

State Significant Development Application

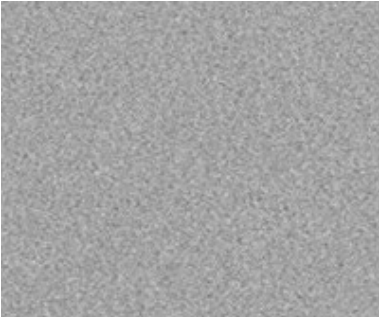
for alterations & additions to The Mercantile Hotel
25-27 George Street, The Rocks, NSW, 2000

Revision March 2019

FINISHES SCHEDULE



mr + mc
Zinc Standing Seam Roofing + Cladding



st
Mild Steel with Micaceous Oxide Paint



pv
Pavers



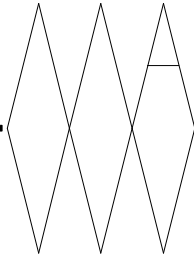
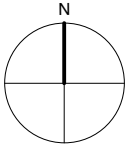
fg
Steel Framed Fixed Glass

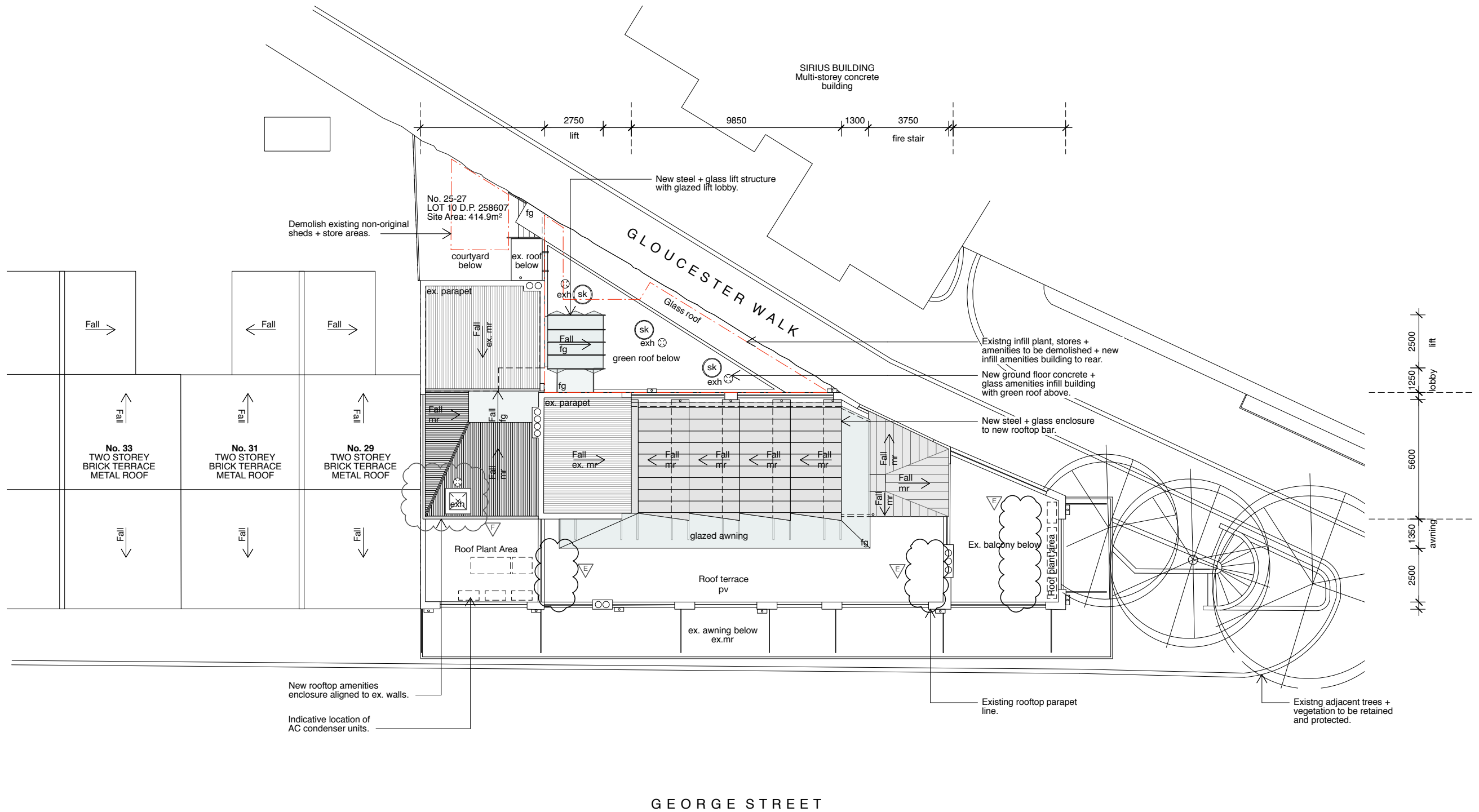
AREA CALCULATIONS

Existing GFA:		Proposed GFA:	
Hotel:	394.7 m ²	Hotel:	237.5 m ²
Restaurant / Bar:	253.8 m ²	Restaurant / Bar:	305.6 m ²
BOH / Offices:	31.6 m ²	BOH / Offices:	79.5 m ²
Kitchen:	16.8 m ²	Kitchen:	92.8 m ²
Amenities:	37.7 m ²	Amenities:	76.9 m ²
Circulation:	98.3 m ²	Circulation:	103.3m ²
Total:	832.9 m ²	Total:	895.6 m ²



1 Location Plan
NTS





GEORGE STREET

METCALFE BOND
STORES

Note:
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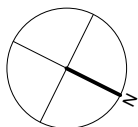
State Significant Development Application

Issue / Amendments:

- For SSDA
A Final for SSDA
B Final for SSDA - updated
C Final for SSDA - updated
D For SSDA Submission - removal of dining room gas insert
E For SSDA - Services coordination added, existing materials indicated planters removed
F For SSDA - Lift dimensions rev'd

Date:

20.12.17
07.02.18
11.04.18
23.04.18
07.05.18
11.01.19
29.03.19



Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpt	carpet	pb	plasterboard
con	concrete	pbr	painted brick
ct	ceramic tiles	pm	pressed metal
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db	distribution board	rf	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
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fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
ff	flue	td	timber deck
hws	hot water system	tm	timber
mc	metal cladding	w	window

--- Line of structure over / under
--- To be demolished
Existing timber floor
Existing double brick structure
Existing lightweight structure
New masonry structure
New concrete structure
New lightweight structure

Level 4/69 Reservoir Street, Surry Hills
New South Wales Australia 2010
mail@welshmajor.com
Tel: 02 9699 6066
ABN: 67 612 977 303
Nom. Archs: C. Major ARB No 9193
D. Welsh ARB No. 6968

Welsh+Major

Project

The Mercantile Hotel
25-27 George Street, The Rocks, 2000

Drawing Title
Proposed Site Plan

Scale:

1:200

Date:

December 2017

Drawn:

CD

Checked:

CM

Issue:

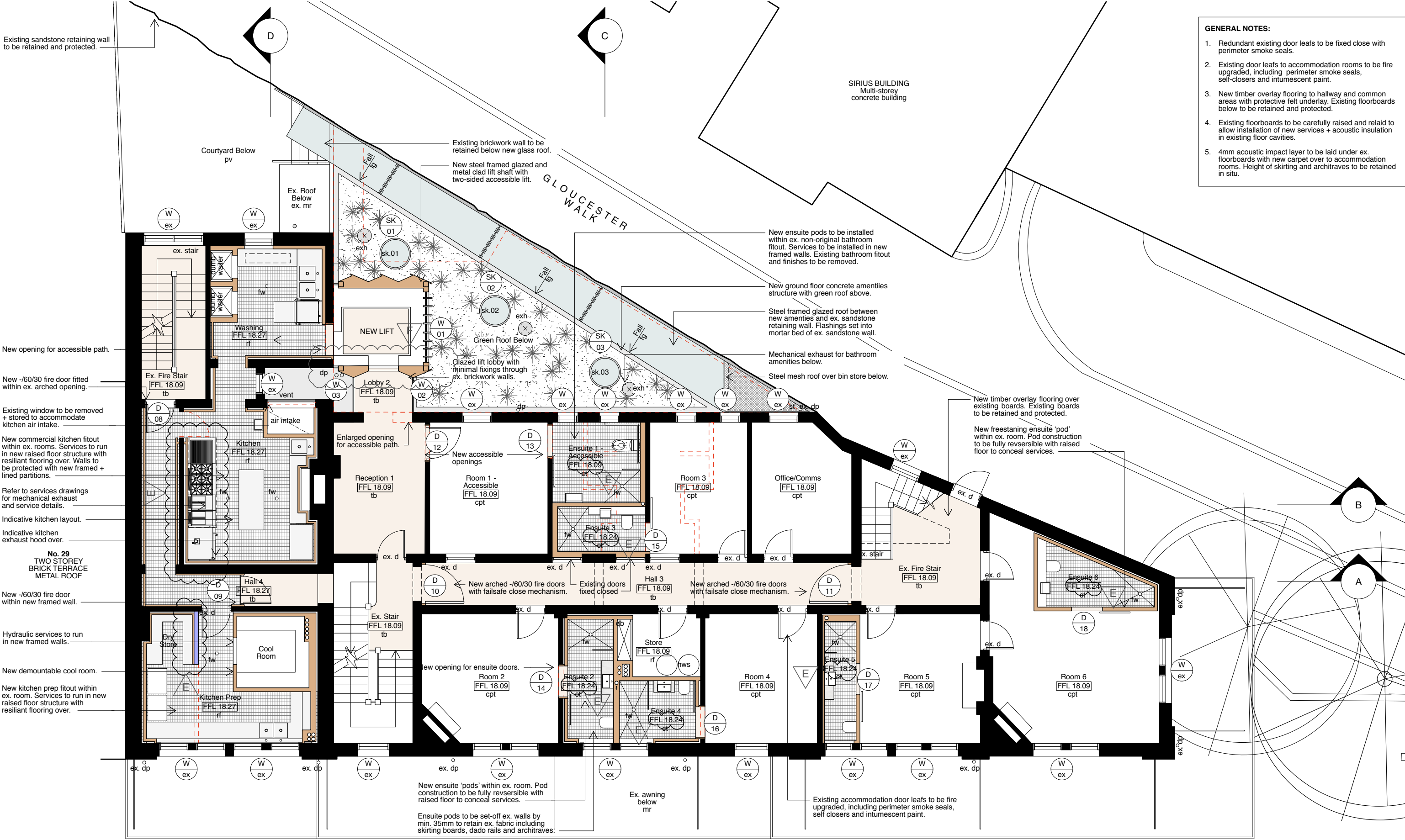
F

Project Ref. No.

1505

Drawing No.

SSDA.101



- GENERAL NOTES:**
1. Redundant existing door leaves to be fixed close with perimeter smoke seals.
 2. Existing door leaves to accommodation rooms to be fire upgraded, including perimeter smoke seals, self-closers and intumescent paint.
 3. New timber overlay flooring to hallway and common areas with protective felt underlay. Existing floorboards below to be retained and protected.
 4. Existing floorboards to be carefully raised and relaid to allow installation of new services + acoustic insulation in existing floor cavities.
 5. 4mm acoustic impact layer to be laid under ex. floorboards with new carpet over to accommodation rooms. Height of skirting and architraves to be retained in situ.

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0 1 2 3 4 5 6m

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Project
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Project Ref. No.
1505

Drawing Title
Proposed First Floor Plan

Drawing No.
SSDA.103

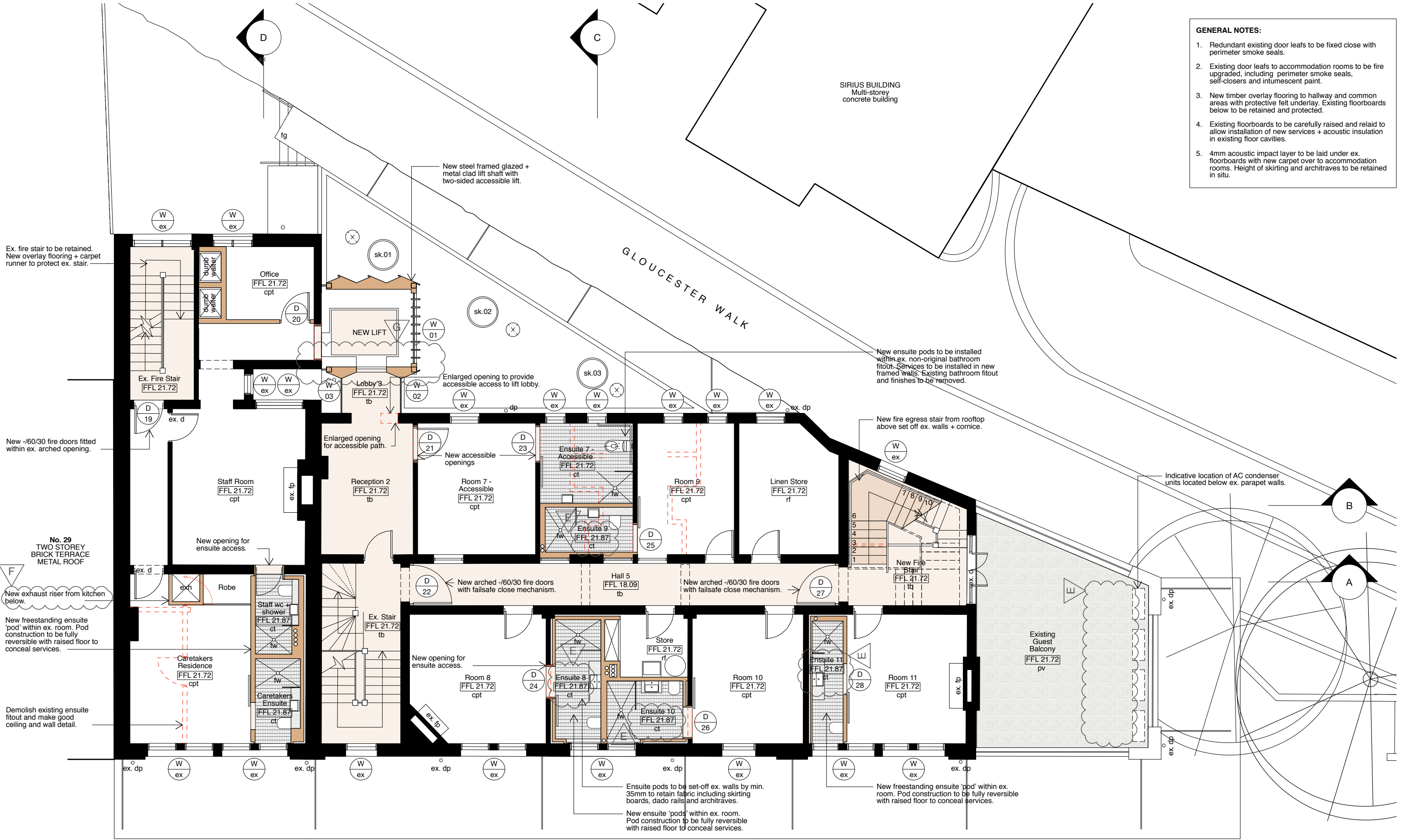
Scale:
1:100

Date:
December 2017

Drawn:
CD

Checked:
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Issue:
F



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Project
The Mercantile Hotel
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Project Ref. No.
1505

