



## LEGEND

- WATERWAY
- SUBJECT SITE
- SUBJECT SITE AREA
- FUTURE HIGHWAY BI-PASS CORRIDOR



Major Project Number: **MP05\_0129** approved on **7 June 2013** by the Executive Director, Development Assessment, Systems & Approvals as delegate for the Minister for Planning & Infrastructure, in accordance with the *Environmental Planning & Assessment Act 1979*, subject to conditions of approval.  
Signed:

AMENDMENTS			
ISSUE	DRAWN	DESCRIPTION	DATE
A	DD	PRELIMINARY FOR COUNCIL APPROVAL	03/11/10
B	DD	STAGE 3B SKETCH ADDED	15/11/11
C	DD	DRAWING REDRAWN, NUMBER RE-USED	20/07/12
D	DD	DEPT. OF PLANNING SUB-MISSION	27/08/12
E	DD	DEPT. OF PLANNING RE SUB-MISSION	09/04/13

NOTES:  
Lengths shown are in metres. Distances & Areas are subject to further Survey.  
Building setbacks according to DCP are as follows:  
6 metre setback from Primary Street Frontage.  
3 metre setback from secondary Street (Corner Lots)  
20 metre setback from Creek & Major water Courses.  
900mm setback from side or rear boundaries and

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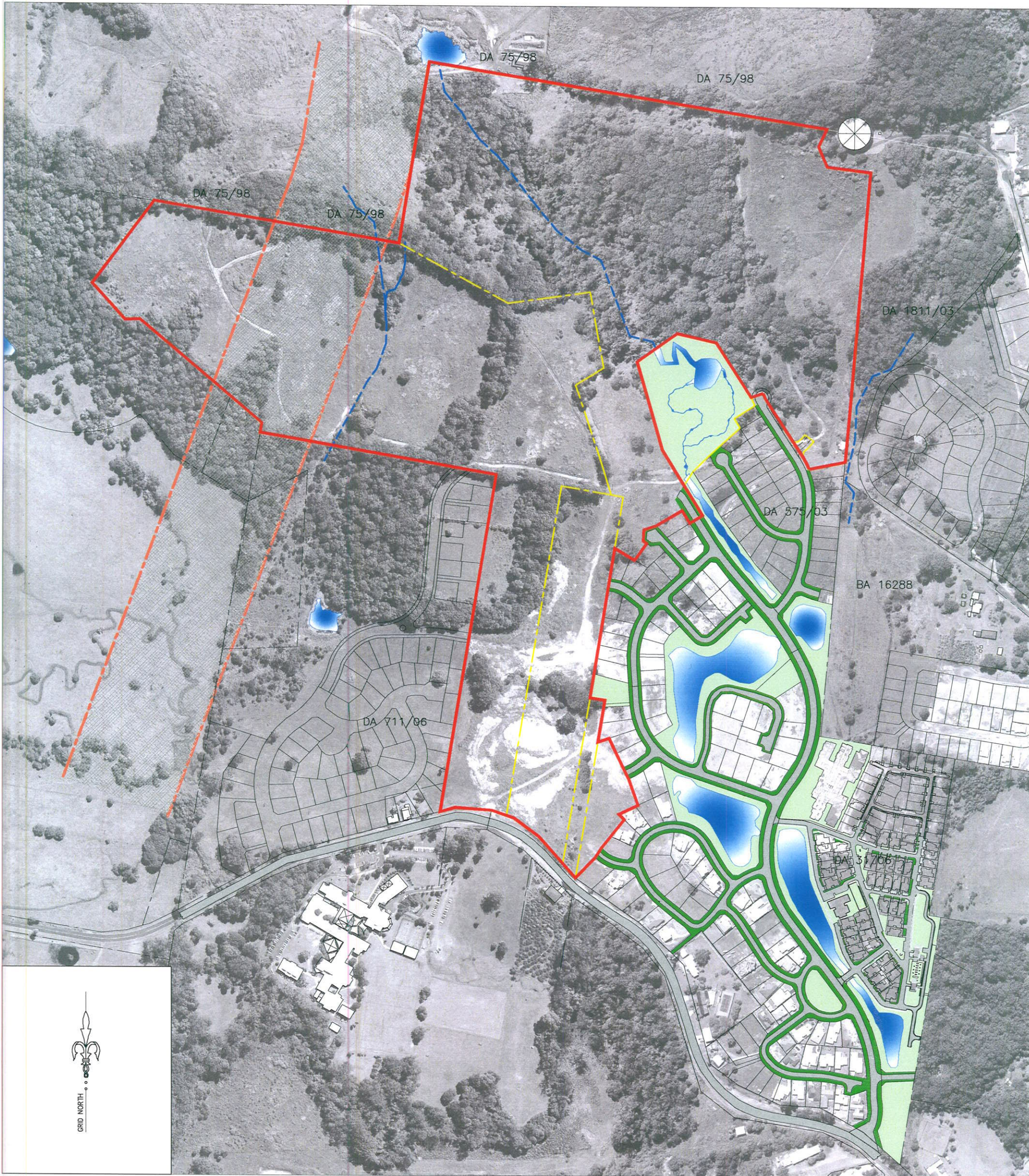
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PROJECT TITLE  
LAKES DRIVE, NORTH BOAMBEE,  
COFFS HARBOUR FUTURE SUB-DIVISION  
DRAWING TITLE  
LOCATION PLAN

CHECKED	DRAWN	SCALE	PROJECT NO.	LOT No.	DWG. No.	REV. No.
KS	DD	0 25 50 100 150m SCALE 1 : 5000 @ A3	912	-	A001	E





## LEGEND

- WATERWAY
- SUBJECT SITE
- FUTURE HIGHWAY BI-PASS CORRIDOR
- OPEN SPACE - EXISTING
- NATURE STRIP - EXISTING

ROAD - EXISTING



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C	DD	DRAWING REDRAWN. NUMBER RE-USED	20/07/12
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CHECKED	DRAWN	SCALE	
KS	DD	0 25 50 100 150m	
PROJECT NO.		SCALE 1 : 5000 @ A3	
912	-	DWG No.	REV. No.
		A002	E

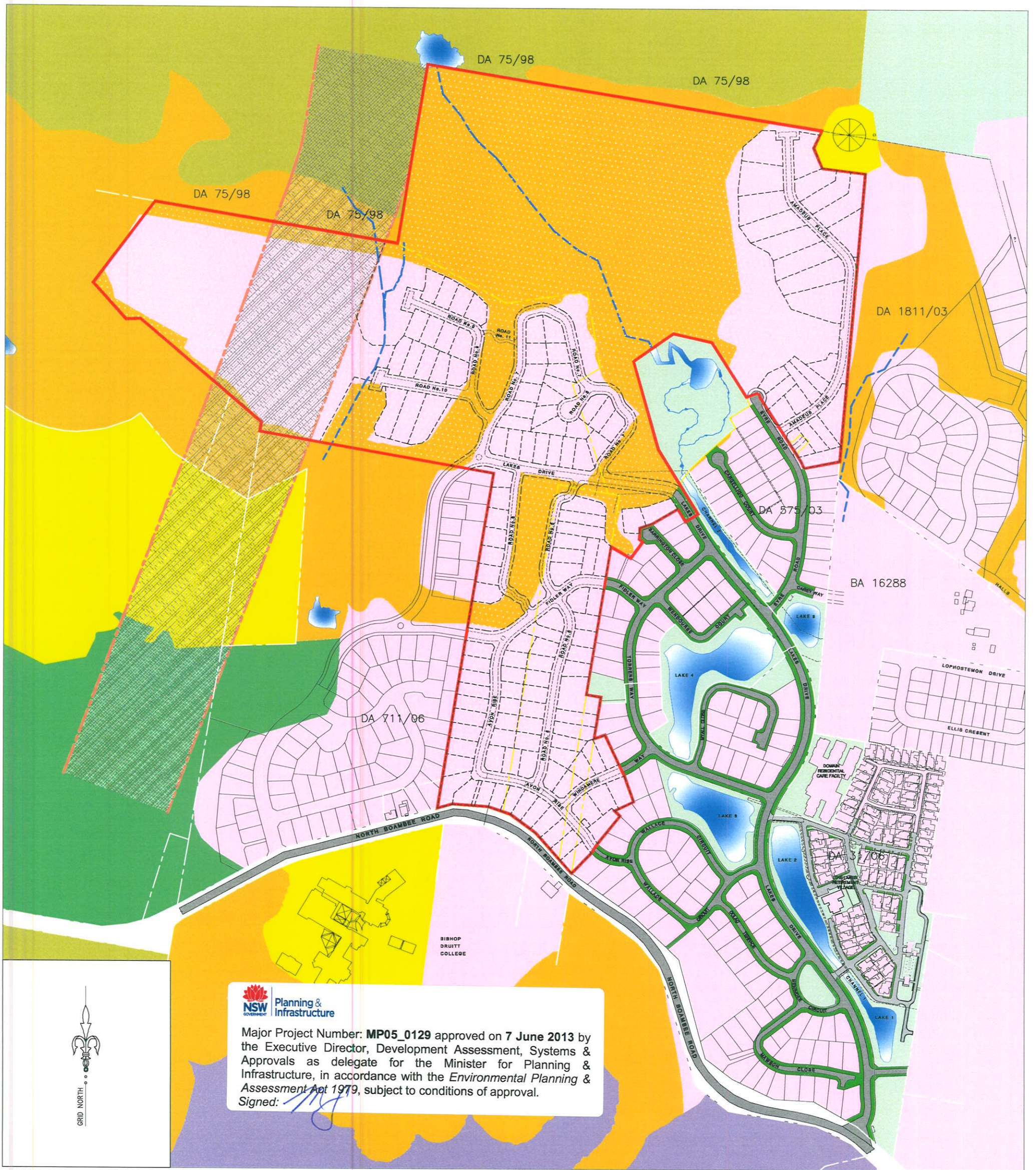




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PROJECT TITLE  
LAKES DRIVE, NORTH BOAMBEE,  
COFFS HARBOUR FUTURE SUB-DIVISION  
DRAWING TITLE  
SURROUNDING DEVELOPMENTS PLAN






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 Signed: 

## LEGEND

- |  |                                 |   |                            |   |   |
|--|---------------------------------|---|----------------------------|---|---|
|  | WATERWAY                        |  | ROAD - EXISTING            |  | 5A SPECIAL USES                                 |
|  | SUBJECT SITE                    |  | 1A RURAL AGRICULTURE       |  | 6A OPEN SPACE PUBLIC RECREATION (EXISTING)      |
|  | FUTURE HIGHWAY BI-PASS CORRIDOR |  | 2A RESIDENTIAL LOW DENSITY |  | 6C OPEN SPACE PRIVATE RECREATION (EXISTING)     |
|  | OPEN SPACE - EXISTING           |  | 4A INDUSTRIAL              |  | 7A ENVIRONMENTAL PROTECTION HABITAT & CATCHMENT |
|  | NATURE STRIP - EXISTING         |   |                            |   |   |

