



5 November 2009
Our Ref: 6376B.18DK

The Director-General
Department of Planning
23-33 Bridge Street
SYDNEY 2000

Attention: Anna Johnston, Senior Planner, Strategic Assessments

Dear Madam

**Section 75W Modification of Concept Plan and Project Approvals
(MP06_0060 and MP06_0058)
Residential and Commercial development at the Corner of The Wool Road and Naval
College Road, Vincentia**

The purpose of this letter is to formally apply to the Department of Planning for an amendment to the above Major Project approval in accordance with the provisions of Section 75W of the Environmental Planning & Assessment Act (the Act) in respect of the Design Essentials which are referenced in Part B of the Approval.

1.0 Background

On 27 November 2007, Stockland submitted a Section 75W modification to the Minister to revise and improve upon the complying development standards and Design Guidelines approved as part of the Concept Plan. Stockland also requested that the Minister make an order under Section 75P(2)(d) of the Act to declare:

1. *dwelling houses, including alterations and additions, as complying development, for the purposes of the Act, and*
2. *minor development ancillary to a dwelling house as exempt development for the purposes of the Act,*

consistent with the exempt and complying development standards and design controls approved as part of the Concept Plan approval.

Stockland submitted with the Section 75W application the following two documents:

1. *Exempt and Complying Development Controls – Vincentia Coastal Village*, prepared by Don Fox Planning Pty Limited, and
2. Design Guidelines titled *“Design Essentials – a guide to building your home at Bayswood”* prepared by Stockland Pty Limited.



On 9 July 2008, the Minister:

1. Made an Order pursuant to section 75P(2)(d) of the Environmental Planning and Assessment Act, 1979, declaring that the development within the VCV site that satisfies the requirements for exempt development or complying development specified in the Exempt and Complying Development Controls – Vincentia Coastal Village, dated 8 July 2008, is exempt development or complying development as appropriate.
2. Approved the Section 75W application and modified the Major Project approval to nominate future dwelling houses relating to the approved residential subdivision component of the Concept Plan approval for Vincentia Coastal Village (VCV) as complying development for the purposes of the Environmental Planning and Assessment Act, 1979, and also to make minor developments ancillary to dwelling houses on the VCV site exempt development. This modification was effected by inserting into Part B – Future Applications of the Project Approval the following conditions:

B3 Dwelling Houses

- (1) *In accordance with Section 75P of the Act, future applications for dwelling houses (including alterations and additions) on single lots shall either:*
 - (a) *obtain a Complying Development Certificate under Part 4A of the EP&A Act which complies with the exempt and complying development provisions contained in the document titled Exempt and Complying Development Controls – Vincentia Coastal Village, prepared by Don Fox Planning Pty Ltd dated 8 July 2008 which includes the design guidelines titled Design Essentials – a guide to building your home at Bayswood” prepared by Stockland Pty Ltd and dated 23 June 2008; or*
 - (b) *obtain development consent under Part 4 of the Act by submitting a development application to Shoalhaven City Council.*
- (2) *In determining a development application under Part 4 of the Act, the consent authority shall take into consideration:*
 - (a) *The document titled Exempt and Complying Development Controls – Vincentia Coastal Village, prepared by Don Fox Planning Pty Ltd dated 8 July 2008 which includes the design guidelines titled “Design Essentials – a guide to building your home at Bayswood” prepared by Stockland Pty Ltd and dated 23 June 2008;*
 - (b) *Shoalhaven Development Control Plan No. 91 – Single Dwellings and Ancillary Structures- Minimum Building Requirements; and*
 - (c) *Written correspondence from Stockland issued within 5 days of receipt of a request by the applicant confirming that the proposed dwelling house meets the design guidelines titled” Design Essentials – a guide to building your home at Bayswood” prepared by Stockland Pty Ltd and dated 23 June 2008.*
- (3) *In determining a Complying Development Certificate under Part 4A of the Act, the accredited certifier shall ensure that:*
 - (a) *the development complies with the provisions set out in the document titled Exempt and Complying Development Controls – Vincentia Coastal Village, prepared by Don Fox Planning Pty Ltd dated 8 July 2008 which includes the design guidelines titled “Design Essentials – a guide to building your home at Bayswood” prepared by Stockland Pty Ltd and dated 23 June 2008; and*



- (b) *the applicant or owner has obtained written correspondence from Stockland confirming that proposed dwelling house meets the design guidelines titled “Design Essentials – a guide to building your home at Bayswood” prepared by Stockland Pty Ltd and dated 23 June 2008.*

2.0 Approval to be modified

The details of the Concept Plan approval to be modified are as follows:

- Major Project No: 06_0060
- Proponent: Stockland Developments Pty Ltd
- Determination date: 25 January 2007, as last modified on 20 April 2009.

This application to modify the above approval is lodged on behalf of the proponent, Stockland Developments Pty Ltd. A letter of authorisation from the proponent is at **Attachment 1**.

3.0 Modifications Proposed to Concept Plan Approval

The application seeks to modify:

1. The Design Essentials document; and
2. Schedule 2, Part B – Dwelling Houses of the Concept Plan Approval.

The nature of the modifications and reason for the modification is discussed below. It should be noted that the proposal does not involve any amendment to the Exempt and Complying Development Controls – Vincentia Coastal Village, prepared by Don Fox Planning Pty Ltd dated 8 July 2008 (herein after called “The Code”). Therefore this does not require an amendment or re-issuing of the Order, as the Design Essentials document is not referenced in the Order.

3.1 Modification to Design Essentials document

The Design Essentials document is to be modified in a very minor manner as summarised below.

1. Amendment of the document title to “*Bayswood, Design Essentials.*”
2. Restructuring the format to make the document more concise and structuring the document by grouping controls in a logical manner to assist the reader in understanding the controls;
3. Removing some of the graphics that did not assist in understanding the controls;
4. Adding a new introductory paragraph on page 1 of the document under the heading of “*Your Home Design at Bayswood.*” This is purely explanatory to give the reader an understanding of why the controls exist.
5. At page 8 (of the approved document) deleting the following two controls which are not contained in the Code :

“The finished floor level of the dwelling [at the main entry door that addresses the street] shall not be less than 0.3m below the ground level measured at the closest point on the front property boundary.

