



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. MOD 6 granted on the 15/12/14

in respect to MP 06-0025

Signed [Signature]

Sheet No. 1 of 8





NSW GOVERNMENT
Planning

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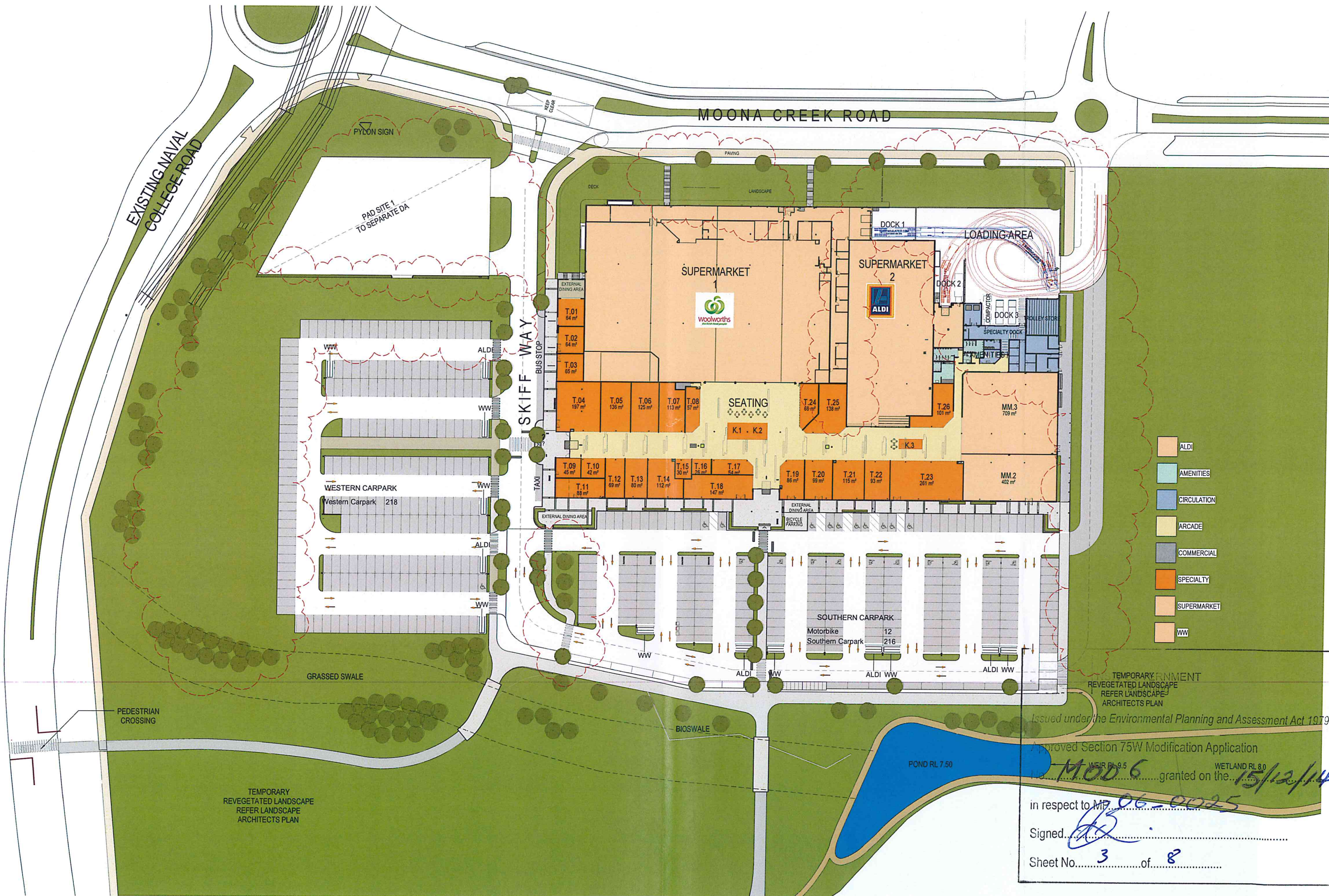
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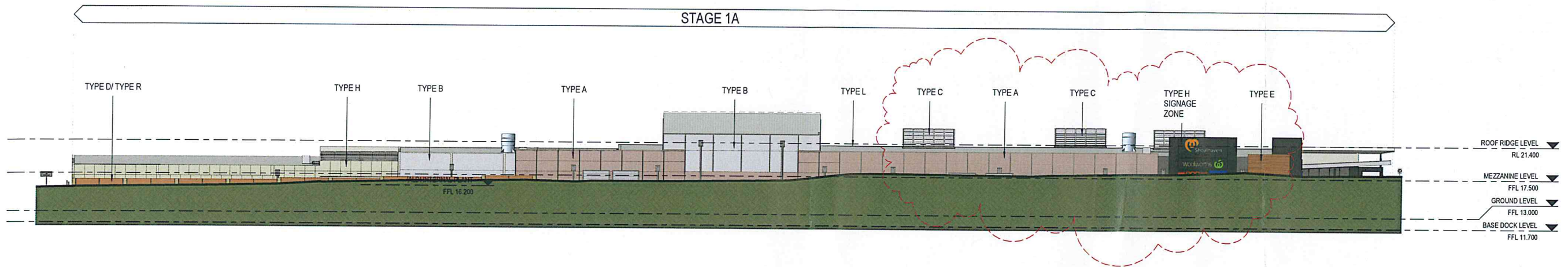
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1 ELEVATION
WEST ELEVATION - MOONA CREEK ROAD