AMENDMENTS			
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A	DD	PRELIMINARY FOR COUNCIL APPROVAL	03/11/10
B	DD	STAGE 3B SKETCH ADDED	15/11/11
C	DD	DRAWING REDRAWN, NUMBER RE-USED	20/07/12
D	DD	LOT 142 ADDED.	09/08/12
E	DD	ROAD NAMES ADDED.	15/08/12
F	DD	DEPT. OF PLANNING SUB-MISSION	27/08/12
G	DD	AMENDMENTS FOR RFS & COUNCIL REQUESTS	09/04/13
		DEPT. OF PLANNING RE SUB-MISSION	

NOTES:  
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 20 metre setback from Creek & Major water Courses.  
 900mm setback from side or rear boundaries end

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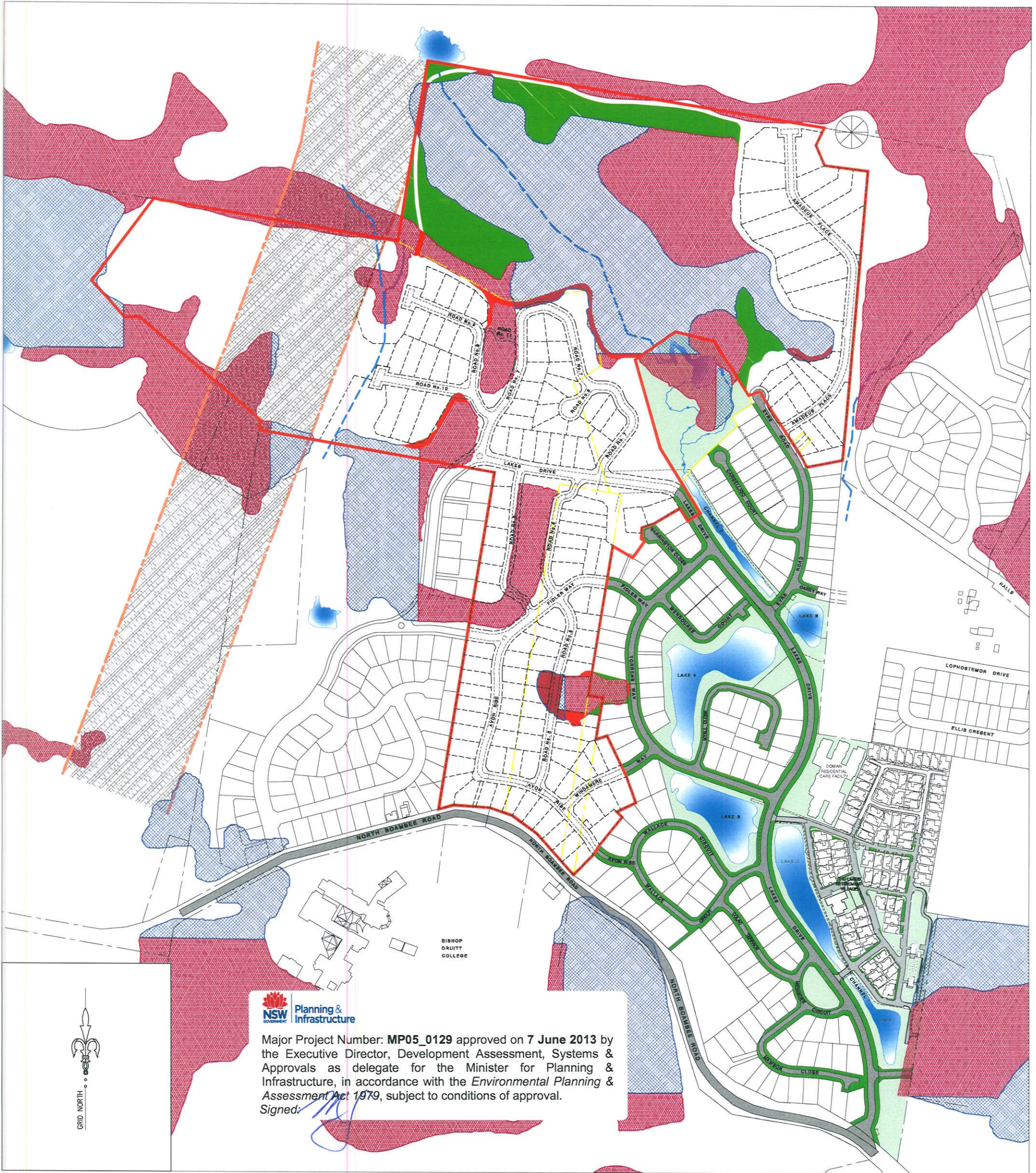
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PROJECT TITLE  
 LAKES DRIVE, NORTH BOAMBEE,  
 COFFS HARBOUR FUTURE SUB-DIVISION  
 DRAWING TITLE  
 ZONING PLAN

CHECKED KS	DRAWN DD	SCALE 0 25 50 100 150m SCALE 1 : 5000 @ A3	
PROJECT NO. 912	LOT No. -	DWG No. A003	REV. No. G







## LEGEND

- WATERWAY
- SUBJECT SITE
- FUTURE HIGHWAY BI-PASS CORRIDOR
- OPEN SPACE - EXISTING
- NATURE STRIP - EXISTING

- ROAD - EXISTING
- PRIMARY KOALA HABITAT
- SECONDARY KOALA HABITAT
- TREES PROPOSED TO BE REMOVED OR PRUNED IN A KOALA DESIGNATED AREA

- AREA PROPOSED TO BE ADDED TO A KOALA DESIGNATED AREA

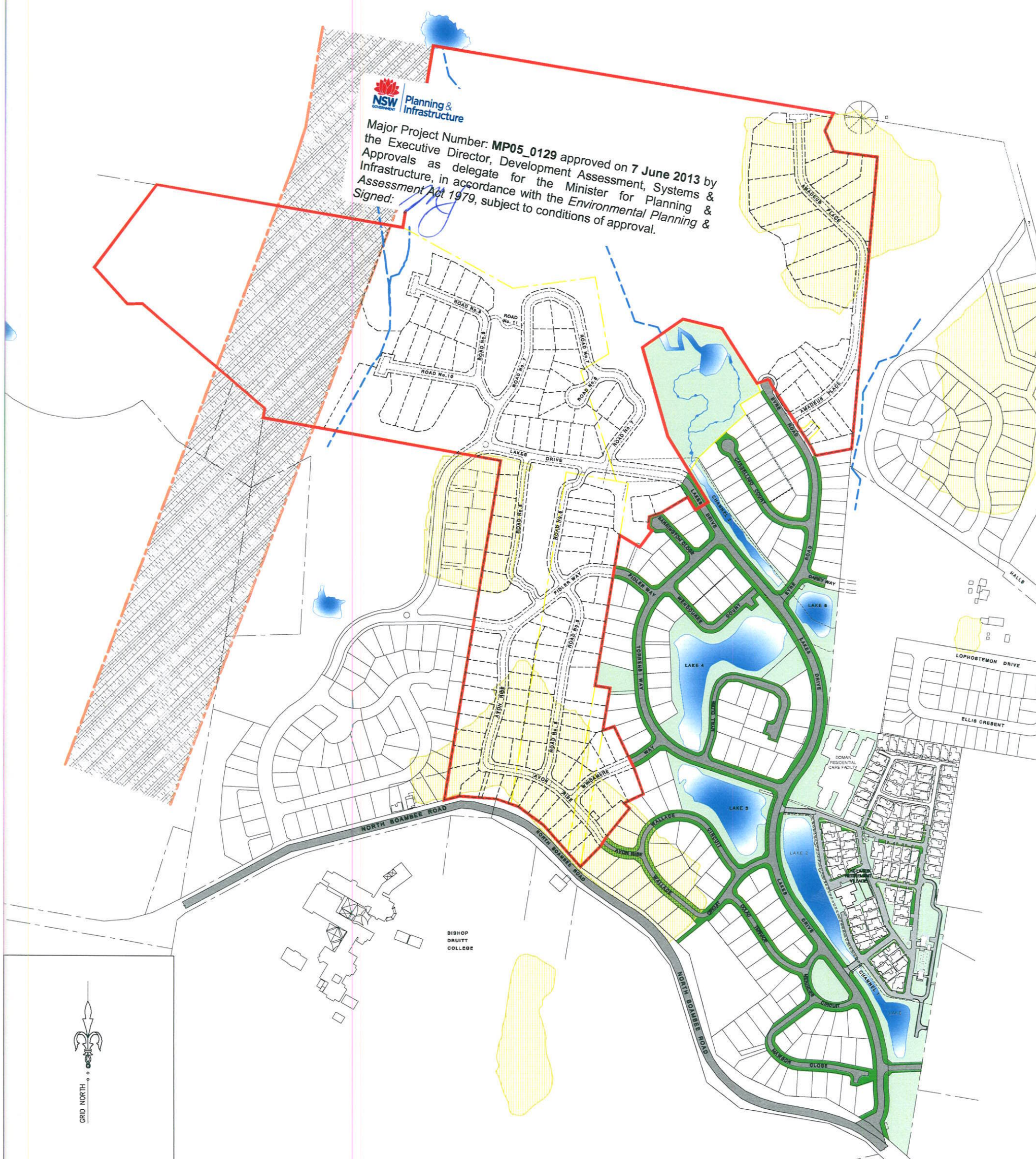
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B	DD	STAGE 3B SKETCH ADDED	15/11/11
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D	DD	LOT 142 ADDED	09/08/12
E	DD	ROAD NAMES ADDED. APZ LINE NOT SHOWN.	15/08/12
F	DD	DEPT. OF PLANNING SUB-MISSION	27/08/12
G	DD	AMENDMENTS FOR RFS & COUNCIL REQUESTS	09/04/13
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CHECKED	DRAWN	SCALE	
KS	DD	0 25 50 100 150m	
PROJECT NO.		SCALE 1 : 5000 @ A3	
912	-	DWG No.	REV. No.
		A004	G

 <b>ASTORIA</b> GROUP	ASTORIA GROUP PTY LTD 55 Grandview Street, Pymble NSW 2073 TEL: 9488 6800 FAX: 9144 6864	CLIENT NOUBIA PTY LTD 55 Grandview Street, Pymble NSW 2073 TEL: 9488 6800 FAX: 9144 6864	PROJECT TITLE LAKES DRIVE, NORTH BOAMBEE, COFFS HARBOUR FUTURE SUB-DIVISION		whole without the written permission of ASTORIA GROUP Pty Ltd			
			DRAWING TITLE KOALA HABITAT PLAN		CHECKED KS	DRAWN DD	SCALE 0 25 50 100 150m  SCALE 1 : 5000 @ A3	
					PROJECT NO. 912	LOT No. -	DWG No. A004	REV. No. G





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## LEGEND

- WATERWAY
- SUBJECT SITE
- FUTURE HIGHWAY BI-PASS CORRIDOR
- OPEN SPACE - EXISTING
- NATURE STRIP - EXISTING
- ROAD - EXISTING
- FORMER BANANA PLANTATION

