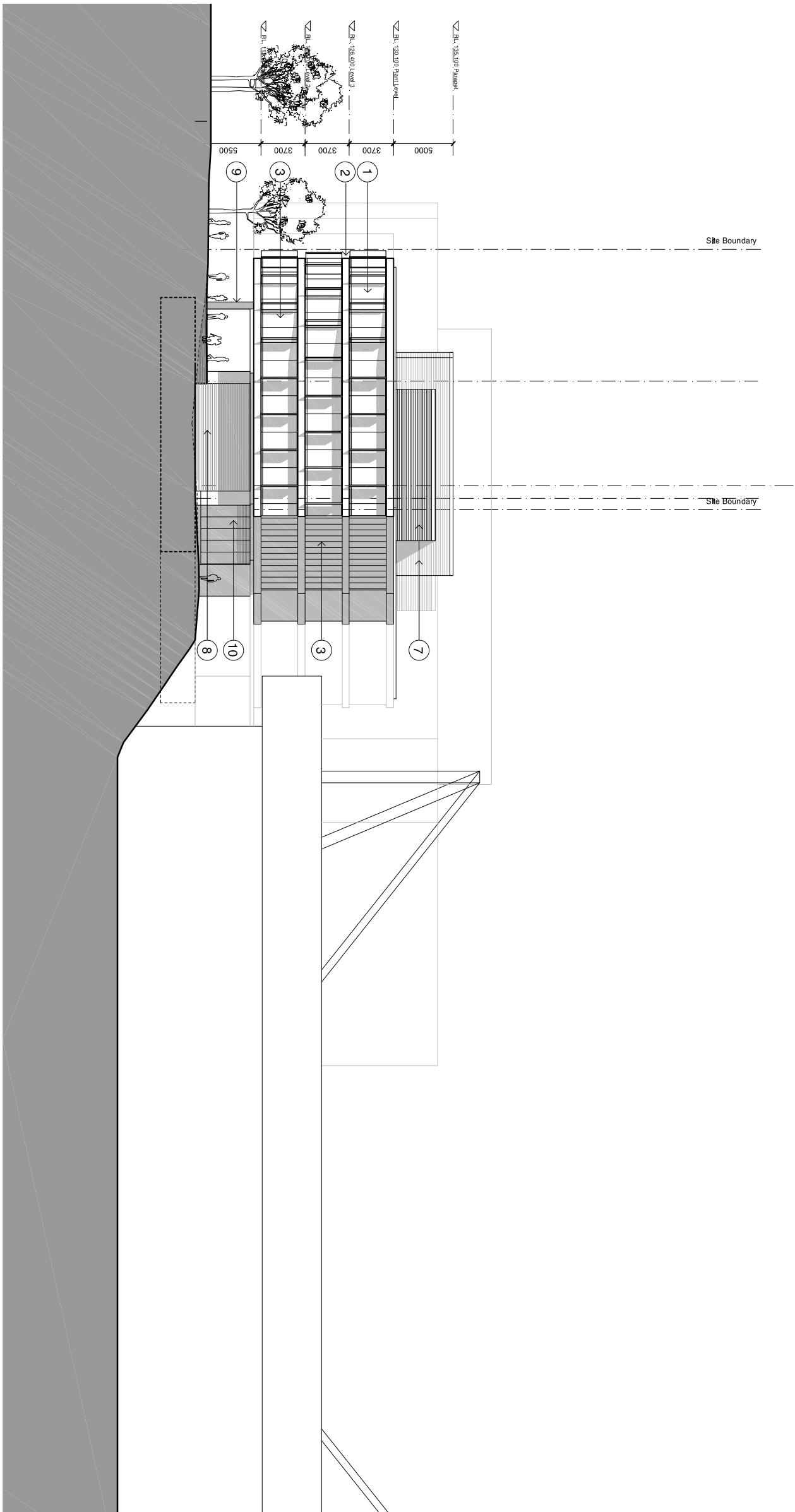


Sydney Olympic Park
Site 13
North Elevation

Melbourne Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email melb@batesman.com.au
<http://www.batesman.com.au>

Sydney 1243 Liverpool Street
East Sydney NSW 2010 Australia
T 02 9380 1288 F 02 9380 7280
email syd@batesman.com.au
<http://www.batesman.com.au>

Bates Smart Pty Ltd ABN 70 004 999 400



Check all dimensions and site conditions prior to commencement of any work. The purchaser is responsible for obtaining all necessary permits, approvals, and clearances for the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components.

