

COSMOPOLITAN LIVING

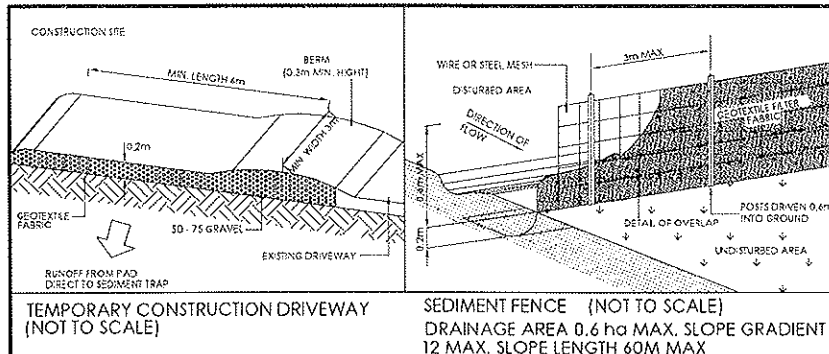
5, Nelson Avenue
Padstow, NSW 2211
Tel: 02 8713 5000
Fax: 02 8713 5099

No.	Scale	Sheet Title	Revision
010:	N/A	COVER SHEET	D
020:	1:200	SITE PLAN	B
021:	1:100	ROOF PLAN	B
022:	1:200	CONCEPT DRAINAGE PLAN	A
030:	1:100	GROUND FLOOR PLAN	D
040:	1:100	FIRST FLOOR PLAN	C
050:	1:100	FRONT & REAR ELEVATIONS	C
060:	1:100	SIDE ELEVATIONS	B
070:	1:100	SECTIONS A & B	B
080:	1:100	GROUND FLOOR ELECTRICAL PLAN	D
090:	1:100	FIRST FLOOR ELECTRICAL PLAN	C
100:	1:50	SLAB PLAN	B
110:	1:5	SLAB DETAILS	B
120:	1:50	KITCHEN DETAILS	B
130:	1:50	LAUNDRY & PWDR DETAILS	B
140:	1:50	BATHROOM DETAILS	B
150:	1:50	ENSUITE DETAILS	B
160:	1:50	STAIRS DETAILS	B
170:	1:100	FLOOR JOIST LAYOUT	B
180:	1:50,1:20	PERGOLA & SUNHOOD DETAIL	B

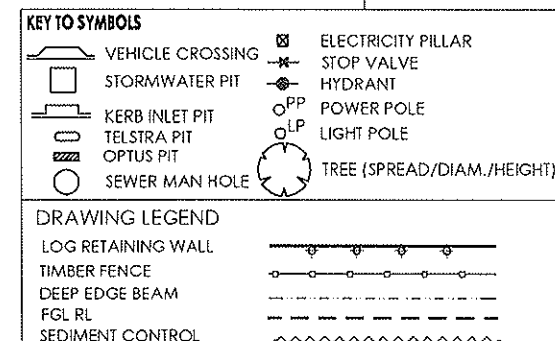
MS E KUEH
LOT 60 SEAMIST AVENUE
ERMINGTON

CONSTRUCTION ISSUE

D	25.06.10	CONSTRUCTION ISSUE REV. 2 (Quotation 'C')	RC
C	17.05.10	CONSTRUCTION ISSUE REVISION A	MH
B	19.04.10	CONSTRUCTION ISSUE	MH
A	19.04.10	CONSTRUCTION CERTIFICATE	MH



(S) EASEMENT FOR DRAINAGE OF WATER 1.5 WIDE



- NOTES:**
- THIS PLAN HAS BEEN PREPARED BY A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS WHERE INDICATED. THE TITLE BOUNDARIES SHOWN HEREON HAVE NOT BEEN MARKED BY REGISTERED SURVEYOR AT THE TIME OF SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD MEASUREMENTS.
 - IF THE DIMENSIONS OR DESCRIPTION OF THE TITLE ARE CRITICAL FOR DESIGN AND/OR CONSTRUCTION OF NEW STRUCTURES OR FINANCIAL DECISIONS WE RECOMMEND THAT AN IDENTIFICATION SURVEY OR RE-SURVEY OF BOUNDARIES BE CARRIED OUT.
 - NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE EXCEPT WHERE OTHERWISE INDICATED.
 - ONLY VISIBLE SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE. NON VISIBLE AND/OR UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE AND HAVE BEEN NOTED ACCORDINGLY ON THIS PLAN.
 - PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATION OF ALL SERVICES.
 - THIS PLAN HAS BEEN PREPARED EXCLUSIVELY FOR USE BY REGISTERED SURVEYOR AND COSMOPOLITAN CONSTRUCTIONS.
 - THIS PLAN CANNOT BE COPIED OR ALTERED IN ANY WAY WITHOUT THE PRIOR WRITTEN PERMISSION FROM REGISTERED SURVEYOR.
 - THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN AND CANNOT BE REMOVED.

ALL RETAINING WALL DETAILS TO ENGINEERS DETAIL, REFER TO EXCAVATION PLAN

SITE LEVELS SUBJECT TO 2ND SITE INSPECTION

EXTENT OF EXCAVATION AND BATER TO BE DETERMINED ON SITE.

SEWER CONNECTION TO AUTHORITIES' REQUIREMENTS. STORMWATER CONNECTION TO REAR

AREA CALCULATIONS			
Floor Area		Site Coverage	
Ground Floor:	114.50m ²	Ground Floor:	114.50m ²
First Floor:	116.42m ²	Garage:	36.07m ²
Garage:	36.07m ²	Porch:	2.44m ²
Porch:	2.44m ²	Driveway:	26.13m ²
Balcony:	6.21m ²	Patio:	14.40m ²
Patio:	14.40m ²	Verandah:	25.94m ²
Verandah:	25.94m ²	Total Area:	219.48m ²
Total Area:	305.98m ²	Site Area:	366.90m ²
Gross Floor Area:	230.92m ²	Floor Space Ratio:	63%
Landscaping:	147.42m ² (40%)	Site Coverage:	60%
		POS:	126.06m ²

1:200 SITE PLAN

'M' CLASS SLAB

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A	19.04.10	CONSTRUCTION CERTIFICATE	MH
issue:	date:	revision:	dr:

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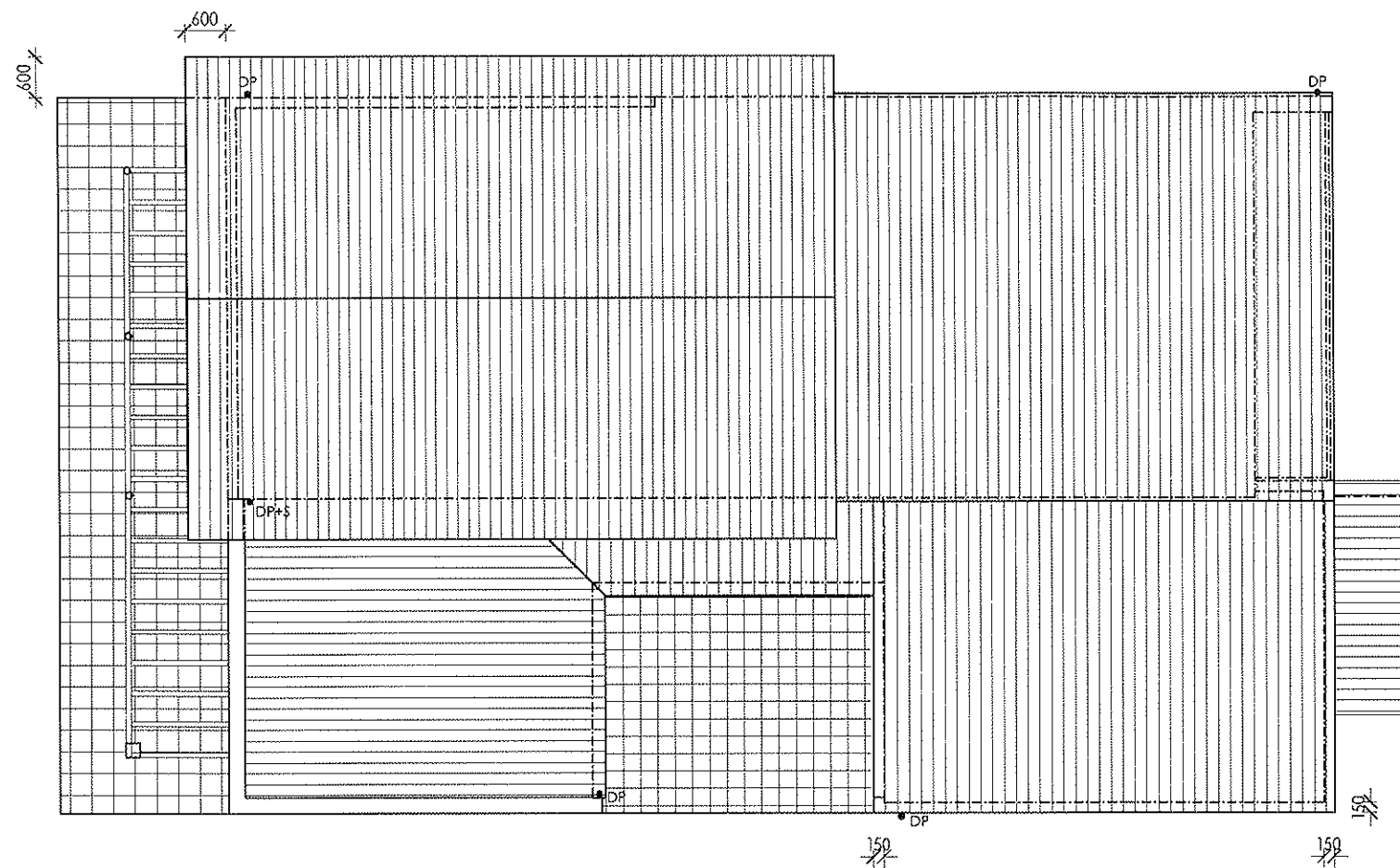
Client: **MS E KUEH**
Address: **LOT 60 SEAMIST AVENUE**

Suburb: **ERMINGTON**
Council Area: **PARRAMATTA**

House Type: **SPECIAL**
Facade Type: **SPECIAL**
Alternative Plan: **SPECIAL**
Specification: **RIVERWALK**

Drawing Title: **SITE PLAN**

Drawn:	Checked:	Date Drawn:	Scale:
MH		19.04.10	1:200
File No:	Drawing No:	Rev:	
909399	020	B	



1:100 ROOF PLAN

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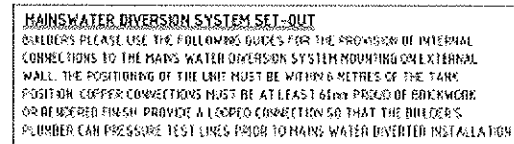
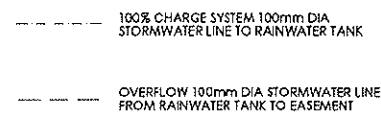
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Drawing Title:
ROOF PLAN

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MH		19.04.10	1:100
File No:	Drawing No:	Rev:	
909399	021	B	

A	19 04 10	CONSTRUCTION ISSUE	M
issue:	date:	revision:	dr

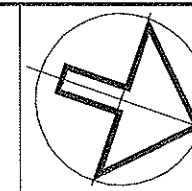


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Tel: 02 8713 5000
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Drawing Title:
CONCEPT DRAINAGE PLAN

File No: 909399	Drawing No: 022	Rev: A
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1:200 CONCEPT STORMWATER LAYOUT



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LEGEND			
AC/PAD	AIR CONDITIONING CONC. PAD	V	VANITY
B	BATH	AJ	ARTICULATION JOINT
C.TOP	COOKTOP	WC	WATER CLOSET
DW	DISHWASHER PROVISION	WIR	WALK IN ROBE
DP	RAIN WATER DOWNPIPE	WO	WALL OVEN
DP+S	DOWNPIPE PLUS SPREADER	WM	WASHING MACHINE
ENS	ENSUITE	1000BAL	1000mm HIGH BALUSTRADE
FJ	FLOOR JOIST DIRECTION	FL	FLASHING
FW	FLOOR WASTE	ST	SHOWER TAP AT 1150
HWS	HOT WATER SYSTEM	ST	SHOWER ROSE AT 1650
MH	CEILING MANHOLE	ORS	OBSCURE GLASS
MW	MICROWAVE	F	FIXED GLASS
SP	SPA PUMP	SD	SLIDING DOORS
PDR	POWDER ROOM	CSD	CAVITY SLIDING DOOR
P	PANTRY	CONC	CONCRETE SLAB
REF	REFRIGERATOR SPACE	PAV	PAVING
RH	RANGEHOOD	TLS	TILES
SD	SMOKE DETECTOR	CPT	CARPET
SK	SINK	TF	TIMBER FLOORING
SHR	SHOWER	ST	SEWER STACK
RHS	RHS TO ENGINEERS DETAILS	T	LAUNDRY TUB
BT	BATH TAPS	UBO	UNDER BENCH OVEN
HEAD HEIGHT OF 50. SET FLAMERS - 2100mm FROM FFL UNLESS NOTED		HEAD HEIGHT OF WINDOWS 2100mm FROM FFL	

