FORT STREET PUBLIC SCHOOL WORKS CONSTRUCTION MANAGEMENT PLAN

Fort Street Public School (FSPS)

REVISION STATUS

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lendlease

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Programme (Option 3a dated 9/3/2020)

1.0 INTRODUCTION

This Construction Management Plan (CMP) has been prepared for the works at the Fort Street Public School (FSPS) project. The project involves the significant redevelopment of the site based on Option 3a Architectural design. This CMP is related to the works to be done under Option 3a and contains Lendlease's overall construction methodology of these works.

The existing assets on the school site generally comprise the following:

- **Fort Street Public School (Building A**, previously referred to as Building E): Classrooms, administration, hall, library and canteen. This has "exceptional heritage" significance. Building is proposed to be refurbished and expanded in the Base Scope.
- **Messengers Cottage (Building C,** referred to as Building MC): School's administration unit. This has "high heritage" significance. Building is proposed to be refurbished in the Base Scope.
- Bureau of Meteorology (Building M, previously referred to as the "MET"): Not currently used. This has "exceptional heritage" significance. Building to be refurbished in the Base Scope.
- **Environmental Education Centre (EEC):** Currently used as teaching spaces. This has little heritage significance. Building to be demolished in the Base Scope.
- **Environmental Education Centre (Building M,** previously referred to as the "MET"): Not currently used. This has "exceptional heritage" significance. Building to be refurbished in the Base Scope.

Base Scope: Major refurbishment of existing buildings, additional new buildings within the existing site parameters for up to 391 students.

The works include demolition, strip out, remediation, foundations, structure, façade, services, fit out for the new and refurbished buildings and public realm upgrades.

The Lendlease construction management processes will provide:

- The works being designed, constructed, commissioned and handed over by a single proven responsible entity; and
- Reduced risk of delivery.

In consultation and collaboration with the Principal retained consultants (noted below) for the best outcome of the project, to ensure all the expectations are met or exceeded.

Discipline	Consultant
Project Manager	Roots Partnership
Cost Manager	MBM
Town Planner	Ethos
Heritage and Archaeology	Curio
PCA	Blackett Maguire Goldsmith

Discipline	Consultant
Educational Planning	New Learning Environments

The following section sets out the methodology for undertaking the construction works.

Lendlease's proactive and collaborative approach is underpinned by the following overriding and non-negotiable objectives:

- Maintain business continuity of the surrounding facilities and properties;
- To deliver a facility for our client and end user on time to the highest safety and quality standards;
- Communicate in a timely and proactive fashion with all relevant stakeholders, including immediate neighbours and the community regarding how we are planning to undertake interface works;
- Present a positive public perception of the project during the construction works;
- Use experienced and competent subcontractors with appropriate resources to deliver their works in the manner we prescribe;
- Hands on control of subcontractors from experienced Lendlease site supervision; and
- Safe and timely delivery of FSPS, from a holistic design and construction approach.

See below the four key outcomes from the Lendlease CMP:

2.0 STAGING AND BUSINESS CONTINUITY

2.1 FORT STREET PUBLIC SCHOOL – MINIMISING DISTURBANCE

2.1.1 Minimising Environment Disturbance

The Lendlease project team understand the challenging nature of the FSPS site and the constraints of managing a major construction works within an active and iconic location while minimising the disturbance to surrounding stakeholders

2.1.2 Works Areas

Prior to the commencement of the works, an A Class Hoarding will be in place. Temporary footpaths and diversions will be established where it is deemed required for public access. Site accommodation will be located within the site boundary to accommodate construction workers and site visitors.

2.1.3 Site Establishment:

- Site accommodation will be located within the site boundary to minimise any impact on FSPS and surrounding stakeholders;
- Workforce access will be via a pedestrian access gate (Gate 1) over the southern foot bridge near the Nation Trust (NSW). A swipe card turnstile will be installed to provide secure and controlled access to the construction site and worker amenities compound.
- Areas to be segregated for crane and waste removal
- Protection of trees with historical significance

The following figures detail the proposed site arrangement for the three key stages of the project.