Drawing Title
Proposed Second Floor Plan

Drawing No.
SSDA.104

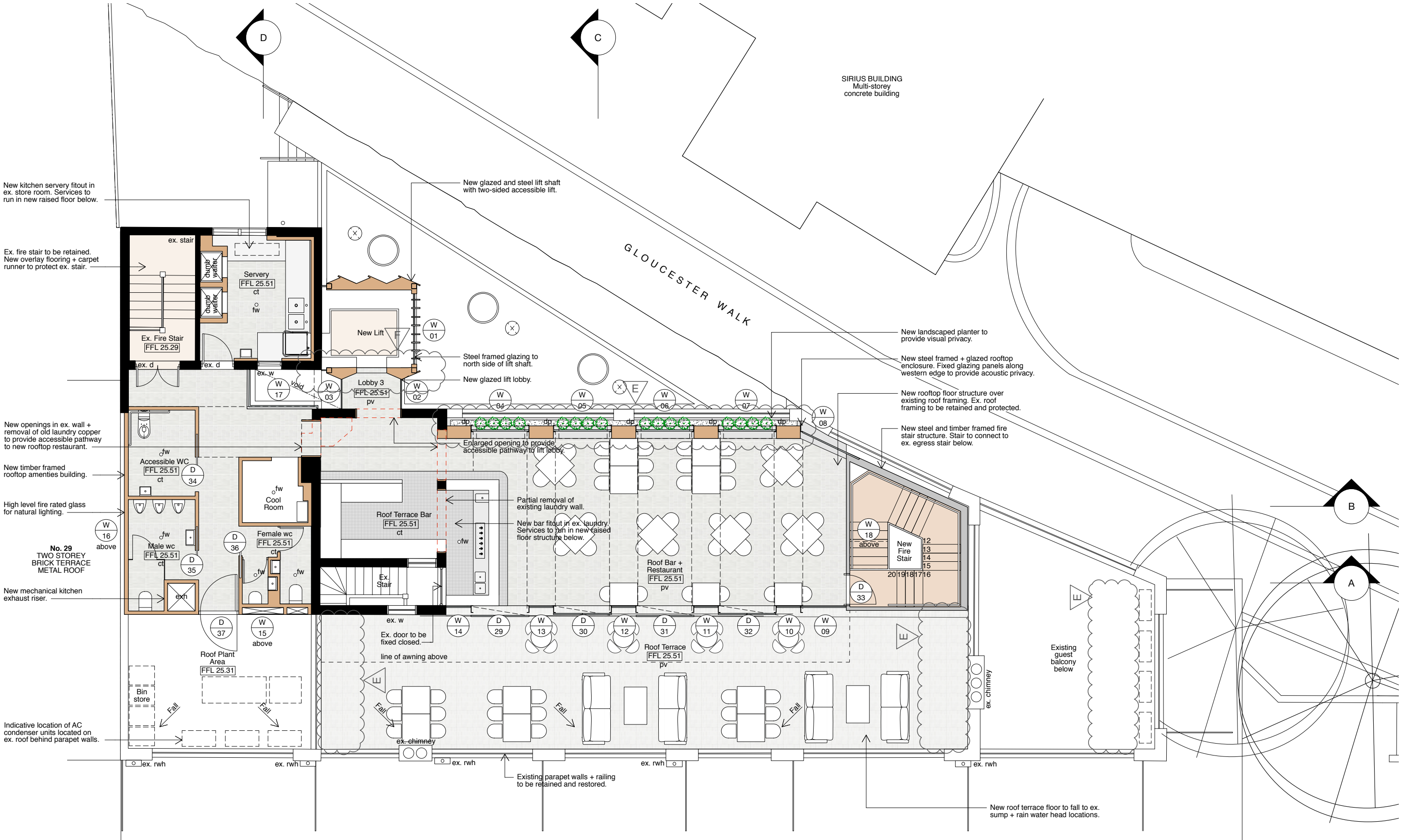
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Issue:
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Project
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Project Ref. No.
1505

Drawing Title
Proposed Roof Terrace Plan

Drawing No.
SSDA.105

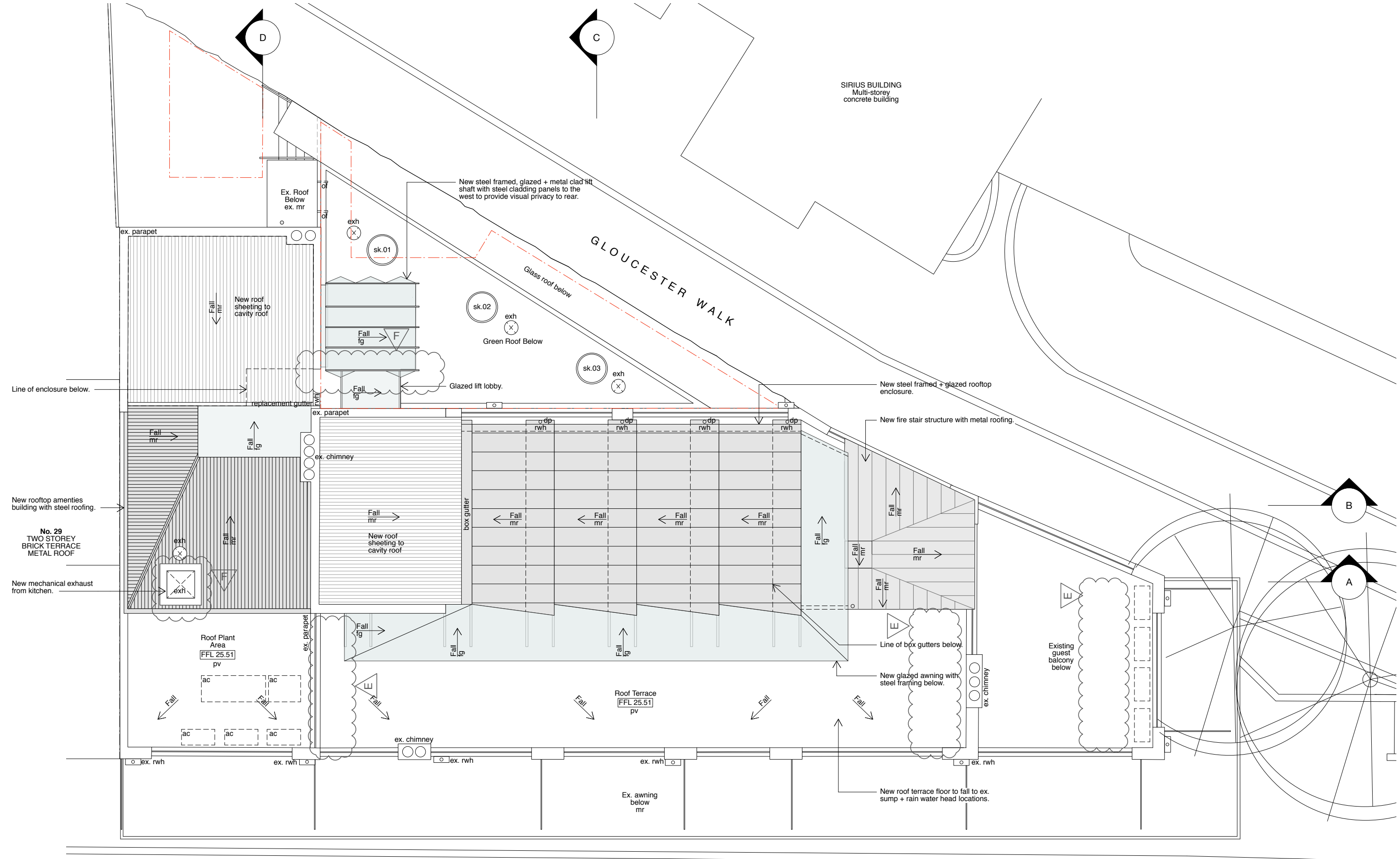
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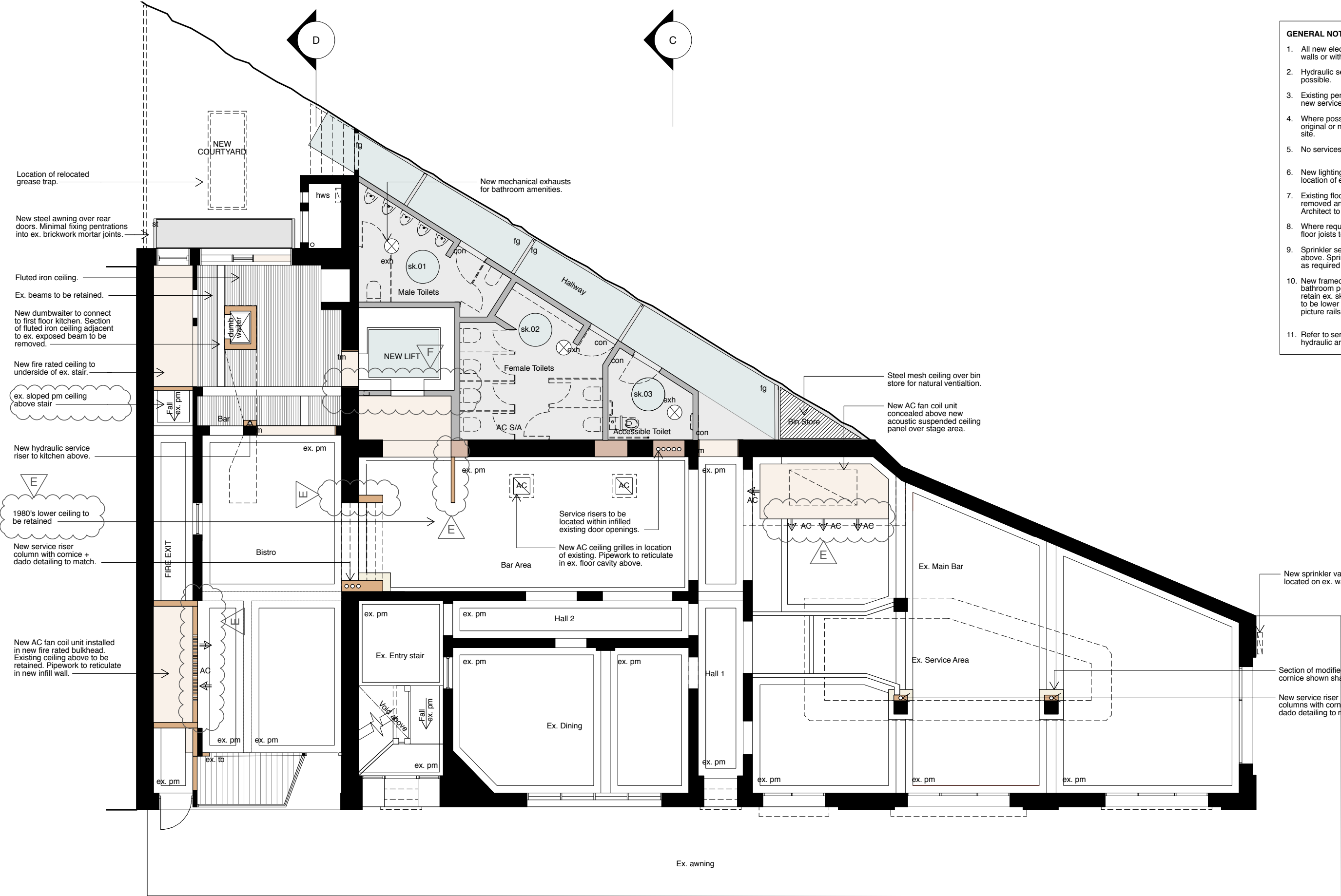
Project
The Mercantile Hotel
25-27 George Street, The Rocks, 2000

Project Ref. No.
1505

Drawing Title
Proposed Roof Plan

Drawing No.
SSDA.106

Scale:	Date:	Drawn:	Checked:	Issue:
1:100	December 2017	CD	CM	F



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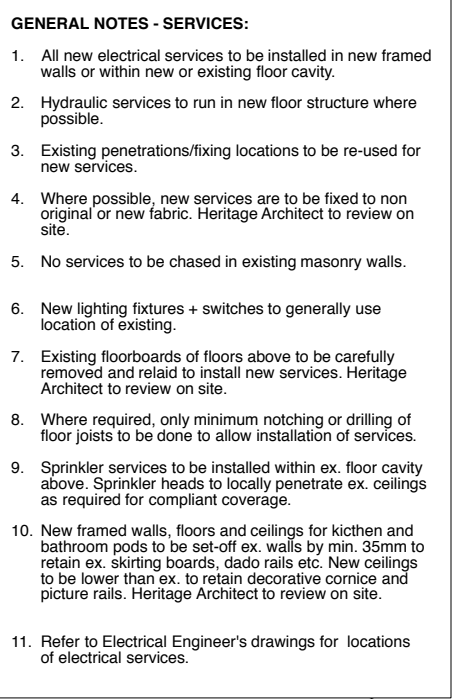
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Welsh+Major

Project		Project Ref. No.		
The Mercantile Hotel		1505		
25-27 George Street, The Rocks, 2000				
Drawing Title		Drawing No.		
Proposed Ground Floor RCP		SSDA.107		
Scale:	Date:	Drawn:	Checked:	Issue:
1:100	December 2017	CD	CM	F



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New AC split system unit installed on new dumbwaiter wall framing. Pipework to reticulate in new walls.

New dumb waiters to from kitchen located in ex. room noted with intrusive significance. Ex. plasterboard finish to be removed in location of localised ceiling penetrations.

New -/60/30 fire door fitted within ex. arched opening.

New exhaust riser from kitchen below.

New service risers to be located in new framed walls set-off from ex. cornice.

Modified cornice shown shaded in zone of demolished bathroom.

SIRIUS BUILDING
Multi-storey
concrete building

GLOUCESTER WALK

New mechanical exhaust to service internal bathroom pod. Discharged through wall through localised penetration External wall grille to match style of existing. grilles. Confirm on site with Heritage Architect.

New floor standing AC. Pipework to reticulate in floor cavity below.

Ensuite services to be installed in new framed walls.

New fire egress stair set-off ex. walls to retain ceiling cornice.

Indicative location of AC condenser units located behind prapet of ex. balcony.

GENERAL NOTES - SERVICES:

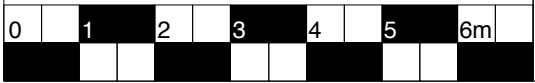
1. All new electrical services to be installed in new framed walls or within new or existing floor cavity.
2. Hydraulic services to run in new floor structure where possible.
3. Existing penetrations/fixing locations to be re-used for new services.
4. Where possible, new services are to be fixed to non original or new fabric. Heritage Architect to review on site.
5. No services to be chased in existing masonry walls.
6. New lighting fixtures + switches to generally use location of existing.
7. Existing floorboards of floors above to be carefully removed and relaid to install new services. Heritage Architect to review on site.
8. Where required, only minimum notching or drilling of floor joists to be done to allow installation of services.
9. Sprinkler services to be installed within ex. floor cavity above. Sprinkler heads to locally penetrate ex. ceilings as required for compliant coverage.
10. New framed walls, floors and ceilings for kitchen and bathroom pods to be set-off ex. walls by min. 35mm to retain ex. skirting boards, dado rails etc. New ceilings to be lower than ex. to retain decorative cornice and picture rails. Heritage Architect to review on site.
11. Refer to Electrical Engineer's drawings for locations of electrical services.

B

A

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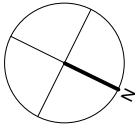


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Project

The Mercantile Hotel
25-27 George Street, The Rocks, 2000

Project Ref. No.

1505

Drawing Title

Proposed Second Floor RCP

Drawing No.

SSDA.109

Scale:

1:100

Date:

December 2017

Drawn:

CD

Checked:

CM

Issue:

G

New AC split system unit installed on new dumbwaiter wall framing. Pipework to reticulate in new walls.

New dumb waiters from kitchen located in ex. store room to sit below ex. ceiling.

New service risers to be located in new framed walls.

New mechanical exhaust for bathroom amenities. Ducting to run in new roof structure.

New exhaust riser from kitchen below located in new fire rated shaft.

New mechanical switchboard located in new framed wall.

Indicative location of AC condenser units located behind prapet of ex. balcony.