AMENDMENTS			
ISSUE	DRAWN	DESCRIPTION	DATE
A	DD	PRELIMINARY FOR COUNCIL APPROVAL	03/11/10
B	DD	STAGE 3B SKETCH ADDED	15/11/11
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KS	DD	0 25 50 100 150m	
PROJECT NO.		SCALE 1 : 5000 @ A3	
912	-	DWG No.	REV. No.
		A005	G

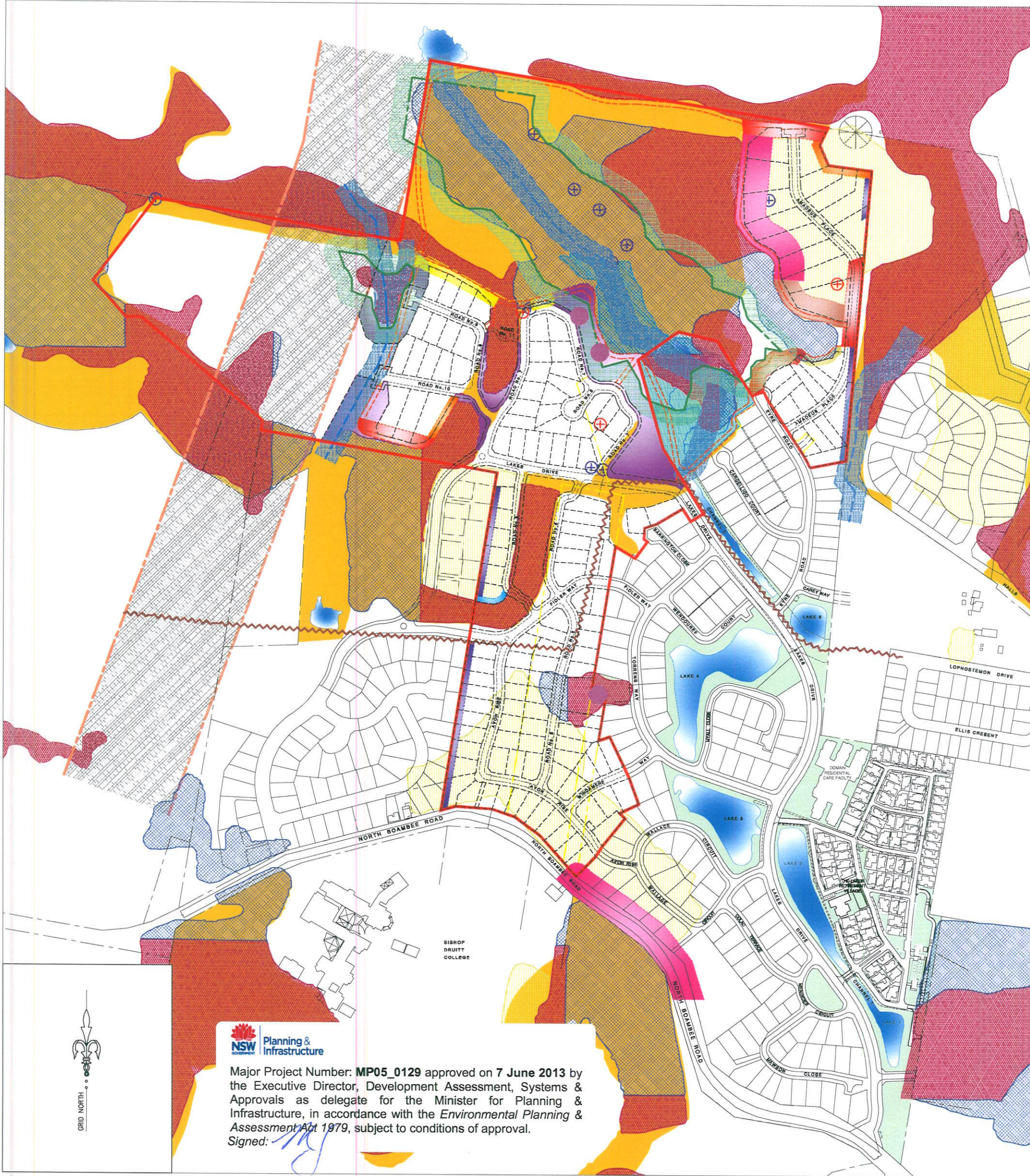


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PROJECT TITLE  
LAKES DRIVE, NORTH BOAMBEE,  
COFFS HARBOUR FUTURE SUB-DIVISION  
DRAWING TITLE  
PREVIOUS BANANA PLANTATION AREAS PLAN





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Signed:

# LEGEND

- STAG
- CULTURALLY SIGNIFICANT SITE
- WATERWAY
- SUBJECT SITE
- 66KVA OVERHEAD POWERLINE
- ENDANGERED ECOLOGICAL COMMUNITIES
- FIRE TRAIL
- ASSET PROTECTION ZONE (7m APZ)
- ASSET PROTECTION ZONE (8m APZ)
- ASSET PROTECTION ZONE (10m APZ)
- ASSET PROTECTION ZONE (12.03m APZ)
- ASSET PROTECTION ZONE (15m APZ)
- ASSET PROTECTION ZONE (20m APZ)
- ASSET PROTECTION ZONE (30m APZ)
- ASSET PROTECTION ZONE (40m APZ)
- FUTURE HIGHWAY BI-PASS CORRIDOR
- OPEN SPACE - EXISTING
- ENDANGERED ECOLOGICAL COMMUNITIES 20m BUFFER PROTECTION ZONE
- RIPIARIAN ZONE
- FLOOD PRONE LAND
- 100 YEAR ARI FLOOD EXTENT
- FORMER BANANA PLANTATION
- PRIMARY KOALA HABITAT
- SECONDARY KOALA HABITAT
- 7A ENVIRONMENTAL PROTECTION HABITAT & CATCHMENT

AMENDMENTS			
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A	DD	PRELIMINARY FOR COUNCIL APPROVAL	03/11/10
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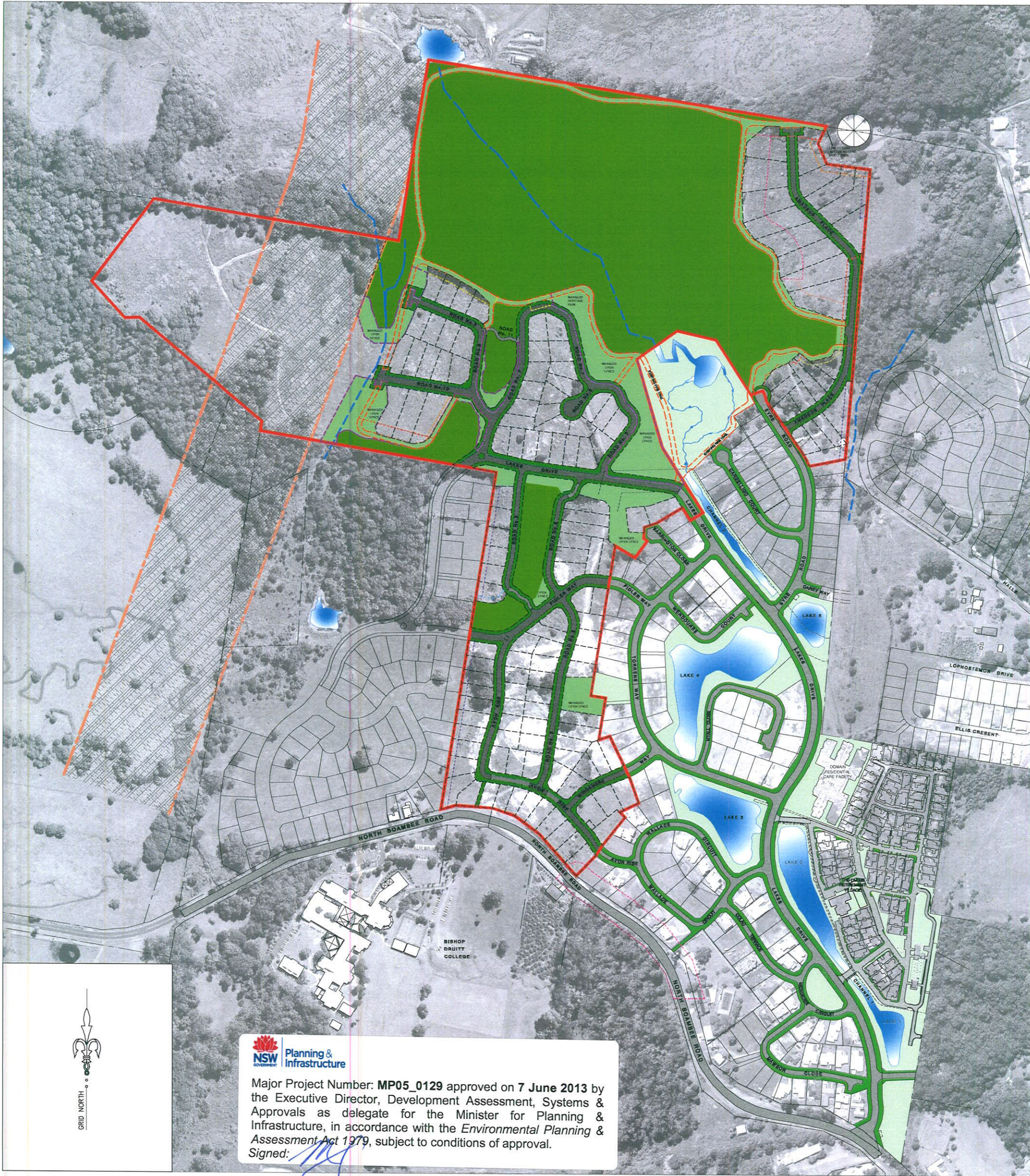
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PROJECT TITLE  
LAKES DRIVE, NORTH BOAMBEE,  
COFFS HARBOUR FUTURE SUB-DIVISION

DRAWING TITLE  
COMBINED CONSTRAINTS PLAN

CHECKED KS	DRAWN DD	SCALE 0 25 50 100 150m SCALE 1 : 5000 @ A3
PROJECT NO. 912	LOT No. -	DWG No. A006 REV. No. G





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## LEGEND

- WATERWAY
- SUBJECT SITE
- FIRE TRAIL
- FUTURE HIGHWAY BI-PASS CORRIDOR
- ROAD - NEW
- ROAD NARROWING- NEW
- MANAGED OPEN SPACE (= 42,570.7m<sup>2</sup> - 4.2 ha)
- BUSH (= 163,384.1 m<sup>2</sup> - 16.3 ha)
- NATURE STRIP - NEW
- TOTAL MANAGED OPEN SPACE + BUSH = 205,954.8 m<sup>2</sup> (20.5 ha)
- ASSET PROTECTION ZONE (7m APZ)
- ASSET PROTECTION ZONE (8.05m APZ)
- ASSET PROTECTION ZONE (10m APZ)
- ASSET PROTECTION ZONE (12.03m APZ)
- ASSET PROTECTION ZONE (15m APZ)
- ASSET PROTECTION ZONE (20m APZ)
- ASSET PROTECTION ZONE (30m APZ)
- ASSET PROTECTION ZONE (40m APZ)