Do not scale drawings - rely on figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

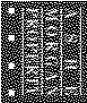
All drawings may not be reproduced or distributed without prior permission from the architect.

All drawings may not be reproduced or distributed without prior permission from the architect.

OD PARTNERSHIP
STY LIMITED

A Joint Venture between:

Advertisements



Sydney Olympic Park
Site 13



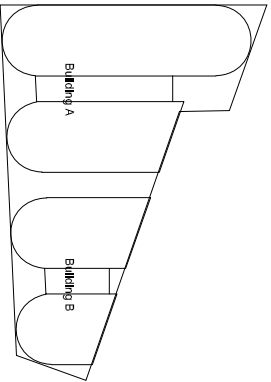
West Elevation

Status	Major Project Application
Scale	1:200 @A1 :1:400 @A3
Drawing	NM
Project no.	S10649
Date	May 14, 2008
Project title	STATION-06695'S ROAD, SGP, SITE TUN, MINICAO PLOT-010-06695'S ROAD, SGP, SITE TUN, MINICAO PLOT-010-06695'S ROAD, SGP, SITE TUN, MINICAO
Drawing no.	EA EA 5 03 1

Melbourne 1 Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email mb@batesmart.com.au
<http://www.batesmart.com.au>

Sydney 12/43 Liverpool Street
East Sydney NSW 2010 Australia
T 02 9380 7268 F 02 9380 7280
email syd@batesmart.com.au
<http://www.batesmart.com.au>