The deck should have a timber finish and presentation to the street, ensuring that the nose edge and face that meets the ground line is constructed of timber battens or similar approved.”



6. Amending the control at page 8 (of the new document) which currently reads:

“Lightweight timber or steel construction is encouraged. Masonry construction will not be considered, except as a blade wall element or as to highlight the main entry door of the home.”

And replacing the control with the following words:

“Lightweight timber or steel construction is encouraged. Masonry construction will be considered as a blade wall element or as a column with a maximum 2/3 height of verandah to highlight the main entry of the home.”

This is intended to better guide the applicant as to what form of structure is acceptable within the articulation zone. This control is not contained in The Code.

7. Inserting a new guideline under the heading of Articulation Zone (page 3 of the new document) to assist in helping applicants design a verandah within the articulation zone. The new control contains no development standards that would need to be incorporated into The Code. The new guideline reads as follows:

“The roofing option over verandah can be one of the following:

- pergola, post and battens to provide shade;*
- separate hipped roof attached to gable end of main roof;*
- separate lean-to roof married into main roof or attached to front wall;*
- main roof extension as a gable end with raked soffit;*
- main roof extension as a hipped roof in line with or higher than main roof eaves”*

8. Inserting two new controls under the heading of Landscape Design (page 7 of new document) in relation to the landscape treatment. The new controls read as follows:

“All soft landscaping areas of the lot must be landscaped with grass, groundcovers, gravel, mulching or shrubs and trees.

Turf to front garden to be Buffalo ST-26 to match street verge.”

9. Inserting an additional three colours to the roof palette colours – refer to page 6 of the new document.

A copy of the modified Design Essentials is attached as **Attachment 2**.

3.2 Modification to Concept Plan Approval

Schedule 3 – Part B of the Concept Plan approval references the Design Essentials by the document dated 23rd June 2008. The only modification to the Concept Plan approval is a simple modification to the date and document title.

We are proposing that the date reference be removed from the conditions contained in B3-Dwelling Houses. This would provide flexibility in the event that Stockland need to make further fine tuning adjustments to any of the contents of the Design Essentials (excluding any of the controls which are contained in The Code and repeated in the Design Essentials). It would also avoid the need to undertake an otherwise unnecessary administrative process of modifying the approval in the event that other minor changes are made.

The modification to B3 – Dwelling Houses is set out below. Deleted text is shown as strikethrough and new text is underlined.



B3 Dwelling Houses

- (1) In accordance with Section 75P of the Act, future applications for dwelling houses (including alterations and additions) on single lots shall either:
 - (a) obtain a Complying Development Certificate under Part 4A of the EP&A Act which complies with the exempt and complying development provisions contained in the document titled Exempt and Complying Development Controls – Vincentia Coastal Village, prepared by Don Fox Planning Pty Ltd dated 8 July 2008 which includes the design guidelines titled Bayswood Design Essentials – a guide to building your home at Bayswood prepared by Stockland Pty Ltd and dated 23 June 2008; or
 - (b) obtain development consent under Part 4 of the Act by submitting a development application to Shoalhaven City Council.
- (2) In determining a development application under Part 4 of the Act, the consent authority shall take into consideration:
 - (a) The document titled Exempt and Complying Development Controls – Vincentia Coastal Village, prepared by Don Fox Planning Pty Ltd dated 8 July 2008 which includes the design guidelines titled Bayswood Design Essentials – a guide to building your home at Bayswood prepared by Stockland Pty Ltd and dated 23 June 2008;
 - (b) Shoalhaven Development Control Plan No.91 – Single Dwellings and Ancillary Structures- Minimum Building Requirements; and
 - (c) Written correspondence from Stockland issued within 5 days of receipt of a request by the applicant confirming that the proposed dwelling house meets the design guidelines titled Bayswood Design Essentials – a guide to building your home at Bayswood prepared by Stockland Pty Ltd and dated 23 June 2008.
- (3) In determining a Complying Development Certificate under Part 4A of the Act, the accredited certifier shall ensure that:
 - (a) the development complies with the provisions set out in the document titled Exempt and Complying Development Controls – Vincentia Coastal Village, prepared by Don Fox Planning Pty Ltd dated 8 July 2008 which includes the design guidelines titled Bayswood Design Essentials – a guide to building your home at Bayswood prepared by Stockland Pty Ltd and dated 23 June 2008; and
 - (b) the applicant or owner has obtained written correspondence from Stockland confirming that proposed dwelling house meets the design guidelines titled Bayswood Design Essentials – a guide to building your home at Bayswood prepared by Stockland Pty Ltd and dated 23 June 2008.

The modification simply changes the references to the Design Essentials. The proposed amendment of the approval does not alter the process for obtaining a complying development certificate or assessing a development application as set out in the above condition.

There are no modifications required to the approved Statement of Commitments.



4.0 Consistency with original approval

The proposed modification does not alter any of the controls with The Code. The modifications are confined to the Design Essentials and are either cosmetic or pertain to matters which are not relevant to determine if a development is complying development. The amendments to the Design Essentials simply guide the architectural form, materials, colours and landscaping.

The intent of the original approval to establish exempt and complying development controls for the Bayswood site remains unchanged. Further, the development controls used to determine whether a development is exempt or complying development are not altered. The new Design Essentials is therefore consistent with The Code made under the Order.

The amendment of the approval does not alter the process for obtaining a complying development certificate or assessing a development application as set out in Condition B3.

We note that one of the approved Statement of Commitments is that *“Stockland will create a restrictive covenant on the title of each residential lot which will require owners to submit plans for dwelling houses to the Stockland Design House to demonstrate compliance with the Built Form Controls before lodging a Development Application with Shoalhaven City Council or obtaining a Complying Development Certificate”*.