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Council Area:	PARRAMATTA
House Type:	SPECIAL
Facade Type:	SPECIAL
Alternative Plan:	SPECIAL
Specification:	RIVERWALK

Drawing Title:
GROUND FLOOR PLAN

Drawn:	Checked:	Date Drawn:	Scale:
MH		19.04.10	1:100
File No:	Drawing No:	Rev:	
909399	030	D	

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PERGOLA 8650	240	240	240	5440	90	1000	240
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2470	240	5500	680	850	1000	850	600	1200
2470	240	5500	680	850	1000	850	600	1200

1:100 GROUND FLOOR PLAN

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DP+S	DOWNPIPE PLUS SPREADER	WM	WASHING MACHINE
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PDR	POWDER ROOM	CSD	CAVITY SLIDING DOOR
P	PANTRY	CONC	CONCRETE SLAB
REF	REFRIGERATOR SPACE	PAV	PAVING
RH	RANGEHOOD	TLS	TILES
SD	SMOKE DETECTOR	CPT	CARPET
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SHR	SHOWER	ST	SEWER STACK
RHS	RHS TO ENGINEERS DETAILS	T	LAUNDRY TUB
B.T.	BATH TAPS	UBO	UNDER BENCH OVEN
HEAD HEIGHT OF SO. SET HANDPERS - 2100mm FROM FFL UNLESS NOTED		HEAD HEIGHT OF WINDOWS 2130mm FROM FFL	

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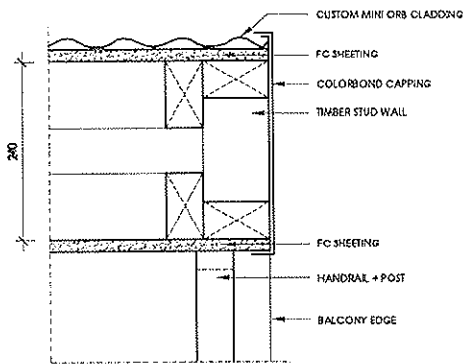
House Type: **SPECIAL**
Facade Type: **SPECIAL**
Alternative Plan: **SPECIAL**
Specification: **RIVERWALK**

Drawing Title:
FIRST FLOOR PLAN

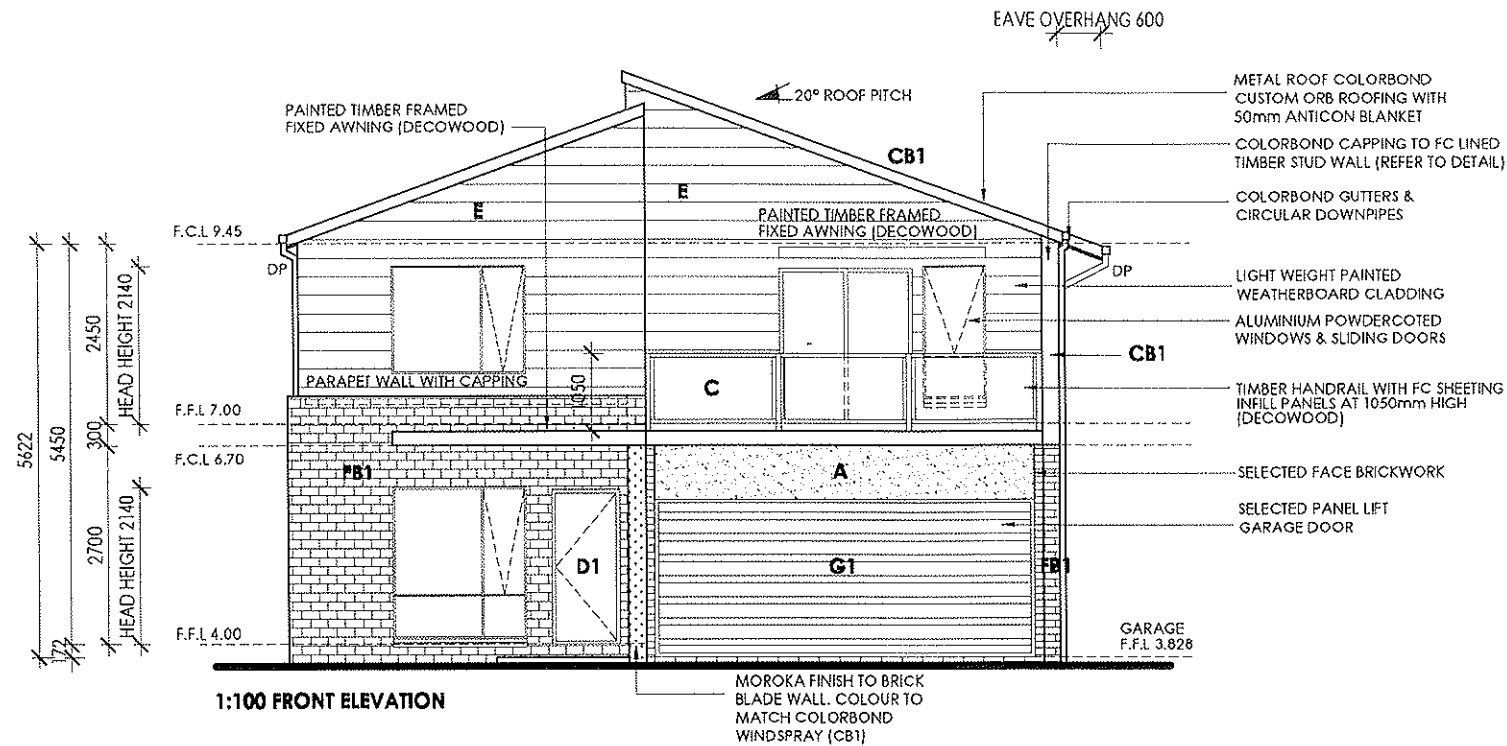
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File No: **909399** Drawing No: **040** Rev: **C**

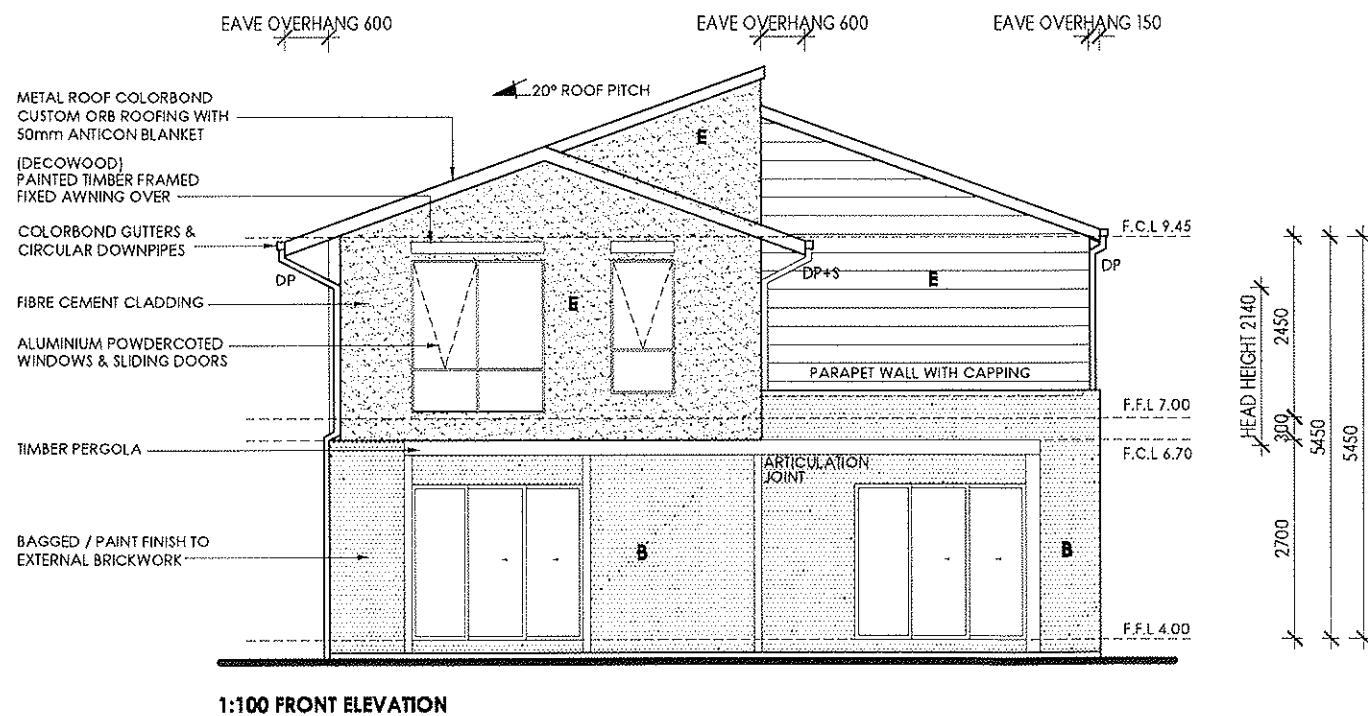
1:100 FIRST FLOOR PLAN



1:10 TYPICAL CAPPING DETAIL (PLAN)