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State Significant Development Application

0

1

2

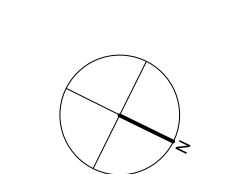
3

4

5

6m

Issue / Amendments:		Date:
-	For SSDA	20.12.17
A	Final for SSDA	07.02.18
B	Final for SSDA - updated	11.04.18
C	Final for SSDA - updated	23.04.18
D	For SSDA Submission - removal of dining room gas insert	07.05.18
E	For SSDA - Services coordination added, existing materials indicated	11.01.19
F	For SSDA - Lift dimensions rev'd	29.03.19



Legend:	
AC	air-conditioning
c	column
cpt	carpet
con	concrete
ct	ceramic tiles
d	door
db	distribution board
dp	downpipe
ex	existing
fb	face brick
fc	fibre cement
fg	fixed glass
ff	flue
hws	hot water system
mc	metal cladding
ms	mild steel
mr	metal roofing
mr	metal roofing
pb	plasterboard
pbr	painted brick
pm	pressed metal
pp	permeable paving
rf	resilient flooring
rm	rendered masonry
rw	rain water head
sk	skylight
st	steel
tb	timber boards
td	timber deck
tm	timber
w	window
Line of structure over / under	
To be demolished	
Existing timber floor	
Existing double brick structure	
Existing lightweight structure	
New masonry structure	
New concrete structure	
New lightweight structure	

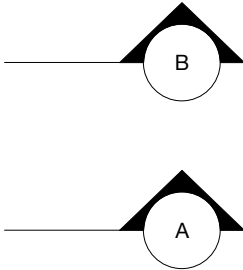
Level 4/69 Reservoir Street, Surry Hills
New South Wales Australia 2010
mail@welshmajor.com
Tel: 02 9699 6066
ABN: 67 612 977 303
Nom. Archs: C. Major ARB No 9193
D. Welsh ARB No. 6968

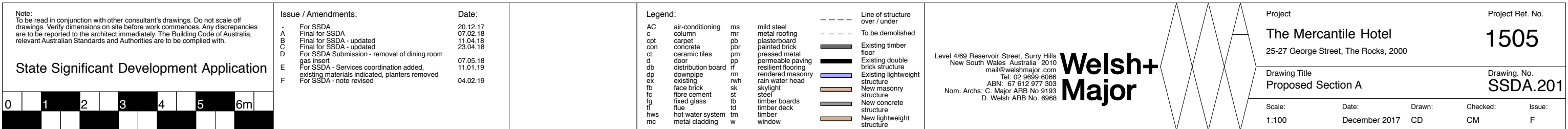
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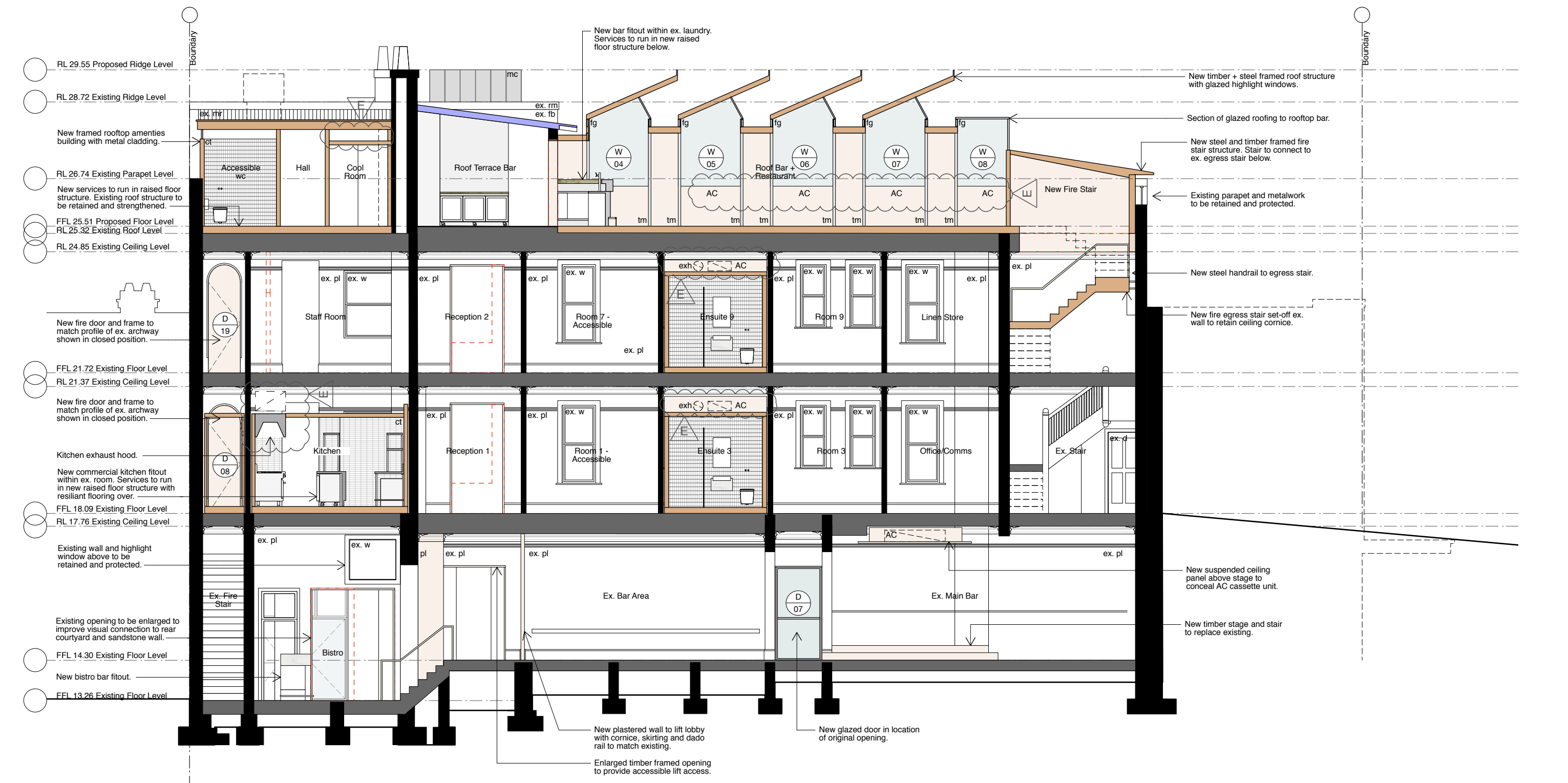
Project		Project Ref. No.	
The Mercantile Hotel		1505	
25-27 George Street, The Rocks, 2000			
Drawing Title		Drawing. No.	
Proposed Roof Terrace RCP		SSDA.110	
Scale:	Date:	Drawn:	Checked:
1:100	December 2017	CD	CM
		Issue:	F

GENERAL NOTES - SERVICES:

- All new electrical services to be installed in new framed walls or within new or existing floor cavity.
- Hydraulic services to run in new floor structure where possible.
- Existing penetrations/fixing locations to be re-used for new services.
- Where possible, new services are to be fixed to non original or new fabric. Heritage Architect to review on site.
- No services to be chased in existing masonry walls.
- New lighting fixtures + switches to generally use location of existing.
- Existing floorboards of floors above to be carefully removed and relaid to install new services. Heritage Architect to review on site.
- Where required, only minimum notching or drilling of floor joists to be done to allow installation of services.
- Sprinkler services to be installed within ex. floor cavity above. Sprinkler heads to locally penetrate ex. ceilings as required for compliant coverage.
- New framed walls, floors and ceilings for kitchen and bathroom pods to be set-off ex. walls by min. 35mm to retain ex. skirting boards, dado rails etc. New ceilings to be lower than ex. to retain decorative cornice and picture rails. Heritage Architect to review on site.
- Refer to Electrical Engineer's drawings for locations of electrical services.







Note:
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State Significant Development Application

Issue / Amendments:

-	For SSDA	20.12.17
A	Final for SSDA	07.02.18
B	Final for SSDA - updated	11.04.18
C	Final for SSDA - updated	23.04.18
D	For SSDA Submission - removal of dining room gas insert	07.05.18
E	For SSDA - Services coordination added, existing materials indicated planters removed	11.01.19

Date:

20.12.17
07.02.18
11.04.18
23.04.18
07.05.18
11.01.19

Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpt	carpet	pb	plasterboard
con	concrete	pbr	painted brick
ct	ceramic tiles	pm	pressed metal
d	door	pp	permeable paving
db	distribution board	rf	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
fl	flue	td	timber deck
hws	hot water system	tm	timber
mc	metal cladding	w	window

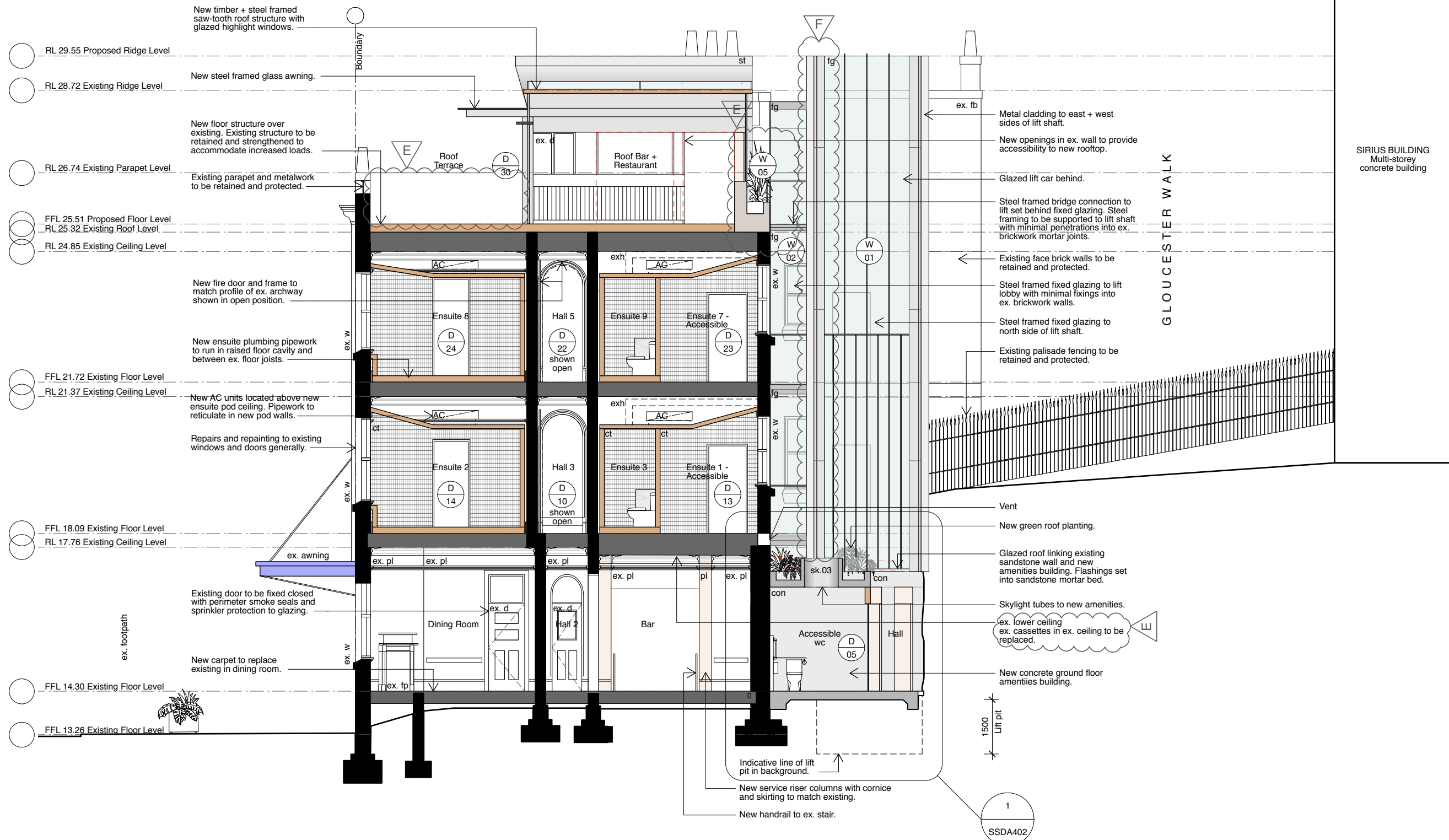
--- Line of structure over / under
--- To be demolished
--- Existing timber floor
--- Existing double brick structure
--- Existing lightweight structure
--- New masonry structure
--- New concrete structure
--- New lightweight structure

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Project		Project Ref. No.		
The Mercantile Hotel		1505		
25-27 George Street, The Rocks, 2000				
Drawing Title		Drawing. No.		
Proposed Section B		SSDA.202		
Scale:	Date:	Drawn:	Checked:	Issue:
1:100	December 2017	CD	CM	E

GEORGE STREET



Note:
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State Significant Development Application

Issue / Amendments:

- For SSDA
A Final for SSDA
B Final for SSDA - updated
C Final for SSDA - updated
D For SSDA Submission - removal of dining room gas insert
E For SSDA - Services coordination added, existing materials indicated/planters removed
F For SSDA - Lift dimensions rev'd

Date:

20.12.17
07.02.18
11.04.18
23.04.18
07.05.18
11.01.19
29.03.19

Legend:

AC air-conditioning
c column
cpt carpet
con concrete
ct ceramic tiles
d door
db distribution board
dp downpipe
ex existing
fb face brick
fc fibre cement
fg fixed glass
fl flue
hws hot water system
mc metal cladding
ms mild steel
mr metal roofing
pb plasterboard
pbr painted brick
pm pressed metal
pp permeable paving
rf resilient flooring
rm rendered masonry
rwh rain water head
sk skylight
st steel
tb timber boards
td timber deck
tm timber
w window
--- Line of structure over / under
--- To be demolished
--- Existing timber floor
--- Existing double brick structure
--- Existing lightweight structure
--- New masonry structure
--- New concrete structure
--- New lightweight structure

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Project

The Mercantile Hotel
25-27 George Street, The Rocks, 2000

Project Ref. No.

1505

Drawing Title
Proposed Section C

Drawing No.
SSDA.203

Scale:

1:100

Date:

December 2017

Drawn:

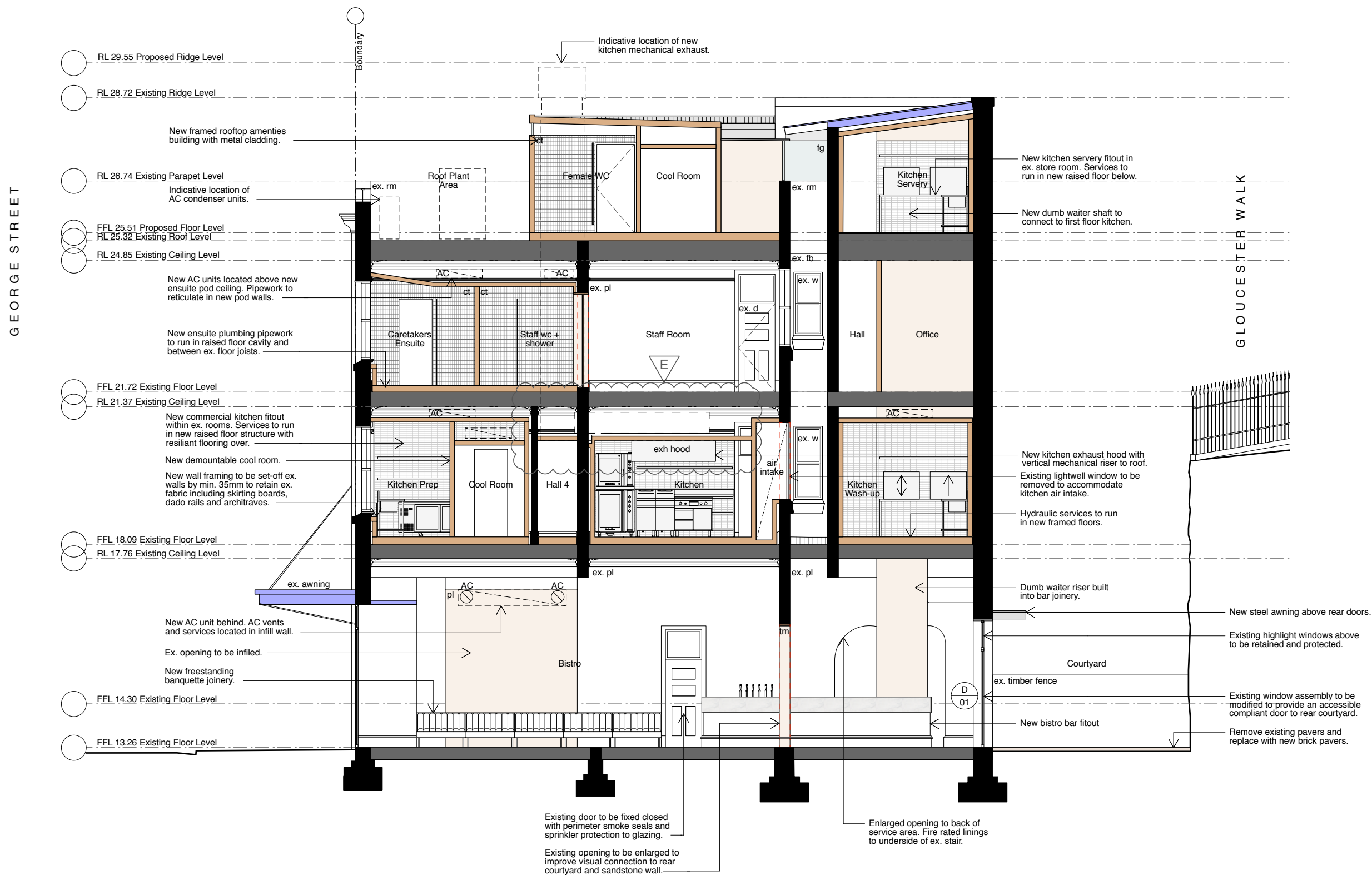
CD

Checked:

CM

Issue:

F



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State Significant Development Application

0

1

2

3

4

5

6m

Issue / Amendments:		Date:
-	For SSDA	20.12.17
A	Final for SSDA	07.02.18
B	Final for SSDA - updated	11.04.18
C	Final for SSDA - updated	23.04.18
D	For SSDA Submission - removal of dining room gas insert	07.05.18
E	For SSDA - Services coordination added, existing materials indicated, planters removed	11.01.19

Legend:	
AC	air-conditioning
c	column
cpt	carpet
con	concrete
ct	ceramic tiles
d	door
db	distribution board
dp	downpipe
ex	existing
fb	face brick
fc	fibre cement
fg	fixed glass
fl	flue
hws	hot water system
mc	metal cladding
ms	mild steel
mr	metal roofing
pb	plasterboard
pbr	painted brick
pm	pressed metal
pp	permeable paving
rf	rain water head
rm	rendered masonry
rwh	rain water head
sk	skylight
st	steel
tb	timber boards
td	timber deck
tm	timber
w	window

Line of structure over / under

To be demolished

Existing timber floor

Existing double brick structure

Existing lightweight structure

New masonry structure

New concrete structure

New lightweight structure

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Project		Project Ref. No.	
The Mercantile Hotel		1505	
25-27 George Street, The Rocks, 2000			
Drawing Title		Drawing No.	
Proposed Section D		SSDA.204	
Scale:	Date:	Drawn:	Checked:
1:100	December 2017	CD	CM
			Issue:
			E



Note:
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with.