AMENDMENTS			
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B	DD	STAGE 3B SKETCH ADDED	15/11/11
C	DD	DRAWING REDRAWN. NUMBER RE-USED	20/07/12
D	DD	LOT 142 ADDED. OPEN SPACE & BUSH AREAS ALTERED.	09/08/12
E	DD	OPEN SPACE & BUSH AREAS ALTERED	
F	DD	ROAD NAMES & TEXT ADDED.	15/08/12
G	DD	DEPT. OF PLANNING SUB-MISSION	27/08/12
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		DEPT. OF PLANNING RE SUB-MISSION	

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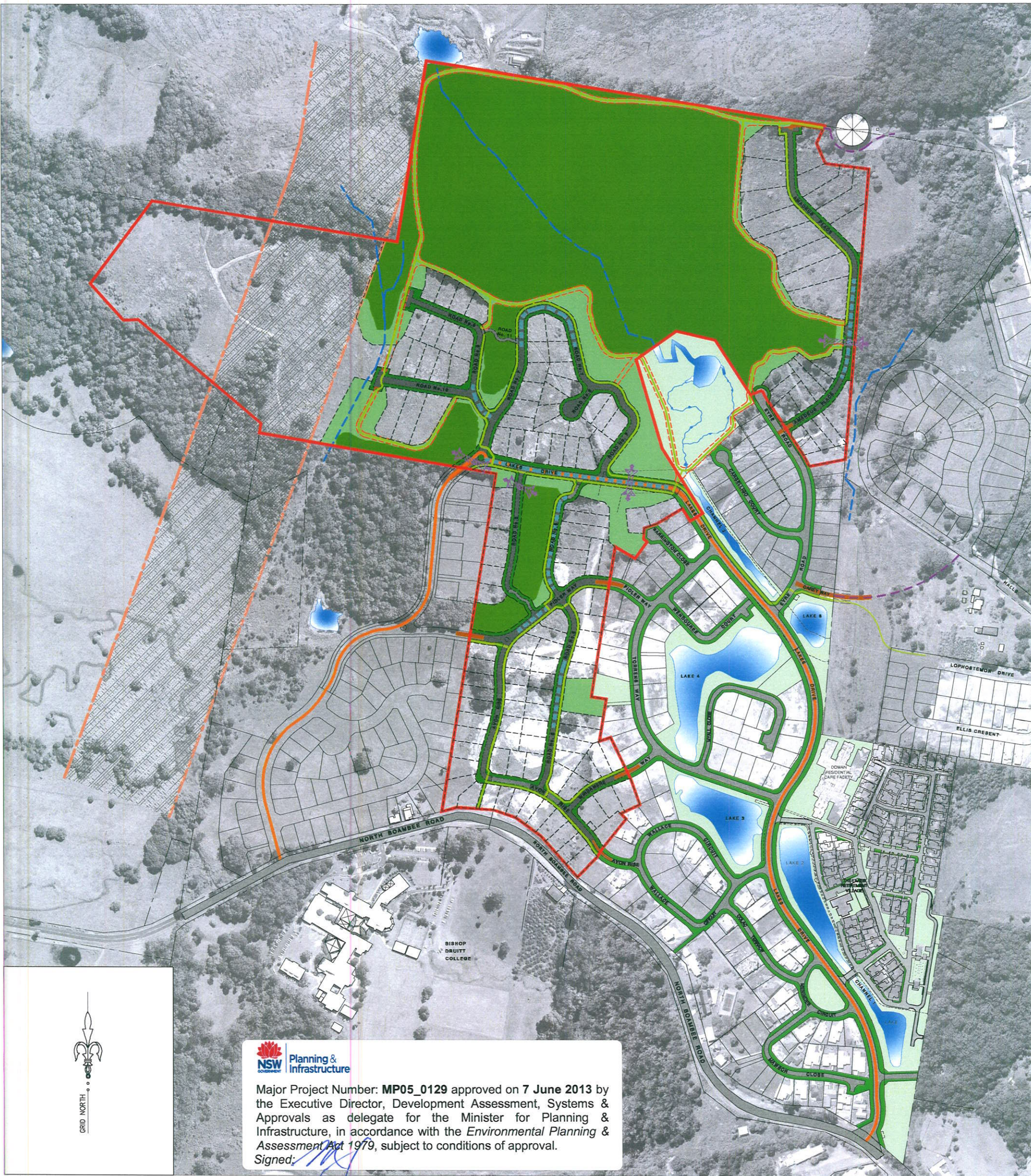
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PROJECT TITLE  
LAKES DRIVE, NORTH BOAMBEE,  
COFFS HARBOUR FUTURE SUB-DIVISION  
DRAWING TITLE  
OPEN SPACES PLAN

CHECKED	DRAWN	SCALE	PROJECT NO.	LOT No.	DWG No.	REV. No.
KS	DD	0 25 50 100 150m SCALE 1 : 5000 @ A3	912	-	A007	H





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## LEGEND

- WATERWAY
- SUBJECT SITE
- FIRE TRAIL
- PEDESTRIAN AND/OR BIKE ACCESS
- FUTURE HIGHWAY BI-PASS CORRIDOR
- NATURE STRIP - NEW
- ROAD - NEW
- 5.5m WIDE SPEED REDUCING ROADWAY
- 4m WIDE ONE WAY ROADS WITH 4M VERTICAL CLEARANCE
- RESTRICTED TRAFFIC FLOW
- EXTERNAL ROAD CONNECTIONS
- KOALA CROSSING CULVERT UNDER ROAD
- FUTURE BUS ROUTE
- POSSIBLE FUTURE ROAD LINE

ROAD DESIGN AND WIDTHS AMENDED TO ADDRESS BUSHFIRE SAFETY ISSUES.  
(REFER TO REPORT BY BC & BHS DATED 11 MARCH 2013)

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A	DD	PRELIMINARY FOR COUNCIL APPROVAL	03/11/10
B	DD	STAGE 3B SKETCH ADDED	15/11/11
C	DD	DRAWING REDRAWN, NUMBER RE-USED	20/07/12
D	DD	LOT 142 ADDED. OPEN SPACE & BUSH AREAS ALTERED.	09/08/12
E	DD	KOALA CULVERTS & RESTRICTED TRAFFIC ADDED	14/08/12
F	DD	ROAD NAMES ADDED. APZ NOT SHOWN	15/08/12
G	DD	DEPT. OF PLANNING SUB-MISSION	27/08/12
H	DD	AMENDMENTS FOR RFS & COUNCIL REQUESTS	09/04/13
		DEPT. OF PLANNING RE SUB-MISSION	

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CHECKED	DRAWN	SCALE	
KS	DD	0 25 50 100 150m	
PROJECT NO.		DWG No.	REV. No.
912		A008	H

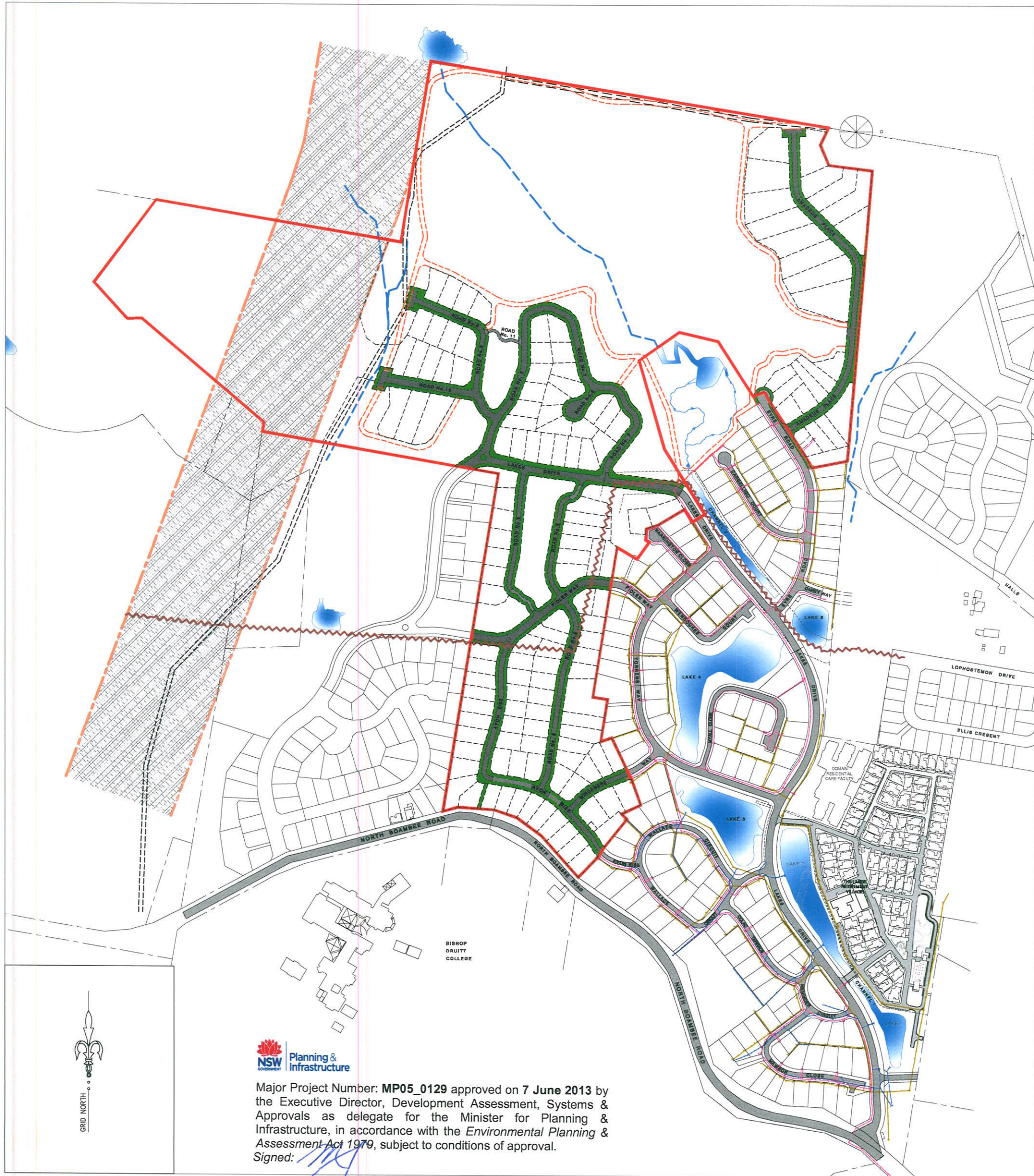


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PROJECT TITLE  
LAKES DRIVE, NORTH BOAMBE, COFFS HARBOUR FUTURE SUB-DIVISION  
DRAWING TITLE  
ROADS AND MOVEMENT ACCESS PLAN