Section 88B instruments have been registered on the title of lots already created. The terms of the restriction are as follows:

“No dwelling may be erected or commenced nor permitted to remain on the lot burdened unless:

- (a) the dwelling, to be erected, external materials, colours and finishes including roofing materials and bricks of the dwelling and landscaping have been designed in accordance with the “Design Essential for Bayswood” published by Stockland from time to time, and*
- (b) the plans, elevations and schedule of external materials, colours and finishes including roof materials and bricks have been submitted to and approved in writing by Stockland. Approval by Stockland must be obtained before application is made to any relevant authority.”*

The terms of the restriction are worded such that there is no date reference to the Design Essentials document. The definition of the Design Essentials document in the S.88B instrument similarly does not contain a date reference. This ensures that only one version applies when assessing a complying development certificate or a development application at any one time.

5.0 Summary and Conclusion

The proposed modification to the Concept Plan and Project Approvals is submitted in accordance with Section 75W of the Act. The modification is solely required in order to amend the Design Essentials document.

The proposal does not require any amendment to The Code or the Order made by the Minister. The substance of The Code in determining what is complying development is therefore unchanged and maintains consistency with the Concept Plan approval. The manner in which a complying development certificate is assessed or a development application is assessed is unchanged. Therefore in our opinion the modification can be appropriately approved in accordance with Section 75W of the Act.

Stockland has prepared a political disclosure statement in accordance with Section 147 of the Environmental Planning and Assessment Act 1979. This statement covers the 2 year period between 1 July 2006 and 30 June 2008 and also declares that *“Stockland has not donated at*



the NSW local level during this period and has ceased donations at all levels of government on 1 July 2008.” This statement therefore covers the 2 year period prior to this application being made. The statement is included as **Attachment 3** to this letter.

We understand that the fee required to make this application is \$750, however you have advised that you will confirm the fee and advise us accordingly.

Should you have any questions in relation to this application please do not hesitate to contact David Kettle on 9980 6933.

Yours faithfully

DON FOX PLANNING PTY LIMITED

A handwritten signature in black ink, appearing to read 'D. Kettle', written over a horizontal line.

DAVID KETTLE
SENIOR TOWN PLANNER

dkettle@donfoxplanning.com.au

Reviewed:

A handwritten signature in black ink, appearing to read 'Kath Sheppard', written over a horizontal line.

Encl.

- Attachment 1. Letter of authorisation from Stockland
- Attachment 2. Amended Bayswood Design Essentials
- Attachment 3. Political disclosure statement



planning consultants

ATTACHMENT I

NSW Residential Communities

Lvl 27, 133 Castlereagh St
Sydney NSW 2000

T 029035 3155
F 028988 3155

www.stockland.com.au



05 November 2009

David Kettle
Senior Town Planner
Don Fox Planning
11 Dartford Rd,
Thornleigh NSW 2120

Dear David

Re: Vincentia Coastal Village S75W Modification

This letter is to confirm Stockland provides consent for Don Fox Planning to lodge an application to modify the Project Plan Approval for our Vincentia project.

If you have any further questions or comments in relation to this matter, please do not hesitate to contact me.

A handwritten signature in blue ink, appearing to read "Alex Maffi", is located above the typed name.

Alex Maffi
Assistant Development Manager



planning consultants

ATTACHMENT 2



BAYSWOOD
Vincentia, Jervis Bay



Design Excellence at Bayswood

Bayswood is a residential development by Stockland of approximately 600 dwellings at Vincentia in Jervis Bay. Stockland recognise that living on the south coast is a unique experience that differs from living in cities and major regional centres. The Bayswood master plan aims to reflect the local coastal village character and help create a contemporary lifestyle for this community; a community that is well connected to leisure and retail services, the bush and the beach.

To ensure a great design for your home and a smooth review and certification process, please discuss this document with your designer / builder. This document is not just a guide for dwelling certification, but is designed to help you take advantage of some simple design principles that will ensure your lifestyle at Bayswood is comfortable, sustainable and compliments the natural surroundings.

Your Home Design at Bayswood

The Bayswood Design Essentials have been compiled to assist you to arrive at your home design to reflect the theme of design excellence at Bayswood. These guidelines have been put in place to protect the integrity of your investment and provide you with peace of mind about the high standards of house design within your neighbourhood, whilst still allowing flexibility and individuality to create your own home.



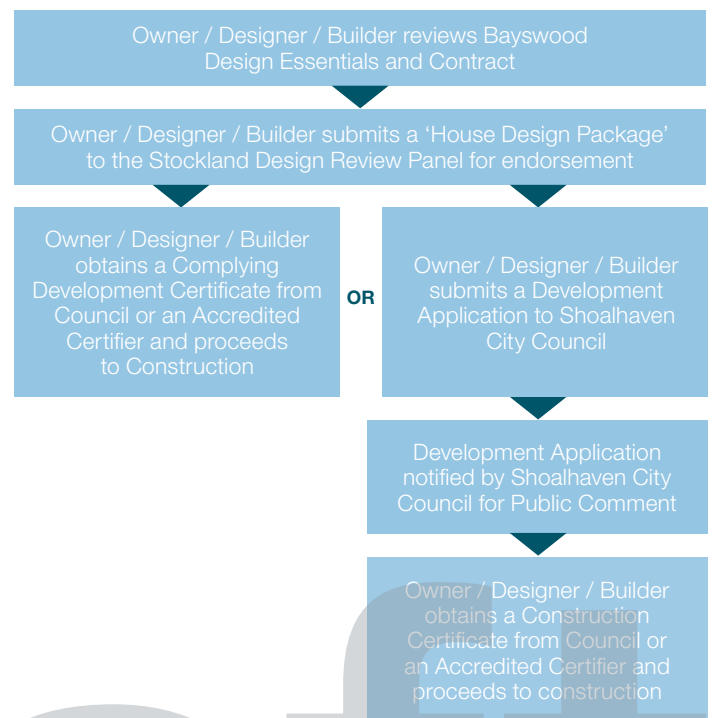
FURTHER INFORMATION

- Handy fact sheets about building a new home are available online at www.yourhome.gov.au which is a joint initiative of the Australian Government and the design and construction industries.
- For information about planning and development, you can find important information at council's office or their webstie at www.shoalhaven.nsw.gov.au

Approval Process

Bayswood has undergone a thorough statutory planning process under many different forms of legislation. The master plan design for Bayswood has been holistic in approach and aims to protect the environment and enhance the amenity of the residential community in a manner that minimises ecological impacts. Consultation with the community has been extensive and scrutiny by all levels of government, Federal, State and Local has ensured that this development meets the highest standards.