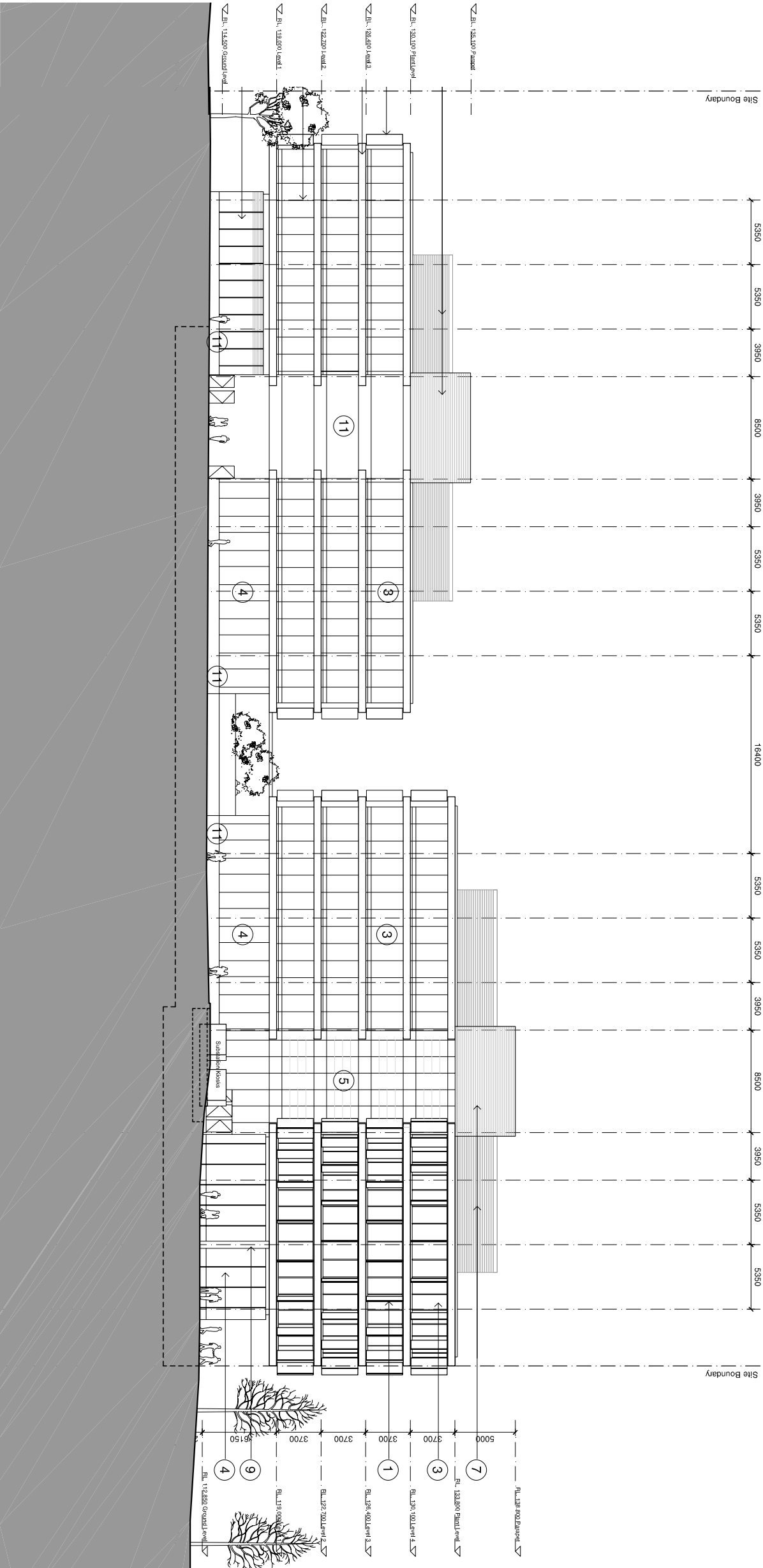
Bates Smart Pty Ltd ABN 70 004 999 400



Site 13

Sydney Olympic Park

Preferred Project Report
February 2010 S10849



- | External Finishes | Internal Finishes |
|-------------------|--|
| 1. | Clean anodised aluminium to vertical fins |
| 2. | Aluminium cladding band coated in black PVDF finish to slab edges |
| 3. | Performance double glazed units with green vision glass and black powdercoat glazing |
| 4. | Performance clear single glazing with black powdercoat frame |
| 5. | Operable windows |
| 6. | Clean anodised aluminium fixed horizontal screen |
| 7a. | Powder coated steel with cladding with Colbond finish |
| 7b. | Frameless weatherproof ventilation louvers colour and glazing to match powder steel cladding |
| 8. | Porcelain metal roller door |
| 9. | Oil-fume concrete class 1 finish to columns |
| 10. | Black colour-baked glazing |
| 11. | Randomised dark grey finish to concrete core wall & podium |
| 12. | White paint finish to concrete soffit (typical floors only) |
| 13. | FC sheet (tinge to level 1 soffit) |

3	15.02.10	Amended for PPS Submission	NM PV
2	10.10.09	Amended for PPR Submission	NM PV
1	17.09.08	Amended for PPR Submission	NM PV
1	New Date	Description	Initial Checked

A Joint Venture between:



Sydney Olympic Park
Site 13



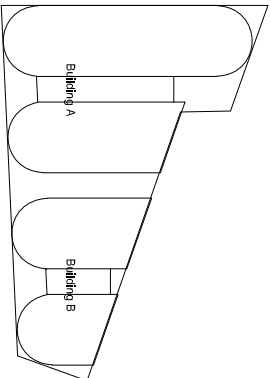
South Elevation

Status	Major Project Application			
Scale	1:200 @A1: 1:400 @A3			
Drawn	NM			
Project no.	S.10849			
Date	May 14, 2008			
Plot title	S.10849, WESTSIDE SQ. SITTION, AMMAN JORDAN JORDAN P.R. SUBMISSION DRAFT EA, J.O.D.DWG			
Drawing no.	AR	EA	5	04
Discipline	Sheet	Type	No	Revision
Package				

Melbourne Nicholson Street
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email meh@batesmann.com.au
<http://www.batesmann.com.au>

Sydney 1243 Liverpool Street
East Sydney NSW 2010 Australia
T 02 9380 7288 F 02 9380 7280
email syv@batesmann.com.au
<http://www.batesmann.com.au>

Bates Smart Ply Ltd ABN 70 004 999 400



All drawings may not be reproduced or distributed without prior permission from the architect.