1:100 FRONT ELEVATION



1:100 FRONT ELEVATION

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C	25.06.10	CONSTRUCTION ISSUE REV 2 (Quotation 'C')	RC
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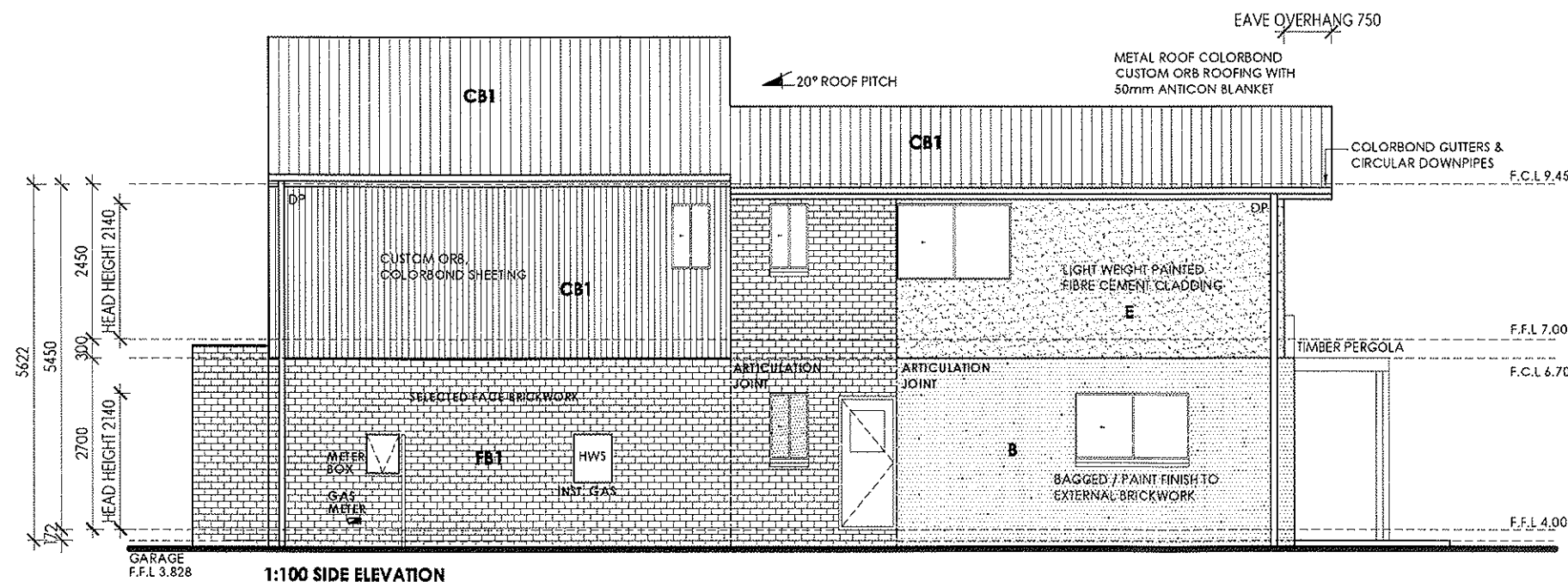
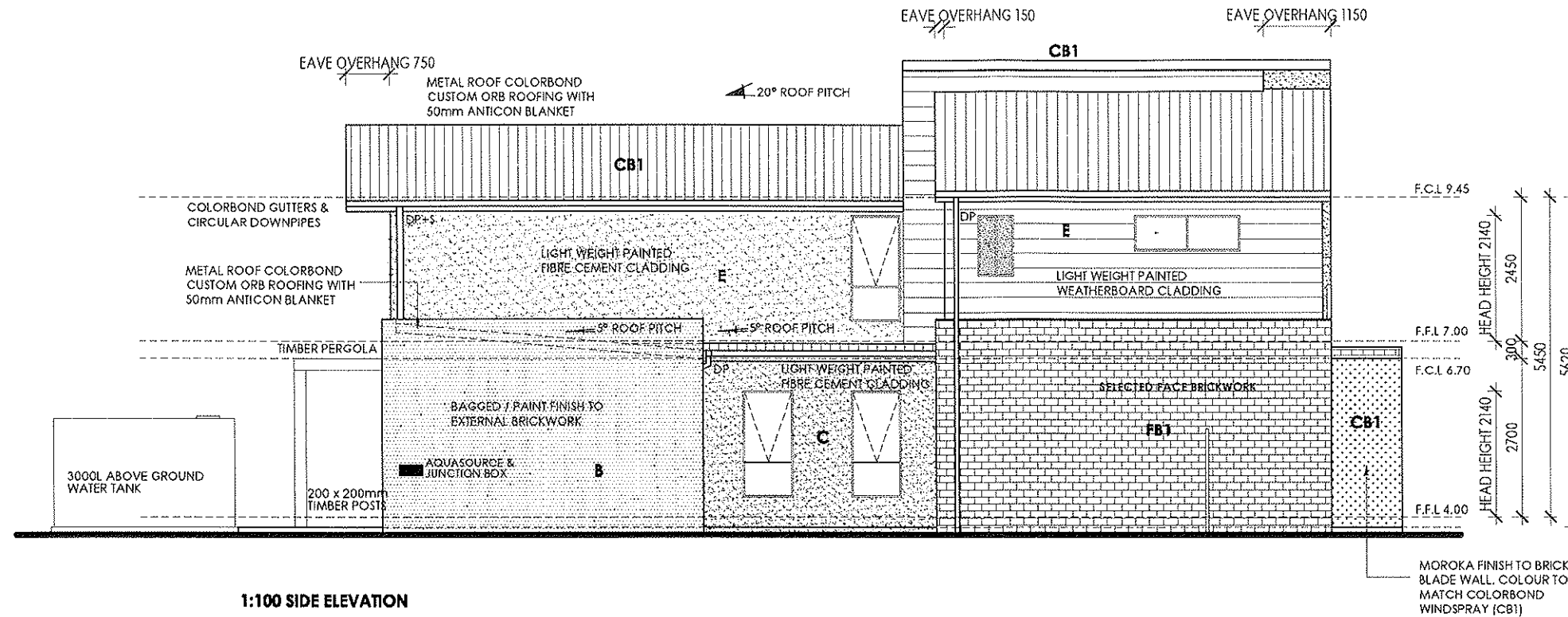
House Type: **SPECIAL**
Facade Type: **SPECIAL**
Alternative Plan: **SPECIAL**
Specification: **RIVERWALK**

Drawing Title:
FRONT & REAR ELEVATIONS

Drawn: MH	Checked:	Date Drawn: 19.04.10	Scale: 1:100
File No: 909399	Drawing No: 050	Rev: C	

1:100 FRONT & REAR ELEVATIONS

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Drawing Title:
SIDE ELEVATIONS

Drawn:	Checked:	Date Drawn:	Scale:
MH		19.04.10	1:100

File No:	Drawing No:	Rev:
909399	060	B

1:100 SIDE ELEVATIONS

EXTERNAL COLOUR SELECTIONS

- FB1

PGH METALLIC BLUE STEEL FLASH
- FB2

PGH HABERFIELD
- CB1

COLORBOND WINDSPRAY
- A

RAKU PG2C7
- B

TAUBMANS WOODBINE ECAW06/03
- C

DULUX THURMAN P17B6
- D

DULUX EVERGLADE P17.B7
- E

DULUX GREY PEBBLE P14.B1
- G1

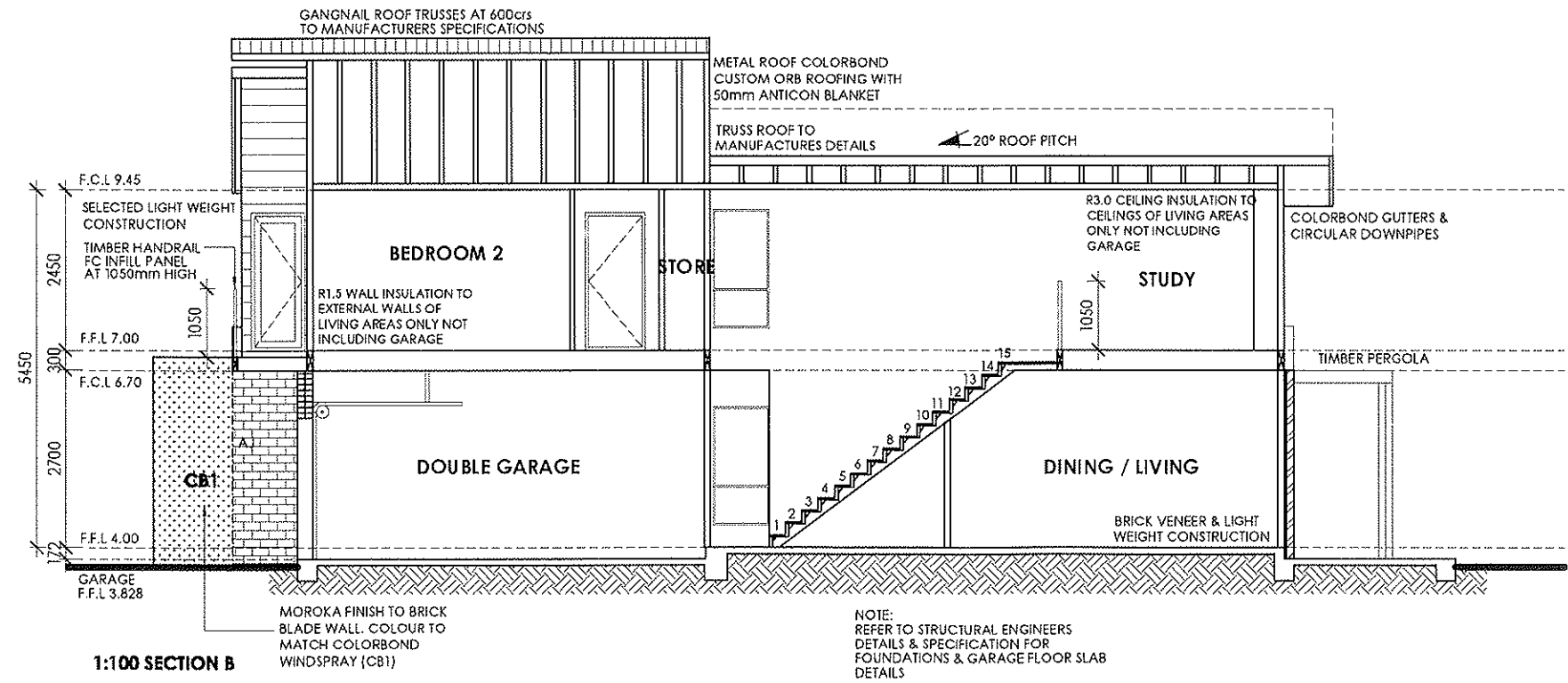
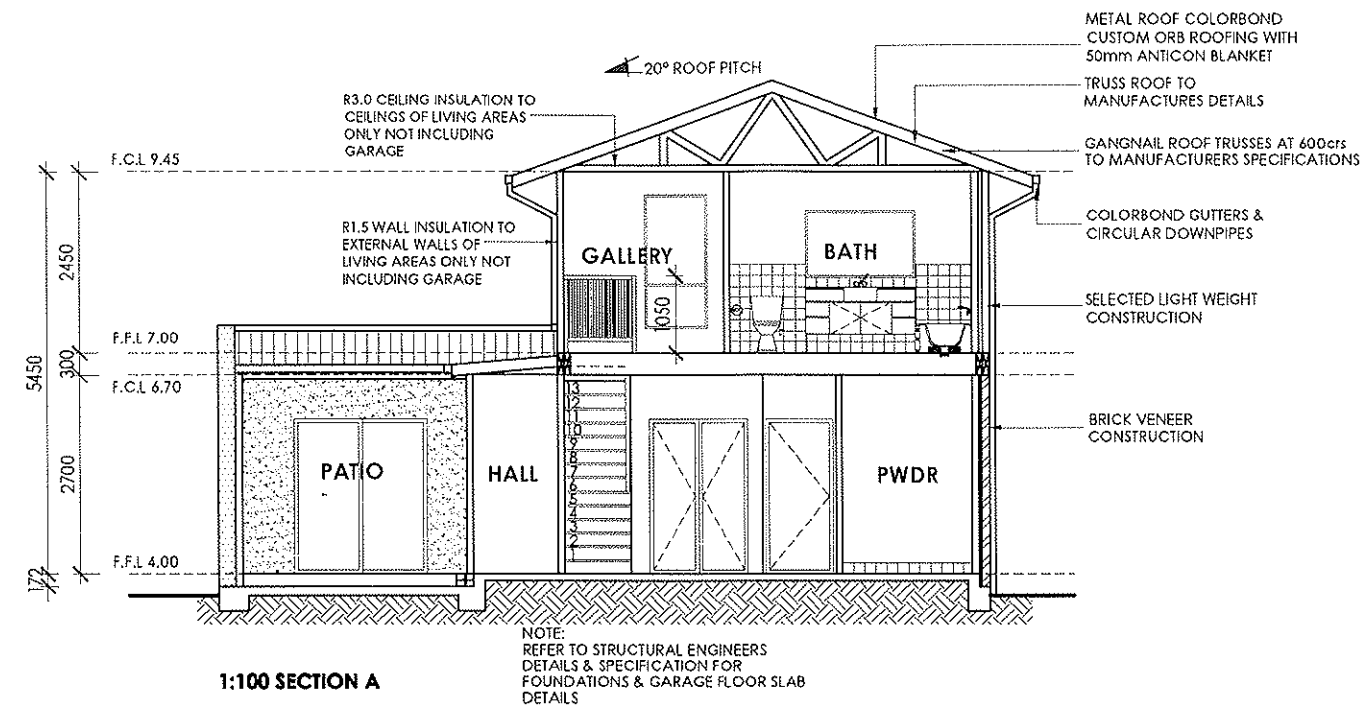
COLORBOND WOODLAND GREY
- G2

COLORBOND JASPER
- D1

DOORS- DULUX TRISTAN PG2C5

NOTE: WINDOW FRAMES - DULUX POWDER COATED
- ANOTEC SILVER GREY

FC - FIBRE CEMENT
BB - BAGGED BRICKWORK
WB - WEATHERBOARD



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Drawing Title:
SECTION A & B

Drawn:	Checked:	Date Drawn:	Scale:
MH		19.04.10	1:100
File No:	Drawing No:	Rev:	
909399	070	B	

1:100 SECTIONS A & B

	Single Power Point		Light Point
	Double Power Point		Down Light
	Ceiling Mounted Power Point		Wall Light
	Meter Box		Flood Light
	Internal Sub Box		External wall light
	Gas Bayonet Point		Round Flourecent
	T.V. Outlet		Flourecent
	Smoke Detector		Ceiling Mounted Flouro.
	Telephone Point		Recessed Flouro.
	Combination Fan, Light & Heater		Ceiling Fan
	Exhaust Fan		Electrical Wiring Line
	Junction Box		Dimmer Switch
	Combination Fan / Light		Light Switch
	Exhaust Fan / Light		Air Vents
	Gas Meter		