As part of the master planning process, built form controls for dwelling design were approved as development standards. Where these standards are met, a single dwelling on a single lot can be certified as complying development. These controls and design essentials outline the standards required for dwelling houses and provide important design considerations for your home.



House Design Package

Your builder / designer needs to review this document so that a 'house design package' can be prepared for endorsement by Stockland. Design endorsement by Stockland is necessary before you obtain certification from an Accredited Certifier/ Council. A 'house design package' must include the following for Stockland to complete a fair and timely assessment and successful endorsement:

- Site Plan [1:200] with overall dimensions for all structures; total site and floor area; all easements and services; dimensioned front, rear & side setbacks; articulation zone and main building line; private open space area; vehicle access; contours & levels including any retaining walls; solar access and floor space calculations.
- Floor Plans [1:100] showing key dimensions; articulation zone and main building line; door & window positions.
- Sections [1:100] dimensioned building heights (ground to uppermost ceiling); internal floor to ceiling heights; roof pitch; eaves depth.
- Elevations [1:100] indicating all external materials, finishes & colours including but not limited to, walls, roofs, fascias, downpipes, windows, doors, garage doors, columns and handrails.
- Landscape Plan [1:100] showing trees to be retained or removed; boundary treatments and locations; private open space area; rainwater tank location & size; description of planting including species, pot size, spacing and location; materials, colours and finishes of hard surfaces such as driveways or paving, fencing and letterbox.
- BASIX Certification.

NOTE: It should be noted that meeting the controls described in this Design Essentials document and securing a design endorsement from Stockland does not constitute an approval or certification from an Accredited Certification Authority or from Shoalhaven City Council. In the event that Stockland allows a variation from these Design Essentials, the variation will neither set a precedent nor imply that the approval will be repeated by Stockland or supported by an Accredited Certification Authority or Shoalhaven City Council.

Your House Design Package or any queries should be directed to:

STOCKLAND DEVELOPMENT PTY LTD
 Attn: Customer Relations – NSW
 GPO Box 998, Sydney, NSW 2001
 Telephone (02) 9035 2870
 Facsimile (02) 8988 2870
customer.relations.NSW@stockland.com.au
www.stockland.com.au/bayswood



Stockland

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Design Guidelines Checklist

1.0 SITE PLANNING

The following controls for setbacks and site planning aim to recreate the casual streetscape character of many great local examples of residential building in a coastal bushland setting. The streets at Bayswood are wide and generously completed with planting and retained vegetation. This means that front setbacks can be shallow, giving you more space on the block for indoor and outdoor living. Garages are setback behind the building line and your entry and facade features project forward to give your home a great address in your street.

1.1 SETBACKS

Building setbacks are as noted below unless otherwise specified in the Section 88B instrument relating to the particular allotment.

- ☐ The primary building line setback is to be a minimum of 5m.
- ☐ For corner allotments, the secondary building line setback is to be a minimum of 3m.
- ☐ For single storey dwellings not on corner allotments, side setbacks are to be a minimum of 0.9m to both sides except where an easement for zero setback has been identified.
- ☐ For two storey dwellings not on corner allotments, side setbacks are to be a minimum of 0.9m to one side and 1.5m to the other. Where an easement for zero setback has been identified, the alternate side setback must be a minimum of 1.5m.
- ☐ Rear setbacks are to be a minimum of 5m except for garages for an allotment with rear or side street vehicular access, where in that instance the rear setback for garages is to be a minimum of 0.9m.

1.2 ZERO LOT LINE

- ☐ A dwelling constructed on a zero setback boundary must not exceed 12m length of boundary wall.

1.3 SOLAR ACCESS

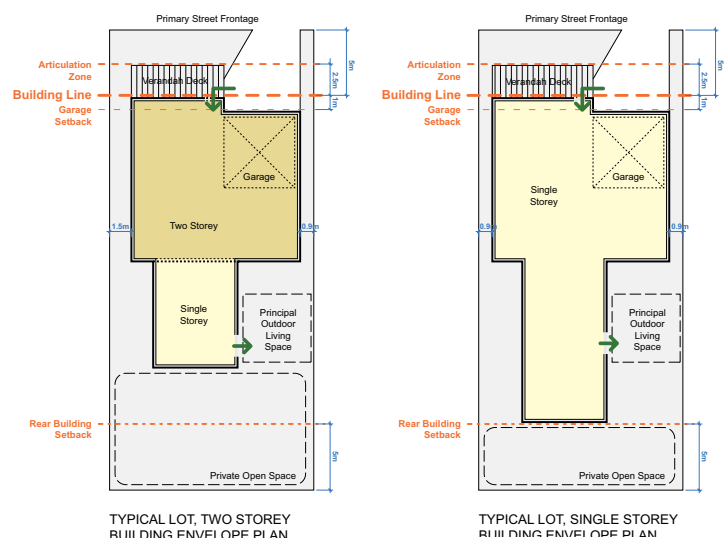
- ☐ For at least 3 hrs between 09:00 – 15:00 hrs on June 21, at least 50% of the properties' minimum required Principal Outdoor Living Space is not to be in shadow. This standard does not apply to allotments that have a rear yard with a south-east to south-west orientation. In such cases, the porch, verandah, deck, pergola or balcony that is required to project forward of the primary building line may be used to meet the solar access objective provided that the porch, verandah, deck, pergola or balcony projects 2.4m forward of the primary building line.
- ☐ For at least 3 hrs between 09:00 – 15:00 hrs on June 21, at least 50% of the neighbouring properties' Principal Outdoor Living Space is not to be in shadow. Where this standard cannot be met because it is currently exceeded, no additional overshadowing is to occur.

2.0 ARTICULATION ZONE

With green streets, open parks, bushland views and a friendly community, a verandah, porch or pergola and deck make great sense. These lightweight threshold spaces are an Australian icon and characteristic of coastal bushland living on the South Coast. The deep shade provides a cool and welcoming front door address to your home.