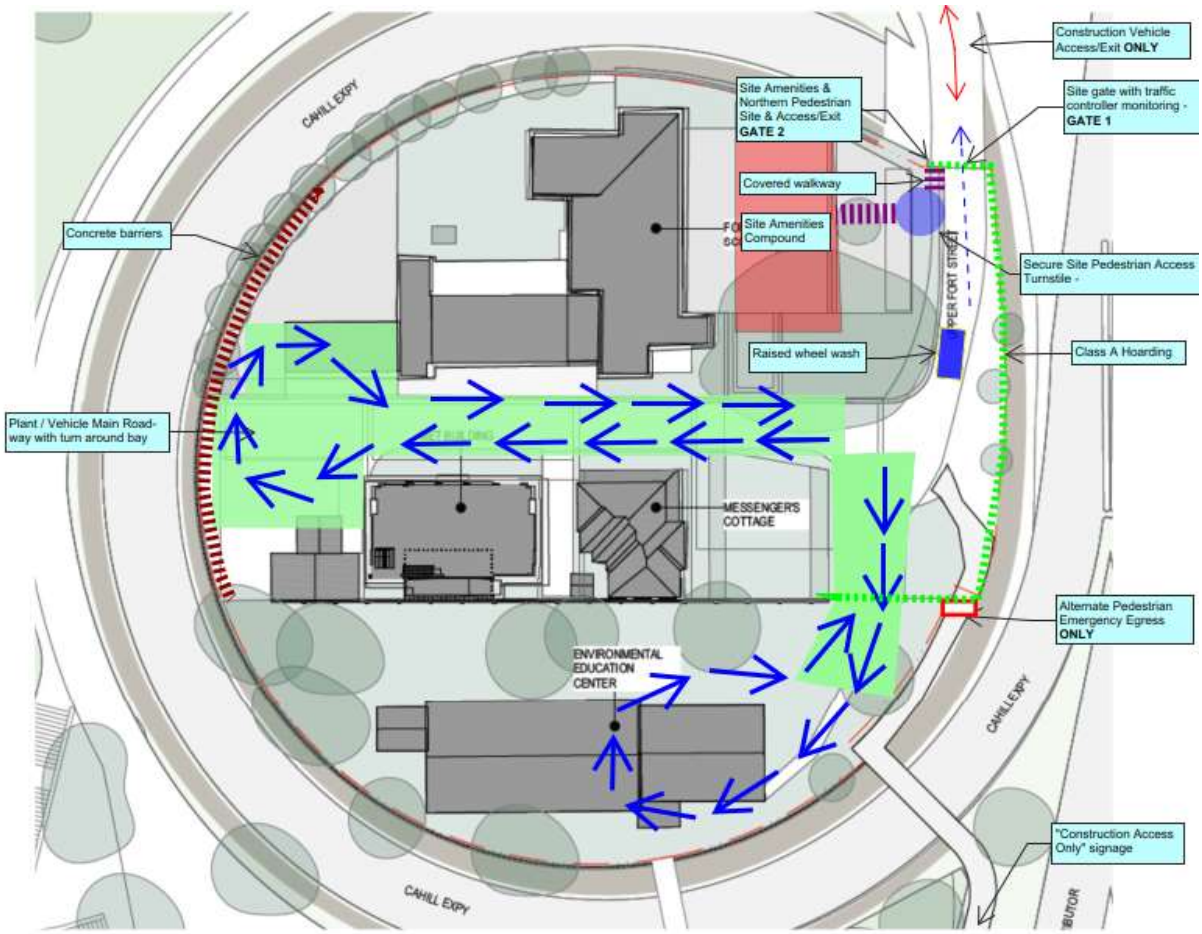


Figure 1.1 Site setup during Demolition

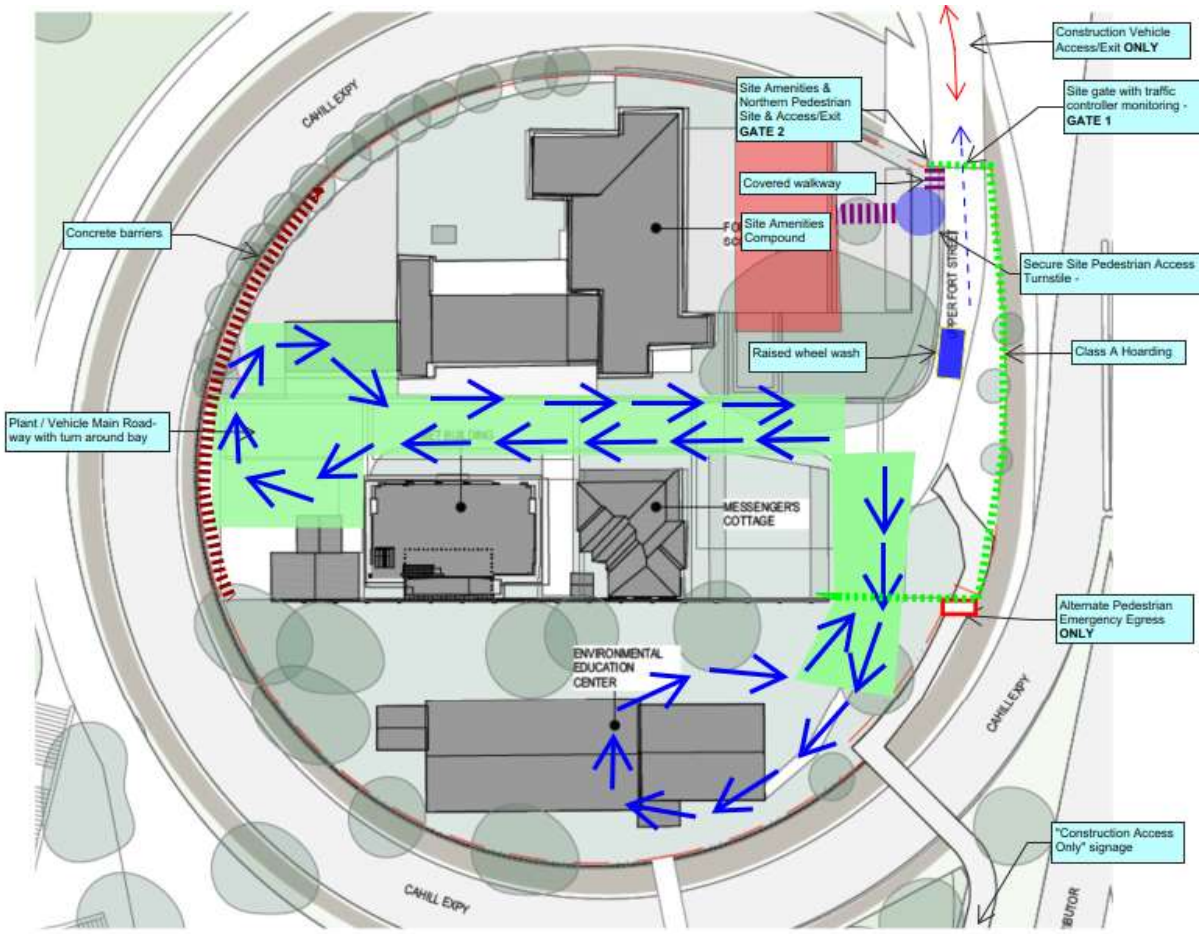


Figure 1.2 Site setup during Excavation Works

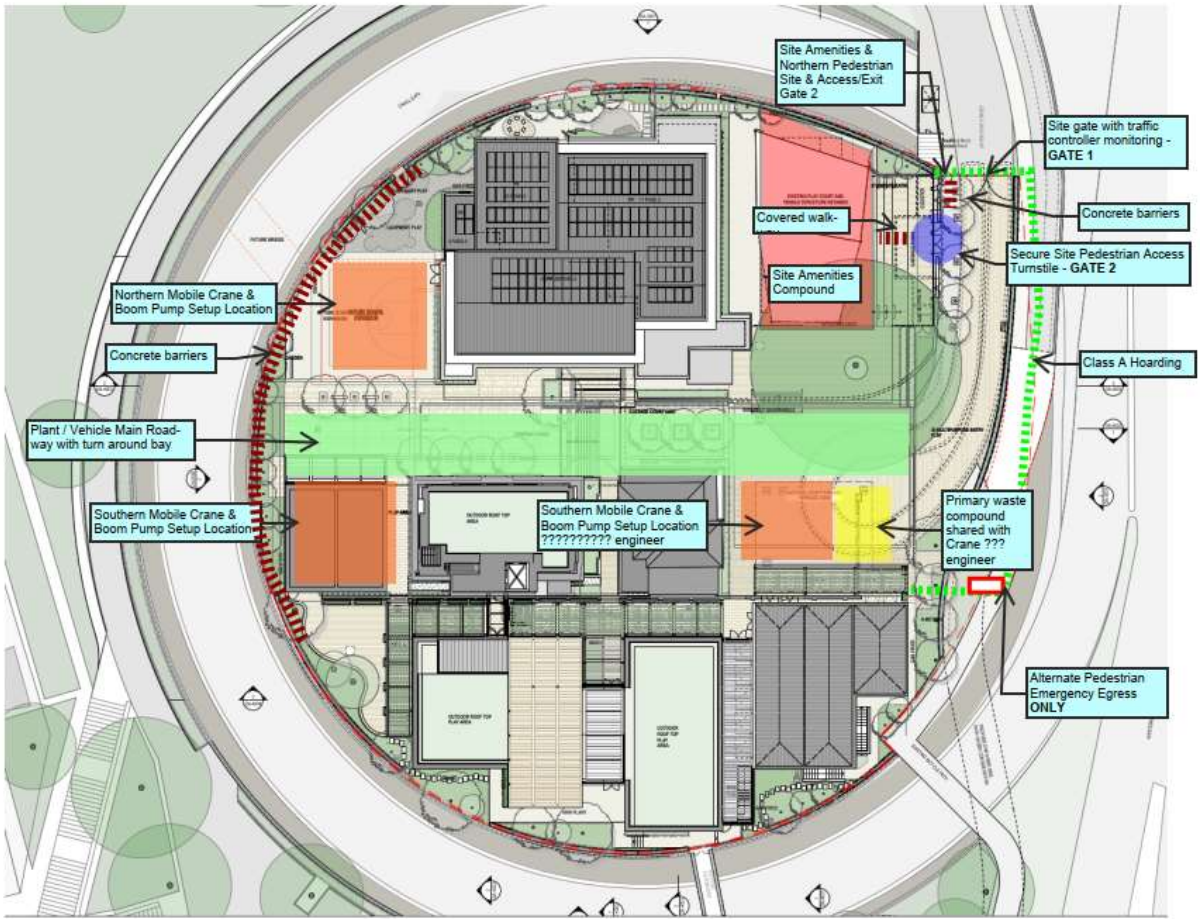


Figure 1.3 Site setup during structure works & façade installation

2.1.4 Construction Interfaces:

The key issues to consider for construction interfaces include the following:

- Strictly controlling where construction will interface with the public;
- Selection of equipment and low impact construction methods to mitigate noise, dust and vibration impacts does not impacts where possible.
- Regular construction risk assessment using the Interface Strategy principles to identify areas of potential interface that may affect business continuity;
- Vehicle, plant & equipment movements managed under the agreed traffic management plan;
- Undertake a holistic integrated system testing and commissioning process;
- Safe hazardous materials removal and protecting and controlling works around heritage elements.
- Authority services works.
- Cycle & pedestrian pathways along with neighbouring property vehicle access.
- Stakeholder notices / updates.

3.0 RISK AND HAZARD MANAGEMENT

3.1 IDENTIFICATION & MANAGEMENT OF KEY PROJECT RISKS

The main building works for FSPS presents a number of challenges that need to be delivered through a planned and structured approach.

The key objective is to cause "zero unplanned disruptions" during delivery of the works.

To achieve this objective Lendlease propose using a risk identification strategy built around the key interface points between the construction site and the surrounding properties. This Interface Strategy will be critical in risk identification and will be used to influence design decisions and dictate construction methodology.

Table 1 provides an assessment of the key interface risks and mitigations associated with the FSPS Construction works.

Table 1: Risk Assessment

Risk, Major Issues and Interface Type	Details	Mitigation
Works within public areas - Alterations to site compound fencing	Perimeter hoardings to be adjusted for site entry, gates alterations adjacent to public areas	Utilise spotters and traffic control as required to ensure adequate separate and exclusion zones Use temporary physical barriers to provide exclusion zones where established pedestrian and vehicle routes are changing
Ensure immediate residents and businesses are well supported through appropriate management and notification of construction activities	Understand the implications of construction staging on the surrounding stakeholders and the potential impacts.	Construction staging to be undertaken in consultation with SINSW and key stakeholders to ensure there is a full understanding and acceptance of the proposals: timing/duration, construction impacts, power tools, noise, temporary partitions and access routes etc. All workers will be made aware of their responsibilities towards understanding what constitutes disruptive works and to understand the time frames associated with preparing to carry out any such works.
Construction Workers access and egress affecting daily the local road, cyclists and pedestrian network.	Construction works are to cause the least amount of disruption/inconvenience possible for road users, cyclists and pedestrians.	Access to and from site will be defined and out of bounds areas clarified for workers. The induction will focus on the amenities planned for within the construction site boundary which include identifying lunch facilities close to site. Tracking vehicle movement through onsite communication to coordinate vehicular access to site
Disruption of the existing pedestrian and vehicle access	Entry/exit to site will be manned and managed by Traffic controllers to mitigate disruption to pedestrian and vehicle access. Traffic Management plan to be implemented	The project works will be programmed with a full temporary traffic management system to be established and coordinated with the FSPS stakeholders prior to the commencement of construction. Traffic flow will be assisted. Prepare and agree a detailed traffic management plan that will be implemented on the project.

Risk, Major Issues and Interface Type	Details	Mitigation
Vehicle parking	The commencement of the construction works for the early and main works contracts will see an influx of subcontractor workforce to the area.	Subcontracts will include the parking restrictions associated with working on the project, clearly noting the requirement for no parking on the site and the use of public transport. The site induction will actively encourage the construction workers to use public transport to commute to and from the site. The surrounding areas are very restricted with respect to parking and other construction work in the surrounding area. There are limited options for offsite parking in the area. It is expected that public transport will be utilised as it will be the easier option.
Disruption to nearby residential and business properties	Minimizing loss of amenity for nearby residential and business properties during construction.	Noise, dust and vibration monitoring, proactive notification of disruptive works, and selection of low impact equipment where possible for maintenance of public safety.
Environmental Conditions	The site area will require careful management of site run-off.	Erosion and Sediment Control Plan and other site management measures to be developed during the detailed design period.
Preserving Heritage items	Existing buildings, walls and artifacts	Follow documented processes to protect heritage elements and report on unexpected finds
Continued compliance of existing fire zones	Fire zones and egress paths are to be maintained.	Maintain all required egress paths in coordination with the authorities. Undertake works in consultation with the Fire Engineer, Principal Certifying Authority and SINSW.
Unauthorized access to the Construction Site	Prevent unauthorized public access to site	A solid "A" class hoarding wall to be maintained.
Unauthorised access to crane	Prevent unauthorized public access to site and crane area	A solid "A" class hoarding wall to be maintained to site access points. The use of mobile and fixed cranes are still under assessment to determine which suit site conditions best whichever vertical lifting solution is preferred will have appropriate exclusion zone/unauthorized access controls in place.
Local Area Events	Impact of local events on road closures that are setup during site working hours	Stakeholder engagement and notification processes

A detailed risk analysis and refinement of the associated mitigation strategies will be further progressed during the detailed design phase.

3.2 MANAGING RISKS WITHIN AN NON-OPERATIONAL SCHOOL ENVIRONMENT

Lendlease is aware that the existing FSPS functions will be moved off site to an existing temporary "pop-up" school proposed in Wentworth Park, Glebe (or similar alternative) so the FSPS site can become a non-operational construction zone for the full duration of the works.

During the development of the Main Works Offer, Lendlease will allow for the relocation of the existing school furnishing (excluding play equipment) to the temporary "pop-up school". This will include all planning/ programming, removalists/ logistics, communications (both electronic and printed), temporary services and

signage, building and operational commissioning (for both the temporary site and new/ completed FSPS site).

During the detailed design stage Lendlease will work in a collaborative manner with SINSW to develop our stakeholder communication structure and to address all stakeholder requirements and concerns.

Through this open partnership collaboration process, we will develop solutions that have stakeholder buy-in and document an agreed plan to manage construction delivery through to the completion of the works.

The activities below have the potential to significantly impact on the surrounding stakeholders if not managed effectively and communicated proactively:

- Access and traffic management;
- Planning and management of any major shutdowns;
- Minimising and controlling disruptions;
- Protection of existing FSPS assets;
- Emergency after-hours call-out;
- Hazardous material identification and removal;
- Items of Heritage significance
- Items of Archaeological significance
- Noise, dust and vibration control; and
- Out of hours work.

Lendlease will prepare the following Management Plans to develop clear and concise communication channels for each area of interface works:

- Stakeholder Management Plan;
- Risk Management Plan;
- Disruptive Works Notification Procedure; and
- Environmental, Health and Safety (EH&S) Management Plan.

Our integrated EH&S Management Plan will identify all EH&S risks associated with stakeholders including and not limited to members of the public and workers on site. The sub-plans below will be developed with the collaboration of the relevant stakeholders during the pre-construction phase:

- Traffic and Pedestrian Management Plan;
- Noise and Vibration Management Plan;
- Dust Management Plan;
- Stormwater Management Plan;
- Waste Management Plan;
- Incident Management Plan;
- Emergency Response Plan;
- Hazardous Materials Management Plan; and
- Workplace Relations Management Plan.

3.3 KEY FSPS CONSTRUCTION INTERFACE OVERVIEW

Lendlease will include in their management plans the following key construction interface elements:

- Surrounding area skyline impacts
- Protection of existing heritage assets
- Protection of existing (retained) trees along construction accessways
- Protection screening for vehicle movement in close proximity to the Cahill Expressway
- Diversion of existing pedestrian and cyclist accessways
- Sediment and stormwater run-off controls

3.4 HAZARDOUS MATERIAL

Already developed reports identify hazardous materials as being present on site, recommendations are to be followed and control focused methodologies developed prior to the works commencing.

Preliminary Geotechnical reports do indicate the presence of contaminated soil. Soil testing will be undertaken preferably during an early works process or at the very latest upon site establishment, which will further inform the site material conditions including any potential contamination.

When managing hazardous materials and unexpected finds, an unexpected finds policy will be in place.

A licenced subcontractor will be engaged to manage the hazardous material on site. Any materials taken off site will be taken to a licenced facility and a record of quantities records.

3.5 ARCHAEOLOLGY MATERIAL

The heritage reports identify the site has archaeology material present and the unexpected finds protocol together with clear identification and protection of visible items will be put in place to ensure site works meet the requirements and minimise disturbance.

During the excavation works a complete assessment of the excavation area will be undertaken with the Heritage Consultant to ensure an agreed methodology of construction is developed and then implemented on site.

Foundation works near the heritage wall and footings will be either undertaken by hand or by small plant to ensure that there is no impact to the wall or footings.

4.0 DESIGN FINALISATION & SUBCONTRACTOR ENGAGEMENT

4.1 SUBCONTRACTOR PROCUREMENT & ENGAGEMENT

The technical complexity, construction challenges and quality requirements of the FSPS project dictate that the selection of the appropriate subcontractors will be critical in meeting the demands of the project. Lendlease will ensure that there is a flexibility and redundancy in the supply chain procurement in the way in which the work activity packages are established from an overarching scope of works and risk management perspective.

4.1.1 Subcontractor Inductions and Pre-Commencement Meetings

Throughout the Detailed Design and construction documentation stages Lendlease will hold multiple meetings and briefings with the supply chain for both consultants and subcontractors. This will aid in the selection of the most appropriate preferred tenderers to carry out the works. The nature of the meetings is to ensure that each contractor understands the environment in which the construction works will be carried out and the responsibilities that comes with undertaking such works.