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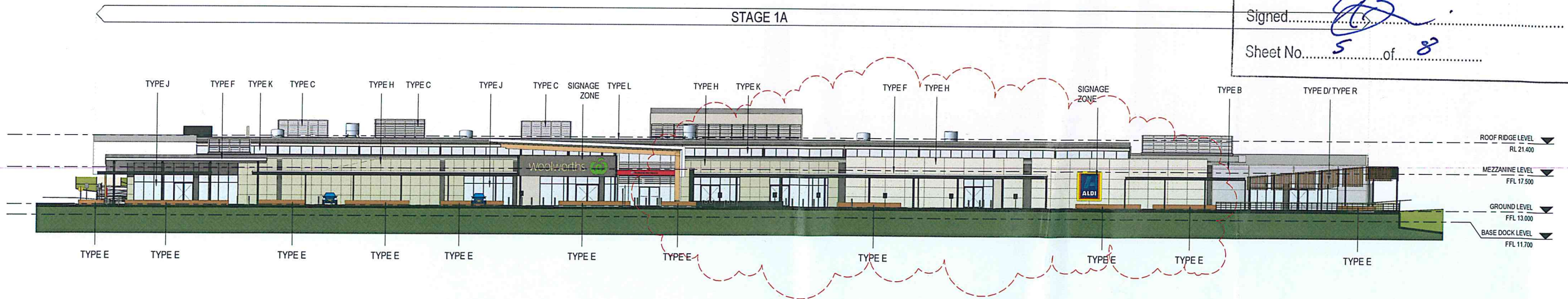
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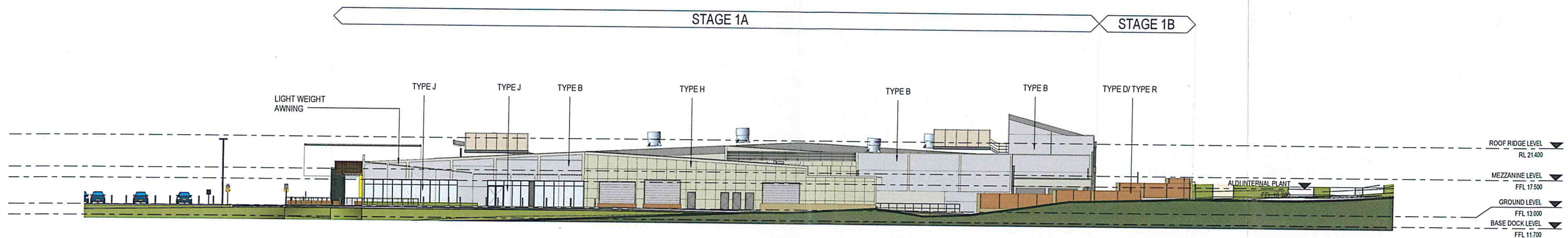
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2 ELEVATION
EAST ELEVATION