## LEGEND

	WATERWAY		NATURE STRIP - NEW		WATER MAIN
	SUBJECT SITE		ROAD - NEW		WATER CONNECTION
	66KVA OVERHEAD POWERLINE		ROAD NARROWING- NEW		SEWER MAIN
	WATER MAIN				STORMWATER MAIN
	FIRE TRAIL				STORMWATER INTER-ALLOTMENT DRAIN
	FUTURE HIGHWAY BI-PASS CORRIDOR		4m WIDE ONE WAY ROADS WITH 4M VERTICAL CLEARANCE		

ROAD DESIGN AND WIDTHS AMENDED TO ADDRESS BUSHFIRE SAFETY ISSUES.  
(REFER TO REPORT BY BC & BHS DATED 11 MARCH 2013)

AMENDMENTS				
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B	DD	STAGE 3B SKETCH ADDED	15/11/11	
C	DD	DRAWING REDRAWN. NUMBER RE-USED	20/07/12	
D	DD	LOT 142 ADDED. EXISTING SERVICES SHOWN	09/08/12	
E	DD	INTERNAL DP LOT BOUNDARIES TURNED OFF	14/08/12	
F	DD	DEPT. OF PLANNING SUB-MISSION	27/08/12	
G	DD	AMENDMENTS FOR RFS & COUNCIL REQUESTS	09/04/13	
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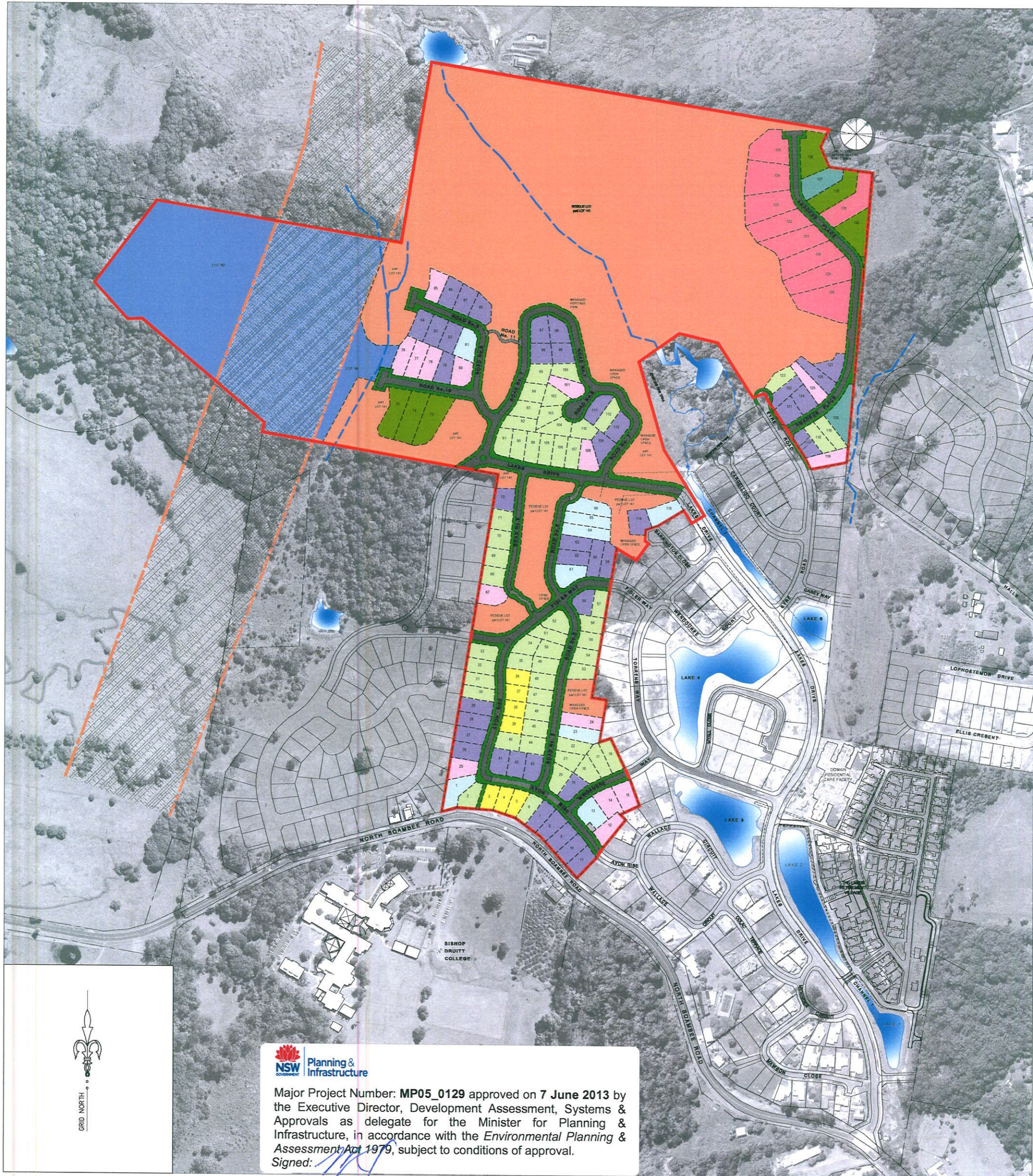
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PROJECT TITLE  
LAKES DRIVE, NORTH BOAMBEE,  
COFFS HARBOUR FUTURE SUB-DIVISION  
DRAWING TITLE  
**SERVICES PLAN**

CHECKED <b>KS</b>	DRAWN <b>DD</b>	SCALE 0 25 50 100 150m SCALE 1 : 5000 @ A3	PROJECT NO. <b>912</b>	LOT No. <b>-</b>	DWG No. <b>A009</b>	REV. No. <b>G</b>
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## LEGEND

- WATERWAY
- SUBJECT SITE
- XXXXXX FUTURE HIGHWAY BI-PASS CORRIDOR

## LEGEND - LOT AREAS

	600-700 m <sup>2</sup>		1000-1,200 m <sup>2</sup>
	7 Lots (5.0%)		9 Lots (6.4%)
	700-800 m <sup>2</sup>		1,200-1,600 m <sup>2</sup>
	52 Lots (37.2%)		2 Lots (1.4%)
	800-900 m <sup>2</sup>		1,600-2,000 m <sup>2</sup>
	40 Lots (28.6%)		6 Lots (4.3%)
	900-1,000 m <sup>2</sup>		2,000-3,000 m <sup>2</sup>
	15 Lots (10.7%)		9 Lots (6.4%)
<b>TOTAL - 140 Lots (100.0%)</b>			

AMENDMENTS			
ISSUE	DRAWN	DESCRIPTION	DATE
A	DD	PRELIMINARY FOR COUNCIL APPROVAL	23/07/12
B	DD	LOT 142 ADDED	09/08/12
C	DD	LOT 141 & 142 HATCH & ROAD NAMES ADDED	15/08/12
D	DD	DEPT. OF PLANNING SUB-MISSION	27/08/12
E	DD	AMENDMENTS FOR RFS & COUNCIL REQUESTS	09/04/13
		DEPT. OF PLANNING RE SUB-MISSION	
NOTES:			
Lengths shown are in metres. Distances & Areas are subject to further Survey.			
Building setbacks according to DCP are as follows:			
6 metre setback from Primary Street Frontage.			
3 metre setback from Secondary Street (Corner Lots)			
20 metre setback from Creek & Major water Courses.			
900mm setback from side or rear boundaries and			
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CHECKED	DRAWN	SCALE	
KS	DD	0 25 50 100 150m	
		SCALE 1 : 5000 @ A3	
PROJECT NO.	LOT No.	DWG No.	REV. No.
912	-	A010	E



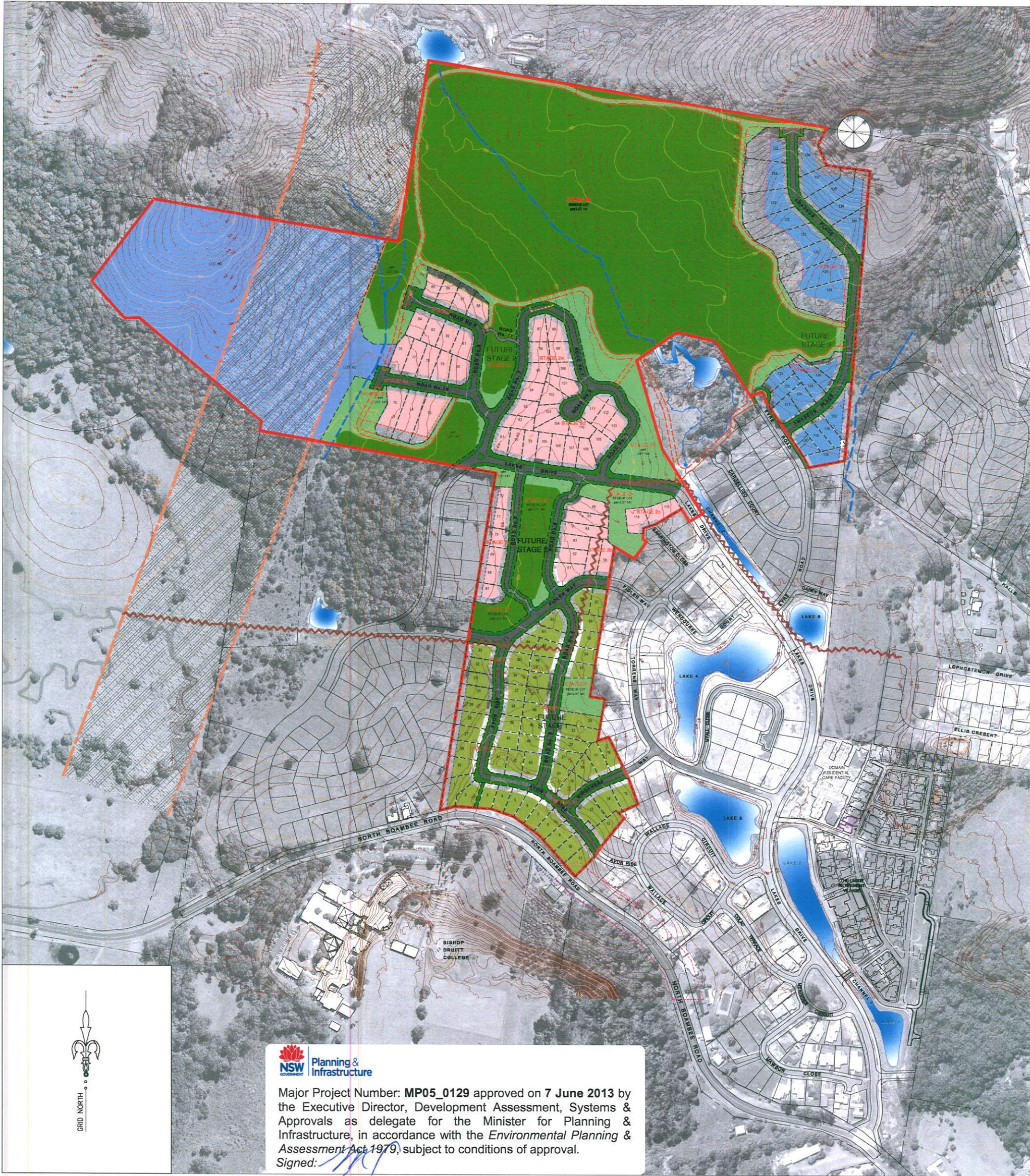
ASTORIA GROUP PTY LTD  
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PROJECT TITLE  
LAKES DRIVE, NORTH BOAMBEE,  
COFFS HARBOUR FUTURE SUB-DIVISION