There are many contemporary design options for these 'facade articulation' elements to suit all homes, some of which are represented as follows:

- ☐ The dwelling house must incorporate a lightweight porch, verandah, deck, pergola or balcony that projects forward of the primary building line that has a:
 - minimum depth of 1.8m measured from the primary building line, and
 - minimum width equal to 1/3rd of the width of the dwelling house.
- ☐ Any porch, verandah, deck, pergola or balcony that is built forward of a building line must not be constructed within:
 - 2.5m of a primary (front) street lot boundary;
 - 2m of a secondary (side) street lot boundary.
- ☐ Lightweight timber or steel construction is encouraged. Masonry construction will be considered as a blade wall element or as a column with a maximum 2/3 height of verandah to highlight the main entry of the home.
- ☐ The roofing option over verandah can be one of the following:
 - pergola, post and battens to provide shade
 - separate hipped roof attached to gable end of main roof
 - separate lean-to roof married into main roof or attached to front wall
 - main roof extension as a gable end with raked soffit
 - main roof extension as a hipped roof in line with or higher than main roof eaves



3.0 ARCHITECTURAL FORM

Fundamental to the casual contemporary Bayswood style is the ability for the homes to sit within a bushland setting, rather than dominate the landscape. For this reason there are some simple controls to ensure that your home has ample living space without affecting the amenity of your neighbour. Well designed homes have simple but sophisticated roof forms. Ground floor living spaces should relate directly to the levels of the garden, to maximise your enjoyment of the space.

3.1 ARCHITECTURAL STYLE

- ☐ The architectural style of the dwelling shall be in keeping with the [Bayswood] contemporary coastal bushland character. Period or reproduction or faux styles or detailing will not be approved.
- ☐ For corner lots, the side street elevation should be detailed with similar character and attention to composition as the primary facade. A strong corner treatment can be achieved by wrap-around corner verandahs [horizontal emphasis] or vertical elements such as gables [vertical emphasis].

3.2 BUILDING & ROOM HEIGHTS

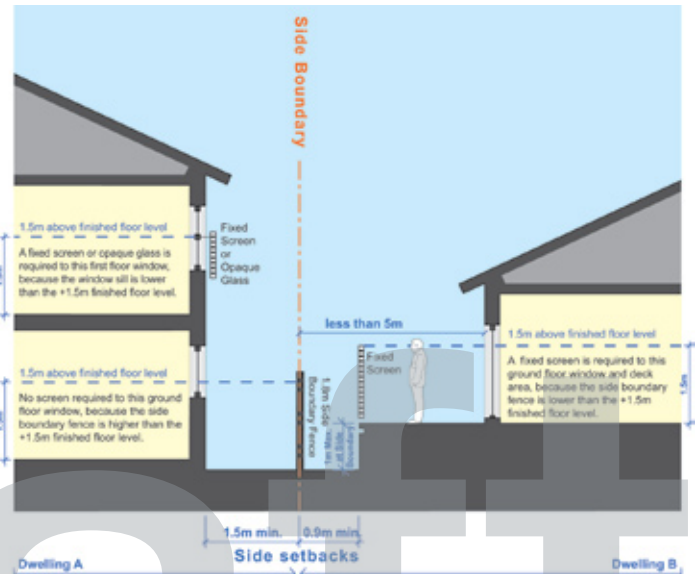
- ☐ The dwelling structure shall be a maximum of two storeys and not exceed a building height of 9m as measured between any point above the existing ground level of the site and the highest point of the building.
- ☐ For allotments with a street frontage width of 15m or less, the floor to ceiling height is to be a minimum of 2.4m for all floors.
- ☐ For allotments with a street frontage width of greater than 15m the floor to ceiling height is to be a minimum of 2.7m to ground floor habitable rooms (such as living rooms and bedrooms) and a minimum of 2.4m for all non-habitable rooms and all upper floors.
- ☐ For attic rooms, the wall height at the edge of the room is to be a minimum of 1.5m with a 30 degree minimum ceiling slope.

3.3 ROOF FORM AND PITCH

- ☐ The roof form is to be hipped, gable, mono or skillion pitched between 10 and 35 degrees. A flat roof (less than 10 degrees pitch) is permissible only when it is concealed behind a parapet and where the flat portion of the roof is no greater than 8sqm.
- ☐ Eaves are to be 450mm deep and may extend beyond the front, rear and side setbacks. This control does not apply to:
 - zero lot boundaries where indicated on the Section 88B; or,
 - where a verandah or porch which is not part of the main roof structure is located 300mm or less below the eave of main roof and the eave has a minimum depth of 75mm.

3.4 PRIVACY

- ☐ Windows and doors within 5m of a side or rear boundary shall not overlook a neighbouring property. No window or door that overlooks adjoining private outdoor areas or windows to habitable rooms of adjoining dwellings shall have clear glazing below 1.5m above finished floor level.



3.5 GARAGE & ACCESS

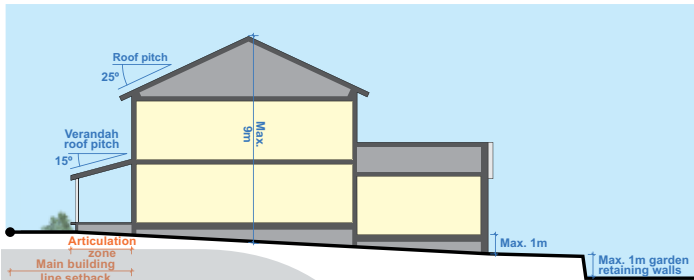
- ☐ Garages must be set back a minimum of 1m behind the building line of the dwelling.
- ☐ Garages facing a public street or right of carriageway are not to be more than 6m wide or 50% of the frontage width whichever is the lesser.
- ☐ A minimum of two on-site car spaces are to be provided per allotment, one of which is to be garaged. The second space may be tandem to the first. Car parking spaces are to measure a minimum 2.6m x 5.5m where outdoors and 3m x 6m where garaged.
- ☐ Vehicle crossovers to footpaths are to be 3m for single garages and 3.5m for double garages. The crossover shall be constructed perpendicular to the carriageway kerb.
- ☐ For corner allotments, vehicle crossovers shall be offset from the corner boundary by a minimum of 6m.