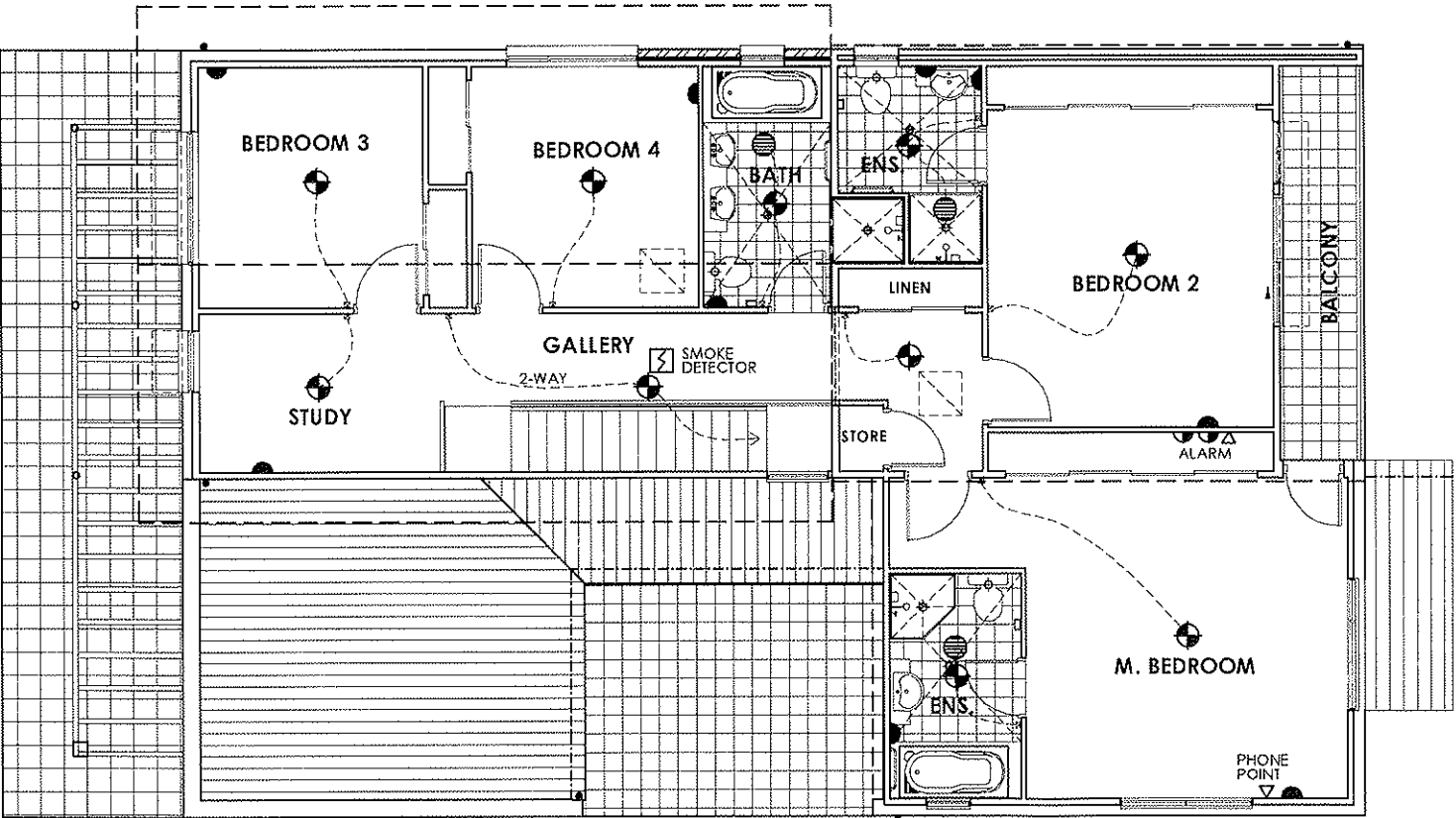
- THREE PHASE METER BOX
- RCD SAFETY SWITCH IN METER BOX
- SINGLE POWER POINT IN METER BOX

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Drawn: MH	Checked:	Date Drawn: 19.04.10	Scale: 1:100
File No: 909399	Drawing No: 080		R D

ELECTRICAL LEGEND			
	Single Power Point		Light Point
	Double Power Point		Down Light
	Ceiling Mounted Power Point		Wall Light
	Meter Box		Flood Light
	Internal Sub Box		External wall light
	Gas Bayonet Point		Round Flourecent
	T.V. Outlet		Flourecent
	Smoke Detector		Ceiling Mounted Flouro.
	Telephone Point		Recessed Flouro.
	Combination Fan, Light & Heater		Ceiling Fan
	Exhaust Fan		Electrical Wiring Line
	Junction Box		Dimmer Switch
	Combination Fan / Light		Light Switch
	Exhaust Fan / Light		Air Vents
	Gas Meter		Phone External Connection Point



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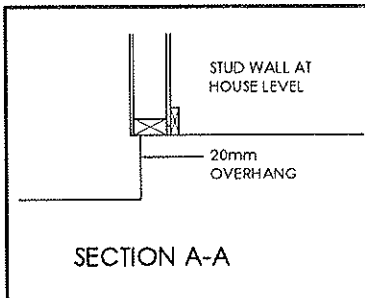
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Council Area:	PARRAMATTA

House Type:	SPECIAL
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Alternative Plan:	SPECIAL
Specification:	RIVERWALK

Drawing Title:
FIRST FLOOR ELECTRICAL PLAN

Drawn:	Checked:	Date Drawn:	Scale:
MH		19.04.10	1:100
File No:	Drawing No:	Rev:	
909399	090	C	

1:100 FIRST FLOOR ELECTRICAL PLAN

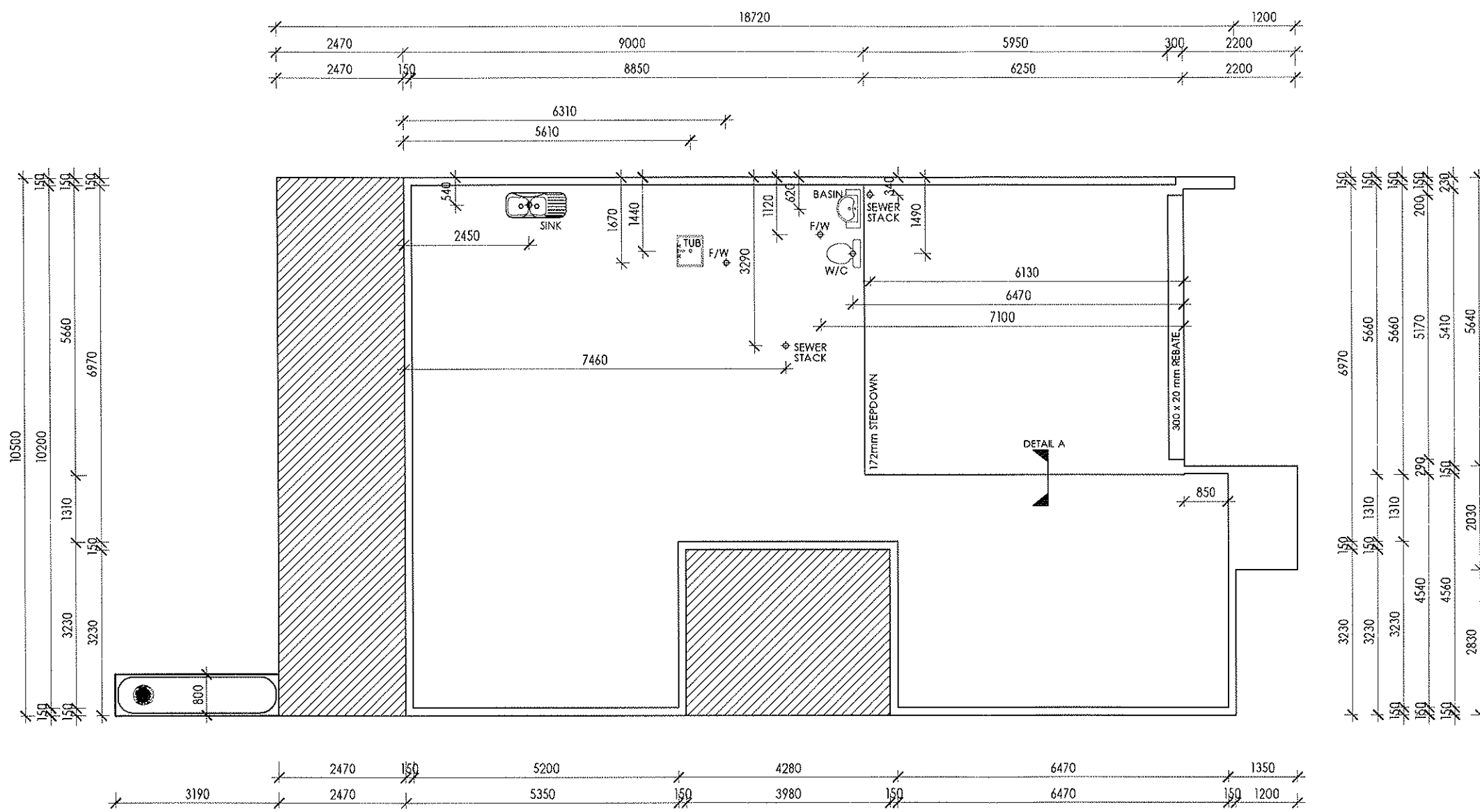


CONCRETORS NOTE

ALL DIMENSIONS TO BE VERIFIED ON SITE
ANY DISCREPANCIES MUST BE NOTIFIED
TO SUPERVISOR OR HEAD OFFICE

FOR SLAB DETAILS REFURE TO
ENGINEERING PLANS

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HATCHED AREA TO BE INFILLED
SLAB ON GROUND. AND TO BE POURED
AT LANDSCAPE STAGE BY OTHERS

1:100 SLAB PLAN

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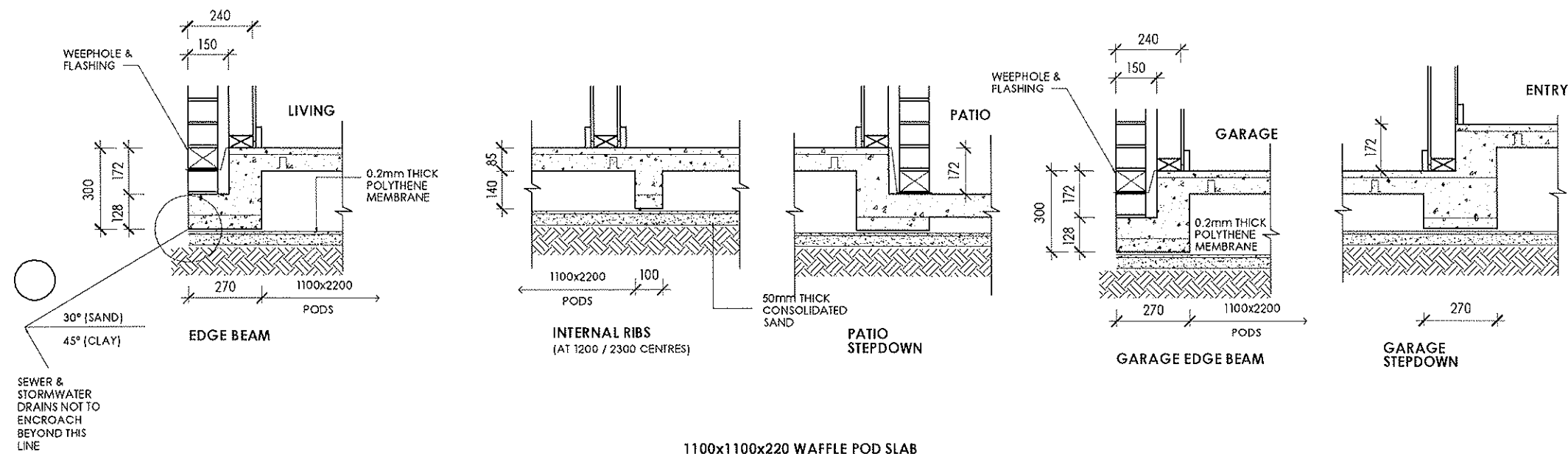
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House Type: **SPECIAL**
Facade Type: **SPECIAL**
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Drawing Title:
SLAB PLAN

Drawn: MH	Checked:	Date Drawn: 19.04.10	Scale: 1:100
File No: 909399	Drawing No: 100	Rev: B	

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1100x100x220 WAFFLE POD SLAB

- * NO CONSTRUCTION TO TAKE PLACE ON SLAB FOR 48 HOURS MINIMUM AFTER POUR.
- * EDGE BEAM FORMWORK AND PLUMBING BOXES TO BE REMOVED AFTER 24 HOURS.
- * FOUNDATION DEPTH TO UNDERSIDE OF BEAMS TO BE AS PER SOIL REPORT.
- * SLAB SUBGRADE SHALL BE SCRAPPED CLEAR OF VEGETATION AND ORGANIC MATTER.