Following award, we will carry out formal pre-commencement meetings prior to executing subcontracts. These meetings will finalise discussions on:

- Working adjacent to residential and business properties;
- Delivery certainty;
- Subcontractor executive required involvement;
- Site access and delivery requirements;
- Trade specific interface and coordination issues from day one; and
- Worker transport, site access and induction detail.
- Permit and approvals
- Consultant witness & hold points

4.2 INDUCTIONS

The Lendlease induction will be specifically tailored to inform workers of their obligations prior to commencing any works on site. The content of the induction will be reviewed with the Client's project team to ensure the strategies imposed by Lendlease are aligned with the requirements of SINSW.

The project induction will train new workers on project specific safety and emergency procedures; however, the key focus will include interface controls, including:

- Working hours
- Traffic Management
- Construction methodology
- Key site risks and procedures
- Access: We will provide clarity regarding no access into site areas. There will be clear 'no-go' zones identified including the travel path;
- Disruptive Works Procedure: All workers will be made aware of their responsibilities towards understanding what constitutes disruptive works and understand the timeframes associated with preparing to carry out any such works; and

We will also focus on the unique requirements of each stakeholder within the site to ensure that the information in the induction is up to date and relevant to the specific work areas on site. An example of the specific requirements and locations are:

- Working Adjacent to Local Residential and Business Properties: All workers will be made aware of the need to ensure positive contractor behaviour at the approach and on site, including minimising disruptions to local parking and access.

4.3 APPROVALS AND DESIGN CHANGES

All works will be undertaken in accordance with the approved for construction (AFC) drawings.

A Design Change Register will also accompany Contractor Documentation submissions to the client during the delivery phase. These are envisaged to occur in monthly intervals or as required.

Any changes that constitute a deviation must go through an approval process. Where required, proposed changes will be submitted prior to implementation and will identify the following:

- The item;
- Area/location;
- Reference of all documents affected by the change;
- The nature of the change;
- The reason for the change (which includes pre-obtained approval by Lendlease and the Principal for all items affecting the project Brief); and
- The implications, which are to be assessed as a minimum for impact on:
    1. Site health and safety management
    2. Cost and construction time
    3. Durability, functionality, aesthetics, maintenance
    4. Impact on other elements of the works.

Lendlease will add to the register any details of when proposals/implemented changes have been submitted, when a response has been received and status of design documentation updates and or other implications.

5.0 PROCUREMENT

5.1.1 Key Construction Phase Deliverables

The following table provides a list of proposed core deliverables that can be expected at the completion of this phase.

Deliverable	Description
As-built Documentation	Consultant reviewed and approved Final As-built document
Operational & Maintenance Manuals	Completed set of manuals for all plant and materials.
Testing	Completed Systems Integration Test documents for applicable equipment items
Completion Certifications	Certificates from consultants, contractors and certifying authorities
Training Manuals	Training Manuals to accompany the training presentation for applicable equipment items
End User Training	Detailed walkthrough of newly installed building elements to ensure operation and maintenance requirements are understood

5.1.2 Project Management Activities

Planning, Monitoring and Controlling

During the Construction Phase for the SSDA works, management control and reporting measures will be documented to describe the tools and processes that will be used to monitor the project.

The following key reports and controls will be applied to this project:

Program Control

The following are minimum requirements for inclusion within the Construction Program developed throughout the Construction phase:

- A program that has an accurate Critical Path;
- Regular reporting against the program;
- Program float is regularly analysed and reported on;
- Program is resource levelled; and
- Change control applied on the program, based on agreed tolerances.

The program will provide sufficient task level detail for each phase and package and will track key milestone items and dates. The program will be reported against as part of the standard reporting process.

Regular reviews will be undertaken as the project evolves with re-scheduling and re-sequencing of tasks as required. This will be a working document and will incorporate regular reviews with key subcontractors to

ensure the appropriate level of resources is available to meet the project dates. This is particularly pertinent to the commissioning and testing phases.

The program will accommodate slippage and contingency of the forecast dates and key dependencies will be identified that will form the critical path. These items will be actively tracked and managed through the risk and issue process.

6.0 OPERATIONS AND SITE MANAGEMENT

6.1 OVERVIEW

The FSPS project will require precise site establishment, staging and operation, to ensure both safety, appropriate security, interface management and productivity are achieved. Lendlease's nominated delivery team has developed this detailed preliminary plan, which is integral to program and construction methodology.

Close attention to detail and the quality of the finished product are paramount, particularly on this complex project. Lendlease believes this focus on quality must be promoted and fostered amongst the workforce on the project. This begins an efficient site establishment strategy, and clean amenities which will set the standard for a high-quality outcome.

The planning and methodology assessment for the project has identified a number of key stages in the general configuration of the site during construction. This section provides an overview of the overall approach adopted with detailed description of these stages provided below.

6.2 DILAPIDATION SURVEYS AND MONITORING

Prior to commencing works Lendlease will complete an extensive dilapidation survey of existing infrastructure that may be impacted by the works, including roads, footpaths, and external areas of existing buildings located adjacent to the construction site. The resulting report will be provided as a pre-commencement record of the existing built works adjacent to the construction areas.

Considering the above the following will be carried out:

- Construction management sub-plans to address existing site conditions, heritage elements, acoustic levels, vibration and conditioning.
- This detailed advice and practical methodologies will be detailed in the form of a Construction Noise and Vibration Management Plan (CNVMP) in order to manage the potential noise and vibration issues with the adjacent sensitive receivers. Lendlease has extensive experience in managing these issues on similar sensitive projects and will look to implement the lessons learnt onto this project.
- Adopt and modify the protection strategy for any heritage or significant buildings located on and adjacent to the site as required
- If required any vibration monitoring to ensure the nominated accepted level stipulated by the SSDA is not breached.

6.3 SITE ESTABLISHMENT

Figure 2 provides the proposed site establishment arrangements for the main structure works, the key items to note on the plan are the inclusion of a Class A Hoarding at the main entry to the construction site with pedestrian and site amenities located directly at the entry to site for ease of access.

Owing to the tight nature of the site there is little room for materials lay down and vehicle pick up/drop off as such there will need to be a detailed focus on deliveries scheduling and cleanliness of material storage onsite.

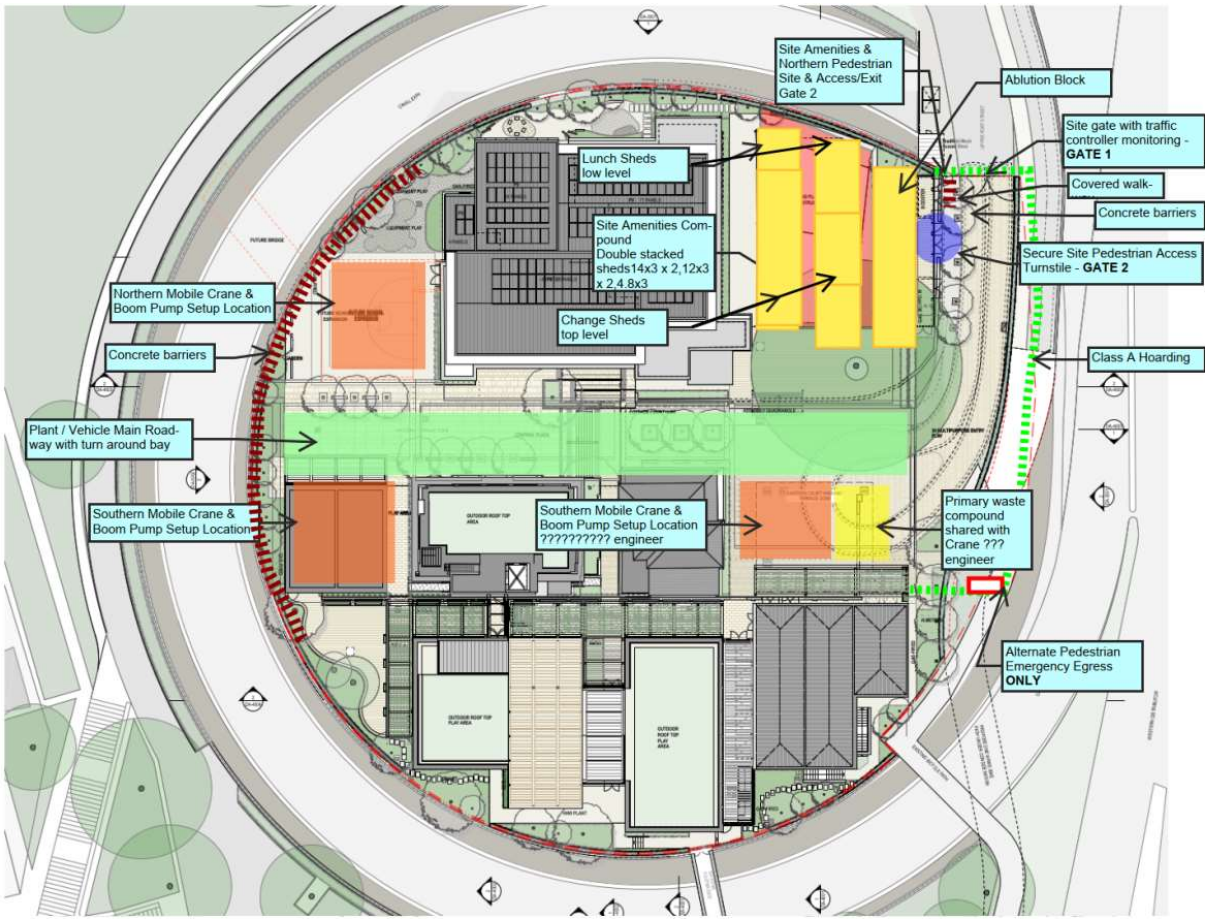


Figure 2 Site Establishment

Hours of Work

The FSPS working hours will be in line with the planning authority approval.

Monday to Friday: 7 am - 5pm (TBC)

Saturday: 7 am – 5 pm (TBC)

Sunday: No work

Out of hours: In accordance with SSDA conditions

In addition to regular working hours, there will be occasional short periods when out of hours works are required for example special deliveries, hoarding removal at project completion and services cutovers. The required Cahill Expressway shut down is foreseen as an after-hours activity and will be conducted in line with the authority approval.

Lendlease will agree the process with SINSW, Transport for New South Wales (TfNSW), Transport Management Centre (TMC), Roads and Maritime Services (RMS) and The City of Sydney Council to address the approvals and additional measures required prior to scheduling any out of hour's works. The nature of these works may include dismantle of hoardings, works to footpaths, services connections, vent shaft works and other works that interface with the surrounding facilities.

6.3.1 Proposed Site Plan and Site Establishment

During the course of the FSPS works, see Figure 2 Site establishment.

This plan highlights the location of the site accommodation, project office, and demonstrates how the site will be accessed by delivery drivers and couriers on a day by day.

6.3.2 Site Access Points, Construction Traffic & Deliveries

One of the keys to the successful delivery of the FSPS will be the flow of materials and equipment into and out of the construction site. Planning considers the following:

- The maintenance of pedestrian and traffic flows to the surrounding facilities;
- The unimpeded continued use of existing vehicular and pedestrian within the surrounding area

To achieve this, a Construction Traffic and Pedestrian Management Plan will be developed giving specific focus to:

- Pedestrian access and paths of travel: Throughout all activities, compliant pedestrian access will be maintained through constructing a temporary walkway and road crossings installed while works are being undertaken,
- Temporary construction road crossing: Throughout all activities of demolition and construction, a temporary crossing will be constructed.
- Construction Vehicles: Mitigating impact to the surrounding roads will be considered along with a detailed analysis of delivery frequency in conjunction with the programme and access routes to the site from the various approaches.
- Lendlease will use radio and phone communication to accurately manage vehicle movements on site, inclusive of live monitoring when arriving to and from site.
- Lendlease will consult with all suppliers to ensure the correct size and weight vehicles are allocated to the project and are cognisant of carriage weight limits.
- All swept paths will be regularly undertaken as per Traffic Management plan and identified in Figure 3 below;

Figure 3 Swept path Analysis

6.3.3 Construction Traffic

The anticipated number of truck movements required during the construction works will likely be in the order of 25 – 50 vehicles per day. During peak phases of the construction programme it is expected that the works will generate up to 50 vehicles per day.