DRAWING TITLE  
SUBDIVISION LAYOUT PLAN (LOT SIZES MIX)

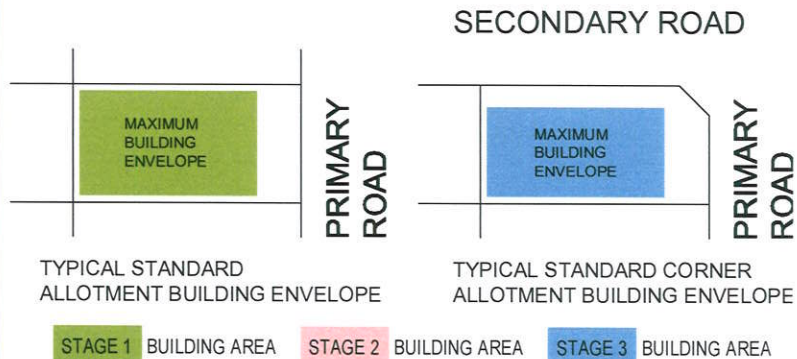




Major Project Number: **MP05\_0129** approved on **7 June 2013** by the Executive Director, Development Assessment, Systems & Approvals as delegate for the Minister for Planning & Infrastructure, in accordance with the *Environmental Planning & Assessment Act 1979*, subject to conditions of approval.  
Signed:

## LEGEND

- WATERWAY
- SUBJECT SITE
- FIRE TRAIL
- FUTURE HIGHWAY BI-PASS CORRIDOR
- ASSET PROTECTION ZONE (7m APZ)
- ASSET PROTECTION ZONE (8.05m APZ)
- ASSET PROTECTION ZONE (10m APZ)
- ASSET PROTECTION ZONE (12.03m APZ)
- ASSET PROTECTION ZONE (15m APZ)
- ASSET PROTECTION ZONE (20m APZ)
- ASSET PROTECTION ZONE (30m APZ)
- ASSET PROTECTION ZONE (40m APZ)



AMENDMENTS			
ISSUE	DRAWN	DESCRIPTION	DATE
A	DD	PRELIMINARY FOR COUNCIL APPROVAL	24/07/12
B	DD	LOT 142 ADDED. OPEN SPACE & BUSH AREAS ALTERED.	09/08/12
C	DD	INTERNAL DP LOT BOUNDARY TURNED OFF LOT NUMBERS & ROAD NAMES ADDED.	15/08/12
D	DD	FIRE TRAIL, APZ & AFFECTED LOTS AMENDED DEPT. OF PLANNING SUB-MISSION	28/08/12
E	DD	AMENDMENTS FOR RFS & COUNCIL REQUESTS DEPT. OF PLANNING RE SUB-MISSION	09/04/13

NOTES:  
Lengths shown are in metres. Distances & Areas are subject to further Survey.  
Building setbacks according to DCP are as follows:  
6 metre setback from Primary Street Frontage.  
3 metre setback from secondary Street (Corner Lots)  
20 metre setback from Creek & Major water Courses.  
900mm setback from side or rear boundaries and

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CHECKED	DRAWN	SCALE	
KS	DD	0 25 50 100 150m	
PROJECT NO.		SCALE 1 : 5000 @ A3	
912	-	DWG No.	REV. No.
		A011	E



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PROJECT TITLE  
LAKES DRIVE, NORTH BOAMBEE,  
COFFS HARBOUR FUTURE SUB-DIVISION

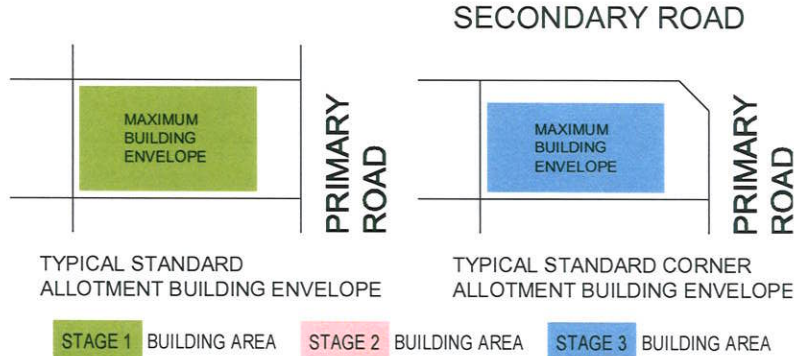
DRAWING TITLE  
SUBDIVISION STAGING PLAN





## LEGEND

- WATERWAY
- SUBJECT SITE
- FIRE TRAIL
- FUTURE HIGHWAY BI-PASS CORRIDOR
- ASSET PROTECTION ZONE (7m APZ)
- ASSET PROTECTION ZONE (8.05m APZ)
- ASSET PROTECTION ZONE (10m APZ)
- ASSET PROTECTION ZONE (12.03m APZ)
- ASSET PROTECTION ZONE (15m APZ)
- ASSET PROTECTION ZONE (20m APZ)
- ASSET PROTECTION ZONE (30m APZ)
- ASSET PROTECTION ZONE (40m APZ)



AMENDMENTS			
ISSUE	DRAWN	DESCRIPTION	DATE
A	DD	PRELIMINARY FOR COUNCIL APPROVAL	24/07/12
B	DD	ROAD NAMES ADDED	15/08/12
C	DD	DEPT. OF PLANNING SUB-MISSION	28/08/12
D	DD	AMENDMENTS FOR RFS & COUNCIL REQUESTS	09/04/13
DEPT. OF PLANNING RE SUB-MISSION			

NOTES:  
Lengths shown are in metres. Distances & Areas are subject to further Survey.  
Building setbacks according to DCP are as follows:  
6 metre setback from Primary Street Frontage.  
3 metre setback from secondary Street (Corner Lots)  
20 metre setback from Creek & Major water Courses.  
900mm setback from side or rear boundaries and

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CHECKED	DRAWN	SCALE	PROJECT NO.	LOT No.	DWG No.	REV. No.
KS	DD	0 10 20 40 60m SCALE 1 : 2000 @ A3	912	-	A012	D

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PROJECT TITLE
LAKES DRIVE, NORTH BOAMBEE, COFFS HARBOUR FUTURE SUB-DIVISION
DRAWING TITLE
SUBDIVISION STAGE 1 PLAN LOTS 1-58 AND PART LOT 141 (RESIDUAL)



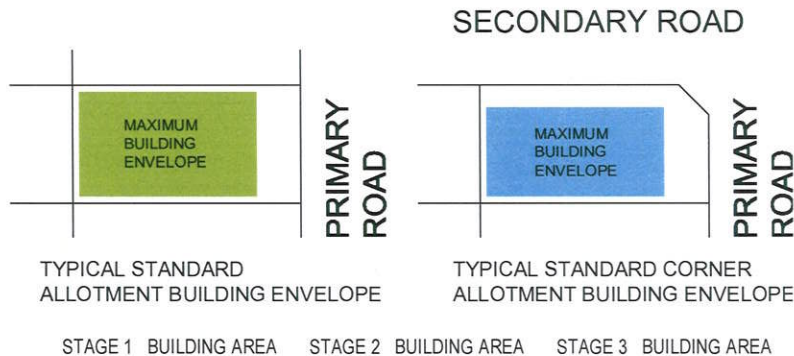


Major Project Number: **MP05\_0129** approved on **7 June 2013** by the Executive Director, Development Assessment, Systems & Approvals as delegate for the Minister for Planning & Infrastructure, in accordance with the *Environmental Planning & Assessment Act 1979*, subject to conditions of approval.  
Signed:



## LEGEND

	WATERWAY		ASSET PROTECTION ZONE (10m APZ)
	SUBJECT SITE		ASSET PROTECTION ZONE (12.03m APZ)
	FIRE TRAIL		ASSET PROTECTION ZONE (15m APZ)
	FUTURE HIGHWAY BI-PASS CORRIDOR		ASSET PROTECTION ZONE (20m APZ)
	ASSET PROTECTION ZONE (7m APZ)		ASSET PROTECTION ZONE (30m APZ)
	ASSET PROTECTION ZONE (8.05m APZ)		ASSET PROTECTION ZONE (40m APZ)



AMENDMENTS			
ISSUE	DRAWN	DESCRIPTION	DATE
A	DD	PRELIMINARY FOR COUNCIL APPROVAL	24/07/12
B	DD	LOT 142 ADDED	09/08/12
C	DD	ROAD NAMES ADDED	15/08/12
D	DD	DEPT. OF PLANNING SUB-MISSION	28/08/12
E	DD	AMENDMENTS FOR RFS & COUNCIL REQUESTS	09/04/13
		DEPT. OF PLANNING RE SUB-MISSION	

NOTES:  
Lengths shown are in metres. Distances & Areas are subject to further Survey.  
Building setbacks according to DCP are as follows:  
8 metre setback from Primary Street Frontage.  
3 metre setback from Secondary Street (Corner Lots)  
20 metre setback from Creek & Major water Courses.  
900mm setback from side or rear boundaries and