- * SLAB TO ACHIEVE STRENGTH OF 32MPa.
- * SLUMP TO BE 50-80mm TAKEN PRIOR TO POURING ON SITE.
- * PLATE TO BE FIXED AT 1200 CENTRES WITH H/T HAND DRIVEN NAIL.
- * ALL BLOCKS ARE TO BE SOIL CLASSIFIED BY ENGINEER AND DETAILS AMENDED TO COMPLY WITH AUSTRALIAN STANDARDS.



COSMOPOLITAN
LIVING

5, Nelson Avenue
Padstow, **NSW 2211**
Tel: 02 8713 5000
Fax: 02 8713 5099

Client: **MS E KUEH**
Address: **LOT 60 SEAMIST AVENUE**

Suburb: **ERMINGTON**
Council Area: **PARRAMATTA**

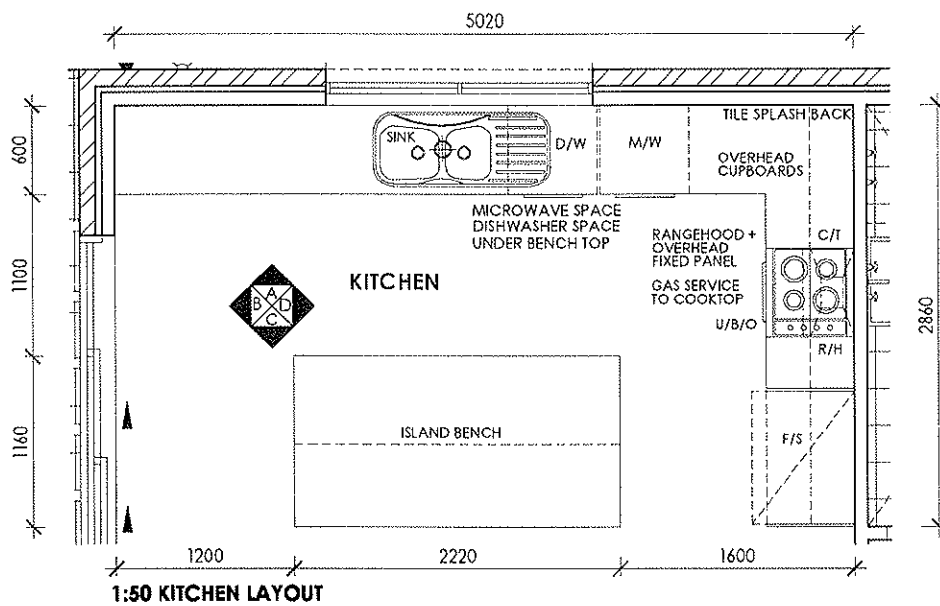
House Type: **SPECIAL**
Facade Type: **SPECIAL**
Alternative Plan: **SPECIAL**
Specification: **RIVERWALK**

Drawing Title:
SLAB DETAILS

Drawn:	Checked:	Date Drawn:	Scale:
MH		19.04.10	1:20
File No:	Drawing No:	Rev:	
909399	101	B	

1:20 SLAB DETAILS

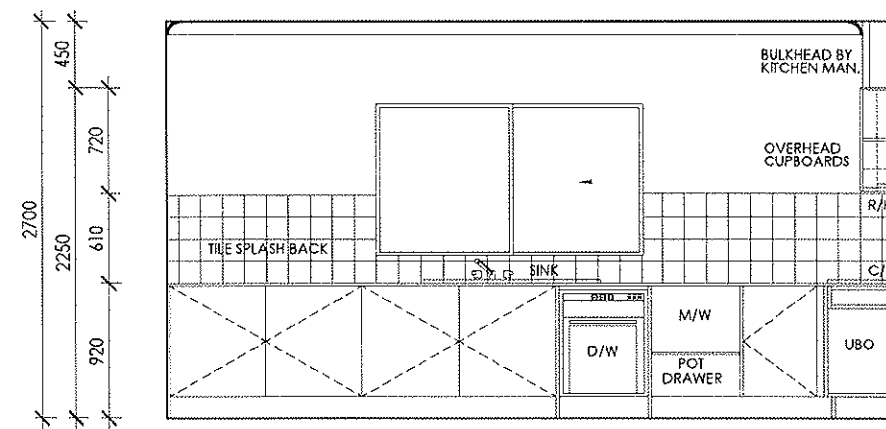
'M' CLASS SLAB



LEGEND			
V	VANITY	SH	SOAP HOLDER @ 1150 HIGH
B	BATH	TRH	TOILET ROLL HOLDER @ 700 HIGH
C.TOP	COOKTOP	CT	CERAMIC TILES
DWS	DISHWASHER SPACE	CPT	CARPET
WO	WALL OVEN	TF	TIMBER FLOORING
WM	WASHING MACHINE	ST	SEWER STACK
UBO	UNDER BENCH OVEN	T	LAUNDRY TUB
WC	WATER CLOSET	P	PANTRY
FW	FLOOR WASTE	ST & T	SHOWER TAP AT 1150
MW	MICROWAVE	○	SHOWER ROSE AT 1850
SP	SPA PUMP	HP	HOT PLATE
REF	REFRIGERATOR SPACE	ST & T	BATH TAPS
RH	RANGEHOOD	S-SHR	SLIDING SHOWER SCREEN
SK	SINK	TR	TOWEL RAIL @ 1200 HIGH
SHR	SHOWER	P	PANTRY
ST & T	WM TAPS @ 1200 HIGH	ST & T	TUB TAPS @ 1000 HIGH

- NOTES:**
1. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED.
 2. WET AREAS TO BE CONSTRUCTED IN ACCORDANCE WITH BCA 3.8.1
 3. CENTRE OF PAN TO BE 460mm FROM NEAREST WALL UNLESS NOTED OTHERWISE
 4. REFER TO SPECIFICATION FOR MINIMUM CONSTRUCTION & FINISHING REQUIREMENTS.
 5. REFER TO SCHEDULES FOR SELECTED FITTINGS
 6. SITE MEASURE AND CONFIRM EVERY INDIVIDUAL JOINERY ITEM SETOUT AND ADVISE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING AND/OR PREFABRICATION.
 7. PROVIDE NOGGING FOR ALL FIXTURES AND FITTINGS.
 8. TILE CORNERS/INTERSECTION JOINTS TO BE SEALED WITH SUITABLE FLEXIBLE SEALANT.
 9. STANDARD VANITY HEIGHTS ARE TO BE 900mm FROM F.F.L. TO VANITY TOP.

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Issue:	date:	revision:	dr:
B	19.04.10	CONSTRUCTION ISSUE	MH
A	19.04.10	CONSTRUCTION CERTIFICATE	MH



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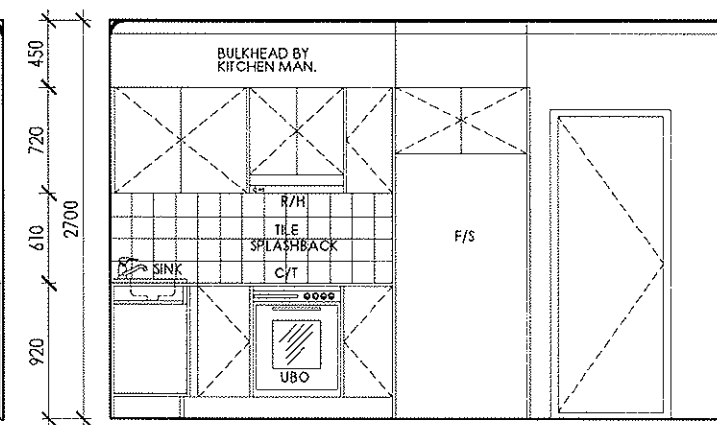
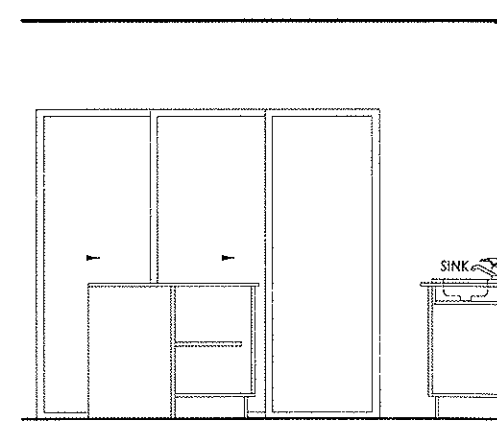
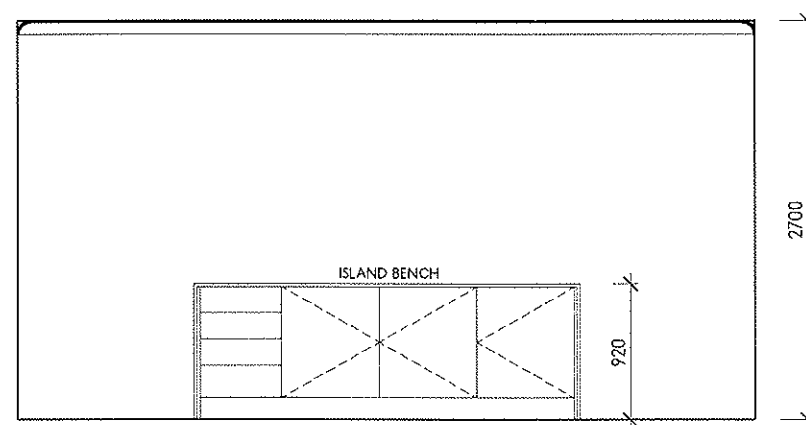
Client: **MS E KUEH**
 Address: **LOT 60 SEAMIST AVENUE**
 Suburb: **ERMINGTON**
 Council Area: **PARRAMATTA**

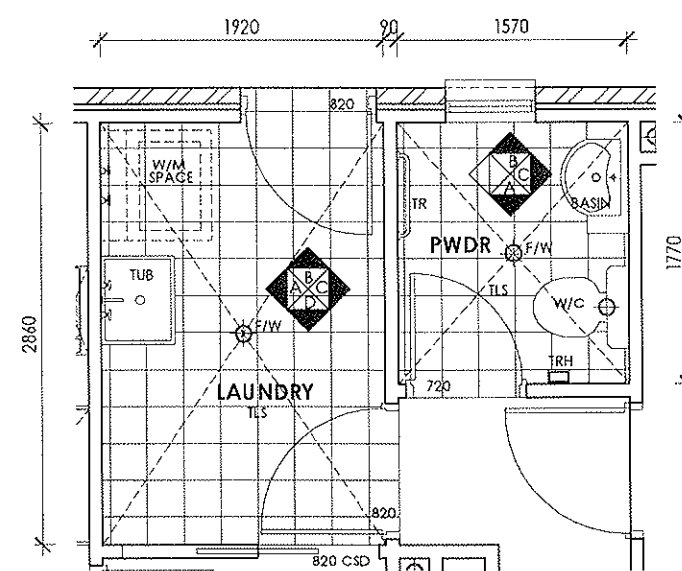
House Type: **SPECIAL**
 Facade Type: **SPECIAL**
 Alternative Plan: **SPECIAL**
 Specification: **RIVERWALK**

Drawing Title:
KITCHEN DETAILS

Drawn:	Checked:	Date Drawn:	Scale:
MH		19.04.10	1:50
File No:	Drawing No:	Rev:	
909399	110	B	

1:50 KITCHEN DETAILS





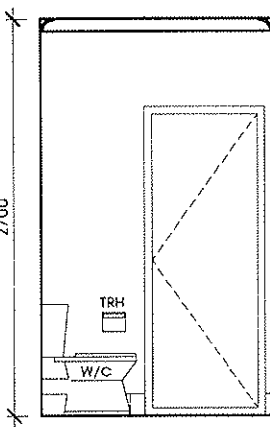
1:50 LAUNDRY/PWDR LAYOUT

LEGEND			
V	VANITY	SH	SOAP HOLDER @ 1150 HIGH
B	BATH	TRH	TOILET ROLL HOLDER @ 700 HIGH
C.TOP	COOKTOP	CT	CERAMIC TILES
DWS	DISHWASHER SPACE	CPT	CARPET
WO	WALL OVEN	TF	TIMBER FLOORING
WM	WASHING MACHINE	ST	SEWER STACK
UBO	UNDER BENCH OVEN	T	LAUNDRY TUB
WC	WATER CLOSET	P	PANTRY
FW	FLOOR WASTE	ST & T	SHOWER TAP AT 1150
MW	MICROWAVE	ST & T	SHOWER ROSE AT 1850
SP	SPA PUMP	HP	HOT PLATE
REF	REFRIGERATOR SPACE	ST & T	BATH TAPS
RH	RANGEHOOD	S-SHR	SLIDING SHOWER SCREEN
SK	SINK	TR	TOWEL RAIL @ 1200 HIGH
SHR	SHOWER	P	PANTRY
ST & T	WM TAPS @ 1200 HIGH	ST & T	TUB TAPS @ 1000 HIGH