3	15.02.10	Amended for PPR Submission	NM	PV
2	10.10.08	Amended for PPR Submission	NM	PV
1	17.09.08	Amended for PPR Submission	NM	PV
1	Date	Description	Initial	Checked

OD | PARTNERSHIP PVT. LIMITED

AV Jennings
DEVELOPMENT

ASHLEY MORGAN
PROPERTY

Sydney Olympic Park
Site 13
West Elevation - Internal Courtyard

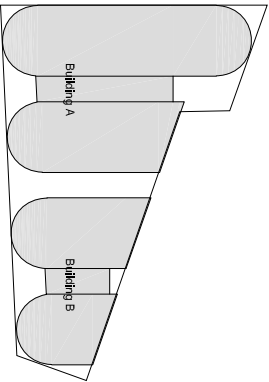
Status	Major Project Application					
Scale	1:200@A1; 1:400@A3					
Drawing	NM					
Project no.	S10849					
Date	May 14, 2006					
Title	SACRAMENTO DISTRICT SUPPLY SYSTEMS MAINTENANCE AND MODERNIZATION PROJECT - DRAINAGE					
Drawing no.	AR E A 5 05 3					
Discipline	Stage/	Type	No.	Revision		

Westside
Melbourne VIC 3000 Australia
T 03 8664 6200 F 03 8664 6300
email melb@batesmart.com.au
<http://www.batesmart.com.au>

Sydney
East Sydney NSW 2010 Australia
T 02 9380 7288 F 02 9380 7280
email syd@batesmart.com.au
<http://www.batesmart.com.au>

Bates Smart Pty Ltd ABN 70 004 999 400

Bates Smart Ply Ltd ABN 70 004 999 400



Do not scale drawings—refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.

All drawings may not be reproduced or distributed without prior permission from the architect.

External Finishes

1. Natural anodised aluminium vertical fins
2. Black anodised aluminium cladding band to slab edges
3. Performance vision glass double glazed units
4. Clear glass shopfront glazing
5. Operable windows
6. Natural anodised aluminium fixed horizontal louvers
7. Aluminium ventilation louvers
8. Powdered metal roller door
9. Off form concrete column
10. Opaque colour back glazing to loading dock
11. Off form concrete core wall

Status	Scale	Drawn	Project no.	Date	Prop. title	Drawing no.
Major Project Application	1:200 @ A1, 1:400 @ A3	NMI	S10849	May 14, 2008	MURKINGS ROAD MURKINGS, SODAS SITE 39/L07 SEAVILLE, VIC 32200	AR EA 6 02 1
Discipline:	Stage/Package:	Type:	No.	Revision:		
Melbourne Nicholson Street Melbourne VIC 3000 Australia Tel 03 8664 6200 F 03 8664 6500 email info@adrianstuart.com.au http://www.adrianstuart.com.au	Sydney 1/243 Liverpool Street East Sydney NSW 2010 Australia Tel 02 9360 7268 F 02 9360 7260 email syd@adrianstuart.com.au http://www.adrianstuart.com.au					