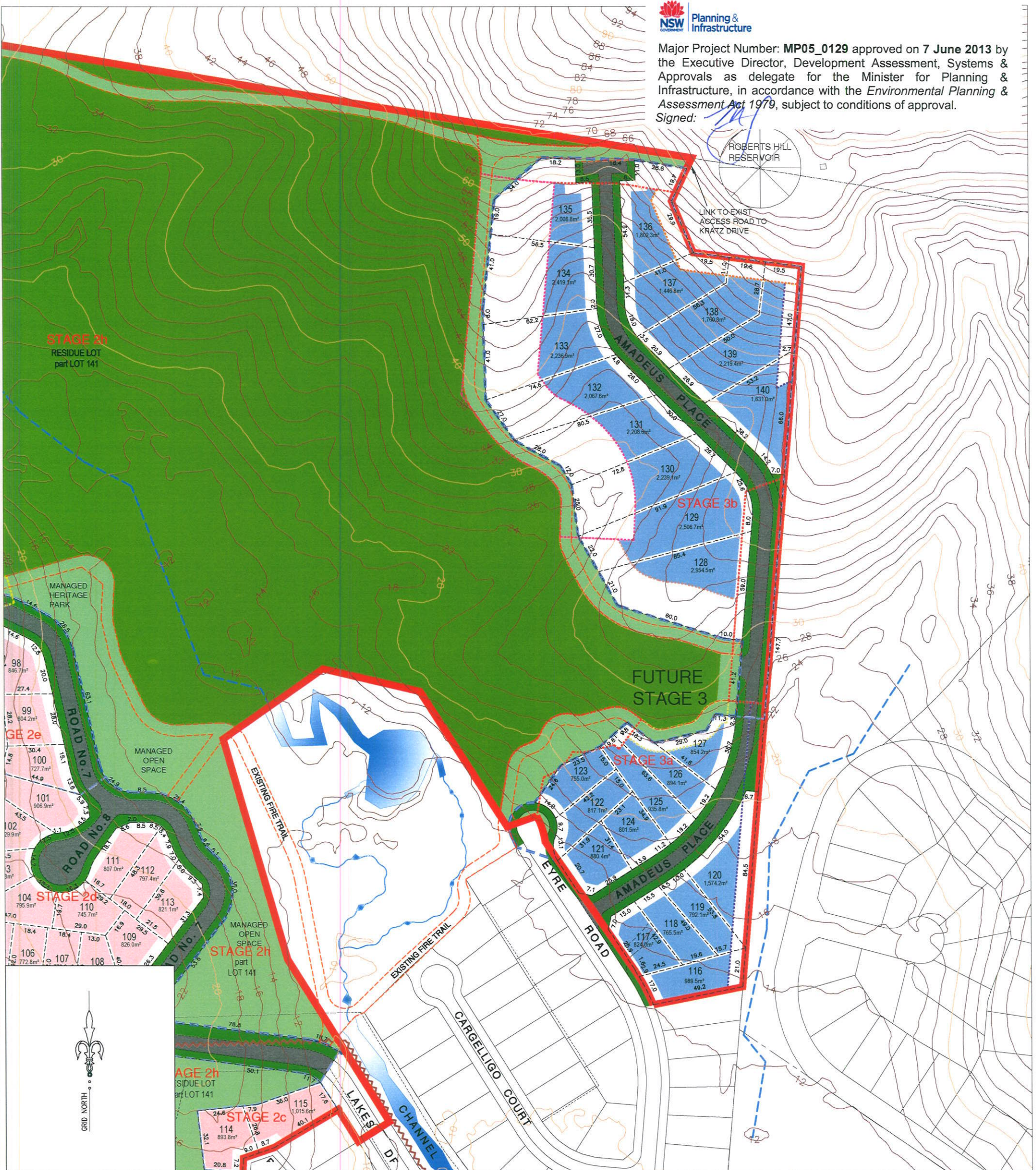
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CHECKED	DRAWN	SCALE	
KS	DD	0 10 20 40 60m	
		SCALE 1 : 2000 @ A3	
PROJECT NO.	LOT No.	DWG No.	REV. No.
912	-	A013	E

ASTORIA GROUP PTY LTD 55 Grandview Street, Pymble NSW 2073 TEL: 9488 6800 FAX: 9144 6864	CLIENT NOUBIA PTY LTD 55 Grandview Street, Pymble NSW 2073 TEL: 9488 6800 FAX: 9144 6864	PROJECT TITLE LAKES DRIVE, NORTH BOAMBEE, COFFS HARBOUR FUTURE SUB-DIVISION	DRAWING TITLE SUBDIVISION STAGE 2 PLAN LOTS 59-115, LOT 142 AND PART LOT 141 (RESIDUAL)
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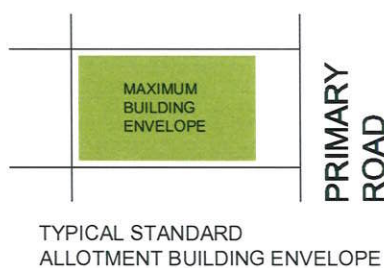


Major Project Number: **MP05\_0129** approved on **7 June 2013** by the Executive Director, Development Assessment, Systems & Approvals as delegate for the Minister for Planning & Infrastructure, in accordance with the *Environmental Planning & Assessment Act 1979*, subject to conditions of approval.  
Signed: \_\_\_\_\_

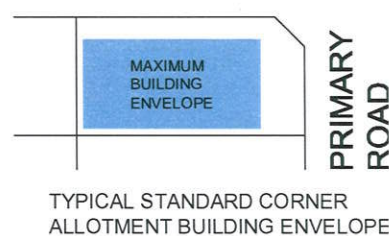


## LEGEND

	WATERWAY		ASSET PROTECTION ZONE (10m APZ)
	SUBJECT SITE		ASSET PROTECTION ZONE (12.03m APZ)
	FIRE TRAIL		ASSET PROTECTION ZONE (15m APZ)
	FUTURE HIGHWAY BI-PASS CORRIDOR		ASSET PROTECTION ZONE (20m APZ)
	ASSET PROTECTION ZONE (7m APZ)		ASSET PROTECTION ZONE (30m APZ)
	ASSET PROTECTION ZONE (8.05m APZ)		ASSET PROTECTION ZONE (40m APZ)



## SECONDARY ROAD



STAGE 1 BUILDING AREA STAGE 2 BUILDING AREA STAGE 3 BUILDING AREA

AMENDMENTS			
ISSUE	DRAWN	DESCRIPTION	DATE
A	DD	PRELIMINARY FOR COUNCIL APPROVAL	24/07/12
B	DD	LOT 141 AREAS ALTERED.	09/08/12
C	DD	INTERNAL DP LOT BOUNDARY TURNED OFF LOT NUMBERS & ROAD NAMES ADDED.	15/08/12
D	DD	DEPT. OF PLANNING SUB-MISSION	28/08/12
E	DD	AMENDMENTS FOR RFS & COUNCIL REQUESTS DEPT. OF PLANNING RE SUB-MISSION	09/04/13

NOTES:  
Lengths shown are in metres. Distances & Areas are subject to further Survey.  
Building setbacks according to DCP are as follows:  
6 metre setback from Primary Street Frontage.  
3 metre setback from secondary Street (Corner Lots)  
20 metre setback from Creek & Major water Courses.  
900mm setback from side or rear boundaries and

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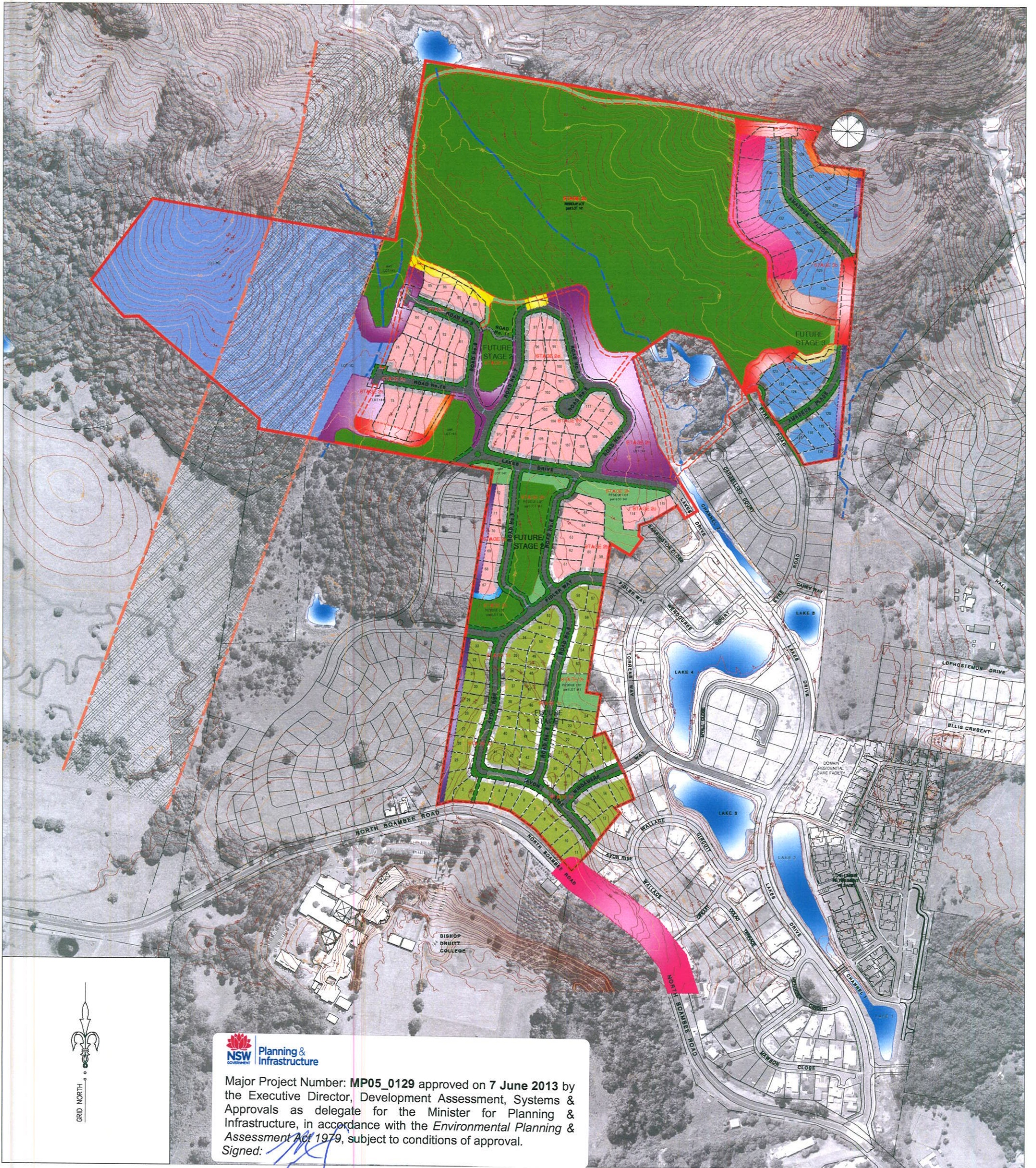
CLIENT  
NOUBIA PTY LTD  
55 Grandview Street, Pymble  
NSW 2073  
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FAX: 9144 6864

PROJECT TITLE  
LAKES DRIVE, NORTH BOAMBEE,  
COFFS HARBOUR FUTURE SUB-DIVISION

DRAWING TITLE  
SUBDIVISION STAGE 3 PLAN  
LOTS 116-140, LOT AND PART LOT 141 (RESIDUAL)

CHECKED KS	DRAWN DD	SCALE 0 10 20 40 60m SCALE 1 : 2000 © A3	PROJECT NO. 912	LOT No. -	DWG No. A014	REV. No. E
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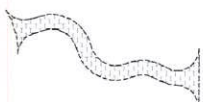


Major Project Number: **MP05\_0129** approved on **7 June 2013** by the Executive Director, Development Assessment, Systems & Approvals as delegate for the Minister for Planning & Infrastructure, in accordance with the *Environmental Planning & Assessment Act 1979*, subject to conditions of approval.  
Signed:

## LEGEND

	WATERWAY		ASSET PROTECTION ZONE (10m APZ)
	FIRE TRAIL		ASSET PROTECTION ZONE (12.03m APZ)
	FUTURE HIGHWAY BI-PASS CORRIDOR		ASSET PROTECTION ZONE (15m APZ)
	RESERVE MANAGED AS APZ		ASSET PROTECTION ZONE (20m APZ)
	ASSET PROTECTION ZONE (7m APZ)		ASSET PROTECTION ZONE (30m APZ)
	ASSET PROTECTION ZONE (8.05m APZ)		ASSET PROTECTION ZONE (40m APZ)

ROAD DESIGN AND WIDTHS AMENDED TO ADDRESS BUSHFIRE SAFETY ISSUES.  
(REFER TO REPORT BY BC & BHS DATED 11 MARCH 2013)



4m WIDE ONE WAY ROADS WITH 4M VERTICAL CLEARANCE



5.5m WIDE SPEED REDUCING ROADWAY

STAGE 1 BUILDING AREA STAGE 2 BUILDING AREA STAGE 3 BUILDING AREA

AMENDMENTS			
ISSUE	DRAWN	DESCRIPTION	DATE
A	DD	ISSUED FOR RFS APPROVAL	11/03/13
B	DD	AMENDMENTS FOR RFS & COUNCIL REQUESTS	09/04/13
DEPT. OF PLANNING RE SUB-MISSION			

NOTES:  
Lengths shown are in metres. Distances & Areas are subject to further Survey.  
Building setbacks according to DCP are as follows:  
6 metre setback from Primary Street Frontage.  
3 metre setback from secondary Street (Corner Lots)  
20 metre setback from Creek & Major water Courses.  
900mm setback from side or rear boundaries and

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CHECKED MS	DRAWN DD	SCALE 0 25 50 100 150m SCALE 1 : 5000 @ A3	
PROJECT NO. 912	LOT No. -	DWG No. A015	REV. No. B



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PROJECT TITLE  
LAKES DRIVE, NORTH BOAMBEE,  
COFFS HARBOUR FUTURE SUB-DIVISION

DRAWING TITLE  
SUBDIVISION STAGING PLAN\_Response TO RFS





Major Project Number: **MP05\_0129** approved on **7 June 2013** by the Executive Director, Development Assessment, Systems & Approvals as delegate for the Minister for Planning & Infrastructure, in accordance with the *Environmental Planning & Assessment Act 1979*, subject to conditions of approval.  
Signed:



## LEGEND

- WATERWAY
- FIRE TRAIL
- FUTURE HIGHWAY BI-PASS CORRIDOR
- RESERVE MANAGED AS APZ
- ASSET PROTECTION ZONE (7m APZ)
- ASSET PROTECTION ZONE (8.05m APZ)
- ASSET PROTECTION ZONE (10m APZ)
- ASSET PROTECTION ZONE (12.03m APZ)
- ASSET PROTECTION ZONE (15m APZ)
- ASSET PROTECTION ZONE (20m APZ)
- ASSET PROTECTION ZONE (30m APZ)
- ASSET PROTECTION ZONE (40m APZ)
- ROAD DESIGN AND WIDTHS AMENDED TO ADDRESS BUSHFIRE SAFETY ISSUES. (REFER TO REPORT BY BC & BHS DATED 11 MARCH 2013)
- 4m WIDE ONE WAY ROADS WITH 4M VERTICAL CLEARANCE
- 5.5m WIDE SPEED REDUCING ROADWAY
- STAGE 1 BUILDING AREA
- STAGE 2 BUILDING AREA
- STAGE 3 BUILDING AREA

AMENDMENTS			
ISSUE	DRAWN	DESCRIPTION	DATE
A	DD	ISSUED FOR RFS APPROVAL	11/03/13
B	DD	AMENDMENTS FOR RFS & COUNCIL REQUESTS	09/04/13
		DEPT. OF PLANNING RE SUB-MISSION	

NOTES:  
Lengths shown are in metres. Distances & Areas are subject to further Survey.  
Building setbacks according to DCP are as follows:  
6 metre setback from Primary Street Frontage.  
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900mm setback from side or rear boundaries and

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CHECKED	DRAWN	SCALE	PROJECT NO.	LOT No.	DWG No.	REV. No.
MS	DD	0 10 20 40 60m SCALE 1 : 2000 @ A3	912	-	A016	B



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NSW 2073  
TEL: 9488 6800  
FAX: 9144 6864

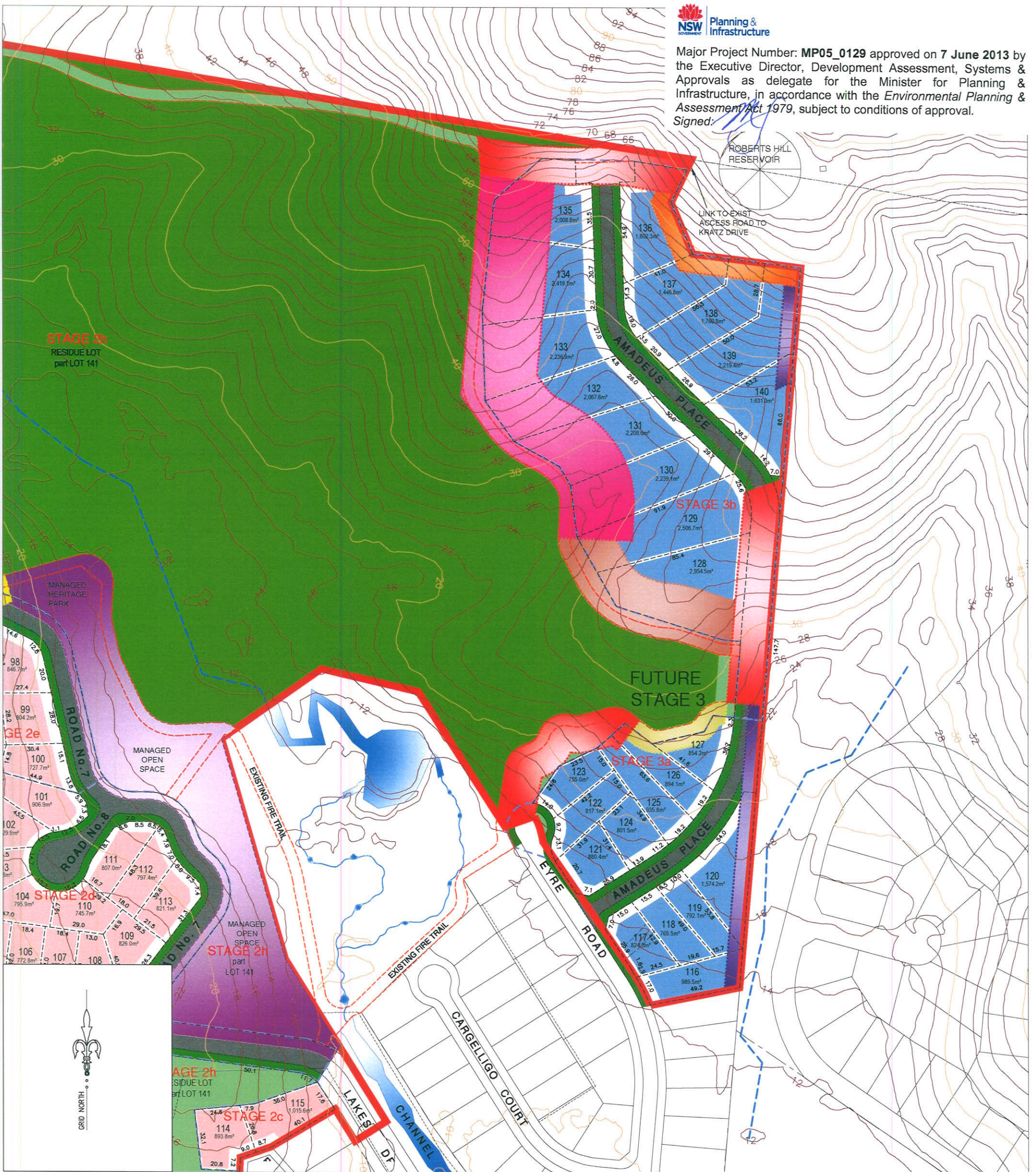
PROJECT TITLE  
LAKES DRIVE, NORTH BOAMBEE,  
COFFS HARBOUR FUTURE SUB-DIVISION  
DRAWING TITLE  
SUBDIVISION STAGE 1 PLAN\_Response TO RFS  
LOTS 1-58 AND PART LOT 141 (RESIDUAL)







Major Project Number: **MP05\_0129** approved on **7 June 2013** by the Executive Director, Development Assessment, Systems & Approvals as delegate for the Minister for Planning & Infrastructure, in accordance with the *Environmental Planning & Assessment Act 1979*, subject to conditions of approval.  
Signed: \_\_\_\_\_



## LEGEND

WATERWAY	ASSET PROTECTION ZONE (10m APZ)	ROAD DESIGN AND WIDTHS AMENDED TO ADDRESS BUSHFIRE SAFETY ISSUES. (REFER TO REPORT BY BC & BHS DATED 11 MARCH 2013)
FIRE TRAIL	ASSET PROTECTION ZONE (12.03m APZ)	
FUTURE HIGHWAY BI-PASS CORRIDOR	ASSET PROTECTION ZONE (15m APZ)	
RESERVE MANAGED AS APZ	ASSET PROTECTION ZONE (20m APZ)	
ASSET PROTECTION ZONE (7m APZ)	ASSET PROTECTION ZONE (30m APZ)	
ASSET PROTECTION ZONE (8.05m APZ)	ASSET PROTECTION ZONE (40m APZ)	4m WIDE ONE WAY ROADS WITH 4M VERTICAL CLEARANCE
		5.5m WIDE SPEED REDUCING ROADWAY
		STAGE 1 BUILDING AREA STAGE 2 BUILDING AREA STAGE 3 BUILDING AREA

AMENDMENTS			
ISSUE	DRAWN	DESCRIPTION	DATE
A	DD	ISSUED FOR RFS APPROVAL	11/03/13
B	DD	CORRECTED DRAWING NUMBER	19/03/13
C	DD	AMENDMENTS FOR RFS & COUNCIL REQUESTS	09/04/13
		DEPT. OF PLANNING RE SUB-MISSION	

NOTES:  
Lengths shown are in metres. Distances & Areas are subject to further Survey.  
Building setbacks according to DCP are as follows:  
6 metre setback from Primary Street Frontage.  
3 metre setback from secondary Street (Corner Lots)  
20 metre setback from Creek & Major water Courses.  
900mm setback from side or rear boundaries and

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CHECKED MS	DRAWN DD	SCALE 0 10 20 40 60m SCALE 1 : 2000 @ A3
PROJECT NO. 912	LOT No. -	DWG No. A018
		REV. No. C



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PROJECT TITLE  
LAKES DRIVE, NORTH BOAMBEE,  
COFFS HARBOUR FUTURE SUB-DIVISION

DRAWING TITLE  
SUBDIVISION STAGE 3 PLAN Response TO RFS  
LOTS 116-140, LOT AND PART LOT 141 (RESIDUAL)