State Significant Development Application

Issue / Amendments:

- For SSDA
A Final for SSDA
B Final for SSDA - updated
C Final for SSDA - updated
D For SSDA Submission - removal of dining room gas insert
E For SSDA - Services coordination added, existing materials indicated planters removed

Date:

20.12.17
07.02.18
11.04.18
23.04.18
07.05.18
11.01.19

Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpt	carpet	pb	plasterboard
con	concrete	pbr	painted brick
ct	ceramic tiles	pm	pressed metal
d	door	pp	permeable paving
db	distribution board	rf	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
fl	flue	td	timber deck
hws	hot water system	tm	timber
mc	metal cladding	w	window

--- Line of structure over / under
- - - To be demolished
Existing timber floor
Existing double brick structure
Existing lightweight structure
New masonry structure
New concrete structure
New lightweight structure

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Project

The Mercantile Hotel
25-27 George Street, The Rocks, 2000

Drawing Title
Proposed East Elevation - George Street

Scale:

1:100

Date:

December 2017

Drawn:

CD

Checked:

CM

Issue:

E

Project Ref. No.

1505

Drawing No.

SSDA.301



Note:
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with.

State Significant Development Application

Issue / Amendments:

-	For SSDA	20.12.17
A	Final for SSDA	07.02.18
B	Final for SSDA - updated	11.04.18
C	Final for SSDA - updated	23.04.18
D	For SSDA Submission - removal of dining room gas insert	07.05.18
E	For SSDA - Services coordination added, existing materials indicated	11.01.19
F	For SSDA - Dimensions rev'd	29.03.19

Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpt	carpet	pb	plasterboard
con	concrete	pbr	painted brick
ct	ceramic tiles	pm	pressed metal
d	door	pp	permeable paving
db	distribution board	rf	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	td	timber boards
fl	flue	tm	timber deck
hws	hot water system	tn	timber window
mc	metal cladding	w	window

Line of structure over / under
To be demolished
Existing timber floor
Existing double brick structure
Existing lightweight structure
New masonry structure
New concrete structure
New lightweight structure

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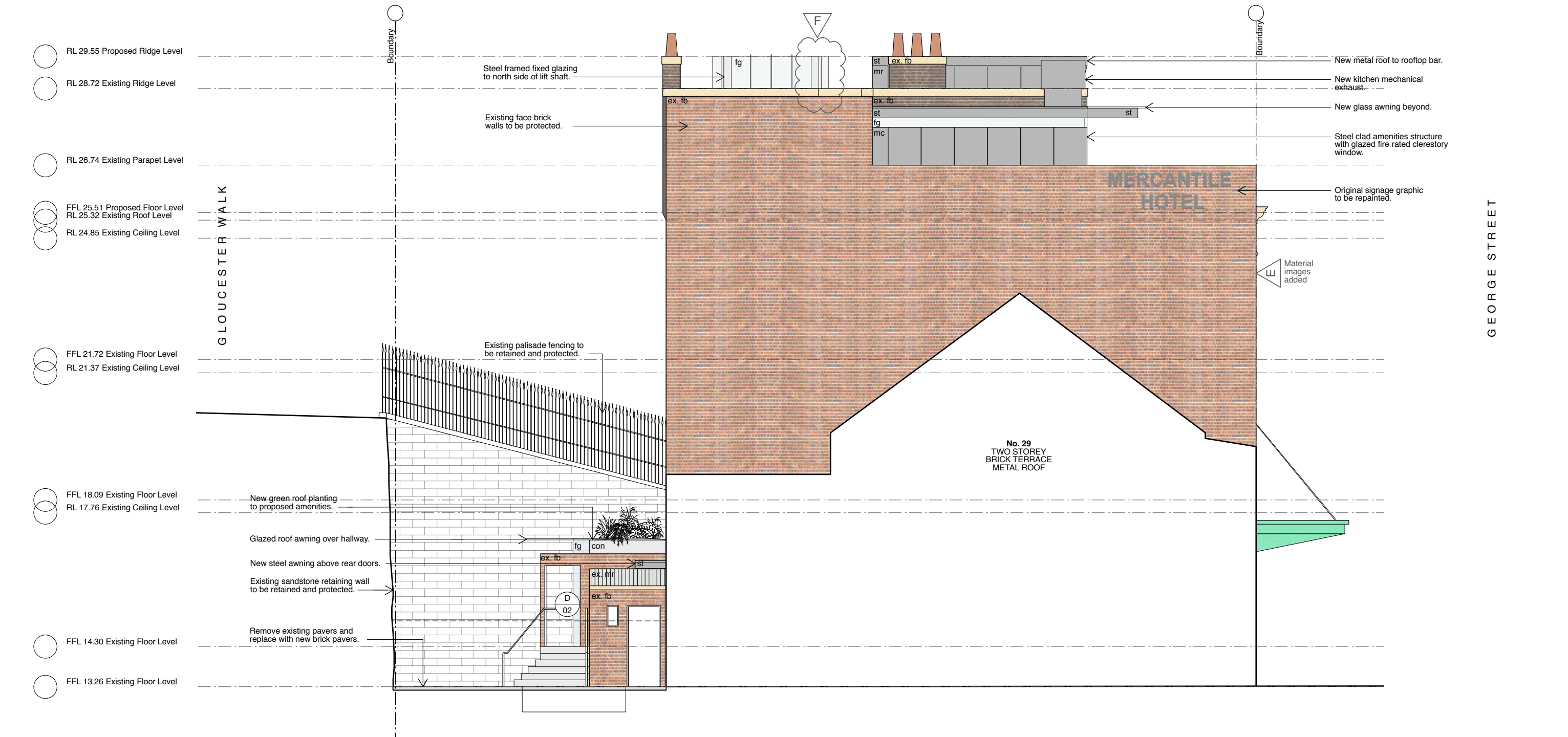
Project
The Mercantile Hotel
25-27 George Street, The Rocks, 2000

Project Ref. No.
1505

Drawing Title
Proposed West Elevation - Gloucester Walk

Drawing No.
SSDA.303

Scale:	Date:	Drawn:	Checked:	Issue:
1:100	December 2017	CD	CM	F



Note:
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State Significant Development Application

0	1	2	3	4	5	6m
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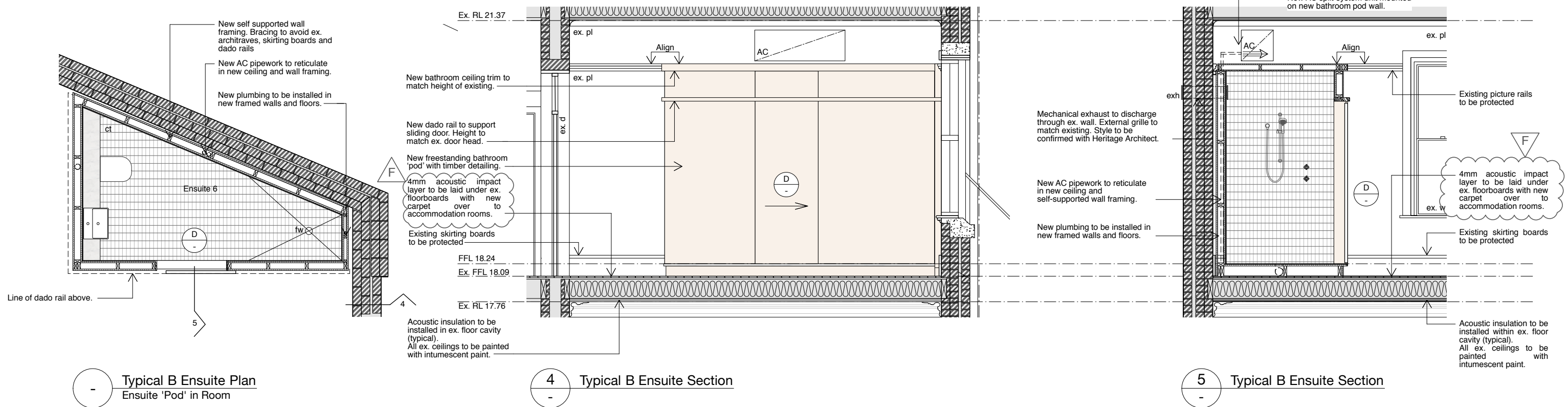
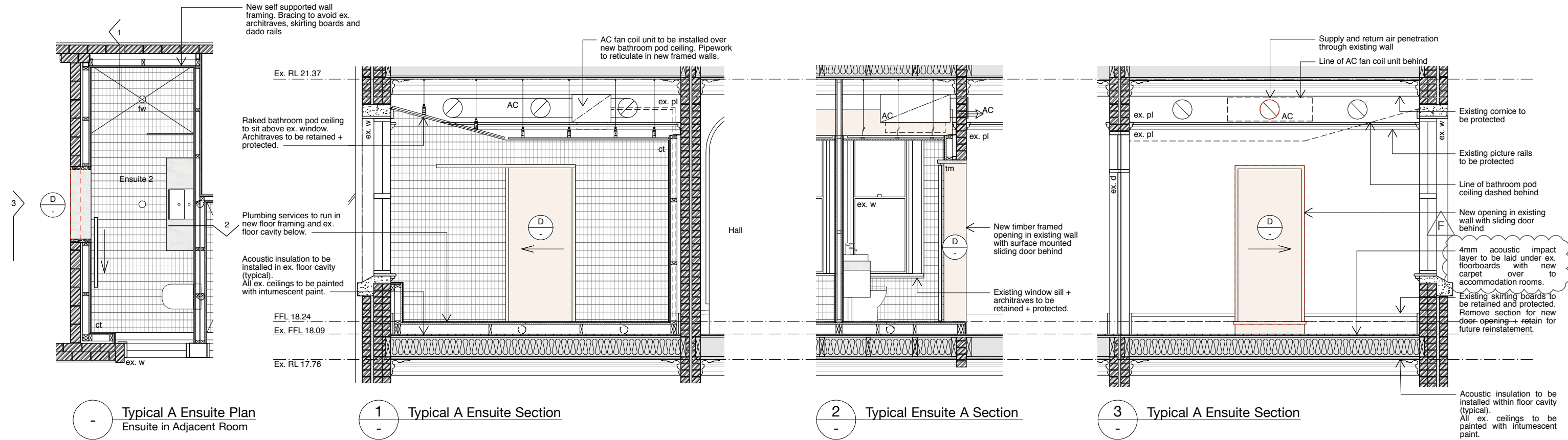
Issue / Amendments:		Date:
-	For SSDA	20.12.17
A	Final for SSDA	07.02.18
B	Final for SSDA - updated	11.04.18
C	Final for SSDA - updated	23.04.18
D	For SSDA Submission - removal of dining room gas insert	07.05.18
E	For SSDA - Services coordination added, existing materials indicated	11.01.19
F	For SSDA - Lift dimensions rev'd	29.03.19

Legend:			
AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpt	carpet	pb	plasterboard
con	concrete	pbr	painted brick
ct	ceramic tiles	pm	pressed metal
d	door	pp	permeable paving
db	distribution board	rf	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
fl	flue	td	timber deck
hws	hot water system	tm	timber
mc	metal cladding	w	window

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Project		Project Ref. No.		
The Mercantile Hotel		1505		
25-27 George Street, The Rocks, 2000				
Drawing Title		Drawing No.		
South Elevation		SSDA 304		
Scale:	Date:	Drawn:	Checked:	Issue:
1:100	December 2017	CD	CM	F



Note:
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State Significant Development Application

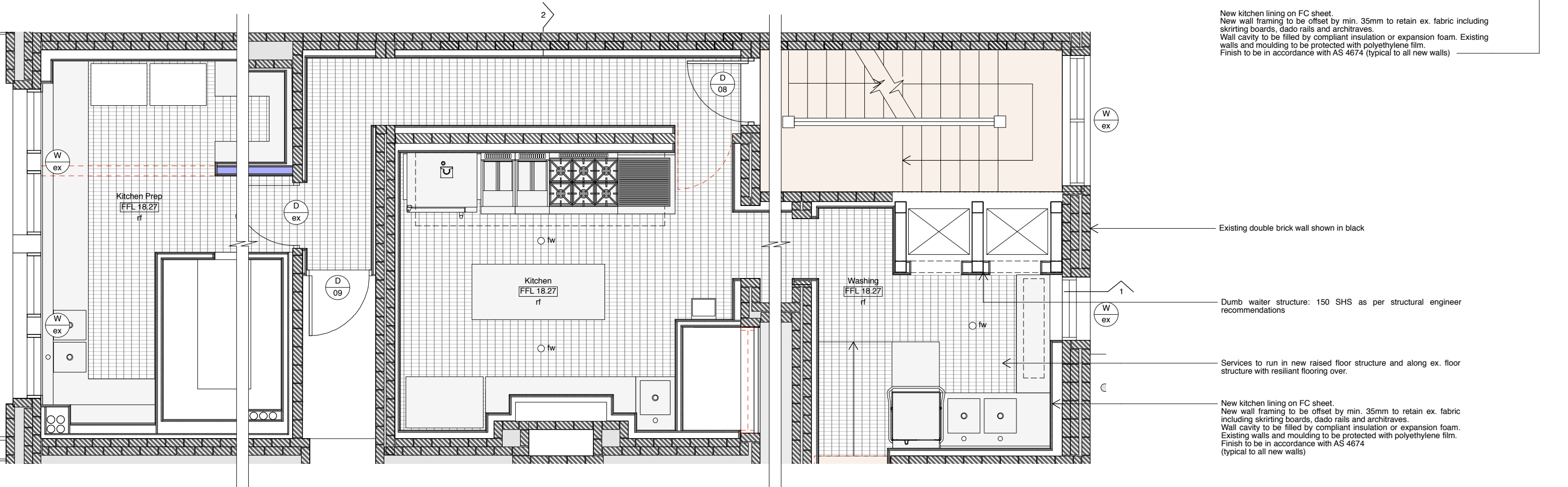
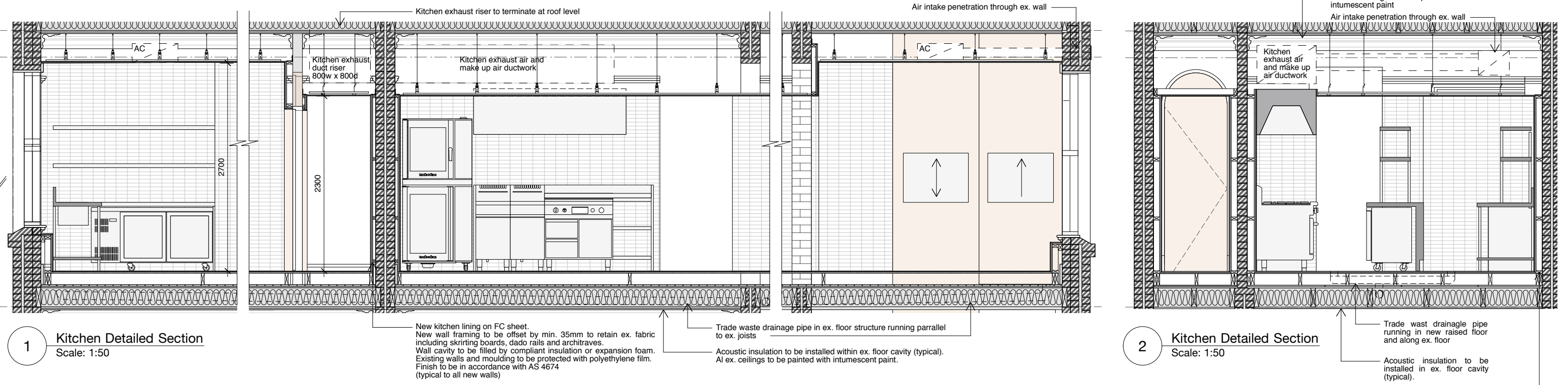
Issue / Amendments:	Date:
- For SSDA	20.12.17
A Final for SSDA	07.02.18
B Final for SSDA - updated	11.04.18
C Final for SSDA - updated	23.04.18
D For SSDA Submission - removal of dining room gas insert	07.05.18
E For SSDA - Services coordination added, existing materials indicated	11.01.19
F For SSDA - Acoustic insulation updated	04.02.19