Site Smart Pty Ltd ABN 7 004 999 400

Sydney Olympic Park
Site 13

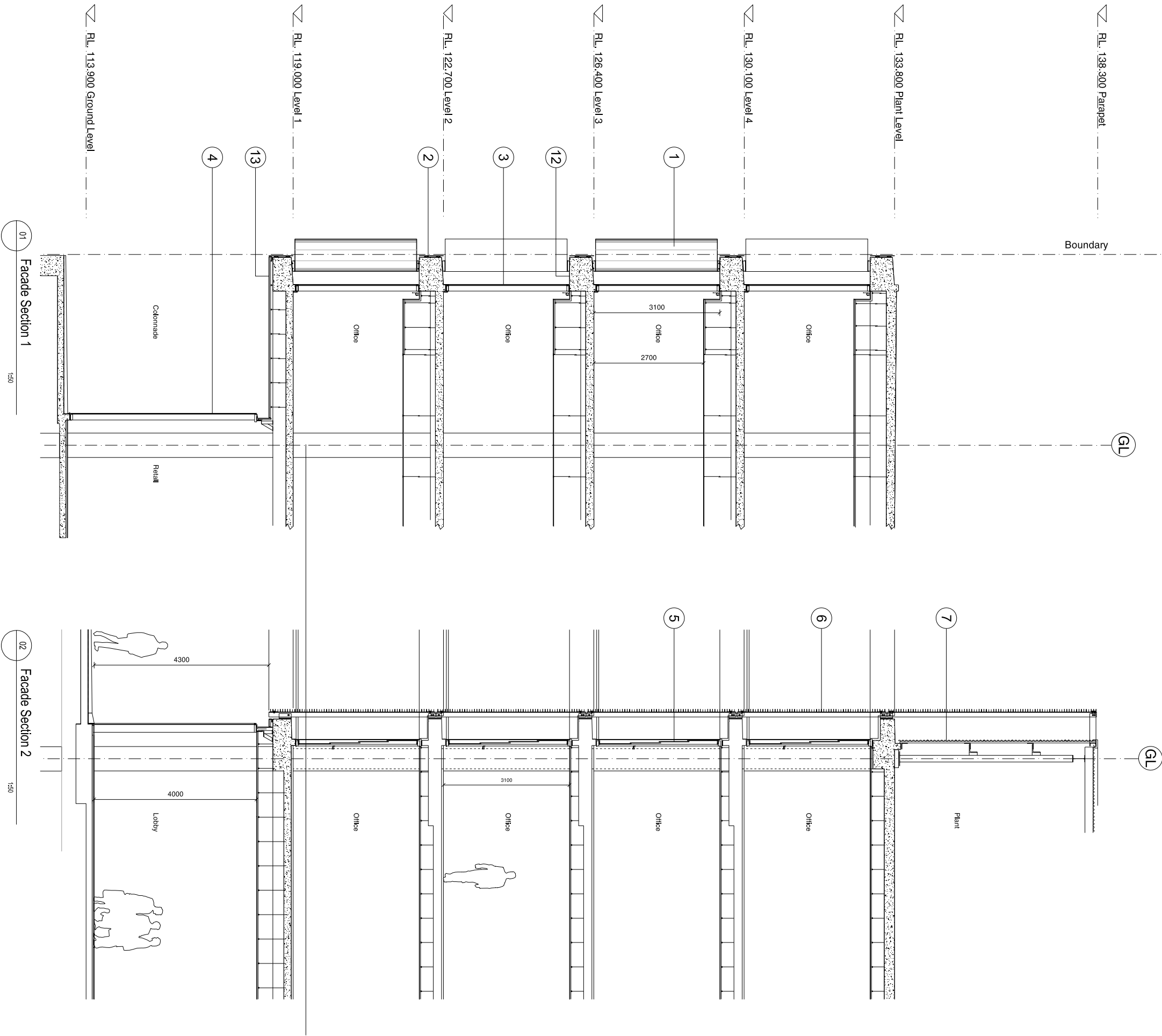
A Joint Venture between:

OD | PARTNERSHIP PTY LIMITED

Avvenings DEVELOPMENTS

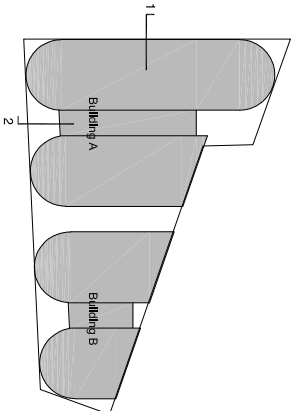
A S H E
MORGAN
PROPERTY

BATES SMART[™]