3.6 CUT & FILL

- ☐ The maximum depth of cut and fill for dwellings beyond ground level (existing) of the site after the subdivision works are completed shall be 1m.
- ☐ Retaining walls forward of the primary or secondary building line must not be greater than 1m in height above ground level (existing) and be constructed of materials consistent

and complementary to the dwelling house on that allotment. E.g. rendered masonry retaining walls to match a dwelling with a rendered masonry facade. (community palette colour selections).

- ☐ Where retaining walls over 1m are required, they shall be tiered in sections of no more than 1m height, with 1m separation between tiers for planting.
- ☐ Cut and fill external to a building envelope shall be retained by walls or be battered at a grade less than 1:2 (vertical: horizontal).



4.0 MATERIALS, COLOURS & FINISHES

The colours and finishes selected in the palettes (opposite) are pre-endorsed selections, however you can choose any other selection that is within the same tonal range (sample to be supplied) of that palette as part of your 'house design package' to be considered for endorsement by Stockland.

The principles of colour and finish palettes have been selected to provide a cohesive streetscape whilst allowing for a diverse individual expression in the architectural detail.

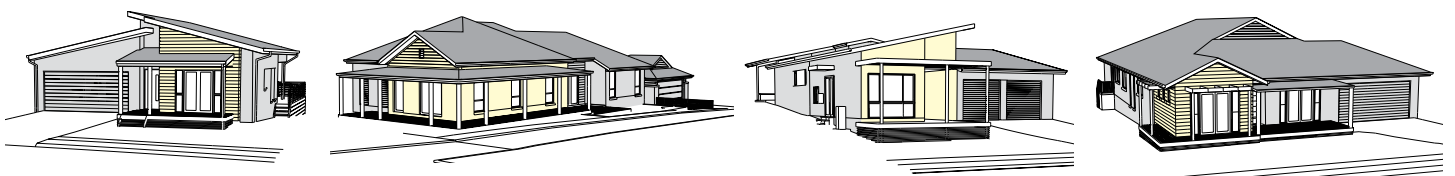
The roof palette has been selected to provide a consistent community character that sits well in the landscape when viewed from far afield.

The Accent Palette has been selected to provide for personal identity and detailed style in strong bushland shades or bright and light coastal colours.

- ☐ For all homes, the dominant projecting element of the home shall be in a colour finish selected from the Accent Palette or similar approved.
- ☐ For all homes, the remaining main body of the home shall be in at least one other colour finish selected from the Community Palette or similar approved.
- ☐ Colours shown in the Accent and Community Palettes are indicative of a range and tone that can be used for lightweight

materials, rendered masonry, applied finish masonry or face brick. Other selections that are within the same tonal range will be considered for approval.

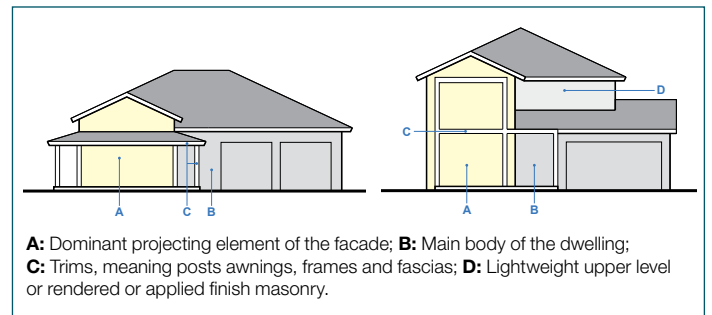
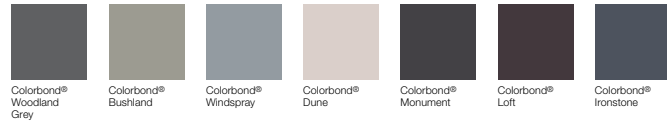
- ☐ A mix of materials and colours is mandatory in all street facing facades. Where face brick has been selected from the Accent Palette, face brick cannot be selected from the Community Palette or vice versa.
- ☐ For two storey homes, no face brick is permissible above the first floor window sill level, except in the case of an accent gable or similar feature.
- ☐ Face brick is to be smooth or matte finish and uniform in colour and shape without pattern.
- ☐ All roofs shall be of sheet metal construction in the colours selected or equivalent material approved.
- ☐ Driveways must be of plain or coloured concrete or pavers in the colours selected or similar approved. Stencilled, patterned or textured driveways will not be approved.
- ☐ Garage doors shall be of a colour that is of a similar tone to the dominant surrounding wall or roof colour.
- ☐ Garage doors shall be detailed in plain panels or as rollers without feature patterns or windows.
- ☐ Security screens which are visible from public view shall be Amplimesh 'Clearguard' or similar [without patterns, bars or grills] approved by Stockland prior to installation. The screen frame should be of a similar colour to that of the door/window frame.



Architectural Palette

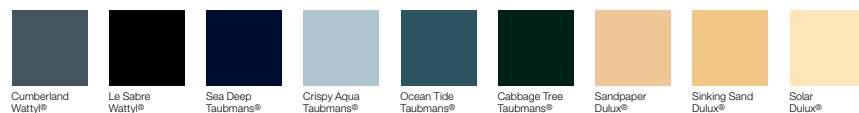
TOP PALETTE

Roof Palette (including verandahs/ porches)



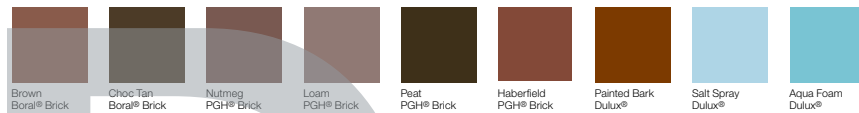
ACCENT PALETTE

Dominant Element of Facade, a gable feature or projecting element



Note: Other selections that are within the same tonal range of one of the above palettes will be considered for approval. Black or near black selections will not be considered.

While every effort is made to provide accurate colour information, the colour palettes on this page are subject to variation due to printing techniques. It is recommended that actual manufacturer's samples are examined when selecting finishes for your home.