1 ELEVATION
NORTH ELEVATION - ARBOUR WAY

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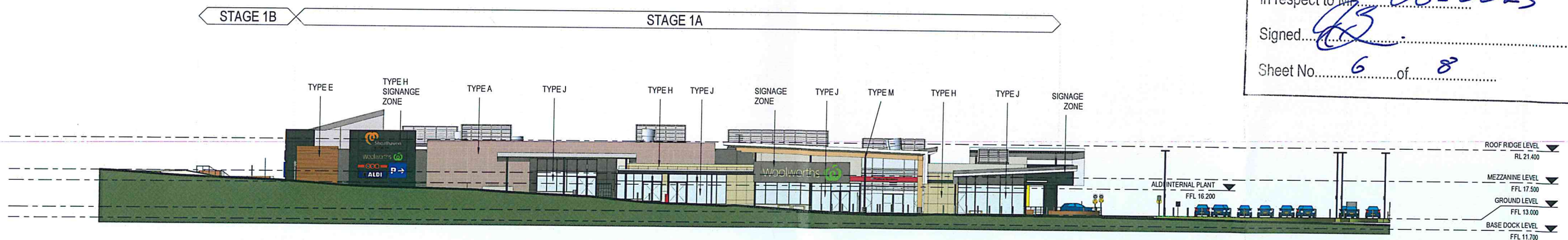
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2 ELEVATION
SOUTH ELEVATION - SKIFF WAY