- External Finishes**
1. Clear anodised aluminium to vertical fins
 2. Aluminium cladding board coated in black PVDF finish to side edges
 3. Performance double glazed units with green vision glass and black, powdercoat framing
 4. Performance clear angle glazing with black powdercoat framing
 5. Operable windows
 6. Clear anodised aluminium fixed horizontal profiled steel wall cladding with Colobond finish
 - 7a. Framesless weatherproof ventilation louvers - colour and spacing to match profiled steel cladding
 - 7b. Prefabricated metal roller door
 8. Chicken concrete Class 1 finish to columns
 9. Black colourbond glazing
 10. Reinforced dark grey finish to concrete core wall & podium
 11. White paint finish to concrete soffit (typical floors only)
 - 12.
 13. FC sheet tilting to Level 1 soffit

Check all dimensions and site conditions prior to commencement of any work. The purchaser or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components. Do not scale drawings - refer to figure dimensions only. Any discrepancies shall immediately be referred to the architect for clarification. All drawings may not be reproduced or distributed without prior permission from the architect.



1	10.10.08 For PPR Submission	NM	PV
Rev. Date	Description	Initial	Checked

OD | PARTNERSHIP PTY LIMITED

A Joint Venture between:



Sydney Olympic Park
Site 13



Facade Section Details

Status	Major Project Application
Scale	1:50@A1, 1:100@A3
Drawn	NM
Project no.	S10849
Date	September, 2008
Port file	S10849-0809010041_SOPV_SITE1300_AUSTRALIAN OLYMPIC PARK SUBMISSION.DWG
Drawing no.	AR EA 7 01 1
Discipline	Stage Type No. Revision
Package	

Bates Smart Pty Ltd
1/243 Liverpool Street
Sydney NSW 2000 Australia
T 02 9594 6200 F 02 9594 6300
email info@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

External Finishes

- 1. Clear anodised aluminium to vertical fins
- 2. Aluminium cladding band coated in black PVF2 finish to slab edges
- 3. Performance double glazed units with green vision glass and black powdercoat framing
- 4. Performance clear single glazing with black powdercoat framing
- 5. Operable windows
- 6. Clear anodised aluminium fixed horizontal screen
- 7a. Profiled steel wall cladding with Colorbond finish
- 7b. Frameless weatherproof ventilation louvres - colour and spacing to match profiled steel cladding
- 8. Perforated metal roller door
- 9. Off-form concrete Class 1 finish to columns
- 10. Black colour-back glazing
- 11. Rendered dark grey finish to concrete core wall & podium
- 12. White paint finish to concrete soffit (typical floors only)
- 13. FC sheet lining to Level 1 soffit