Legend:	
AC air-conditioning	ms mild steel
c column	mr metal roofing
cpt carpet	pb plasterboard
con concrete	pbr painted brick
ct ceramic tiles	pbr pressed metal
d door	pp permeable paving
db distribution board	rm resilient flooring
dp downpipe	rm rendered masonry
ex existing	rwh rain water head
fb face brick	sk skylight
fc fibre cement	st steel
fg fixed glass	tb timber boards
fl flue	td timber deck
hws hot water system	tm timber
mc metal cladding	w window

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Project	Project Ref. No.
The Mercantile Hotel	1505
25-27 George Street, The Rocks, 2000	
Drawing Title	Drawing No.
Typical Ensuite Details	SSDA.401
Scale:	Date:
1:50	December 2017
Drawn:	Checked:
CD	CM
Issue:	F



Note:
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State Significant Development Application

0	0.5	1	1.5	2	2.5	3m
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Issue / Amendments:
- For SSDA

Date:
11.01.19

Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpt	carpet	pb	plasterboard
con	concrete	pbr	painted brick
ct	ceramic tiles	pm	pressed metal
d	door	pp	permeable paving
db	distribution board	rf	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
fl	flue	td	timber deck
fl	hot water system	tm	timber
hws	metal cladding	w	window
mc			

--- Line of structure over / under
- - - To be demolished
Existing timber floor
Existing double brick structure
Existing lightweight structure
New masonry structure
New concrete structure
New lightweight structure

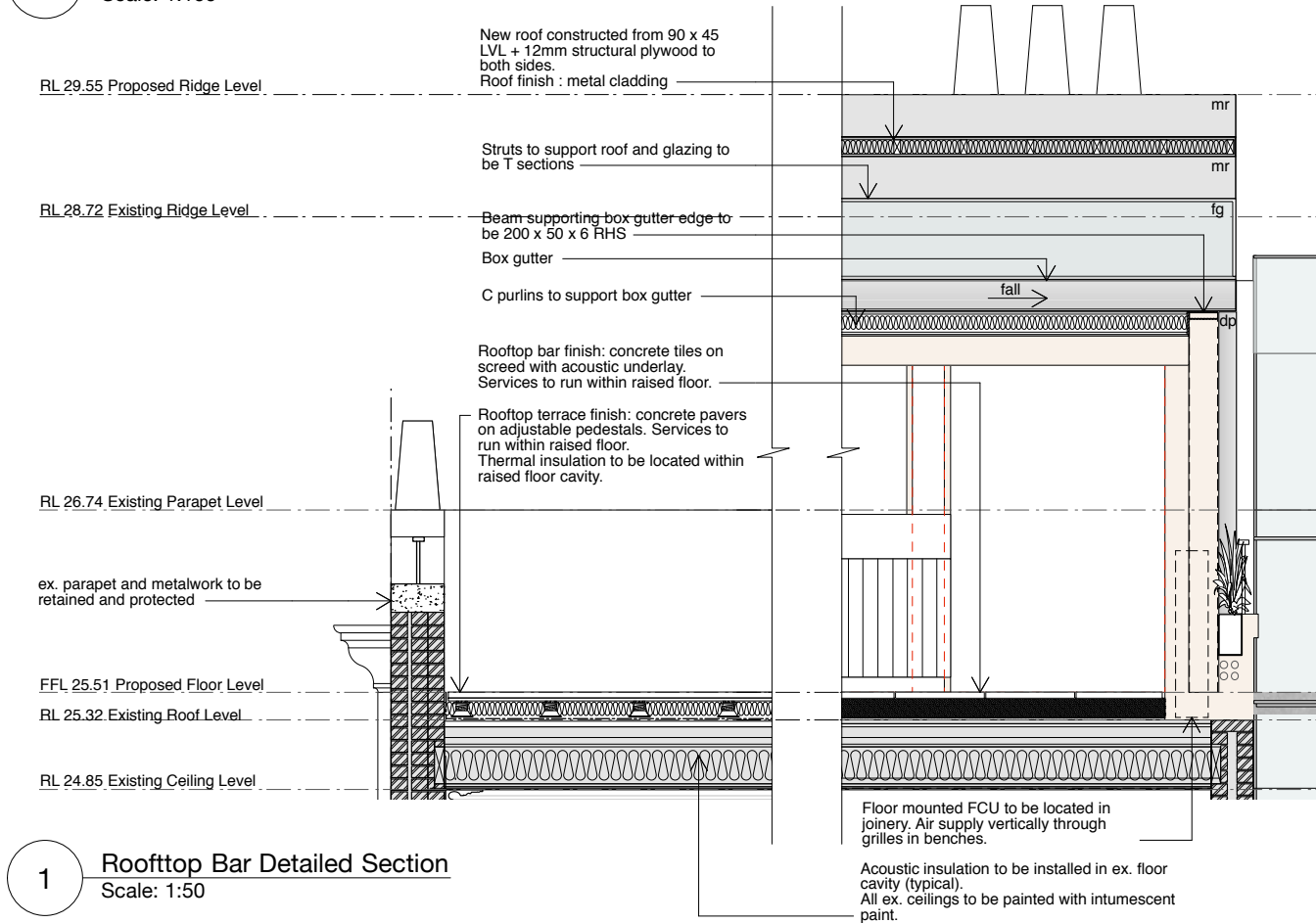
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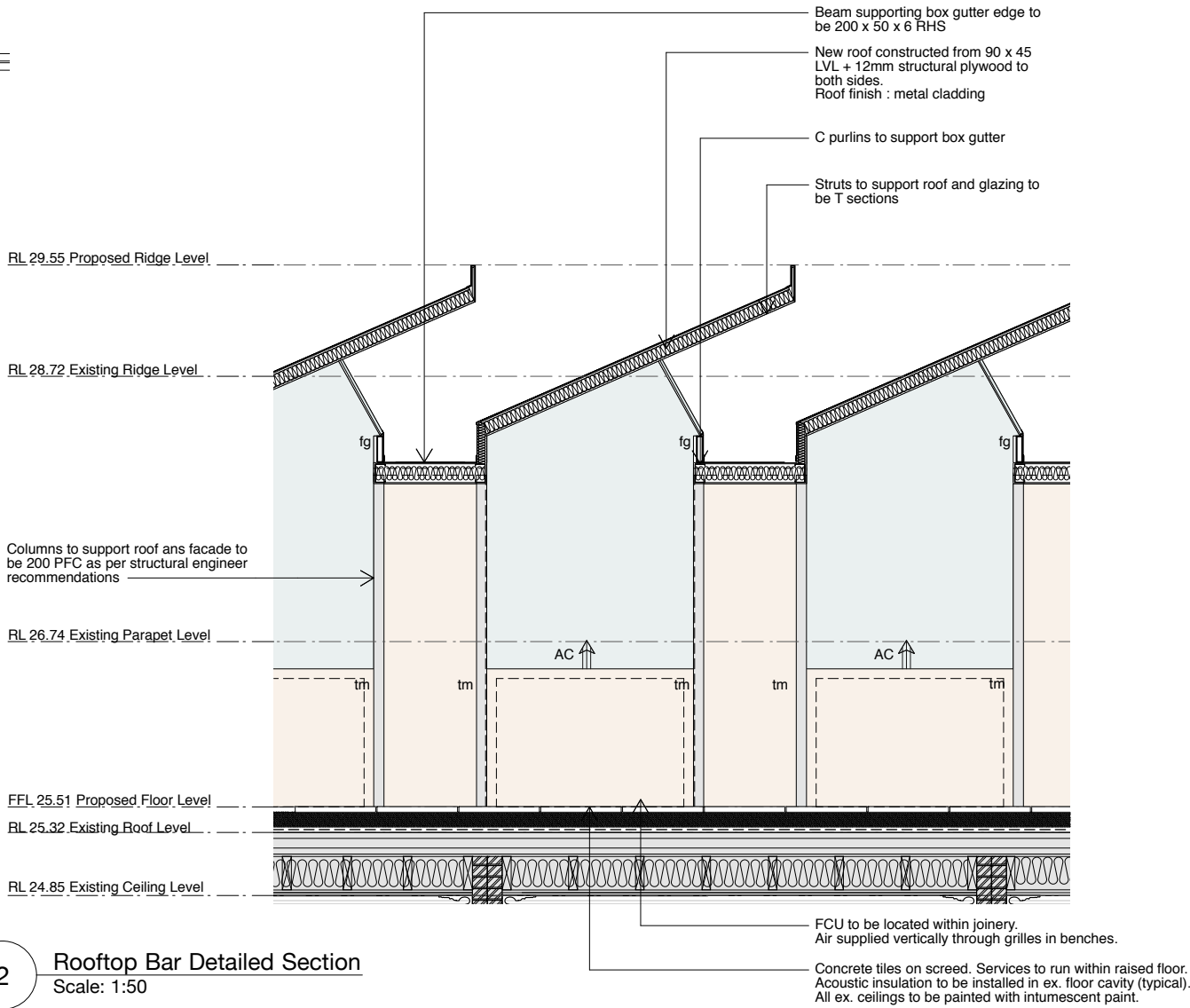
Project	Project Ref. No.				
The Mercantile Hotel					
25-27 George Street, The Rocks, 2000					
Drawing Title					Drawing. No.
Typical Kitchen Details					SSDA 417
Scale:	Date:	Drawn:	Checked:	Issue:	
1:50	December 2018	CD	CM	-	



Rooftop Bar Plan
Scale: 1:100



Rooftop Bar Detailed Section
Scale: 1:50



Rooftop Bar Detailed Section
Scale: 1:50

Note:
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State Significant Development Application

Issue / Amendments:
- For SSDA

Date:
11.01.19

Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpt	carpet	pb	plasterboard
con	concrete	pbr	painted brick
ct	ceramic tiles	pm	pressed metal
d	door	pp	permeable paving
db	distribution board	rm	resilient flooring
dp	downpipe	rw	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
fl	flue	td	timber deck
ft	hot water system	tm	timber window
hws	metal cladding	w	
mc			

---	Line of structure over / under
---	To be demolished
---	Existing timber floor
---	Existing double brick structure
---	Existing lightweight structure
---	New masonry structure
---	New concrete structure
---	New lightweight structure

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Project
The Mercantile Hotel
25-27 George Street, The Rocks, 2000

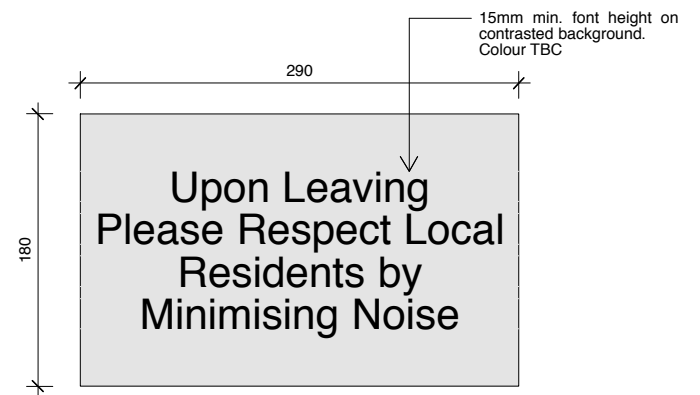
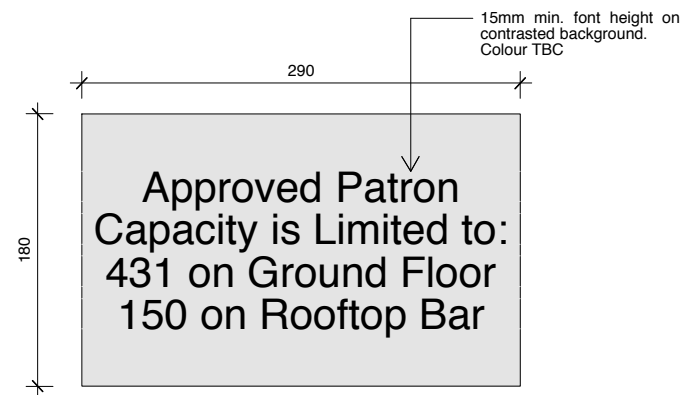
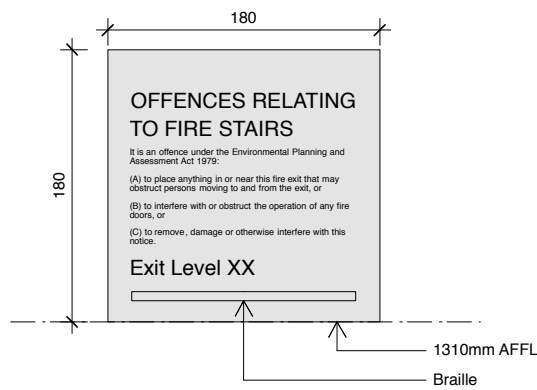
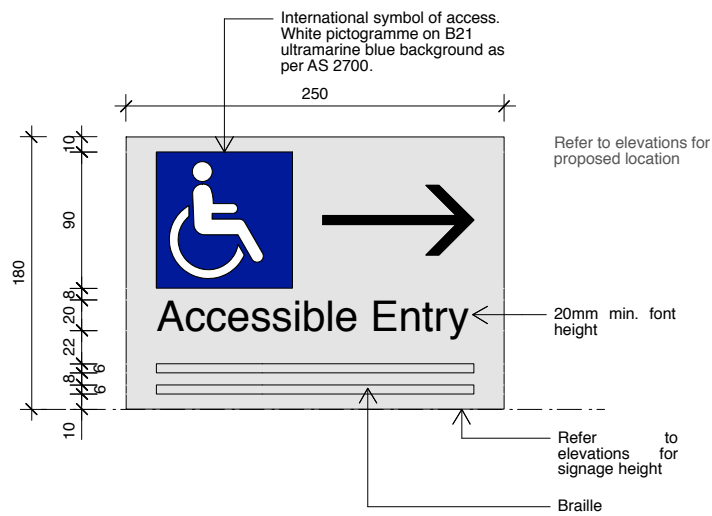
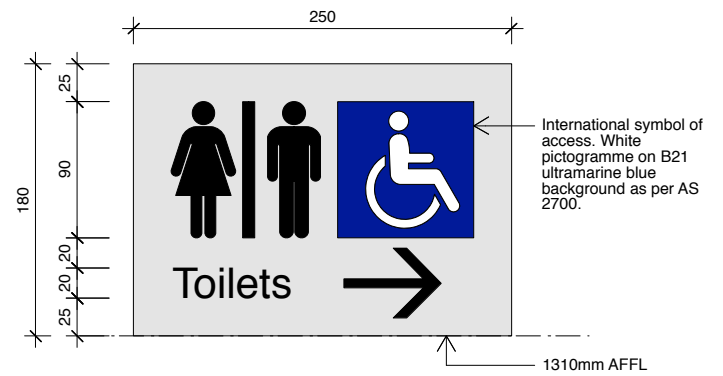
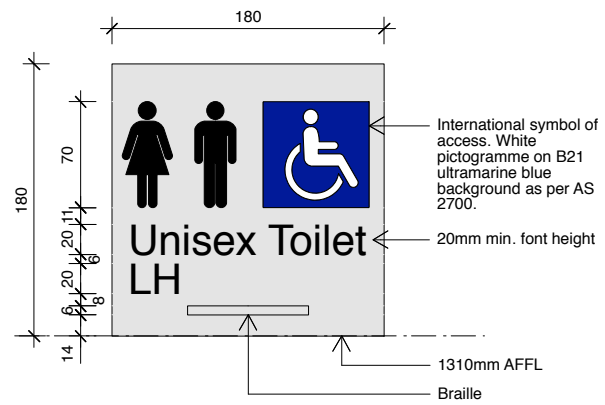
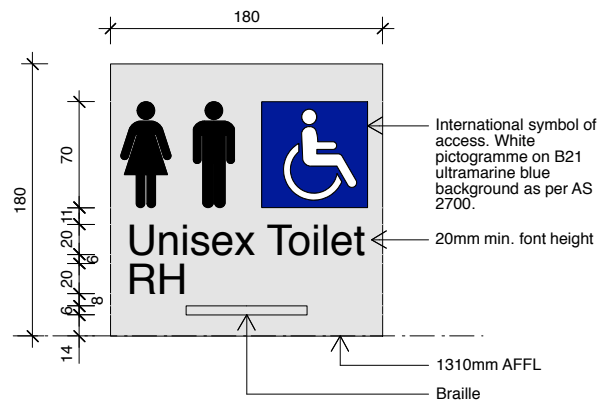
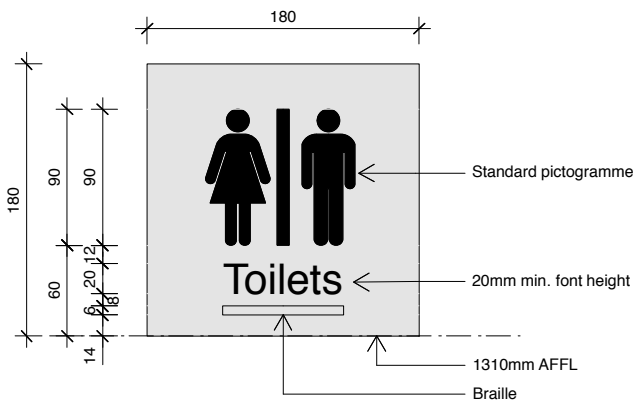
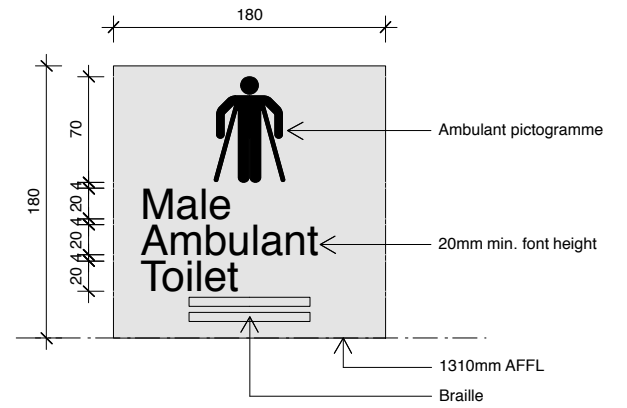
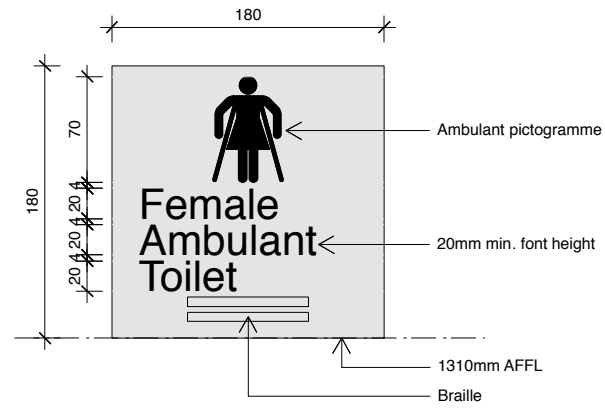
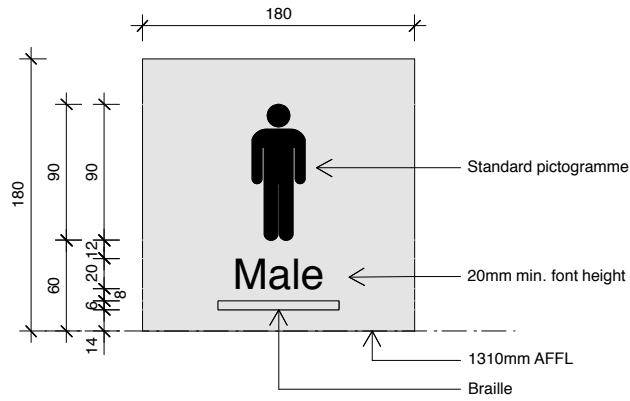
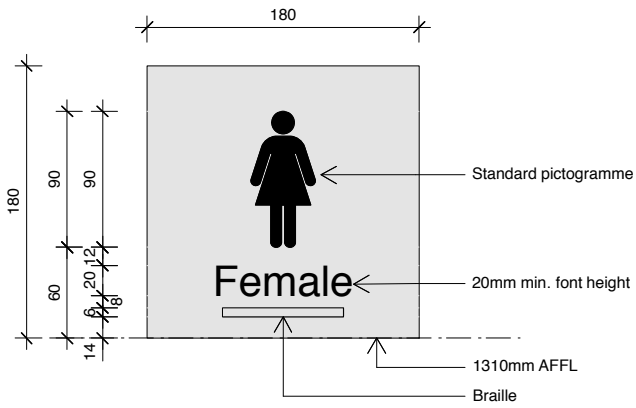
Project Ref. No.
1505