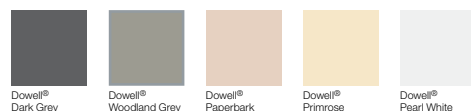


COMMUNITY PALETTE

Main Body of the Building



Window and Door Frames



Driveway Colours



5.0 LANDSCAPE DESIGN

Garden design in coastal communities is quite different to other conventional neighbourhoods. A common theme is to plant shrubs, groundcovers and grasses close to the base of your home, to soften the way in which the building sits in the landscape. This style of planting also provides privacy and barrier to the front verandah or porch and deck. The streetscape is less formal and the pedestrian approach to your home via the driveway and deck is welcoming and protected.

5.1 PRINCIPAL OUTDOOR LIVING SPACE

- ☐ A minimum of 35sqm of private open space is to be provided.
- ☐ A minimum landscaped Principal Outdoor Living Space of 25sqm with a minimum dimension of 4m is to be provided directly accessible from an internal living area.

5.2 FENCING

- ☐ Fences for rear and side boundaries shall be setback 2m behind the main building line and be constructed of lapped timber to a height of 1.8m.
- ☐ For corner lots, a fence is permissible forward of the main building line on the secondary street frontage where that fence is providing privacy to the principal area of private open space. Such a fence shall be offset a minimum distance of 12m from the primary street lot boundary.

5.3 PLANTING

- ☐ Planting in the front garden should be arranged around the base of the dwelling and in particular the verandah / porch and deck. Such planting of groundcovers and shrubs should be native species using at minimum 300mm pot sizes and 750mm spacing.
- ☐ Planting in a linear fashion on the front boundary is not encouraged and no fencing of any kind is permissible on the front property boundary.

- ☐ At least one native species tree [of minimum pot size 75L] to be planted in the front setback.
- ☐ At least one native species tree [of minimum pot size 45L] to be planted in the rear garden.
- ☐ All soft landscape areas of the lot must be landscaped with grass, groundcovers, gravel, mulching or shrubs and trees.
- ☐ Trees retained on the allotment after the subdivision works are completed are not to be lopped, pruned, damaged or removed, unless otherwise approved by Council.

5.4 ANCILLARY STRUCTURES

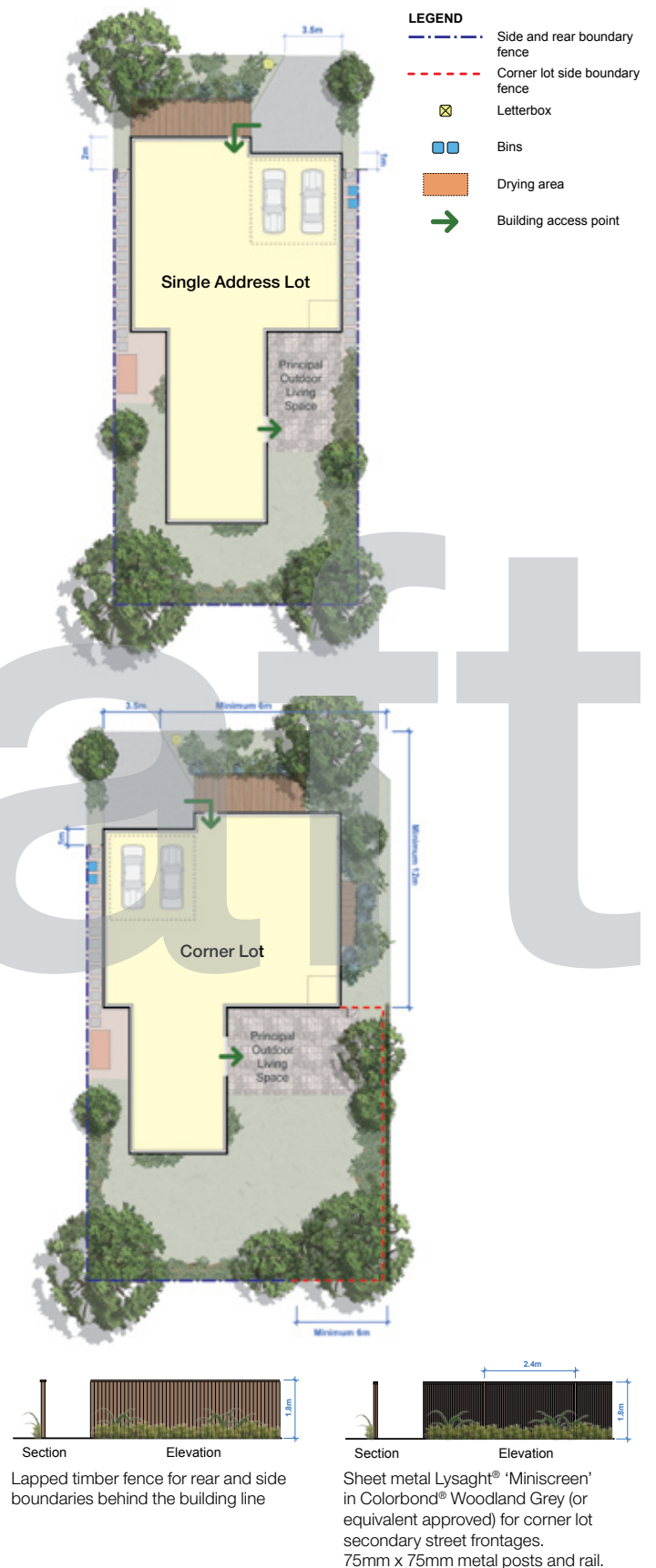
- ☐ Air conditioning units shall be located a minimum of 1m from a property boundary, behind the main building line and fixed no greater than 1.5m above the finished ground level.
- ☐ An area for rubbish bin storage shall be nominated behind the main building line and side gates and allow for the convenient storage of bins at all times.
- ☐ A clothes drying area shall be nominated on the lot, behind the main building line or side corner privacy fence.
- ☐ A letterbox shall be positioned on the property boundary adjacent the driveway and be constructed in a material and colour consistent with the main body of the dwelling house (see community palette). The letterbox structure should be a pillar of dimensions approx. 1000mm (h) x 460mm (w) x 220mm (d).
- ☐ Ancillary structures or elements such as satellite dishes, utility service metres, and garbage bins are to be screened from public view.
- ☐ A rainwater tank and pump with the capacity of at least 3000 Litres is to be provided. Above ground tanks must be screened from public view behind the building line.