Revised View 1 - Looking east down Sarah Durack Avenue



Revised View 2 - Looking north up Olympic Boulevard

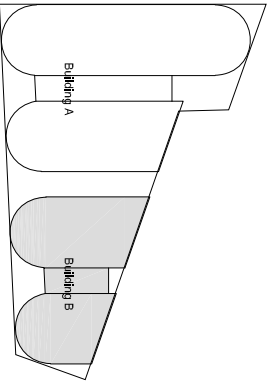
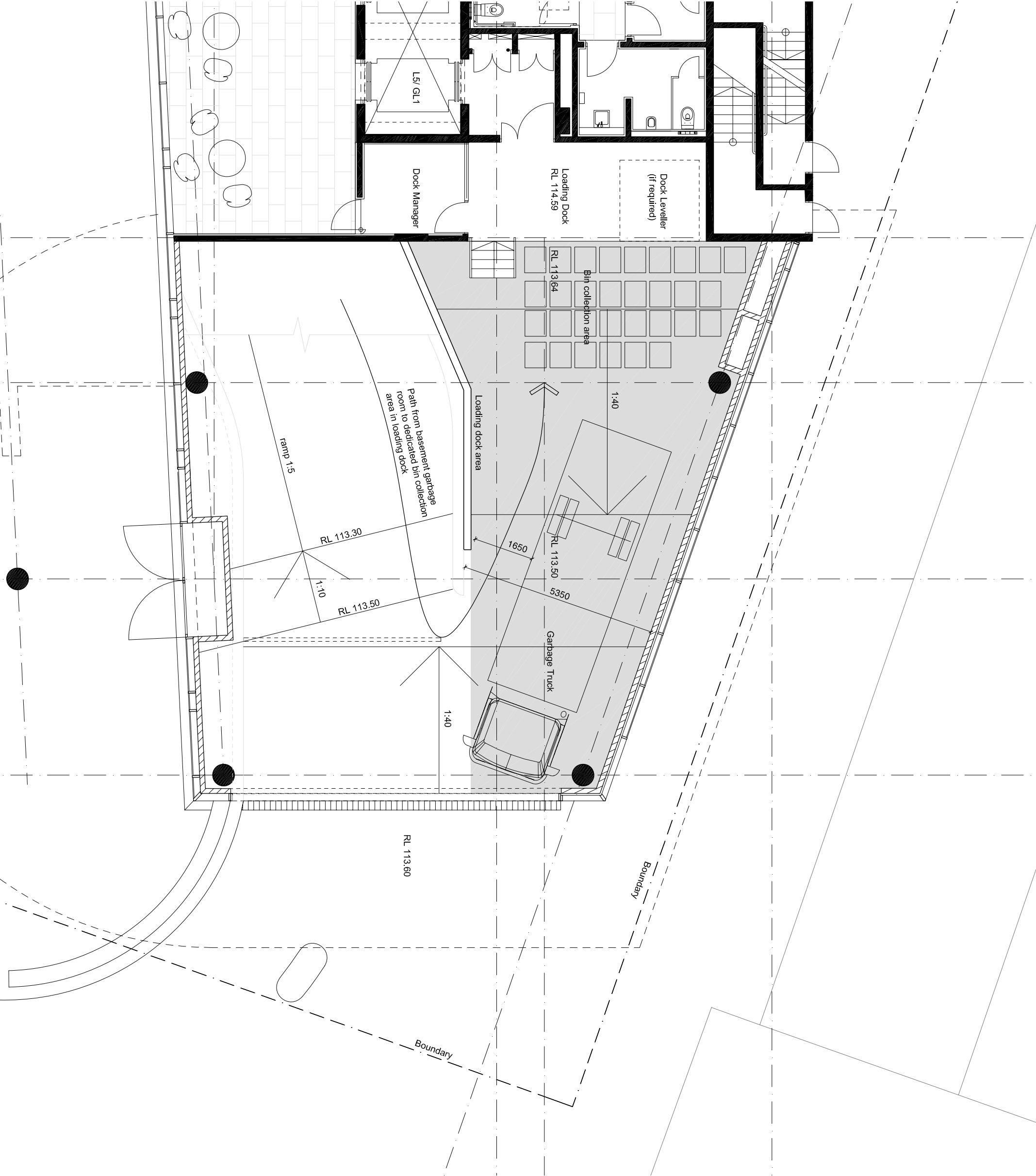


Revised View 3 - Looking south-east towards Olympic Boulevard from Sarah Durack Avenue



Revised View 4 - Looking north-west from Olympic Boulevard

	GBA (sqm)	car spaces
Basement Level 1	3,753	100
Plant Building A	973	
Plant Building B	473	
Total GBA	20,825	



Check all dimensions and site conditions prior to commencement of any work. The purchaser or owner of any materials, fittings, plant, services or equipment and the preparation of shop drawings under the supervision of any component. Do not scale drawings - refer to figure dimensions only. Any discrepancies shall immediately be referred to the architect for clarification. All drawings may not be reproduced or distributed without prior permission from the architect.

OD | PARTNERSHIP PTV LIMITED

AVemings DEVELOPMENTS

A Joint Venture between:

A S H E MORGAN PROPERTY

AVemings DEVELOPMENTS

Sydney Olympic Park
Site 13
Ground Floor Loading Dock Plan
Garbage collection diagram

Status	Major Project Application
Scale	1:50 @ A1, 1:100 @ A3
Drawn	NMI
Project no.	S10849
Date	September 17, 2008
Plot title	S:\10800-10899\STAGE 5\PPR SITE13\00 MAIN\CAO UTL\OTS\CA\AMENDED_PPR SITE13\STAGE 5\PPR SITE13\00 MAIN\CAO
Drawing no.	AREA 2 11 2
Discipline	Super
Package	Type
No.	Revision