Drawing Title
Typical Roof Details

Drawing No.
SSDA 418

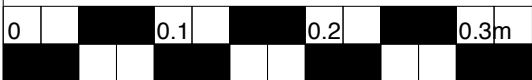
Scale:	Date:	Drawn:	Checked:	Issue:
1:50	December 2018	CD	CM	-

Notes:
Proposed signage is for information only



Note:
To be read in conjunction with other consultant's drawings. Do not scale off drawings. Verify dimensions on site before work commences. Any discrepancies are to be reported to the architect immediately. The Building Code of Australia, relevant Australian Standards and Authorities are to be complied with.

State Significant Development Application



Issue / Amendments:
- For SSDA

Date:
11.01.19

Legend:

AC	air-conditioning	ms	mild steel
c	column	mr	metal roofing
cpt	carpet	pb	plasterboard
con	concrete	pbr	painted brick
ct	ceramic tiles	pm	pressed metal
d	door	pp	permeable paving
db	distribution board	rr	resilient flooring
dp	downpipe	rm	rendered masonry
ex	existing	rwh	rain water head
fb	face brick	sk	skylight
fc	fibre cement	st	steel
fg	fixed glass	tb	timber boards
fl	flue	td	timber deck
hws	hot water system	tm	timber window
mc	metal cladding	w	window

---	Line of structure over / under
- - -	To be demolished
▬	Existing timber floor
▬	Existing double brick structure
▬	Existing lightweight structure
▬	New masonry structure
▬	New concrete structure
▬	New lightweight structure

Level 4/69 Reservoir Street, Surry Hills
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ABN: 67 612 977 303
Nom. Archs: C. Major ARB No 9193
D. Welsh ARB No. 6968

**Welsh+
Major**

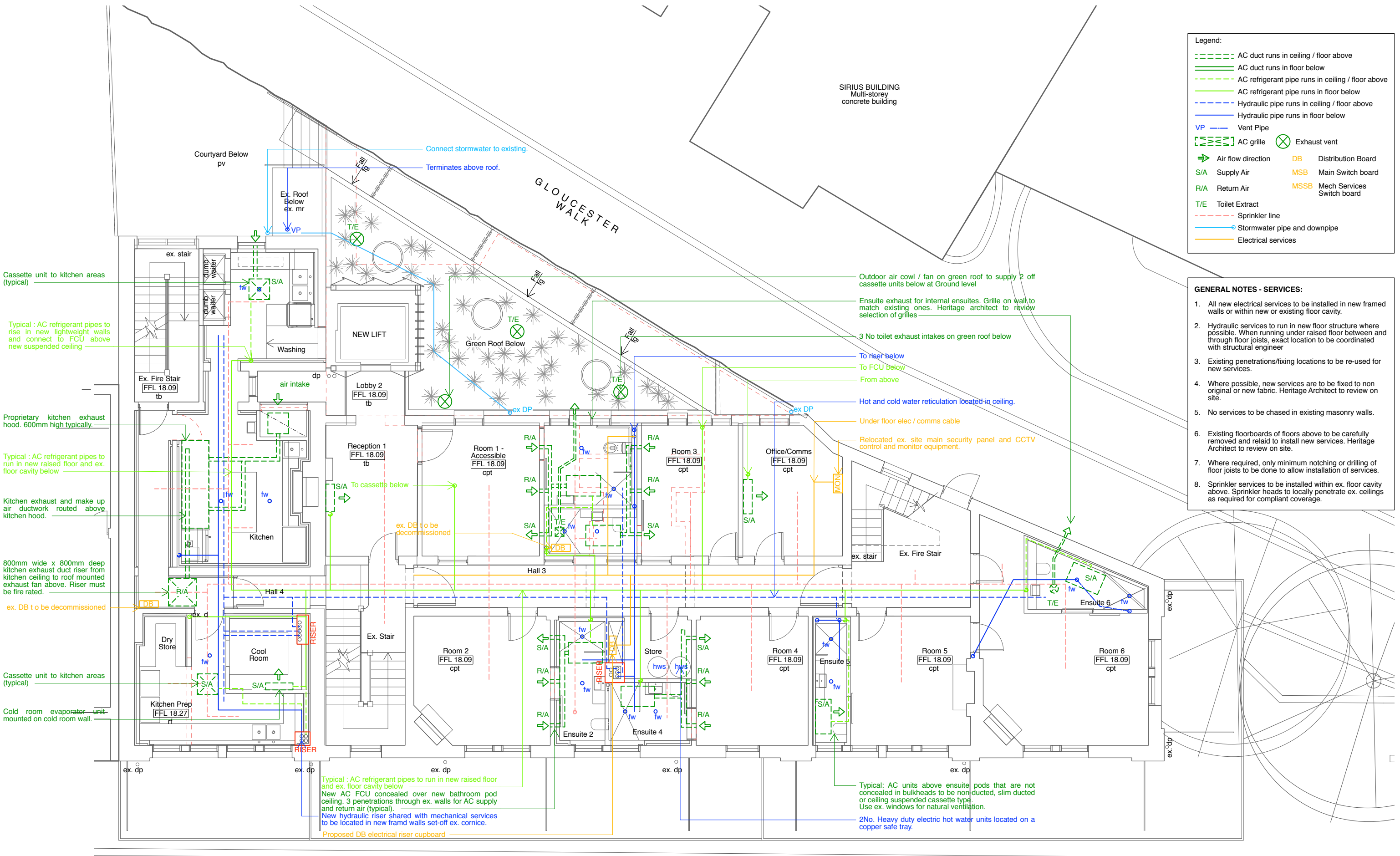
Project
The Mercantile Hotel
25-27 George Street, The Rocks, 2000

Project Ref. No.
1505

Drawing Title
Proposed Signage

Drawing No.
SSDA 419

Scale:	Date:	Drawn:	Checked:	Issue:
1:5	December 2017	CD	CM	-



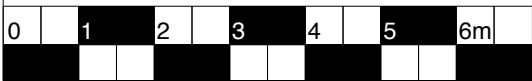
- Legend:
- AC duct runs in ceiling / floor above
 - AC duct runs in floor below
 - AC refrigerant pipe runs in ceiling / floor above
 - AC refrigerant pipe runs in floor below
 - Hydraulic pipe runs in ceiling / floor above
 - Hydraulic pipe runs in floor below
 - VP Vent Pipe
 - AC grille
 - Exhaust vent
 - Air flow direction
 - DB Distribution Board
 - S/A Supply Air
 - MSB Main Switch board
 - R/A Return Air
 - MSSB Mech Services Switch board
 - T/E Toilet Extract
 - Sprinkler line
 - Stormwater pipe and downpipe
 - Electrical services

GENERAL NOTES - SERVICES:

- All new electrical services to be installed in new framed walls or within new or existing floor cavity.
- Hydraulic services to run in new floor structure where possible. When running under raised floor between and through floor joists, exact location to be coordinated with structural engineer
- Existing penetrations/fixing locations to be re-used for new services.
- Where possible, new services are to be fixed to non original or new fabric. Heritage Architect to review on site.
- No services to be chased in existing masonry walls.
- Existing floorboards of floors above to be carefully removed and relaid to install new services. Heritage Architect to review on site.
- Where required, only minimum notching or drilling of floor joists to be done to allow installation of services.
- Sprinkler services to be installed within ex. floor cavity above. Sprinkler heads to locally penetrate ex. ceilings as required for compliant coverage.

Note:
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State Significant Development Application



Issue / Amendments:
- For SSDA

Date:
11.01.19

Legend:

- | | | | |
|-----|--------------------|-----|--------------------|
| AC | air-conditioning | ms | mild steel |
| c | column | mr | metal roofing |
| cpt | carpet | pb | plasterboard |
| con | concrete | pbr | pointed brick |
| ct | ceramic tiles | pm | pressed metal |
| d | door | pp | permeable paving |
| db | distribution board | rr | resilient flooring |
| dp | downpipe | rt | rendered masonry |
| ex | existing | rwh | rain water head |
| fb | face brick | sk | skylight |
| fc | fibre cement | st | steel |
| fg | fixed glass | tb | timber boards |
| fl | flue | td | timber deck |
| hws | hot water system | tm | timber window |
| mc | metal cladding | w | window |
- Line of structure over / under
 - To be demolished
 - Existing timber floor
 - Existing double brick structure
 - Existing lightweight structure
 - New masonry structure
 - New concrete structure
 - New lightweight structure

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Welsh+Major

Project
The Mercantile Hotel
25-27 George Street, The Rocks, 2000

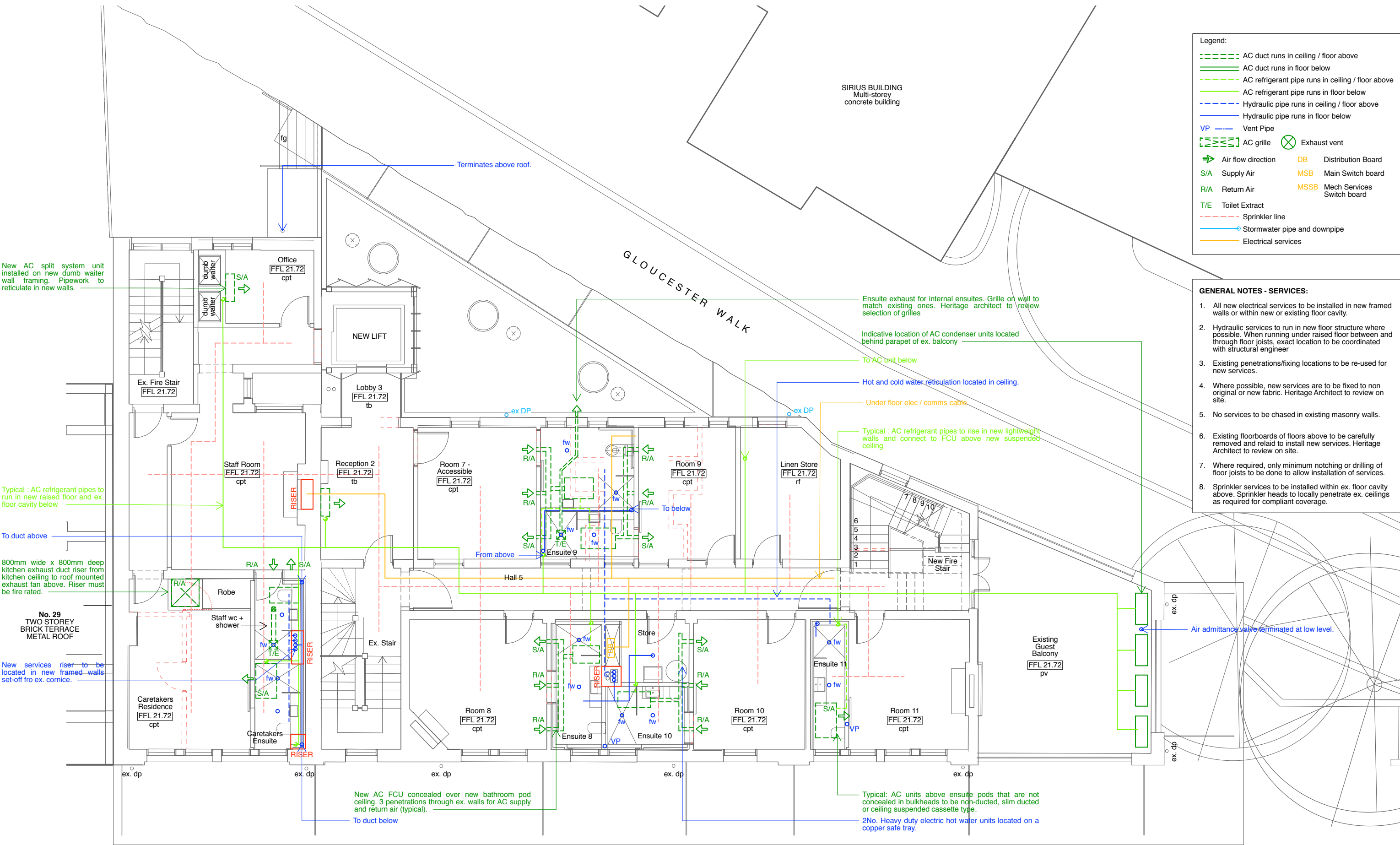
Project Ref. No.