Native Plant Species

The followings species have been selected as appropriate to the Bayswood landscape setting and are particularly relevant to gardens facing the street. The species are all native, are drought tolerant and require less maintenance.

		HEIGHT	SPREAD
TREES			
Acmena smithii	Lily Pilly	8m	6m
Banksia serrata	Old Man Banksia	8m	3m
Corymbia maculata	Spotted Gum	15m	6m
Corymbia "Summer Red"	Red Flowering Gum	5m	4m
Corymbia "Summer Beauty"	Pink Flowering Gum	5m	4m
Cupaniopsis anacardioides	Tuckeroo	8m	5m
Elaeocarpus reticulatus	Blueberry Ash	8m	5m
Tristanopsis laurina	Water Gum	6m	4m
SHRUBS AND ACCENTS			
Banksia "Birthday Candles"	Birthday Candles Banksia	0.5m	1m
Banksia "Coastal Cushion"	Cosatal Cushion Banksia	0.5m	1.5m
Banksia ericifolia	Heath-leaved Banksia	3m	2m
Banksia spinulosa	Hairpin Banksia	1.5m	1.5m
Callistemon "Captain Cook"	Red Bottlebrush	1m	1m
Correa alba	White Correa	1.2m	1m
Crowea exalata	Small Crowea	0.75m	0.75m
Crowea "Festival"	Festival Crowea	1m	1m
Epacris microphylla	Coral Heath	0.5m	0.5m
Eriostemon myoporoides	Long Leaf Wax Flower	1.5m	1m
Grevillea "Robyn Gordon"	Robyn Gordon Grevillea	1.2m	1.5m
Grevillea rosmarinifolia	Rosemary Grevillea	2m	2m
Grevillea sericea	Pink Spider Flower	1.2m	1m
Lambertia formosa	Mountain Devil	2m	1.5m
Westringia "Jervis Gem"	Dwarf Coast Rosemary	1m	1m
Xanthorrhoea resinosa	Grass Tree	1m	1m
GRASSES AND GROUNDCOVERS			
Anigozanthos "Bush Gems"	Kangaroo Paw	1m	1m
Brachycome "Hot Candy"	Cut-leaf Daisy	0.3m	1m
Brachycome "Mauve Delight"	Cut-leaf Daisy	0.3m	1m
Dampiera diversifolia	Dampiera	0.1m	0.5m
Dianella "Breeze"	Flax Lily	0.75m	0.5m
Dianella "Silver Streak"	Flax Lily	0.75m	0.5m
Dianella revoluta var. revoluta	Flax Lily	0.75m	0.5m
Dichondra repens	Kidney Weed	0.1m	0.3m
Epacris microphylla	Coral Heath	1m	0.5m
Grevillea lanigera "Mt Tamboritha"	Woolly Grevillea	0.3m	0.5m
Hibbertia obtusifolia	Guinea Flower	0.5m	0.5m
Lomandra longifolia	Mat Rush	0.75m	1m
Patersonia sericea	Silky Purple Flag	0.3m	0.3m
Scaevola "Purple Fanfare"	Fan Flower	0.1m	0.5m
Viola hederacea	Native Violet	0.1m	0.75m
TURF for FRONT GARDENS			
Buffalo ST-26, to match the street verge			





planning consultants

ATTACHMENT 3

Level 25,
133 Castlereagh Street
SYDNEY NSW 2000
GPO Box 998 Sydney
NSW 1041

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www.stockland.com.au



**S.147 DISCLOSURE STATEMENT
ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979**

Name of recipient See attached Schedule

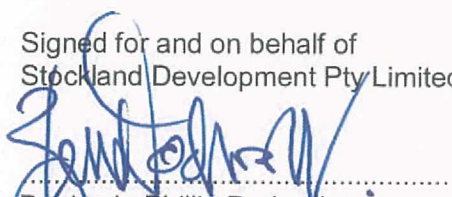
Date of gift/donation See attached Schedule

Name of donor entity See attached Schedule

Address of donor
entity See attached Schedule

Value of gift/donation See attached Schedule
(\$)

Signed for and on behalf of
Stockland Development Pty Limited


.....
Benjamin Phillip Dodwell as
Attorney under Power of Attorney
Book 4541 No. 461

Date: 5 November 2009

Stockland Group NSW Donations Disclosure 1st July 2006 to 30 June 2008			
<i>Stockland has not donated at the NSW local level during this period and ceased donations at all levels of government on July 1 2008</i>			
Date	Political Party	Description	Address
Donation \$			
Incl GST			
Labor Party			
24/07/2006	Australian Labor Party (NSW)	LBD Associate Partner	PO Box K408, Haymarket
2/11/2006	Australian Labor Party (NSW)	Lunch	PO Box K408, Haymarket
13/02/2006	Australian Labor Party (NSW)	D Campbell MP Lunch	247 Princes Highway
2/03/2007	Australian Labor Party (NSW)	Donation	PO Box K408, Haymarket
13/09/2007	Australian Labor Party (NSW)	LBD Associate Partner	PO Box K408, Haymarket
			\$ 21,450.00
			NSW Division Total
			62,950.00
Australian Labor Party Total			
			62,950.00
Liberal Party			
21/11/2006	Liberal Party Of Australia (NSW Div)	Donation	Suite 207, 304 The Kingsway Caringbah
		Millenium Forum	
1/03/2007	Liberal Party Of Australia (NSW Div)	Membership	Locked Bag 2, Kings Cross
28/06/2007	Liberal Party Of Australia (NSW Div)	Donation	Locked Bag 2, Kings Cross
			11,000.00
7/08/2007	Liberal Party Of Australia (NSW Div)	N Greiner Lunch	Locked Bag 2, Kings Cross
	Property Council of Australia (Peter Costello		
1/03/2008	Dinner)	2007 Advocacy Fund	Lvl 1, 11 Barack St, Sydney
			5,500.00
28/03/2008	Liberal Party Of Australia (NSW Div)	Millenium Forum	Locked Bag 2, Kings Cross
			20,000.00
			NSW Division Total
			58,249.00
			Australian Liberal Party Total
			58,249.00
			Total Payment
			121,199.00

ABN 71 000 064 835
133 Castlereagh St, Sydney, NSW 2000