Melbourne 1 Nicholson Street
Sydney Olympic Park
T 03 9664 8200 F 03 9664 8300
email mnl@batesmart.com.au
http://www.batesmart.com.au

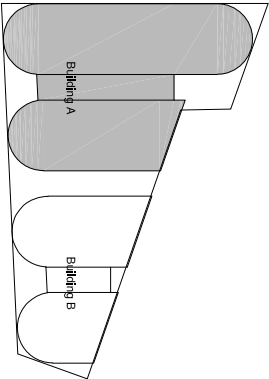
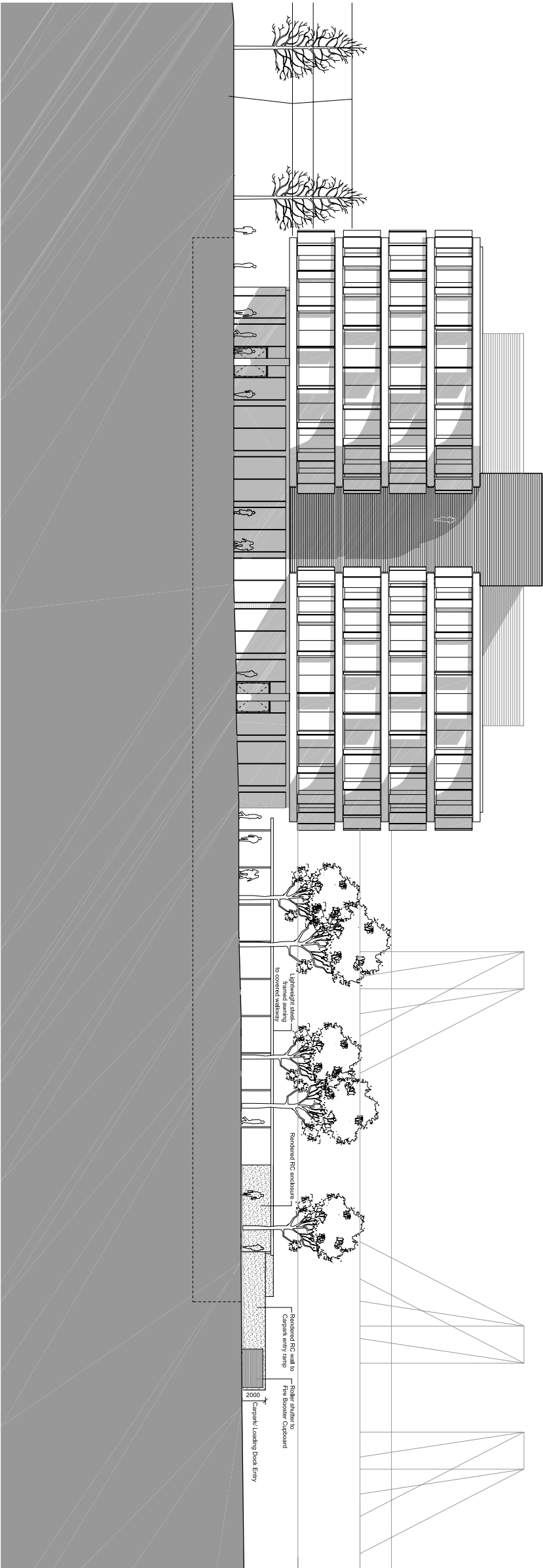
Sydney 1234 Liverpool Street
Sydney Olympic Park
T 02 9380 7288 F 02 9380 7280
email syd@batesmart.com.au
http://www.batesmart.com.au

Bates Smart Pty Ltd ABN 70 004 999 400

BATESSMART™



1 Stage 1 - North Elevation
1:100 @ A1



Check all dimensions and site conditions prior to commencement of any work, the purchaser or contractor of any materials, stages, plans, services or equipment and the preparation of any drawings and/or the installation of any components.
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect or draftsman.
All drawings may not be reproduced or distributed without prior permission from the architect.