An analysis of the truck movements per construction phase is presented in **Table 2** below:

Activity	2021				2022				2023
	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1
Site establishment	15								
Demolition	30								
Excavation/ Footings		30							
Structure			30	30					
Facade					20				
Services/ Finishes					30	30	30		
External works						20	20	20	20
Commissioning									10
Total	**45**	**30**	**30**	**30**	**50**	**50**	**50**	**20**	**30**

Table 2: Predicted Truck Movements Per Construction Phase

The possible truck approach and departure routes are shown in **Figures 3A and 3B**. These will be focused on the western side of the Sydney CBD utilising Sussex Street and Kent Street. Further development of suitable routes will occur in consultation with the Sydney Coordination Office as the project planning develops.

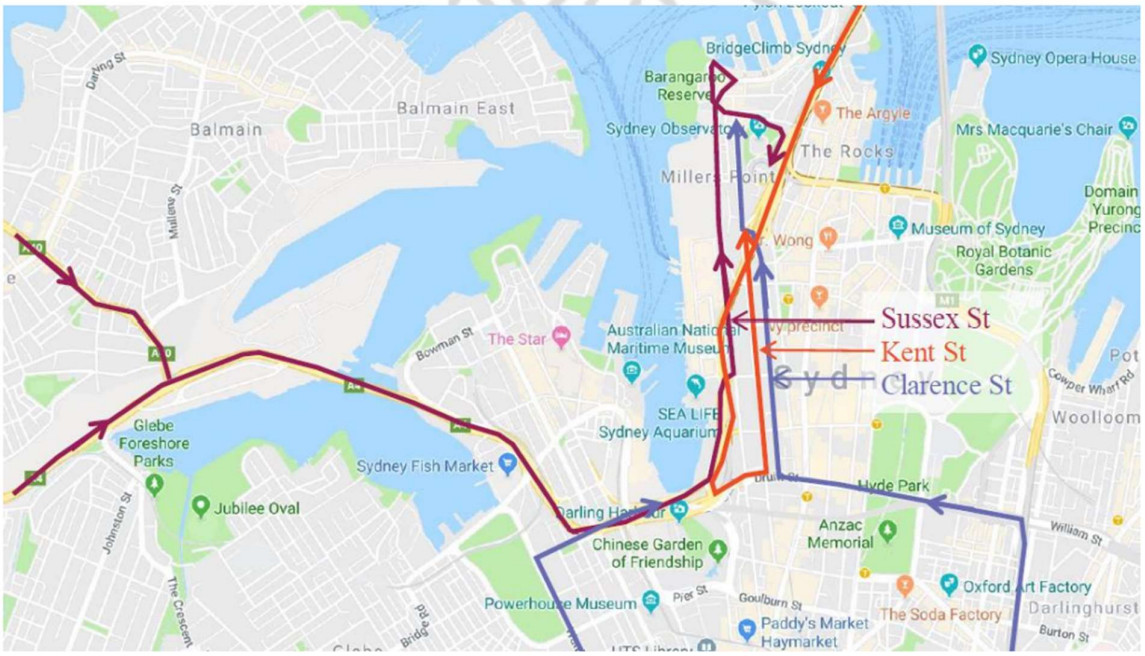


Figure 3A: Truck Arrival Routes

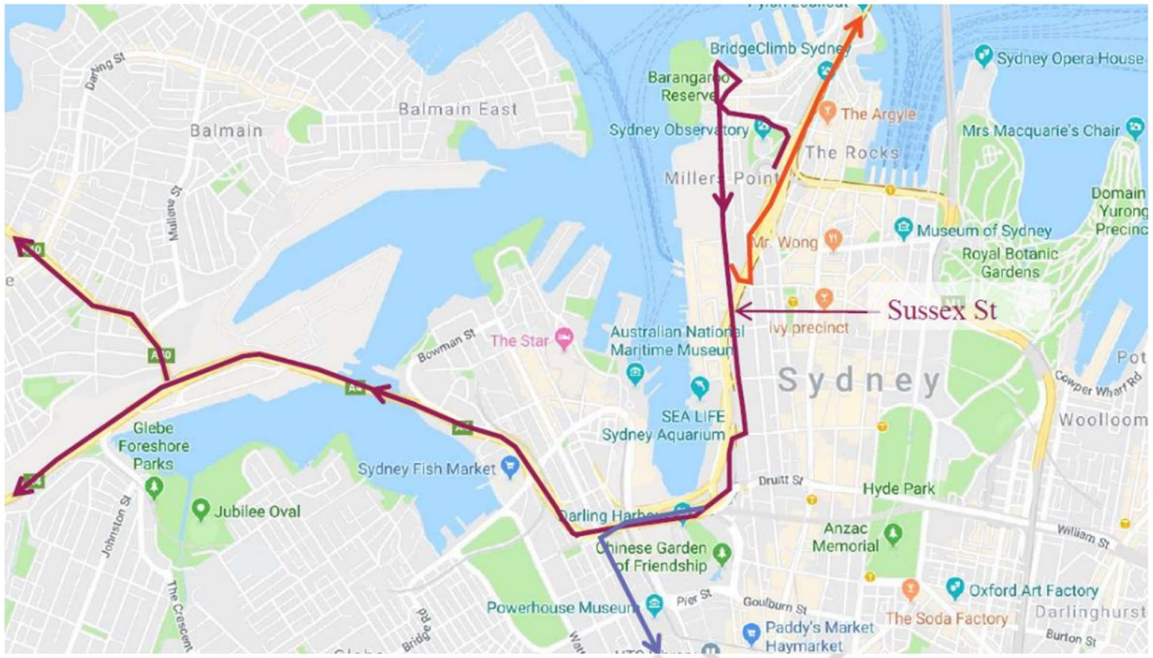


Figure 3B: Truck Departure Routes

6.3.4 Concurrent Construction Impacts with SHB Cycleway

The construction of the Sydney Harbour Bridge (SHB) cycleway is likely to occur after the commencement of works at FSPS, however it is possible that they could occur concurrently. If concurrent construction eventuates the continued diversion of the SHB cycleway is paramount.

The existing cyclist provision from Kent Street cycleway to Sydney Harbour Bridge cycleway would be closed during the construction works for the new cycleway. A cycle detour was proposed in the Environmental Impact Statement for the cycleway, on a route around the site via the temporary ramp on the Sydney Harbour Bridge stairs and would continue onto Watson Road, Argyle Street and Kent Street, connecting to the Kent Street cycleway. The detour would be a shared cyclists and vehicles pathway.

Initial review of the routes has been undertaken and discussed with City of Sydney bicycle and traffic representatives, Bicycle NSW and Roads and Maritime Services. More planning will be required to consider this alternative route which would benefit both projects. **Figure 3C** shows the potential cycleway diversion route and facility types. Lendlease will liaise with the authorities to obtain the most up to date information available on the SHB cycleway diversion works.

Figure 3C: Existing Bicycle Facilities in the Precinct

6.3.5 Site Security and Gates

The site perimeter will be secure at all times with no unauthorised access permitted. As detailed above the perimeter of the site will be secure with full height plywood A Class hoardings. The intention of the hoarding around the full perimeter of the site is to ensure all materials are encapsulated on site and minimise the risk of any objects falling onto vehicles on the Cahill Expressway.

The hoarding will also protect the existing heritage fencing from any damage.

The site will also establish jersey kerbs as noted on the site establishment, this will provide additional barriers to the existing perimeter fence where high construction traffic is expected.

Construction worker access to the site will be strictly controlled through our secured gate system. Individuals will require a personalised identity card to gain access to site.

6.3.6 Site Compound & Amenities

Accommodation and amenities for the construction workforce will be provided in demountable site sheds. These site sheds will be erected, relocated and disestablished throughout the redevelopment to cater for fluctuating workforce demand and moving work areas.

Site accommodation locations identified as follows and in accordance with Figure 2.

- Site Establishment - All site accommodation will be joined by covered walkways to ensure the workforce and office staff can move around the area and stay dry from any inclement weather.

6.3.7 Pedestrian Access and Circulation Routes

Lendlease see the delineation of pedestrian and cycle pathways with construction traffic as a key project risk and the strategic and safe planning of diversion routes are key in the safety of the local community and construction workers whilst being equally important to minimise disruption to the local community.

In alignment with the ARUP preliminary traffic management plans, dated 19 December 2019, see below the Main Works Pedestrian and Vehicular Circulation Routes (Figure 4), showing the proposed rediverted pedestrian, cyclists and vehicular circulation routes to be in place during all the construction works.

Lendlease note that all boundaries to site will be inaccessible to pedestrians and a local diversion will always be in place to ensure their safety and welfare.

A review of the site confirms that this will ensure minimal to no interaction of the pedestrian/cyclists with construction traffic. The current costs allow for this to be implemented, that is to close the current pedestrian/cyclists route, however, local authorities and the community has yet to be consultant to confirm agreement.

Figure 4 Construction works and Pedestrian interfaces

6.3.8 Worker Transportation and Parking

First and foremost, Lendlease would encourage workers that are coming to site would be to use public transport to reduce the number of light vehicles on the road and to ease congestion around the FSPS site.

With the site in close proximity to Wynyard Station, there are a number of trains, ferry and bus lines services which operate and allow access to public transport in close proximity to and from the site.

Key Considerations for Traffic and Material Movements

- City and South East Light Rail Project (CSELR) – light rail has recently been completed. CSELR will impact vehicular access to site along George Street
- South Barangaroo Developments
- Central Barangaroo Developments
- Central Barangaroo Metro Development;
- Barangaroo Reserve Events
- Sydney Observatory Events
- Millers Point residential community.

6.3.9 Construction Worker Support

Lendlease see that the health and wellbeing of our construction workers is paramount and provide our construction workforce on site with a more comfortable environment and support healthier minds in the workplace. Initiatives Lendlease provide onsite include:

- Quit smoking support;
- Drug & Alcohol support;
- Bupa Healthy Options;
- Healthy living courses; and
- Mates in Construction (MIC) - mental health support.

6.3.10 Site Evacuation / Major Incidence Response / Emergency Procedures

Lendlease will implement the Emergency Evacuation Plan and Crisis Management Plan to deal with any major incident or emergency

6.3.11 Waste Management

Rubbish bins will be provided to all work areas and will be regularly removed to the central skip bin location by the subcontractors for collection and transport from site to the waste recycle facility.

Bins will be moved via personnel and forklift.

Waste will be separated at the approved waste management centre. Auditable records will be kept of quantities of all materials both recycled and disposed landfill. Records will be monitored to ensure Lendlease internal recycling targets are achieved or exceeded. This information will be collected and reported in compliance with our Environmental Management Plan and its Waste Management and Recycling Sub-Plan over the duration of the project.

To ensure the FSPS project meets its sustainability targets, waste management reports will show monthly and cumulative performance.

6.3.12 Materials Handling

A preliminary cranage analysis has been undertaken. The analysis preferences the use of mobile cranes to undertake the works as more efficient against fixed tower cranes.

Through this exercise the following selection criteria were applied to all crane positions:

- Coverage for the site;
- Ability to service plantroom areas;
- Capacity for heaviest lifts;
- Minimal disruption to site roads and traffic flow;
- Minimal disruption to internal fit out;
- Ability to service all stages of project from chosen location;
- Access to erect and dismantle of cranes.

The indicative proposed locations for cranes and concrete pumps are nominated in the figure below (**Preliminary Crane Analysis**). The programme confirms that a maximum of two (2) crane establishments will be required at any one time to manage both the north side and the south side of the site.

Materials handling and storage: A significant amount of space is required to sort the material to ensure the construction sequencing is smooth and efficient. The site will utilise a forklift or telehandler to assist with material unloading, general materials handling, bin movements and general planned material movements within the identified zones.