1505

Drawing Title
Proposed First Floor Services Plan

Drawing No.
SSDA 502

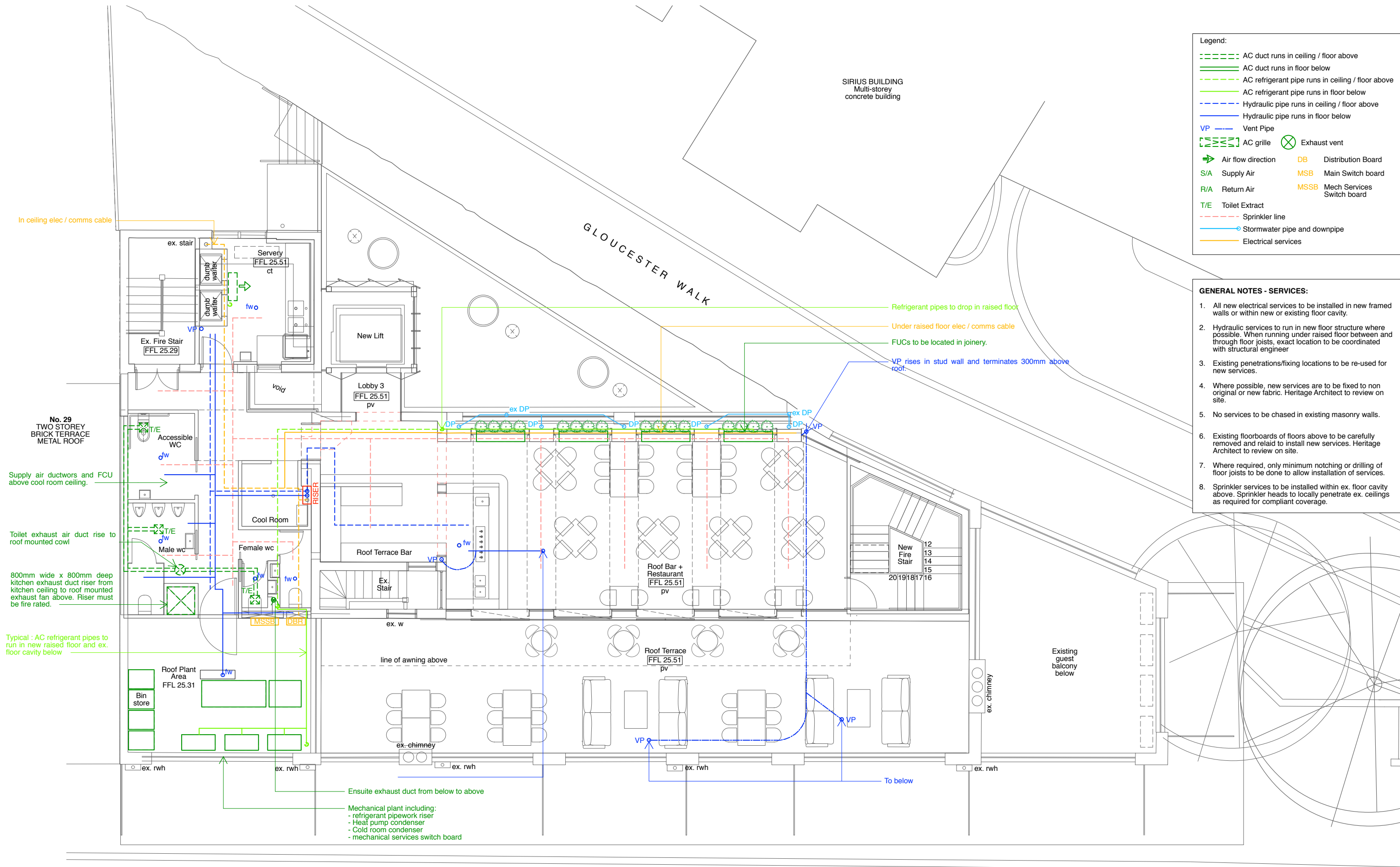
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Legend:

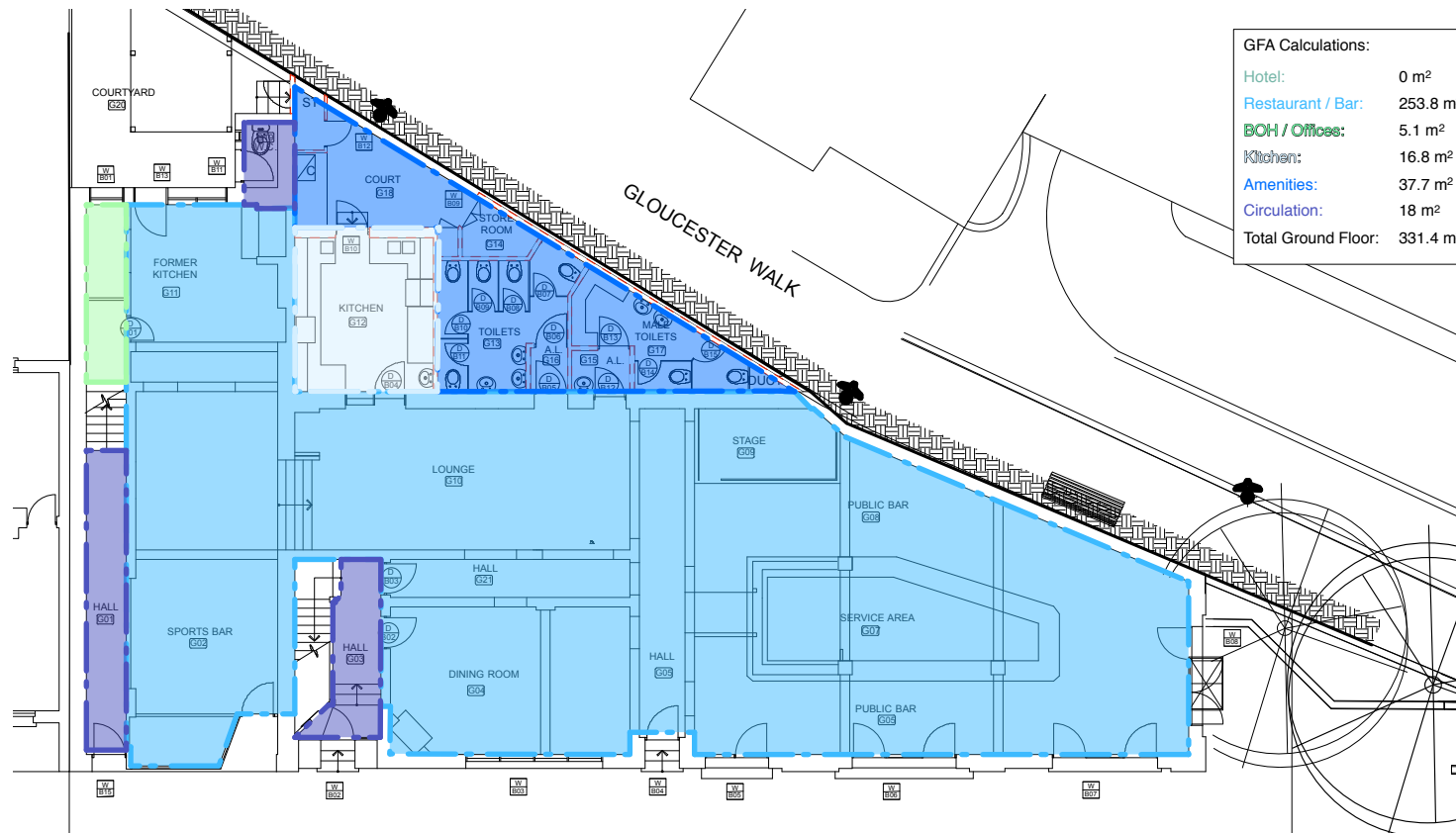
- AC duct runs in ceiling / floor above
- AC duct runs in floor below
- AC refrigerant pipe runs in ceiling / floor above
- AC refrigerant pipe runs in floor below
- Hydraulic pipe runs in ceiling / floor above
- Hydraulic pipe runs in floor below
- Vent Pipe
- AC grille
- Exhaust vent
- Air flow direction
- Supply Air
- Return Air
- Toilet Extract
- Sprinkler line
- Stormwater pipe and downpipe
- Electrical services
- DB Distribution Board
- MSB Main Switch board
- MSSB Mech Services Switch board

- GENERAL NOTES - SERVICES:
- All new electrical services to be installed in new framed walls or within new or existing floor cavity.
 - Hydraulic services to run in new floor structure where possible. When running under raised floor between and through floor joists, exact location to be coordinated with structural engineer
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 - Sprinkler services to be installed within ex. floor cavity above. Sprinkler heads to locally penetrate ex. ceilings as required for compliant coverage.

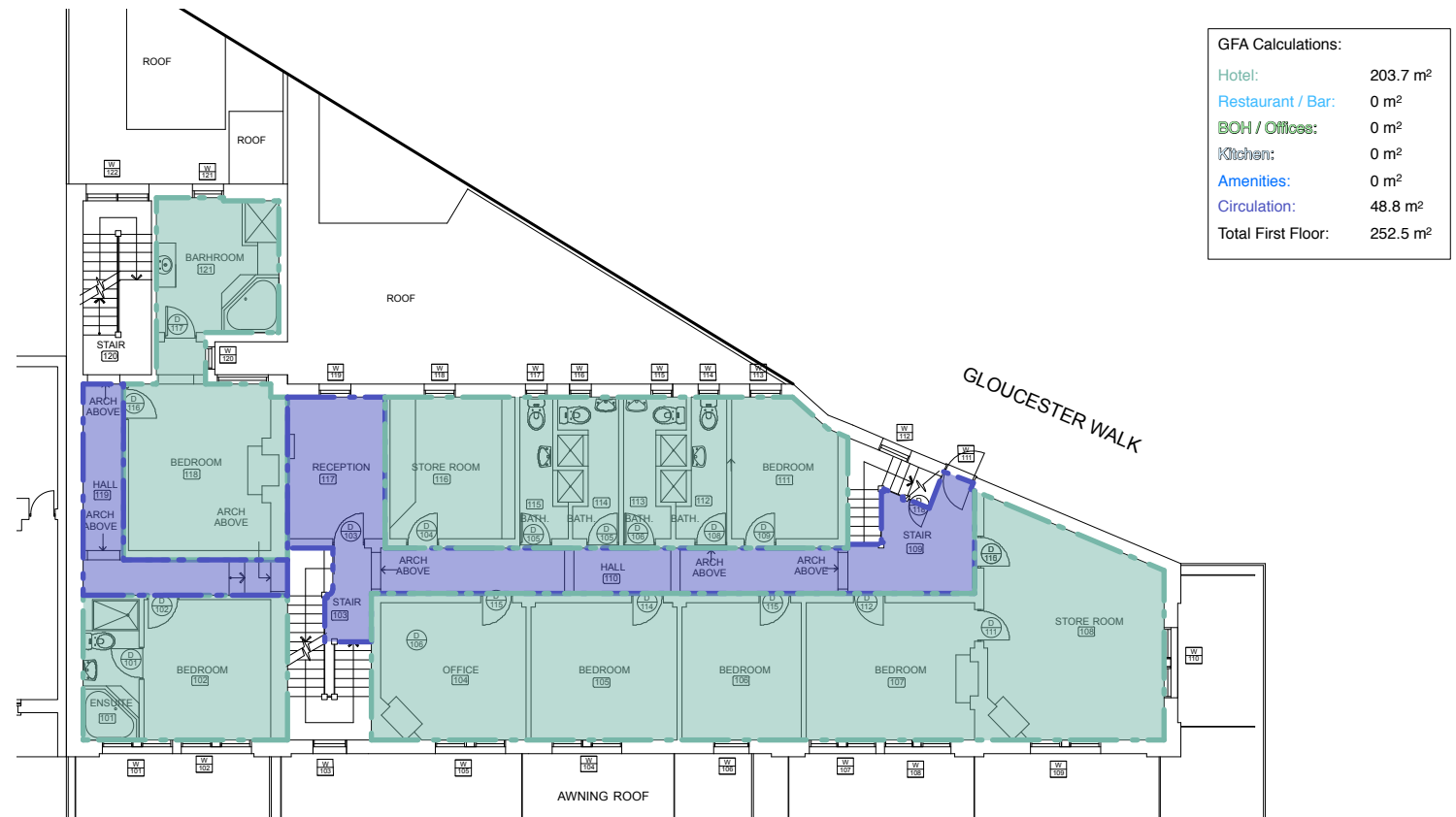


- Legend:
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 - AC duct runs in floor below
 - AC refrigerant pipe runs in ceiling / floor above
 - AC refrigerant pipe runs in floor below
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 - Return Air
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 - Sprinkler line
 - Stormwater pipe and downpipe
 - Electrical services
 - DB Distribution Board
 - MSB Main Switch board
 - MSSB Mech Services Switch board

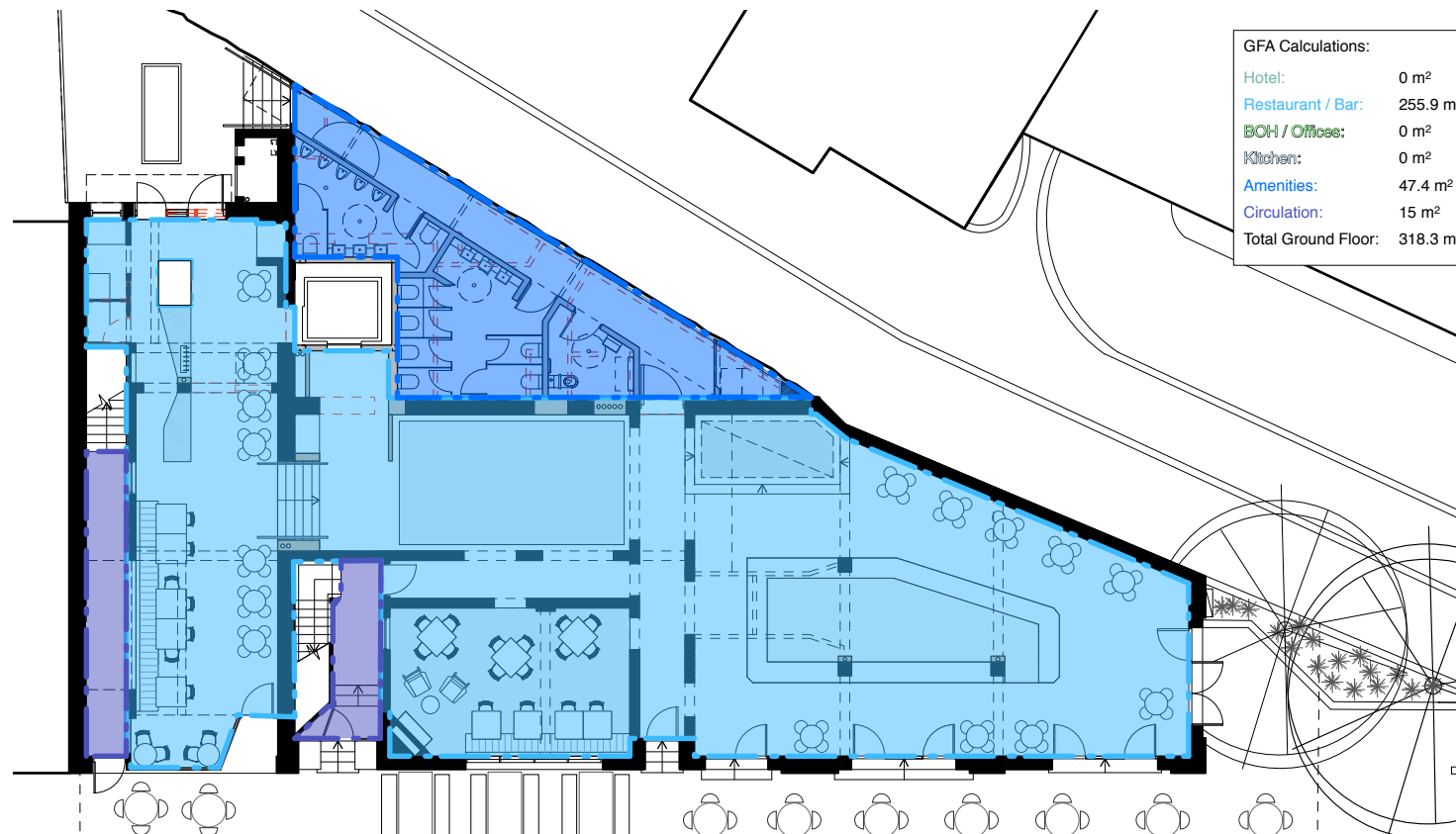
- GENERAL NOTES - SERVICES:
- All new electrical services to be installed in new framed walls or within new or existing floor cavity.
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 - Sprinkler services to be installed within ex. floor cavity above. Sprinkler heads to locally penetrate ex. ceilings as required for compliant coverage.