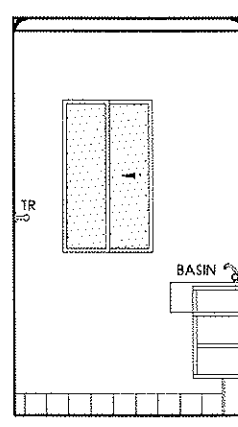
- NOTES:**
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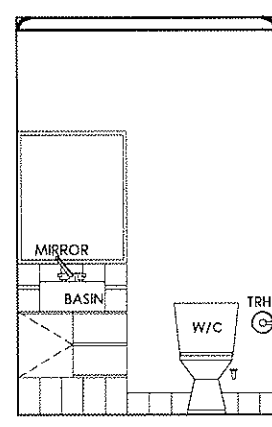
B	19.04.10	CONSTRUCTION ISSUE	MH
A	19.04.10	CONSTRUCTION CERTIFICATE	MH
Issued:	date:	revision:	dr:



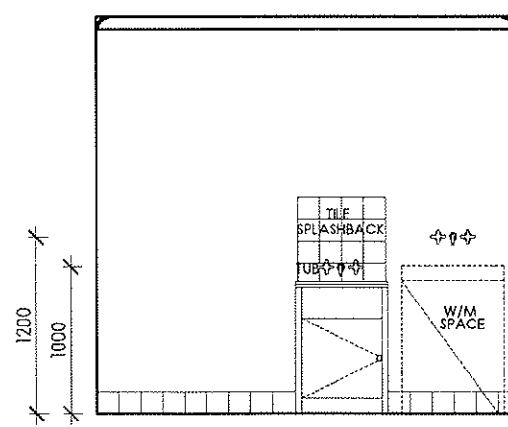
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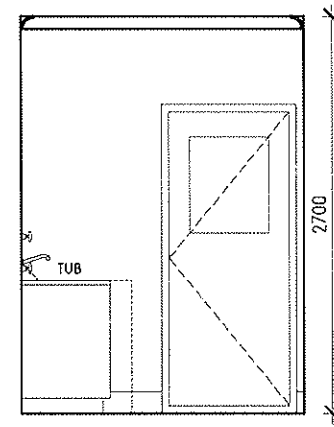
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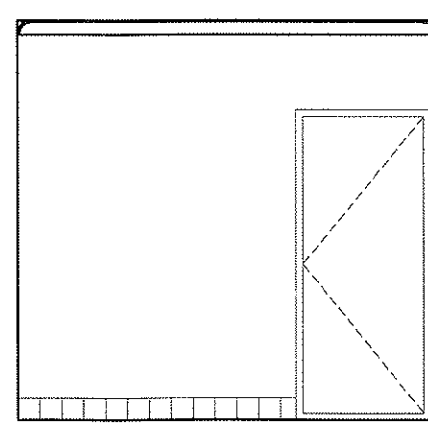
1:50 PWDR ELEVATION C



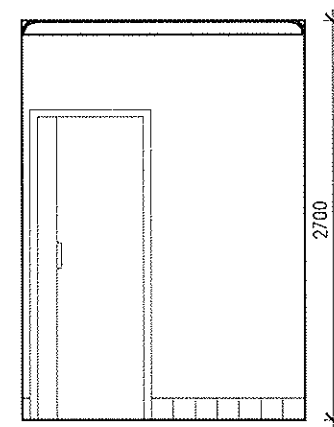
1:50 LAUNDRY ELEVATION A



1:50 LAUNDRY ELEVATION B



1:50 LAUNDRY ELEVATION C



1:50 LAUNDRY ELEVATION D

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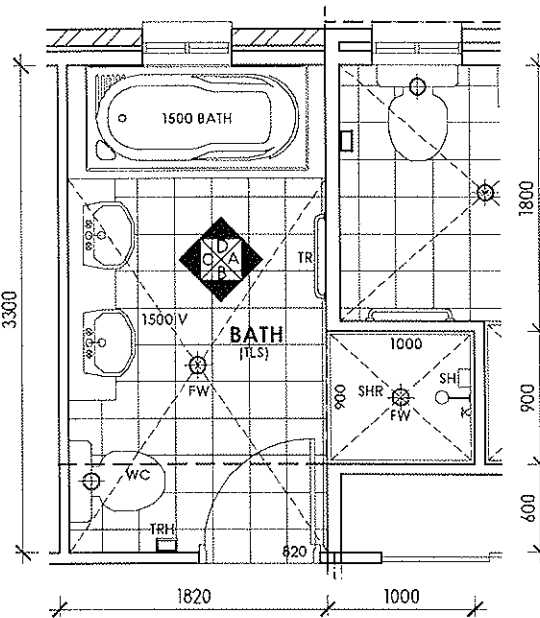
5, Nelson Avenue
Padstow, NSW 2211
Tel: 02 8713 5000
Fax: 02 8713 5099

Client: **MS E KUEH**
Address: **LOT 60 SEAMIST AVENUE**
Suburb: **ERMINGTON**
Council Area: **PARRAMATTA**
House Type: **SPECIAL**
FacadeType: **SPECIAL**
Alternative Plan: **SPECIAL**
Specification: **RIVERWALK**

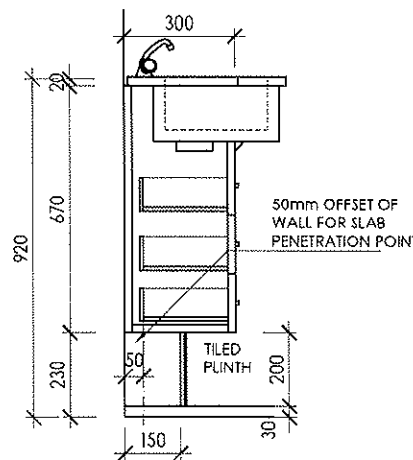
Drawing Title:
LAUNDRY & PWDR DETAILS

Drawn:	Checked:	Date Drawn:	Scale:
MH		19.04.10	1:50
File No:	Drawing No:		Rev:
909399	120		B

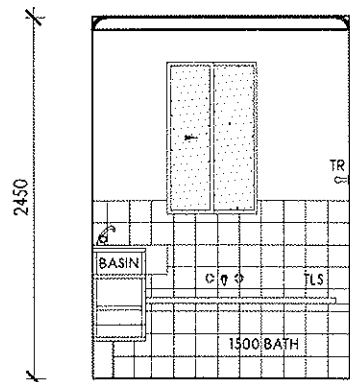
1:50 LAUNDRY & PWDR ROOM DETAILS



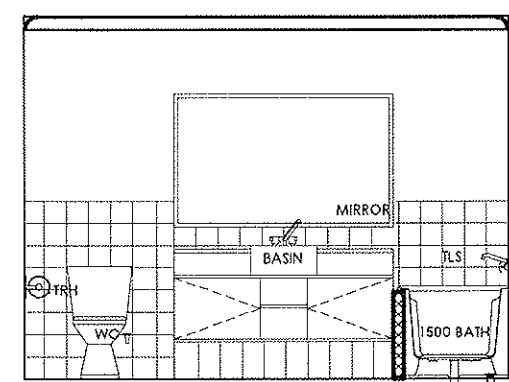
1:50 BATHROOM LAYOUT



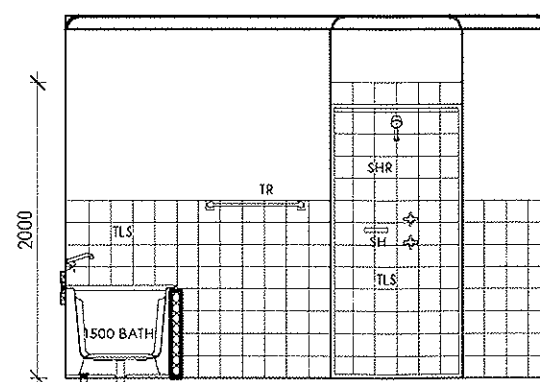
1:20 TYPICAL SEMI-RECESSED VANITY PLINTH DETAIL



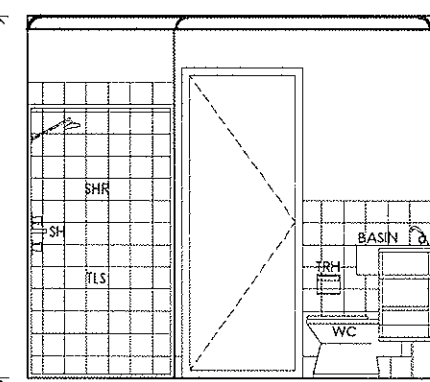
1:50 BATHROOM ELEVATION D



1:50 BATHROOM ELEVATION C



1:50 BATHROOM ELEVATION A



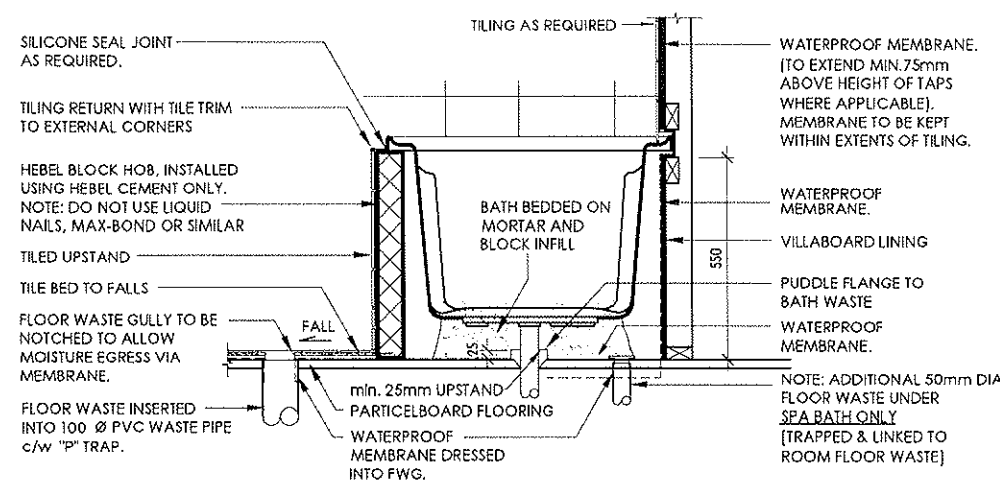
1:50 BATHROOM ELEVATION B

LEGEND			
V	VANITY	SH	SOAP HOLDER @ 1150 HIGH
B	BATH	TRH	TOILET ROLL HOLDER @ 700 HIGH
C.TOP	COOKTOP	CT	CERAMIC TILES
DWS	DISHWASHER SPACE	CPT	CARPET
WO	WALL OVEN	TF	TIMBER FLOORING
WM	WASHING MACHINE	ST	SEWER STACK
UBO	UNDER BENCH OVEN	T	LAUNDRY TUB
WC	WATER CLOSET	P	PANTRY
FW	FLOOR WASTE	ST & T	SHOWER TAP AT 1150
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SP	SPA PUMP	HP	HOT PLATE
REF	REFRIGERATOR SPACE	ST & T	BATH TAPS
RH	RANGEHOOD	S-SHR	SLIDING SHOWER SCREEN
SK	SINK	TR	TOWEL RAIL @ 1200 HIGH
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CONSTRUCTION METHODOLOGY

1. FRAME UP JOB - FRAME MANUFACTURER TO INSTALL GALV. 4 BEND FLASHING INTO FRAME NOTCH & INCLUDE TRIMMERS
2. INSTALLATION OF TIMBER FRAMES
3. ROUGH IN PLUMBING
4. INSTALL VILBOARD
5. INSTALL WATERPROOFING
6. CERAMIC TILER TO BUILD HEBEL BLOCK HOB WALL
7. INSTALL BATH/SHOWER ETC
8. WHEN APPLICABLE RETURN TRIP BY WATERPROOFER REQUIRED TO SEAL HEBEL BLOCK WALL BETWEEN SHOWER & BATH
9. COMPLETE WALL & FLOOR TILING
10. INSTALL SILICONE SEALANT



1:20 TYPICAL BATH CHECKOUT DETAIL

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B	19.04.10	CONSTRUCTION ISSUE	MH
A	19.04.10	CONSTRUCTION CERTIFICATE	MH
issue:	date:	revision:	dr:



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LIVING

5, Nelson Avenue
Padstow, NSW 2211
Tel: 02 8713 5000
Fax: 02 8713 5099

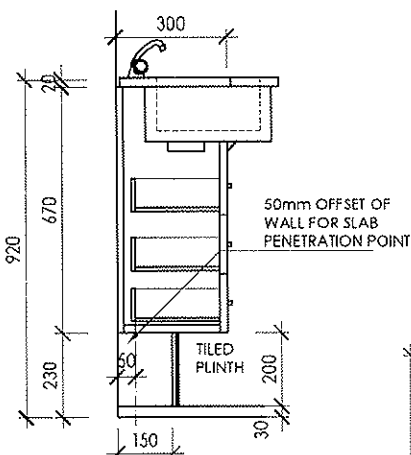
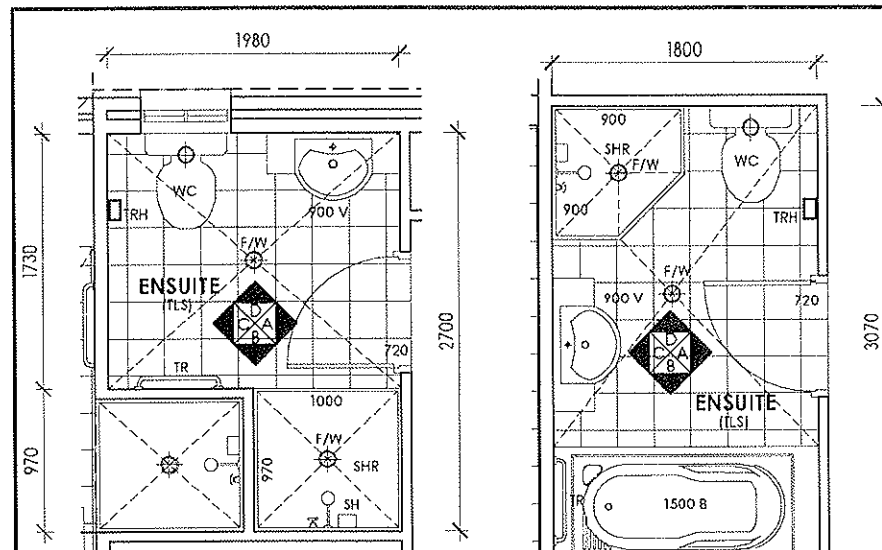
Client: **MS E KUEH**
Address: **LOT 60 SEAMIST AVENUE**
Suburb: **ERMINGTON**
Council Area: **PARRAMATTA**

House Type: **SPECIAL**
FacadeType: **SPECIAL**
Alternative Plan: **SPECIAL**
Specification: **RIVERWALK**

Drawing Title:
BATHROOM DETAILS

Drawn: MH	Checked:	Date Drawn: 19.04.10	Scale: 1:50
File No: 909399	Drawing No: 130	Rev: B	

1:50 BATHROOM DETAILS



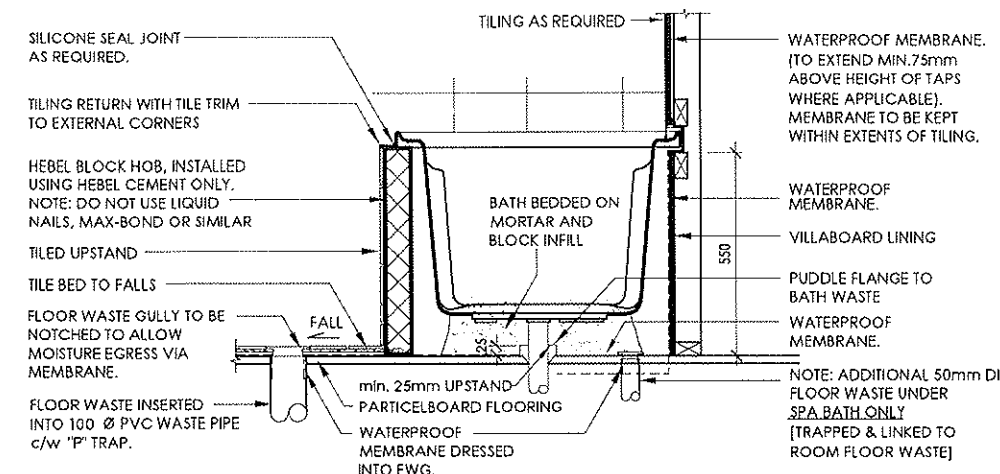
CONSTRUCTION METHODOLOGY

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LEGEND			
V	VANITY	SH	SOAP HOLDER @ 1150 HIGH
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NOTES:

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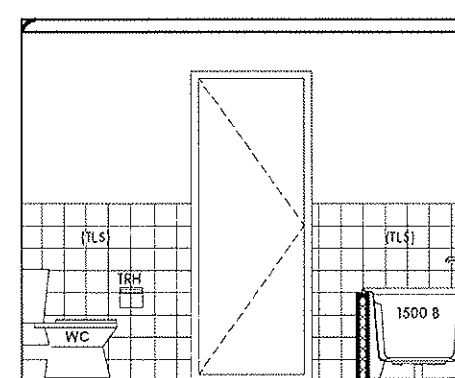
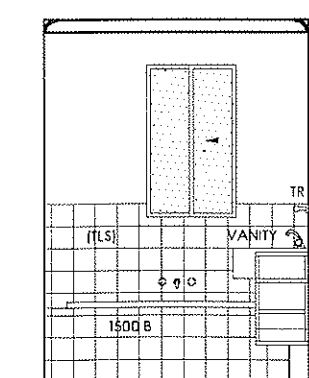
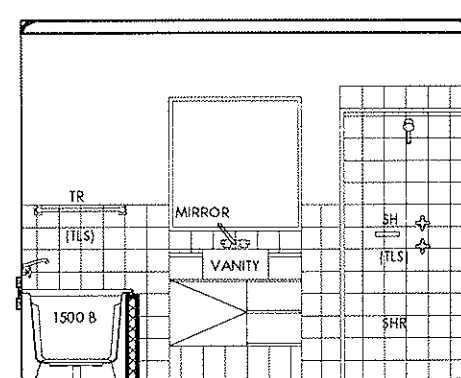
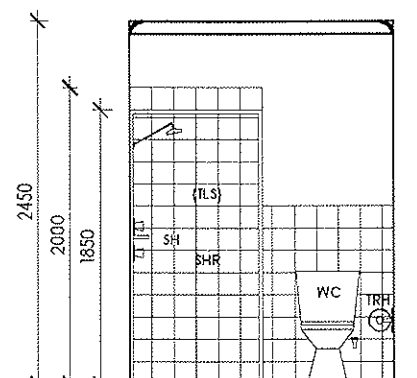
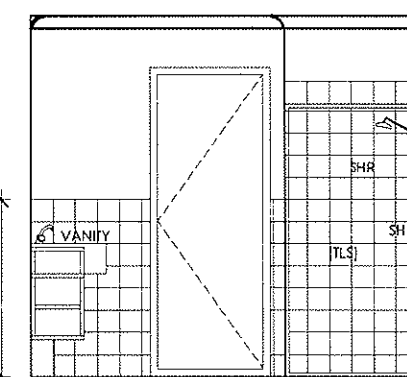
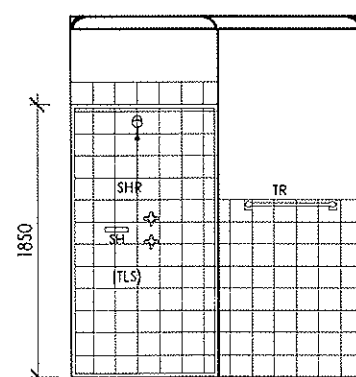
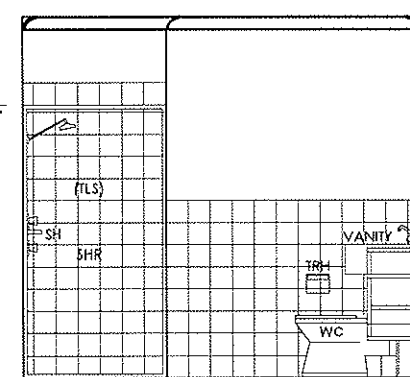
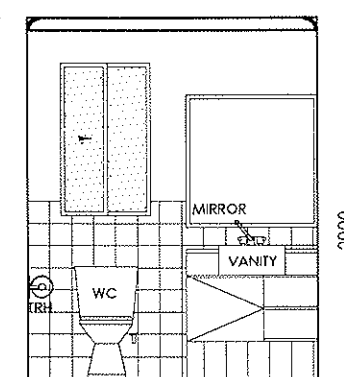
Suburb: **ERMINGTON**
Council Area: **PARRAMATTA**

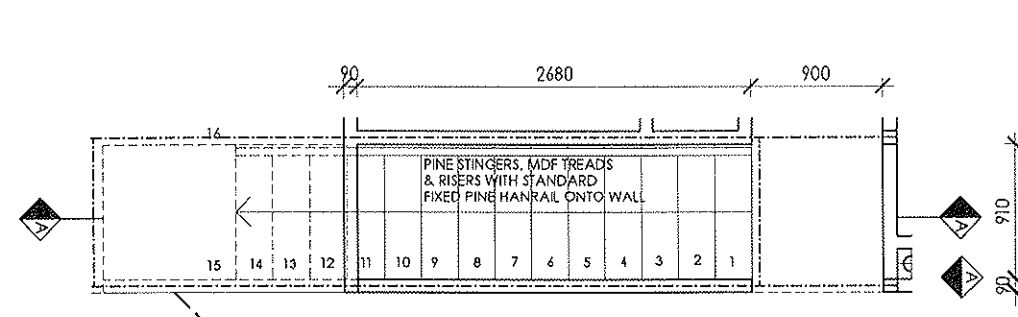
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Facade Type: **SPECIAL**
Alternative Plan: **SPECIAL**
Specification: **RIVERWALK**

Drawing Title:
ENSUITE DETAILS

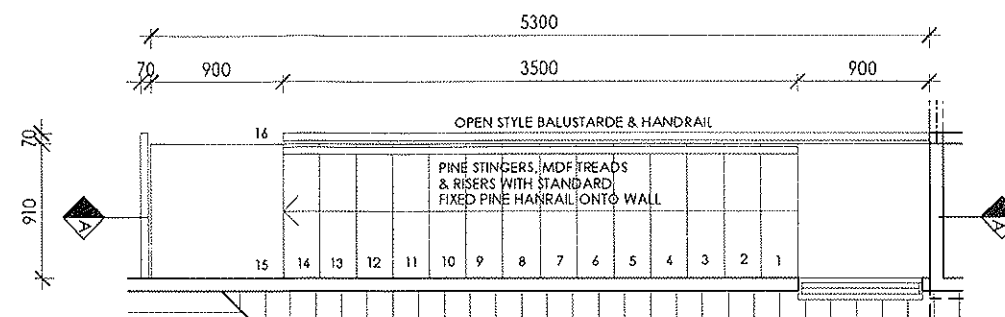
Drawn:	Checked:	Date Drawn:	Scale:
MH		19.04.10	1:50
File No:	Drawing No:	Rev:	
909399	140	B	