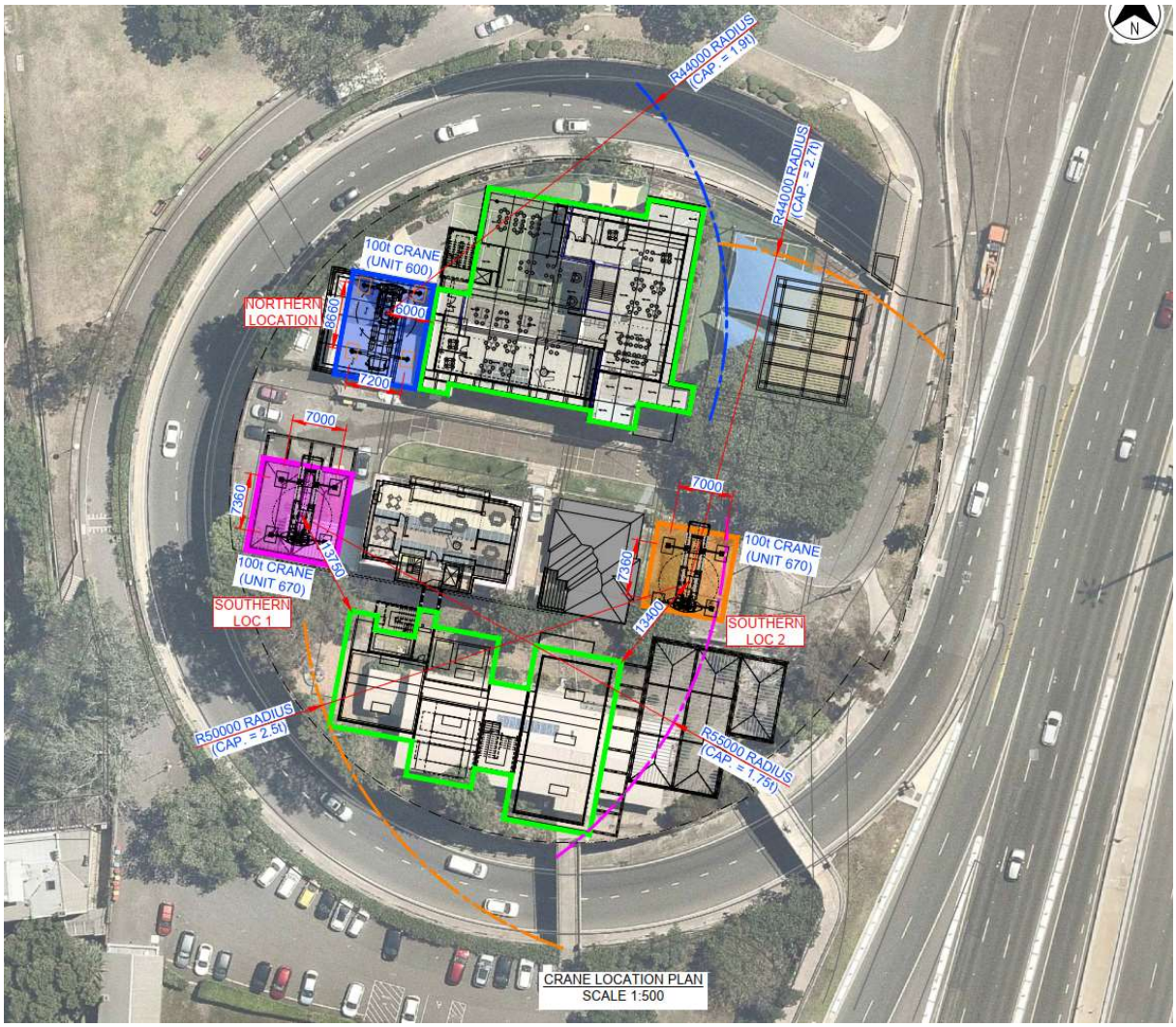


Figure 5 Preliminary Crane Analysis

6.3.13 Perimeter Protection

Fully enclosed scaffolding will be a requirement for all new building elements along with façade elements requiring refurbishment, exact scope and timing will be further resolves as façade details finalise.

Fully enclosed perimeter scaffolding will also be provided to the existing buildings that are to be retained to allow for any remediation and make good works to be completed in a safe manner.

During the installation of structure and façade when in extreme close proximity to the site boundary additional controls may need to be in place. To ensure that safety of the traffic on the Cahill Expressway Lendlease will propose to install “elevated” catch wings or scaffold that will overhang the Expressway at the location that are assessed to be of high risk of the fall of any materials.

Below “perimeter Scaffold and Fall Protection to Site” an indication of the scaffold that is being considered and will be utilised for the site.

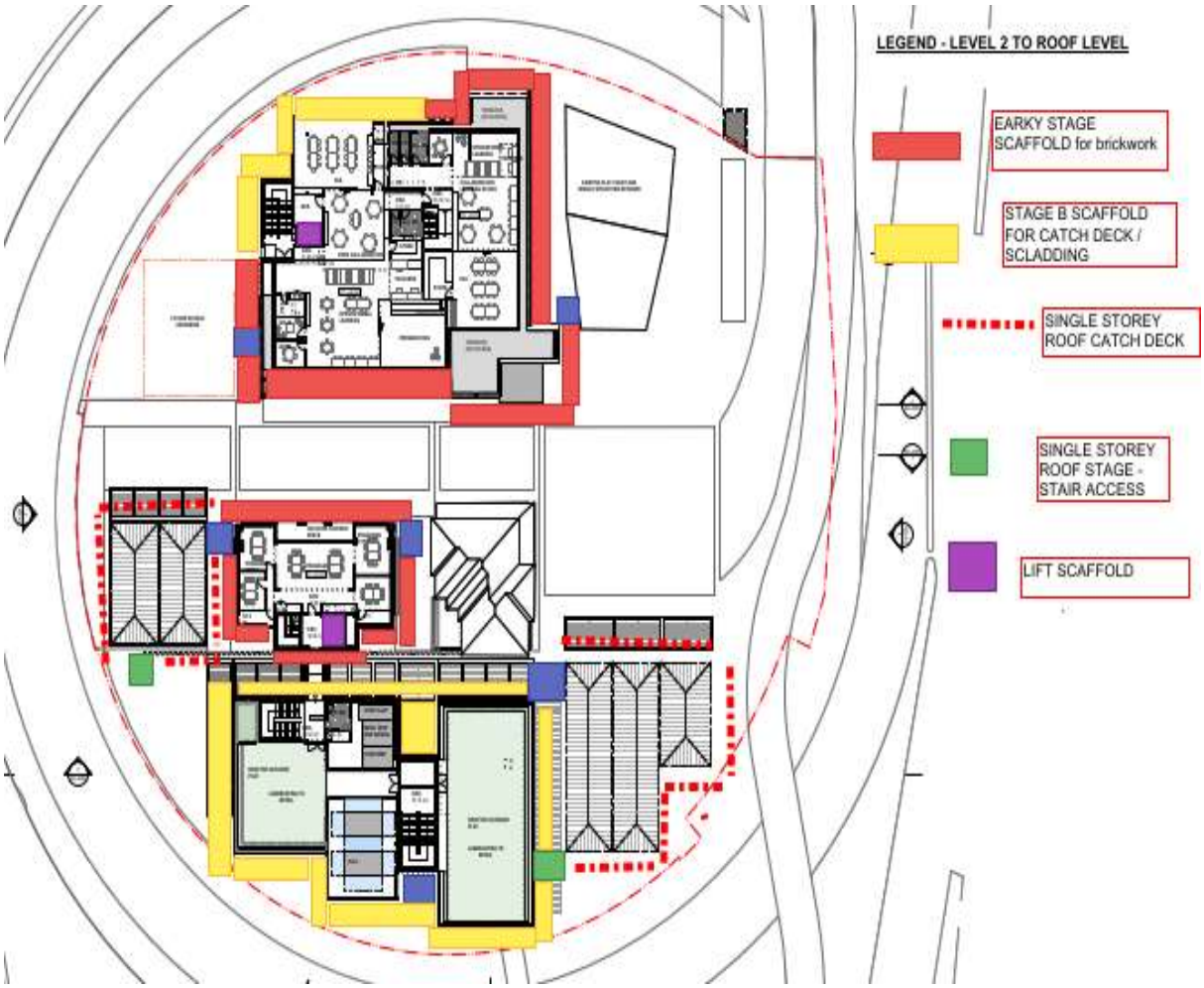


Figure 6 Perimeter Scaffold and Fall Protection to Site

Below indicative gantry and scaffold (fully enclosed) to allow for the work to the vent shaft to be completed.

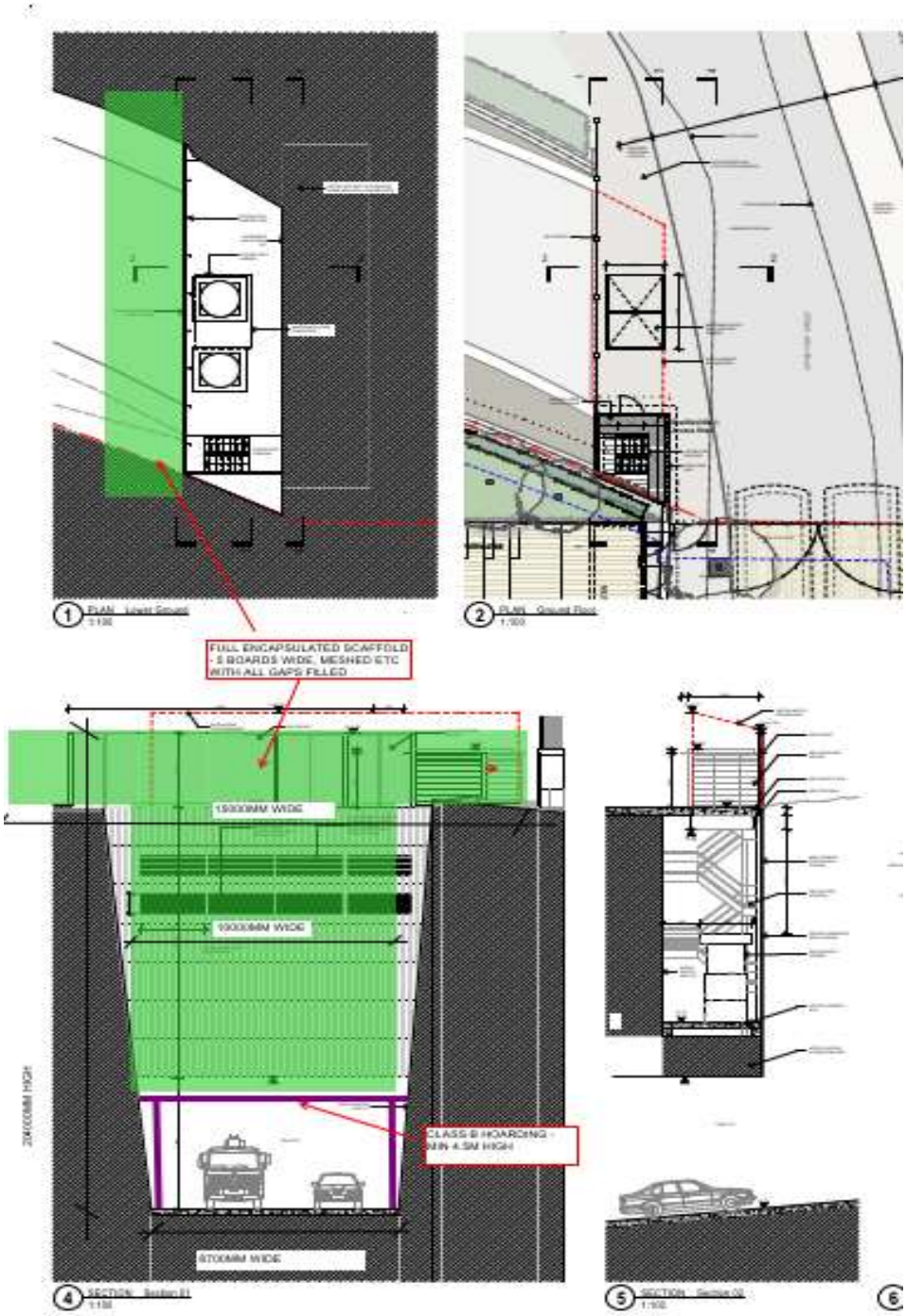


Figure 7 Gantry and scaffold access to vent shaft

6.3.14 Temporary Works

Lendlease experience shows such temporary works are usually associated with high risk activities and will need to be fully engineered, certified and EH&S compliant.

Temporary works will include but not be limited to temporary support and protection to heritage elements, Other activities involving shoring associated with excavation works, temporary hoarding, propping during demolition/refurbishment works will be included as a minimum.