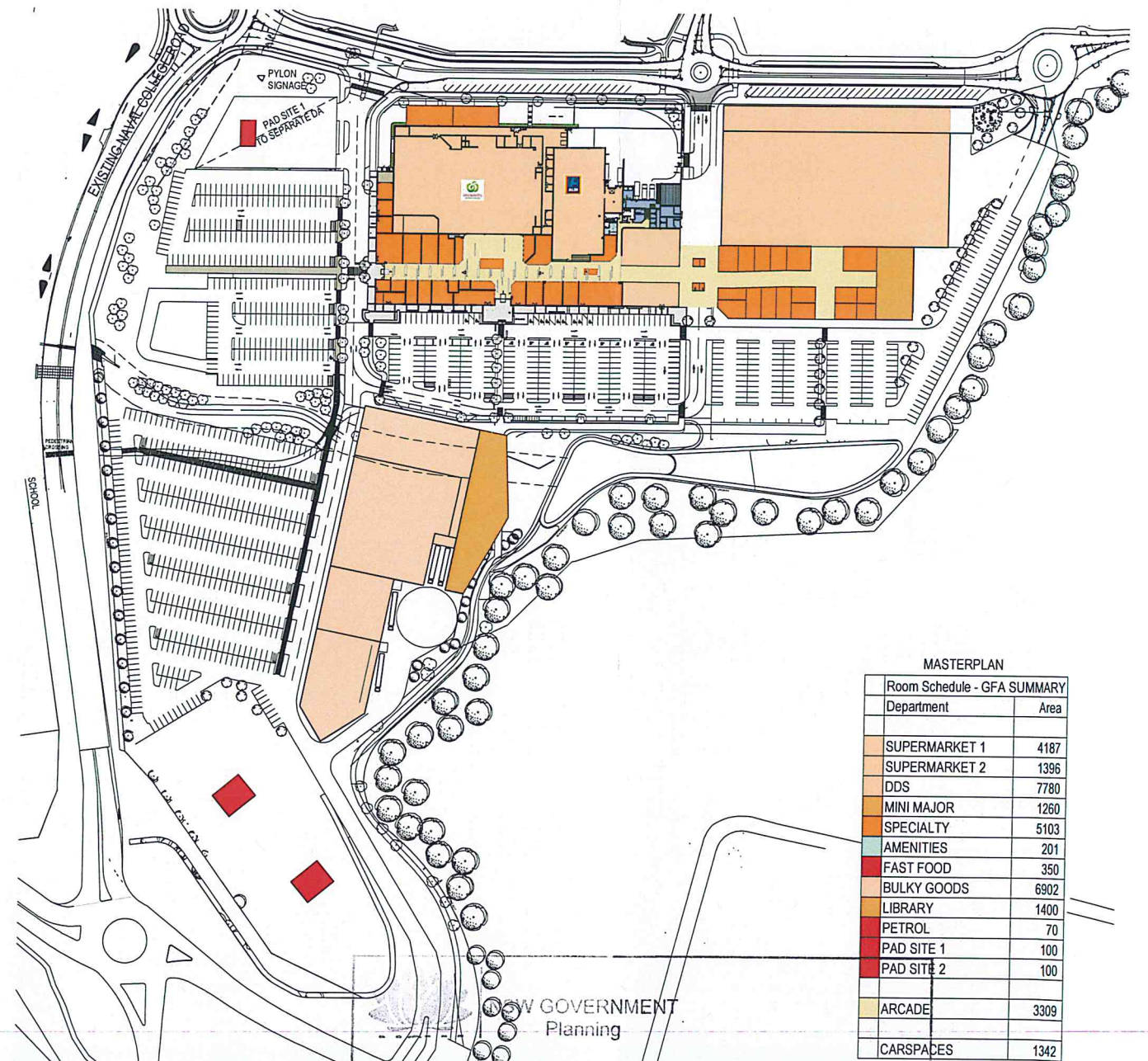


AREAS ON PLAN ARE CALCULATED ACCORDING TO BELOW:

gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building measured at a height of 1.4 metres above the floor, and includes:

- (a) the area of a mezzanine, and
- (b) habitable rooms in a basement or an attic, and
- (c) any shop, auditorium cinema and the like, in a basement or attic, but excludes:
- (d) any area for common vertical circulation, such as lifts and stairs, and
- (e) any basement
- (f) storage, and
- (g) vehicular access, loadin areas, garbage and services, and
- (h) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
- (i) car parking to meet any requirements of the consent authority (including access to that car parking), and
- (j) any space used for the loading or unloading of goods (including access to it), and
- (k) terraces and balconies with outer walls less than 1.4 metres high, and
- (l) voids above a floor at the level of a storey or storey above

NOTE:
GENERAL DOCK AREA ONLY EXCLUDED FROM CALCULATIONS
DESIGN IS NOT FULLY DEVELOPED SO DOES NOT TAKE INTO ACCOUNT FINAL SERVICES LAYOUTS, PLANT, ETC



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Vincentia District Centre
Project
Client
FABCOT PTY LTD



1 : 1500 @ A1

GFA CALCULATION SHEET				
Issue Date	Reference No.	Discipline	Drawing No.	Title
20/10/2014	20110128	AD	DA1900	D

DATE PLOTTED: 14 JUL 2014 9:57 AM BY: SHAWN ARMSTRONG

JOINS SHEET 82014088-01-C1004

JOINS SHEET 82014088-01-C1003



ARCADE
FFL 13.000

PROPOSED RETAINING WALL
ROOF WATER COLLECTION POINT

EMERGENCY ACCESS WAY

STAGE 2
(FUTURE DEVELOPMENT)
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LEGEND:

- 30.0 DESIGN CONTOURS
- 30.0 EXISTING CONTOURS
- STAGE BOUNDARY/LIMIT OF WORKS
- PROPOSED BUILDING HATCH
- PROPOSED STORMWATER LINE
- PROPOSED RETAINING WALLS
- ORL 13.000
- PROPOSED DESIGN SPOT LEVELS
- PROPOSED HABITAT FENCE
- KO PROPOSED KERB ONLY
- KG PROPOSED KERB AND GUTTER
- T EXISTING TELSTRA LINE
- E EXISTING ELECTRICAL LINE
- W EXISTING WATER LINE
- EXISTING POWER POLE

0 5 10 15 20 25m
SCALE 1:250 @A1

CARPARK LAYOUT AND DRAINAGE LAYOUT
SCALE 1:250



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Drawn SCA Date 6/06/2014
Checked JMW Date 23/05/2014
Designed AMW Date 5/06/2014
Verified MAR Date 20/06/2014
Approved EPW Date 20/06/2014

Client WOOLWORTHS PTY LTD
Project VINCENIA DISTRICT CENTRE SHOPPING CENTRE - STAGE 1
Title CARPARK LAYOUT AND DRAINAGE LAYOUT SHEET 4 OF 4

Status **FOR TENDER ONLY**
NOT TO BE USED FOR CONSTRUCTION PURPOSES
Drawing Number 82014088-01-C1005
Revision B

XREF's: x_title Block, x_Base layout, x_Existing contours, x_Design contours, x_Viewports, x_Existing Services, x_Stormwater Layout
CAD File: U:\FY14\088, Vincenia Shopping Centre\Drawing\82014088-01-C1005.dwg

Rev	Date	Description	Des.	Verif.	Appd.
B	14/07/2014	REVISED ISSUE FOR TENDER	SCA	MAR	EPW
A	20/06/2014	ISSUED FOR TENDER	SCA	MAR	EPW