1:50 ENSUITE DETAILS

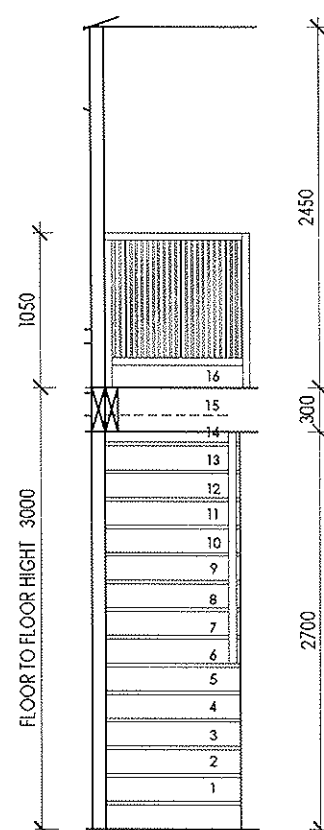




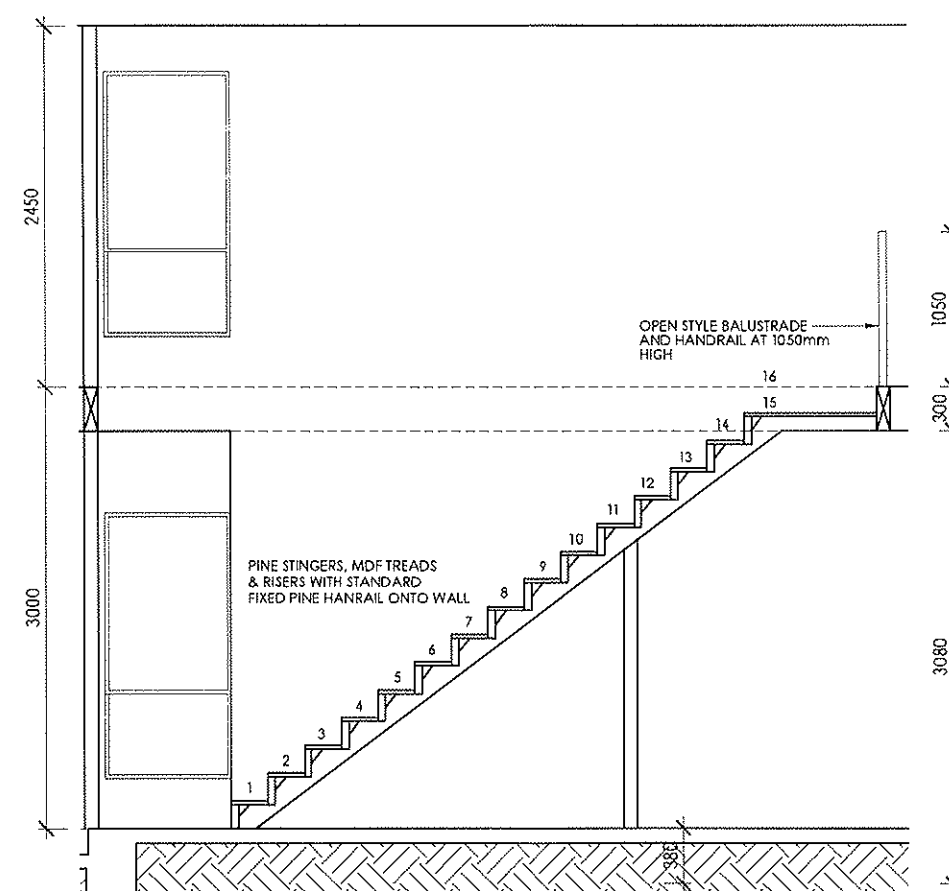
1:50 STAIRS LAYOUT
GROUND FLOOR



1:50 STAIRS LAYOUT
FIRST FLOOR



1:50 STAIRS ELEVATION A



1:50 STAIRS SECTION A

CALCULATIONS:

FLOOR TO FLOOR HIGHT:
= 3000 mm (CHECK ON SITE DIMENSIONS)
= 16 EQUAL RISERS 188 mm
= 250 mm GOINGS
= 2R + G = 625
= 2 x 188 + 250 = 625

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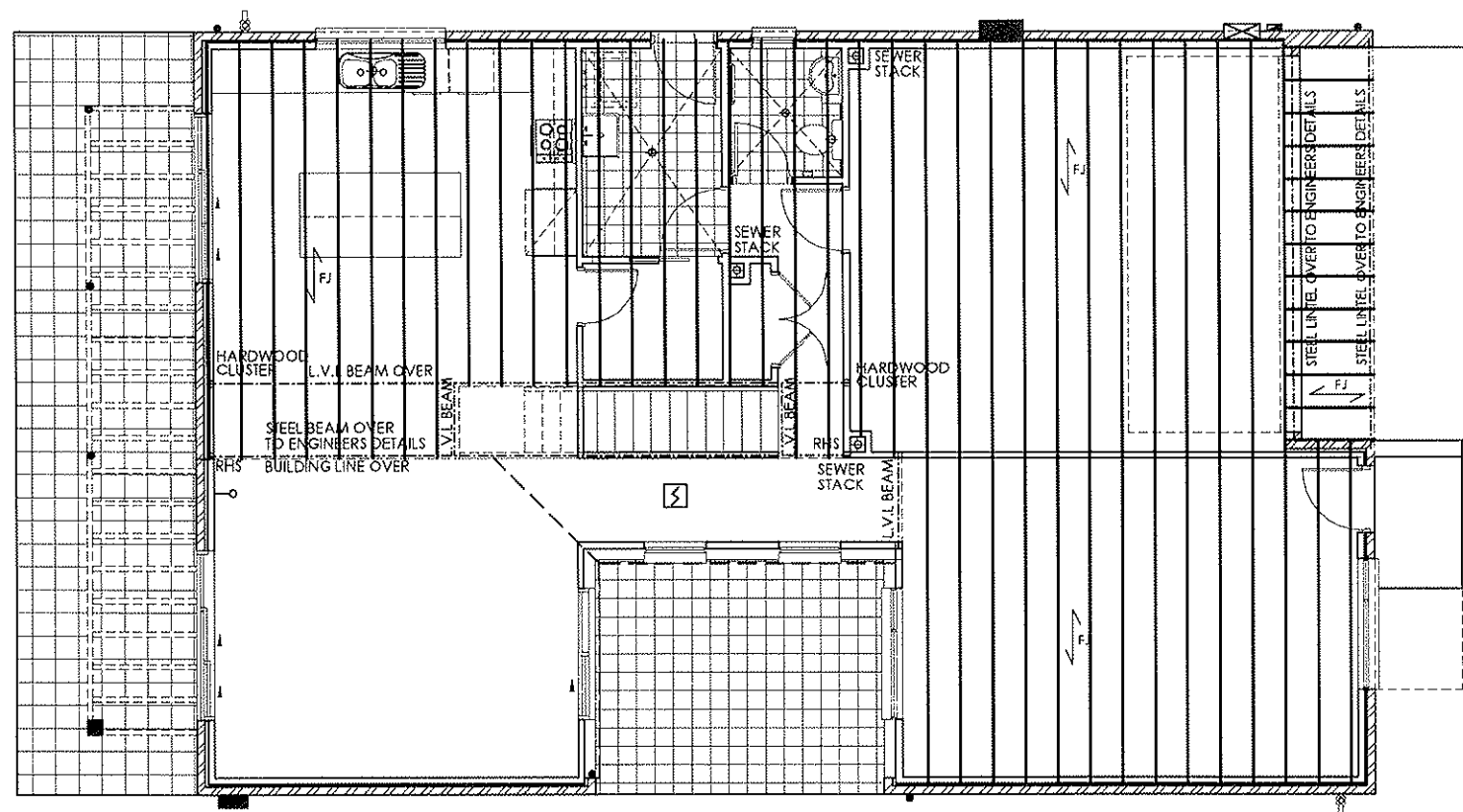
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Facade Type: **SPECIAL**
Alternative Plan: **SPECIAL**
Specification: **RIVERWALK**

Drawing Title:
STAIRS DETAILS

Drawn: MH	Checked:	Date Drawn: 19.04.10	Scale: 1:50
File No: 909399	Drawing No: 150	Rev: B	

1:50 STAIRS DETAILS



1:100 FLOOR JOIST LAYOUT

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B	19.04.10	CONSTRUCTION ISSUE	MH
A	19.04.10	CONSTRUCTION CERTIFICATE	MH
issue:	date:	revision:	dr:



COSMOPOLITAN
LIVING

5, Nelson Avenue
Padstow, NSW 2211
Tel: 02 8713 5000
Fax: 02 8713 5099

Client: **MS E KUEH**
Address: **LOT 60 SEAMIST AVENUE**

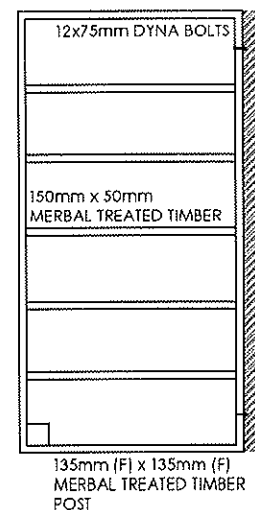
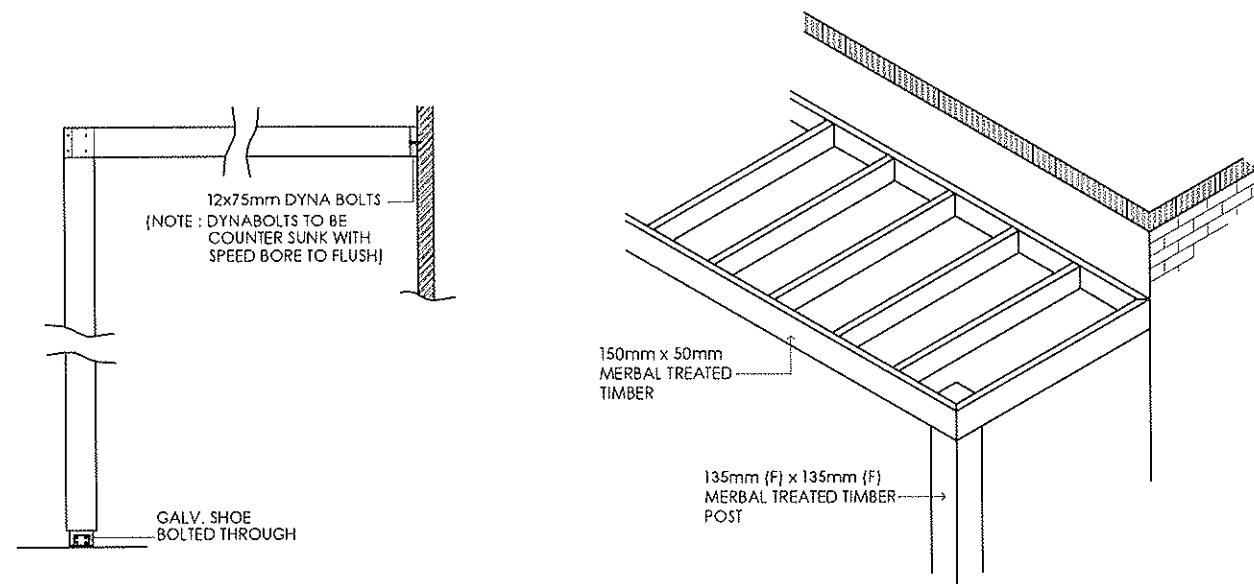
Suburb: **ERMINGTON**
Council Area: **PARRAMATTA**

House Type: **SPECIAL**
FacadeType: **SPECIAL**
Alternative Plan: **SPECIAL**
Specification: **RIVERWALK**

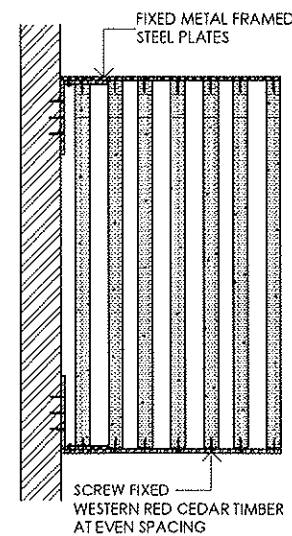
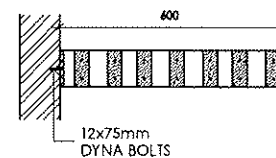
Drawing Title:
FLOOR JOIST LAYOUT

Drawn:	Checked:	Date Drawn:	Scale:
MH		19.04.10	1:100
File No:	Drawing No:	Rev:	
909399	160	B	

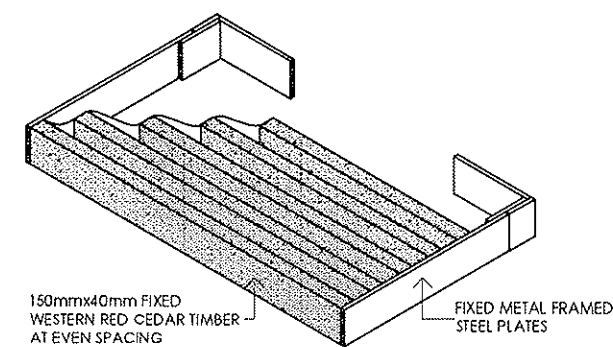
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1:50 PERGOLA DETAIL



1:20 SUNHOOD DETAIL



B	19.04.10	CONSTRUCTION ISSUE	MH
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Client: **MS E KUEH**
Address: **LOT 60 SEAMIST AVENUE**
Suburb: **ERMINGTON**
Council Area: **PARRAMATTA**

House Type: **SPECIAL**
FacadeType: **SPECIAL**
Alternative Plan: **SPECIAL**
Specification: **RIVERWALK**

Drawing Title:
PERGOLA & SUNHOOD DETAILS

Drawn:	Checked:	Date Drawn:	Scale:
MH		19.04.10	1:50,20
File No:	Drawing No:		Rev:
909399	170		B

1:50,1:20 PERGOLA & SUNHOOD DETAIL