6.4 ENVIRONMENTAL PROTECTION

The site area will require careful management of site water run-off. Perimeter sediment control protections installed during the initial Works phase will be reviewed on site during the works in accordance with the design plans. Lendlease will carry out daily site inspections and ad-hoc inspections in response to changes in environmental conditions. These inspections will focus on protective measures for all site boundaries, access roads and stormwater pits.

These daily inspections will enable any issues to be identified and corrected immediately, resulting in no impact on the environment, local community and public ways.

The primary areas requiring specific environmental controls will be:

- Managing site surface water run-off;
- Disposal of any retained stormwater;
- Protective measures during removal of hazardous materials;
- Monitoring and mitigation of dust, vibration and noise;
- Managed storage of hazardous construction materials;
- If applicable dedicated wash down facilities; and
- Monitoring water table or ingress of water during groundworks.

6.4.1 Noise, dust and vibration

Monitoring for noise emissions, vibration and air quality during the redevelopment works is necessary to maintain the health and well-being of people who are involved in the works and of those within the surrounding area.

During the demolition of FSPS, there will be some noise, dust and vibration. To manage the impact on the community, the majority of the construction activities will be carried out during the day.

The proposed equipment for the piling and structure works for FSPS include but not limited to truck and trailers, excavators, bull dozers, concrete pumps, angle grinders, hammers, drills, and hydraulic pumps.

Lendlease will implement the CNVMP outlining the controls to be implement on the site. The CNVMP will confirm strategies that will be implemented to minimise disturbance to sensitive receivers in accordance with regulatory requirements.

Generally, the following controls will be implemented to ensure that noise and vibration related issues are controlled, addressed and resolved in accordance with regulatory requirements:

- Additional noise assessment of the site will be undertaken prior to or at the commencement of works on site with ongoing monitoring in strategic locations determined through consultation with SINSW during the construction period;
- As the work environment changes, additional assessments may be conducted, the timing of which will be determined in consultation between the site management, Site Safety Committee and SINSW;
- Implementing acoustic mufflers to impact driven equipment;
- Introduce engineering controls within the methodology, such as acoustic panels to surround concrete pumps for attenuation;

- Managing works within the approved site working hours;
- Warning signs shall be erected in areas where 75dBA is exceeded; and
- Where additional personnel protection equipment is required, the areas shall be identified by signage. The appropriate noise protection devices are to be issued to the effected personnel.

Noise emissions will be managed in accordance with the regulatory requirements and Lendlease management procedures and the noise and vibration plan, complying with the following:

- National Code of Practice for Noise;
- Management and Protection of Hearing at Work [NOHSC:2009];
- AS/NZS 1269.0:2005: Occupational noise management – Series of several Standards;
- AS 2012.2: Acoustics - Measurement of airborne noise emitted by earth-moving machinery and agricultural tractors - Stationary test condition - Operator's position;
- AS 3781: Acoustics – Noise labelling of machinery and equipment.
- NSW Noise Policy for Industry 2017.
- NSW Department of Environment and Climate Change (DECC) "Interim Construction Noise Guideline" (ICNG), 2009.
- NSW Department of Environment and Conservation (DEC) "Assessing Vibration: A Technical Guideline", 2006.
- Australian Standard "AS 1055 : Acoustics – Description and Measurement of Environment Noise", 1997.
- Australian Standard "AS 2670.2 : Evaluation of human exposure to whole-body vibration – Part 2: Continuous and shock-induced vibration in buildings (1 to 80 Hz)", 1990.
- Protection of the Environment Operations Act 1997.
- NSW EPA Road Noise Policy (RNP), 2011.

6.4.2 Air Quality Management

Objectives for the project are to implement appropriate controls to suppress dust and other suspended particles in accordance with legislation and risk management requirements minimising the generation of dust on the site and potential emission issues relating to plant and equipment.

The Air Quality Management (AQM) Plan is included within the project EH&S Management Plan and our strategy for air quality management includes:

- Clear definition of trafficable and material storage areas to prevent unnecessary vehicle movement into other areas;
- Use of water cart to dampen work areas and exposed soils to prevent the emission of excessive dust;
- Where applicable installation of a wheel shaker grid and/or wash down facilities at the vehicle egress point during excavation works;
- Ensuring trucks transporting materials to and from the site use covers to prevent windblown dust or spillage;
- Ensuring truck tailgate locking mechanisms are operational and in use;
- Periodic inspection of surrounding roads to ensure no construction contamination and initiation of road sweeping if required;
- Careful selection of materials for temporary road surfacing;
- Subcontractors to maintain equipment / machinery to ensure exhaust emissions comply with relevant legislation and guidelines;

- All waste material to be sorted, collected and removed from site (for recycling where possible);
- Air quality monitoring;

7.0 CONSTRUCTION METHODOLOGY

7.1 CONSTRUCTION STAGING

7.1.1 Construction Staging Overview

The Lendlease project team fully appreciate the disruption the project will bring to the FSPS stakeholders and the importance of communicating the construction programming the staff, pupils, pupils' families and surrounding public. Whilst the school itself will be decanted for the construction works the better the stakeholders understand of the timing and reasoning of the works, the more comfortable they will be with the temporary inconveniences and long-term benefits.

Our construction program and methodology includes a set of staging plans covering the works phases.

The staging plans include:

- All site establishment items;
- Changed or modified egress paths;
- Pedestrian and vehicle circulation route changes;
- Temporary signage requirements;
- Protection of existing services;
- Upcoming changes to works areas including approximated program dates; and
- Projected completion and handover areas.

7.2 CONSTRUCTION MANAGEMENT SEQUENCING

7.2.1 Pre-Construction Management

Prior to any works commencing on site stakeholder management needs to enabled to allow for lead times to be met. Therefore, a resource has been included to manage items such as:

- SSDA queries and further information;
- Pop-up school management;
- Construction Certificate documentation and actions;
- Utility connection disconnections and upgrade works;
- RMS management for the application to close Cahill Expressway; and
- Stakeholder management.

7.2.2 Site Establishment

The first task onsite is to install site accommodation and amenities along with securing the construction works area with hoarding to provide a safety delineation and site access control. Depending on site accommodation availability, these may be single or double stacked, and incorporate a 10kPA hoarding for areas requiring overhead protection.

During this site establishment, this will include the protection, safe removal and offsite storage of any heritage elements. Controls include physical barrier protection to non-moveable items prior to the establishment of mobile plant and demolition works.

7.2.3 Demolition Works

Post the site establishment and prior to any other works being undertaken the demolition works will need to be undertaken. This would include:

- The demolition of the existing EEC building;
- Demolition of the existing Toilet block attached to building A;
- The demolition of the existing "garage" adjacent to building M;
- The strip out of existing building A including enabling works and protection;
- The strip out of building M (MET) building;

The site can basically be divided into 2 where the existing heritage wall can become the boundary between the north and the south of the building. There this allows for activities of demolition to occur on both sides for the boundary.

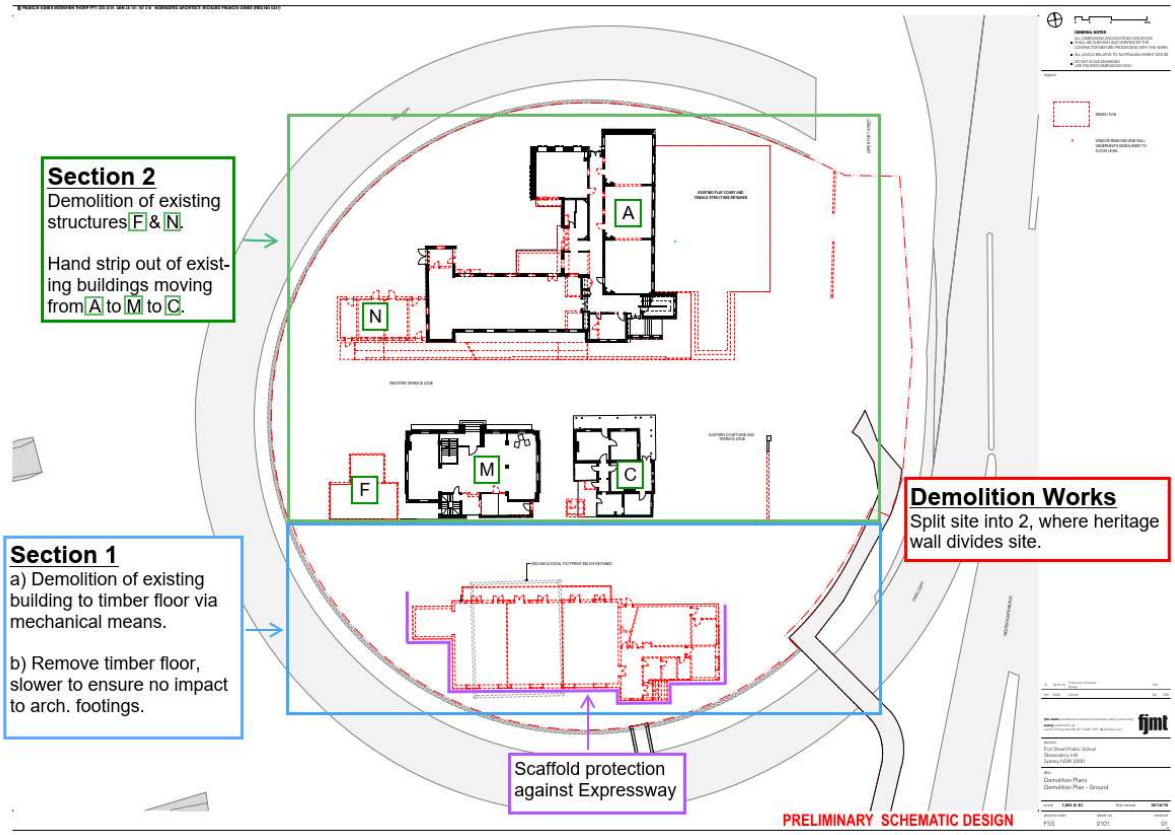


Figure 8 Demolition Staging Plan

7.2.2 Bulk and detailed excavation, and inground services

Following the demolition works will be bulk excavation, following this detailed excavation for new strip and pad footings will occur prior to inground services excavation and installation. During these works, there will be archaeological monitoring at all times and an unexpected finds policy will be in place.

The main bulk excavation quantities will come from the deep excavation required for the lower ground works to OSD and communal hall (building G/part H). All excavated materials will leave site via Upper Fort Street via gate 2 or 3.

Excavation and completion of the OSD early in the program is proposed for a number of reason including contractor cost efficiency and should any archalogical finds be located resulting in delay and or redesign there would be program buffer. Whilst completion of this scope early in the program will reduce site access for a short while we see completion of this in ground work early in the program an importatnt risk mitigiation strategy that could also assist envoirmental stormwater controls during the project works.