1 Existing Ground Floor Plan



3 Existing First Floor Plan



2 Proposed Ground Floor Plan



4 Proposed First Floor Plan

Note:
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State Significant Development Application

Issue / Amendments:
- For SSDA

Date:
11.01.19

Legend:

AC	air-conditioning	ms	mild steel
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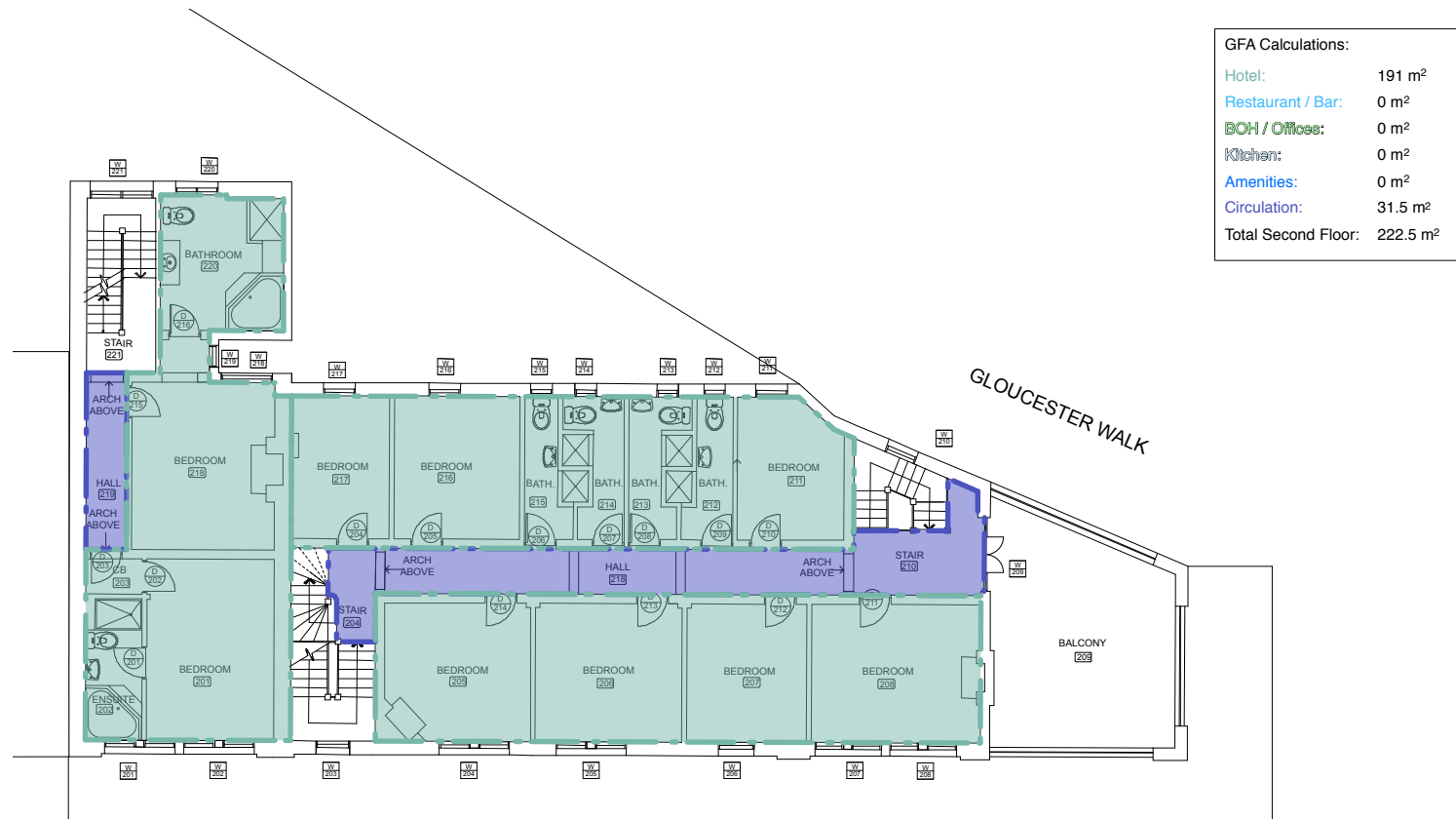
Project
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Project Ref. No.
1505

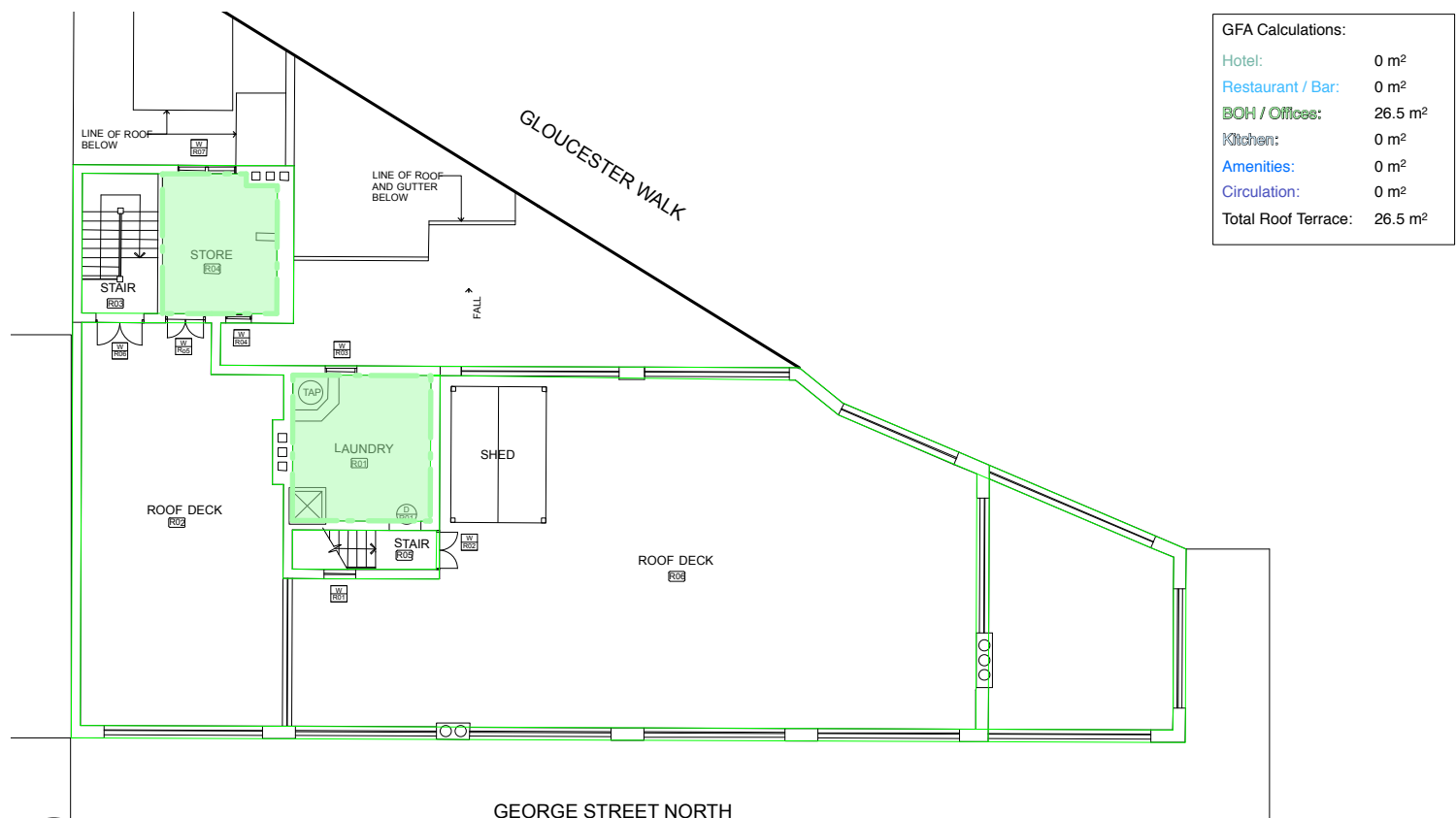
Drawing Title
GFA Plans

Drawing No.
SSDA 601

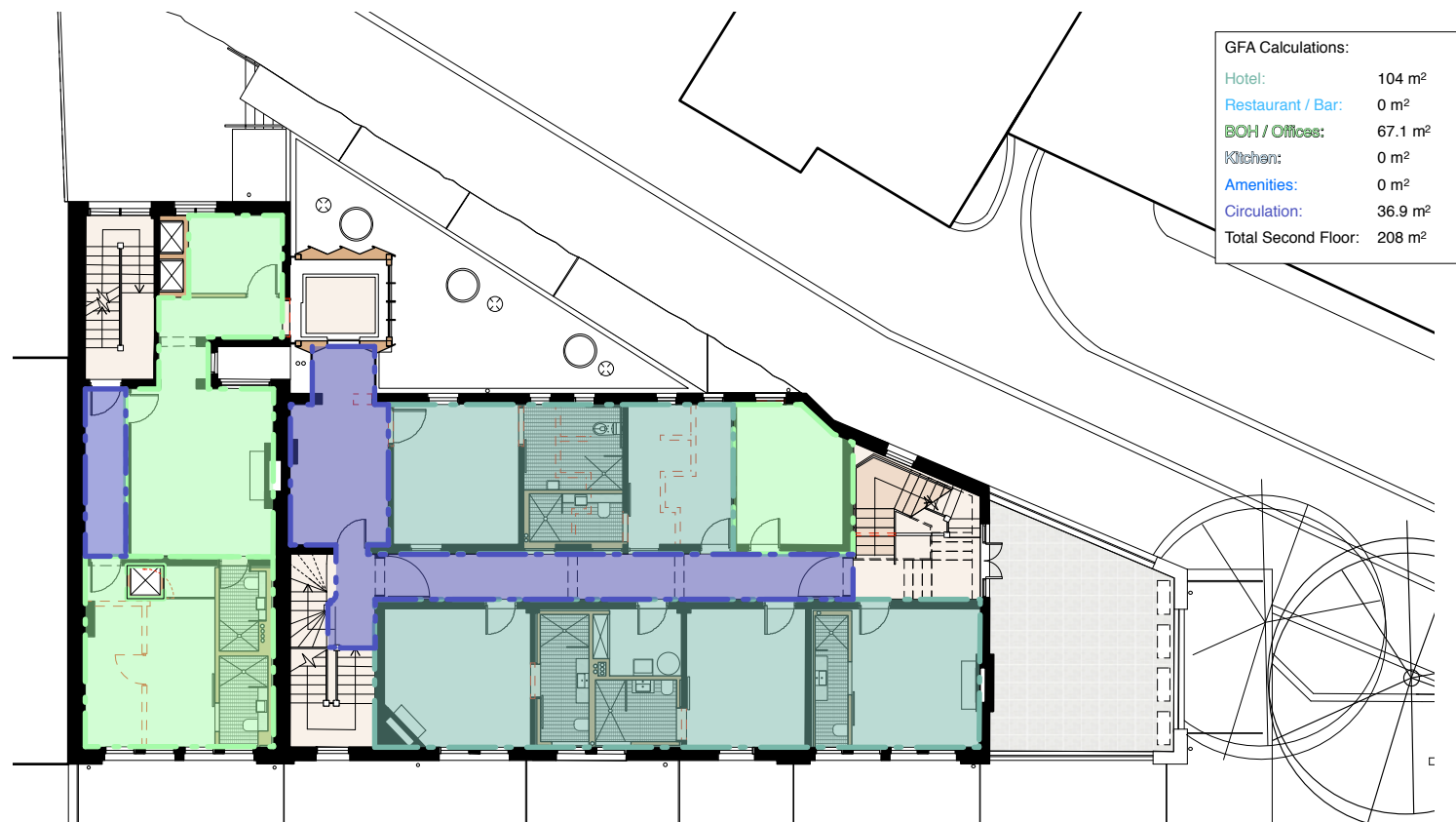
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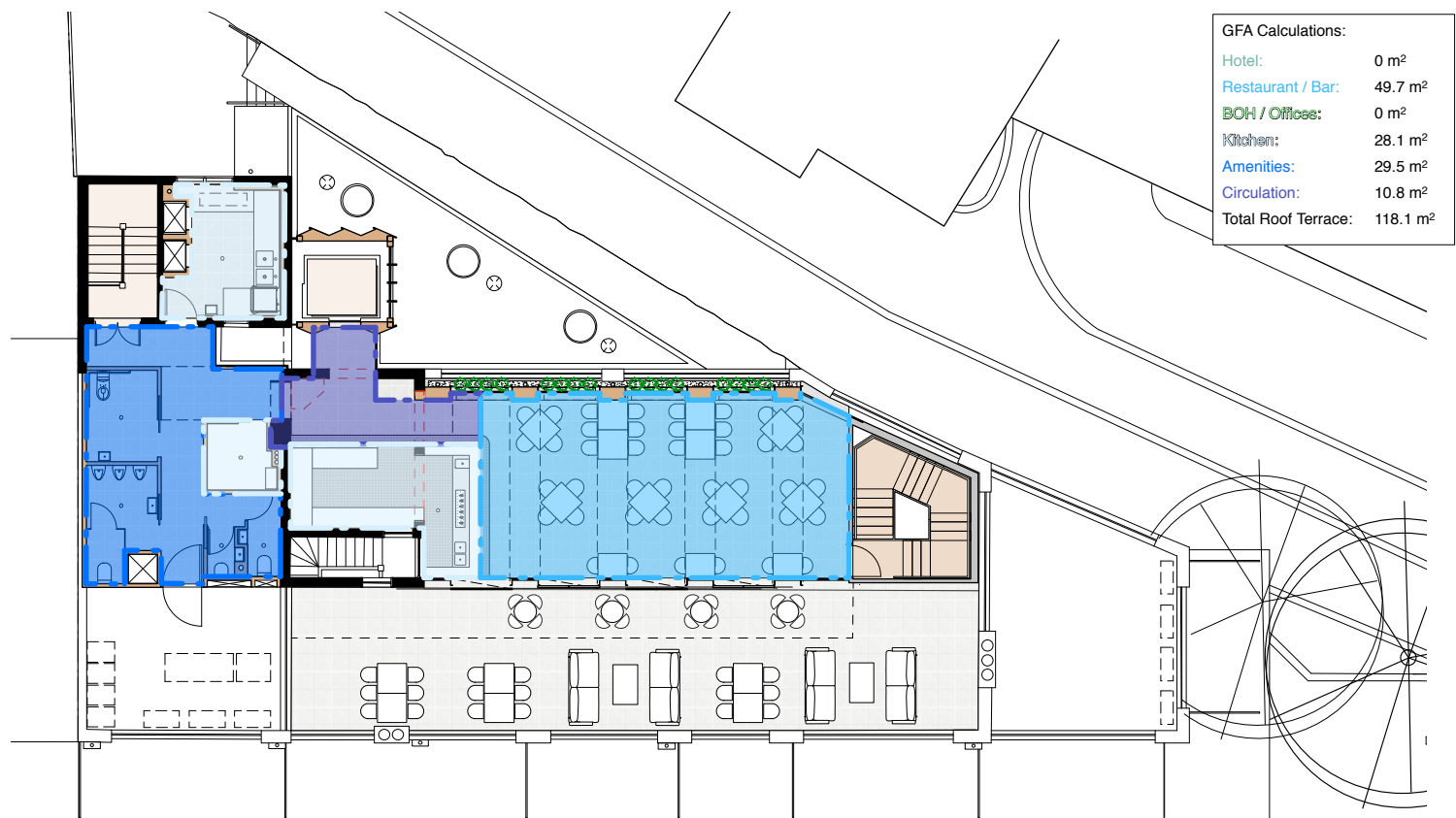
1 Existing Second Floor Plan



3 Existing Roof terrace Plan



2 Proposed Second Floor Plan



4 Proposed Roof terrace Plan