Particular controlled focus will be given to excavation in close proximity the site boundary owing to the risk of impact onto the sandstone retaining wall and Cahill Expressway and beside the West-East historically significant wall. Controls such structural underpinning/protection will be in place, rock sawing methodology in lieu of hammering and use of smaller more precise machines, vibration and visual monitoring to mitigate potential risks. Figure 9 following identifies the locations of key risk for deep excavation. *Further design development will need to occur at this location by reviewing the layout of the basement and reducing the basement extent so as to not have impact to the RMS retaining wall. Further design development will be discussed prior to the main offer.*

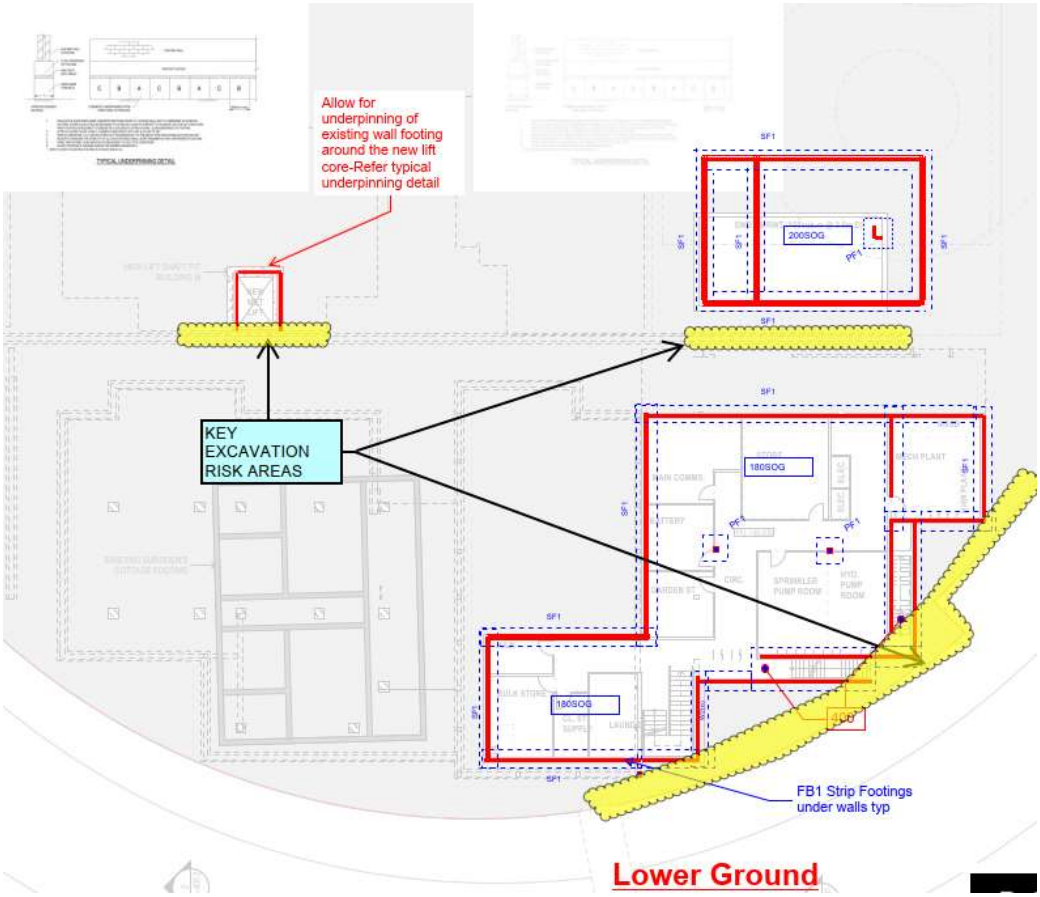


Figure 9 Excavation Key Risk Areas

During the excavation and demolition phase another key focus will be on materials separation and stockpiling. This is particularly important when dealing with any hazardous materials (e.g. the MET building) to ensure no cross contamination occurs but of equal importance to ensure waste separation maximises material taken offsite for recycling rather than landfill.

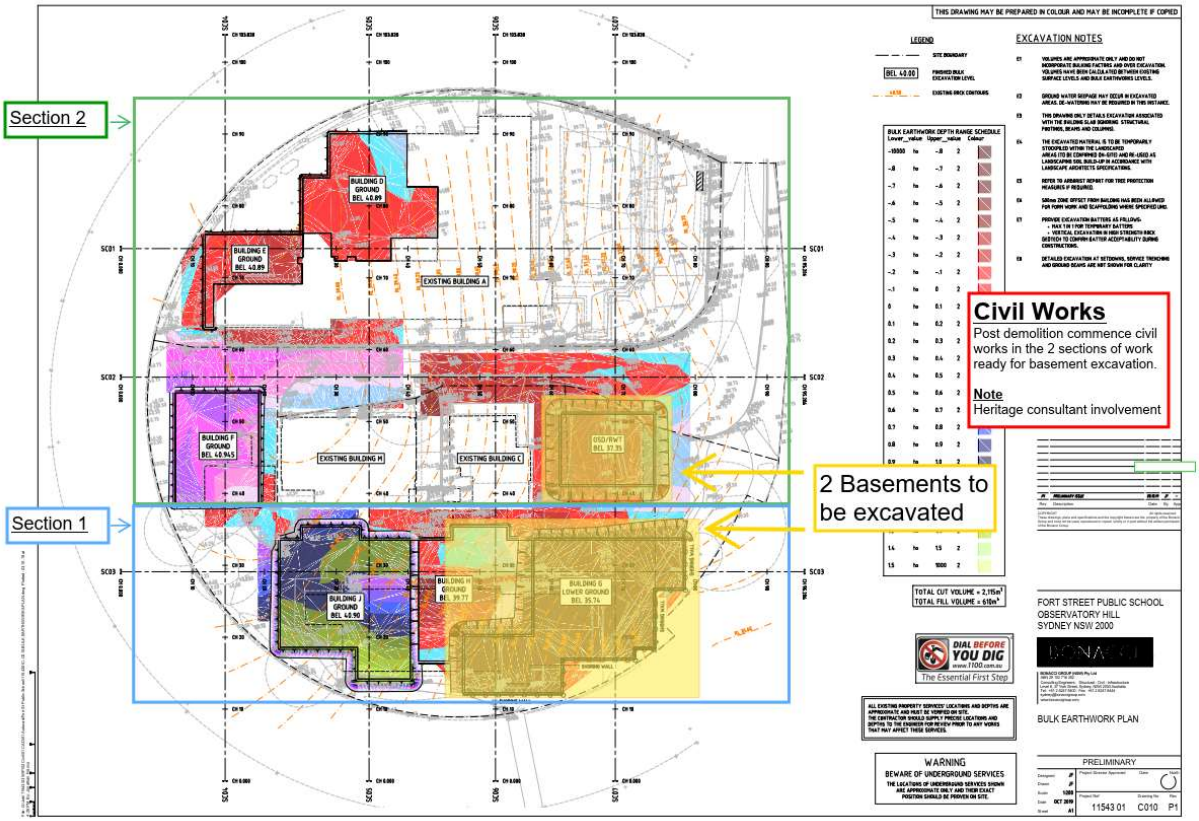


Figure 10 – Extent of Basement Excavation

7.2.4 Structure

Structural building works are on the program critical path and the staging of the buildings to facilitate the most productive completion onsite is a particular focus given the tight site constraints for materials laydown and mobile plant movement.

Given there is proposed to be a range of structure fabrication techniques from slabs with concrete columns, to structural steel framework tying into existing structure with concrete slabs and laminated timber construction careful planning and detailed understanding of lead times is essential to program success.

There is proposed to be a lag to the starting of the building works for the staff room and cottage to ease materials and personnel congestion onsite whilst also freeing up room for safe mobile plant movement.

7.2.5 Façade

The façade works for FSPS include a number of finishes for architectural impact including the following-

- Face brick masonry
- Curtain wall double glazing systems; and
- Terracotta batten louvers and profiled panels

Completion of the masonry works will occur utilising the fully encapsulated scaffold and completed structural slab as the working platform for the works. Vertical material movements will be facilitated through the use of mobile cranes for these works.

Completion of the curtain wall double glazing stem works will occur via the traditional and proven technique namely, the panels will be delivered to site. The panels are then hooked into a crane positioned above the panel location, launched from behind WorkRight fencing and lowered to position as shown below.

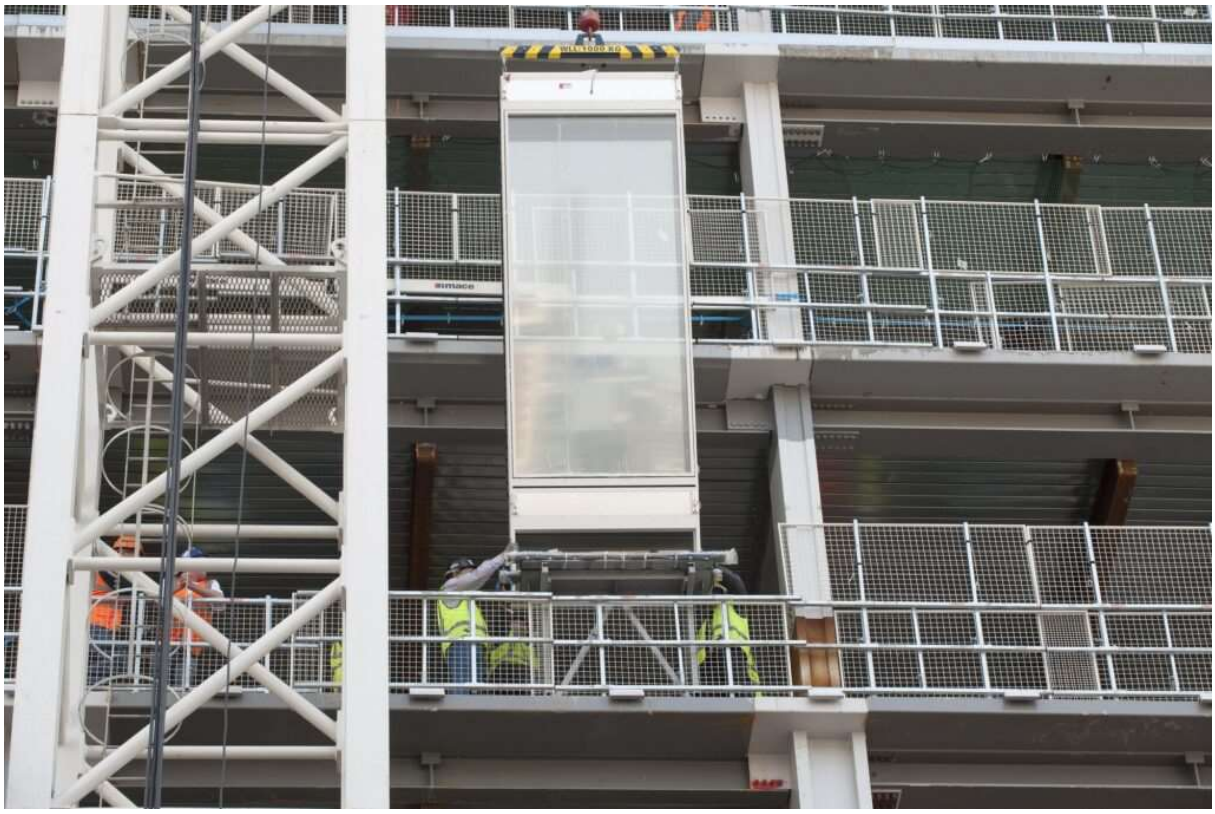


Figure 11 Façade Installation Example

7.2.6 Waterproofing Systems

The integrity of the waterproofing systems both in temporary applications and in final waterproofed areas is critical to the short and long-term success of the project. The project specific focus areas include the lower ground structure works and outdoor roof top trafficable areas.

It is critical that the membrane works are installed correctly and efficiently as the quality of the installation ensures the long-term durability of the membrane is not compromised. The formula in achieving the required outcome is threefold:

- Selecting the best suited type of product for the specific waterproofing application;
- Integrating workable termination and joint details into the architectural and subcontractor design elements such as façade components and services penetrations;
- Competent product installation, QA and protection to the completed membranes;
- Waterproofing details are a specialist trade and a peer review of the architect details through our Lendlease internal design resource (CIDD) will be initiated, prior to commencing these works; and
- Adopting lessons learnt from other projects regarding the application of waterproofing prior to commencing these works.

7.2.7 Sequencing - Building Services

The Building Services installation through to commissioning of all systems for the complete project is critical for the overall successful delivery of the whole project. As such the detailed design, installation, testing and commissioning of each of the building services installations will be undertaken by specialist subcontractors. To also ensure the requirements of the project are adhered to the individual service installation will also be reviewed and approved by the Services Consultants.

These services consultants will be involved in all stages of the project from initial design reviews, workshop drawing review approval through to final witness testing of the installed systems.

Due to the heritage and archaeological complexity, construction challenges, ESD and quality requirements of the FSPS project, the selection of the right subcontractor and supply chain will be absolutely critical. To this point, Lendlease will only engage tier one and 2 construct services subcontractors with proven ability to provide the expertise, knowledge, resources, and skills necessary in their specialised fields to meet the complex requirements of the project.

The building services discipline subcontractors will become integral members of our team, and will include but not be limited to:

- Mechanical Services
- Electrical Services
- Security Services
- Communication Services
- Hydraulic Services
- Dry and Wet Fire Services
- Vertical Transportation

Within the main works, the services installation will be carried out over a number of stages and across numerous work faces, all under the guidance of the specialist subcontractors' supervision and our Project Managers, Services Engineer and Services Supervision Foreperson. Services rough-in will commence once structure is completed and floor areas become available.

The trade sequence will follow through as indicated in the construction program on a trade-by-trade, area by area and level-by-level basis. The installation of main plant, vertical services risers and lift installation works will be completed in parallel with the works on each floor.

Areas requiring particular attention will be those associated with the services infrastructure, risers, plant rooms, LV switch rooms, fire control rooms, etc. These main services rooms will be prioritised for completion of the building works to allow for the individual services subcontractors to commence their detailed

installations. Early access to these critical services rooms will allow for the commencement of pre-commissioning and testing works prior to the final individual system commissioning.

The main challenge initially with the services works will be the accurate coordinated rough-in installation. The installers will benefit from fully coordinated construction documentation generated through the digital engineering / co-ordination process. Individual services to each area must be completed and pre-tested prior to proceeding to the next area.

Services fit-off will follow once the sequence of internal fit-out works has progressed. The challenge at this point in the project will be to ensure work sequences are maintained and clearly defined including adequate resourcing so that final testing and commissioning periods are not compromised

Externally all utility incoming service connections, including permanent power, water, gas and communications connections will be completed on program to ensure commissioning and testing can commence as scheduled.

The plant and equipment to be installed on the FSPS project will be of high quality and supplied by recognised and reputable manufacturers in the industry; leaders in providing the highest quality solutions. Careful consideration will be given to the sustainability and energy efficiently requirements of the equipment to ensure the ESD requirements are achieved.

Plant and equipment will also be installed to achieve ease of access for maintenance in accordance with best practice and EH&S guidelines, thus ensuring safety of all facility, operations and service personnel.

7.2.8 Sequencing - Internal Works – Integrated Fit Out and Finishes

Lendlease's current construction program considers the fit out and services commissioning for the various buildings which occur staged following completion of the structure.

The base build fit out sequence will be undertaken as follows:

- High level services rough-in and riser rough-in
- Façade completion
- Full height wall framing
- Rough-in of services in wall
- Hold Point inspection and sign offs prior to second side wall sheeting
- Wall sheeting (Post Façade Completion)
- Wet area fit out inclusive of all vanities, and FFE and items
- Specialist finishes to core wall where applicable
- Joinery, wall panelling and furniture installation
- Services fit-off and part commissioning
- Painting
- Builders and final clean
- Final Commissioning

7.2.9 Sequencing – Landscaping works and handover

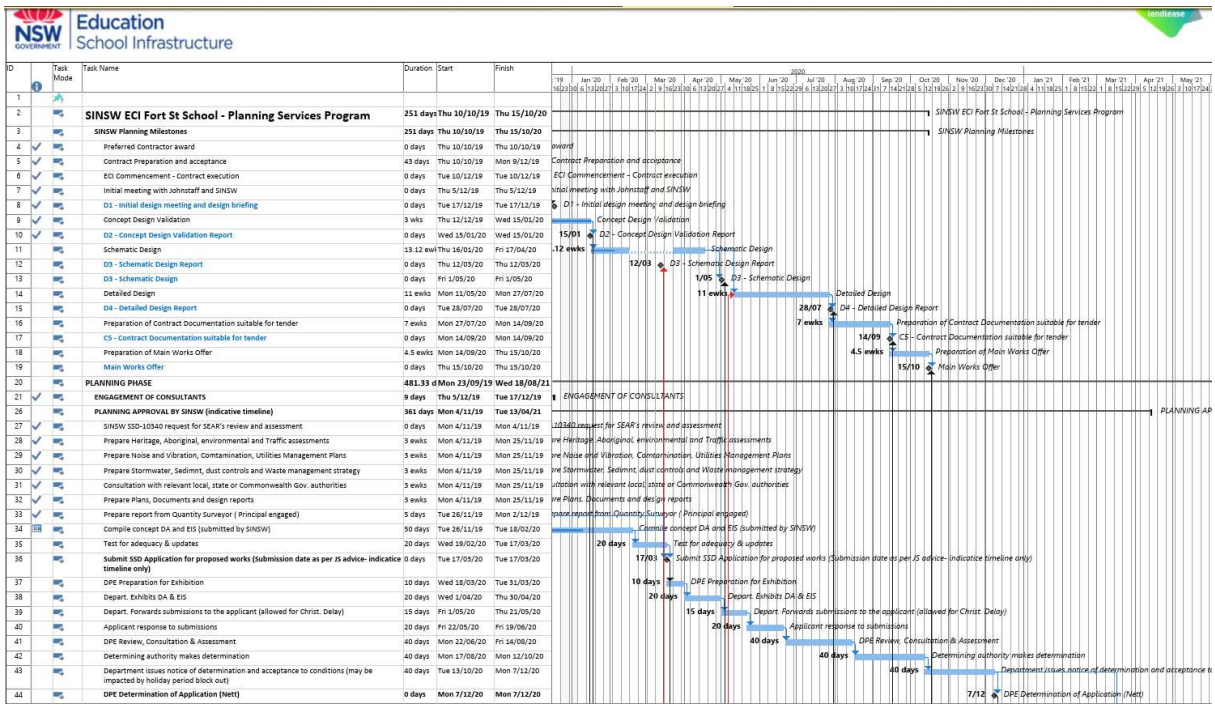
During the final stages of fit out and commissioning, the external landscaping works will be completed. The installation of the COLA structures, paved areas and soft landscaping can only occur once large mobile plant are off site owing to limited access and potential damage to finished areas.

Completion of the landscaping will work its way from the western end of site to the eastern end to allow easier decanting off site. Site will begin demobilisation at this same time so that all accommodation, hoardings, temporary services and the like are removed for handover and not impeding the final landscaping arrangement e.g. fencing and planting.

Relocation of FSPS staff and pupils into the new building from the temporary school location will occur following receipt of the Occupation Certificate and when Practical Completion has been achieved.

8.0 CONSTRUCTION PROGRAM

A summary of the planning programme is noted below. Key milestone dates are provided in this summary programme based on information and previous similar project planning stage requirements.



ID	Task Name	Duration	Start	Finish
1				
2	**SINSW ECI Fort St School - Planning Services Program**	**251 days**	**Thu 10/10/19**	**Thu 15/10/20**
3	**SINSW Planning Milestones**	**251 days**	**Thu 10/10/19**	**Thu 15/10/20**
4	Preferred Contractor award	0 days	Thu 10/10/19	Thu 10/10/19
5	Contract Preparation and acceptance	43 days	Thu 10/10/19	Mon 9/12/19
6	ECI Commencement - Contract execution	0 days	Tue 10/12/19	Tue 10/12/19
7	Initial meeting with Johnstaff and SINSW	0 days	Thu 5/12/19	Thu 5/12/19
8	D1 - Initial design meeting and design briefing	0 days	Tue 17/12/19	Tue 17/12/19
9	Concept Design Validation	3 wks	Thu 12/12/19	Wed 15/01/20
10	D2 - Concept Design Validation Report	0 days	Wed 15/01/20	Wed 15/01/20
11	Schematic Design	13.12 ewk	Thu 16/01/20	Fri 17/04/20
12	D3 - Schematic Design Report	0 days	Thu 12/03/20	Thu 12/03/20
13	D3 - Schematic Design	0 days	Fri 1/05/20	Fri 1/05/20
14	Detailed Design	11 ewks	Mon 11/05/20	Mon 27/07/20
15	D4 - Detailed Design Report	0 days	Tue 28/07/20	Tue 28/07/20
16	Preparation of Contract Documentation suitable for tender	7 ewks	Mon 27/07/20	Mon 14/09/20
17	C5 - Contract Documentation suitable for tender	0 days	Mon 14/09/20	Mon 14/09/20
18	Preparation of Main Works Offer	4.5 ewks	Mon 14/09/20	Thu 15/10/20
19	Main Works Offer	0 days	Thu 15/10/20	Thu 15/10/20
20	**PLANNING PHASE**	**481.33 d**	**Mon 23/09/19**	**Wed 18/08/21**
21	**ENGAGEMENT OF CONSULTANTS**	**9 days**	**Thu 5/12/19**	**Tue 17/12/19**
26	**PLANNING APPROVAL BY SINSW (indicative timeline)**	**361 days**	**Mon 4/11/19**	**Tue 13/04/21**
27	SINSW SSD-10340 request for SEAR's review and assessment	0 days	Mon 4/11/19	Mon 4/11/19
28	Prepare Heritage, Aboriginal, environmental and Traffic assessments	3 ewks	Mon 4/11/19	Mon 25/11/19
29	Prepare Noise and Vibration, Contamination, Utilities Management Plans	3 ewks	Mon 4/11/19	Mon 25/11/19
30	Prepare Stormwater, Sedimnt, dust controls and Waste management strategy	3 ewks	Mon 4/11/19	Mon 25/11/19
31	Consultation with relevant local, state or Commonwealth Gov. authorities	3 ewks	Mon 4/11/19	Mon 25/11/19
32	Prepare Plans, Documents and design reports	3 ewks	Mon 4/11/19	Mon 25/11/19
33	Prepare report from Quantity Surveyor (Principal engaged)	5 days	Tue 26/11/19	Mon 2/12/19
34	Compile concept DA and EIS (submitted by SINSW)	50 days	Tue 26/11/19	Tue 18/02/20
35	Test for adequacy & updates	20 days	Wed 19/02/20	Tue 17/03/20
36	**Submit SSD Application for proposed works (Submission date as per JS advice- indicatice timeline only)**	0 days	Tue 17/03/20	Tue 17/03/20
37	DPE Preparation for Exhibition	10 days	Wed 18/03/20	Tue 31/03/20
38	Depart. Exhibits DA & EIS	20 days	Wed 1/04/20	Thu 30/04/20
39	Depart. Forwards submissions to the applicant (allowed for Christ. Delay)	15 days	Fri 1/05/20	Thu 21/05/20
40	Applicant response to submissions	20 days	Fri 22/05/20	Fri 19/06/20
41	DPE Review, Consultation & Assessment	40 days	Mon 22/06/20	Fri 14/08/20
42	Determining authority makes determination	40 days	Mon 17/08/20	Mon 12/10/20
43	Department issues notice of determination and acceptance to conditions (may be impacted by holiday period block out)	40 days	Tue 13/10/20	Mon 7/12/20
44	**DPE Determination of Application (Nett)**	**0 days**	**Mon 7/12/20**	**Mon 7/12/20**

Figure 12 – Planning/Design Stage Programme

8.1 PROCUREMENT SUMMARY

Procurement is integrated into the program as well as long lead activities for facade. A summary of which is provided below in figure 13.

Main Works					
Design AFT/AFC/CC					
FSPS-1170	Balance of AFT Documentation	60	29-Jul-20	21-Oct-20	34
FSPS-1200	AFC Documentation	60	30-Oct-20	02-Feb-21	48
Approval for works within / over Cahill Expressway					
A98310	Approval for works within / over Cahill Expressway	120	30-Oct-20	14-May-21	197
Procurement					
Early Works					
A98540	Early Works Procurement	108	26-Aug-20	04-Feb-21	46
Civil & Demolition					
FSPS-1180	Tender and Award - Site Establishment	40	30-Oct-20	04-Jan-21	68
FSPS-1190	Earthworks / Demolition - Tender & Award	40	30-Oct-20	04-Jan-21	58
FSPS-1210	Civil / Stormwater - Tender & Award	40	30-Oct-20	04-Jan-21	48
FSPS-1220	Services Infrastructure - Tender & Award	40	05-Nov-20	08-Jan-21	44
FSPS-1290	Earthworks / Demolition - Lead In	10	05-Jan-21	18-Jan-21	58
FSPS-1320	Civil / Stormwater - Lead In	20	05-Jan-21	02-Feb-21	48
FSPS-1330	Services Infrastructure - Lead In	20	11-Jan-21	08-Feb-21	44
Structure					
FSPS-1230	FRP incl det excav - Tender & Award	60	05-Nov-20	08-Feb-21	106
FSPS-1270	Post Tensioning - Tender & Award	50	19-Nov-20	08-Feb-21	173
FSPS-1410	Concretor & Reo - Lead In	20	09-Feb-21	08-Mar-21	129
FSPS-1440	Post Tensioning - Lead In	30	09-Feb-21	22-Mar-21	173
FSPS-1450	Formwork - Lead In	40	09-Feb-21	07-Apr-21	106
Services					
Hydraulic Services					
FSPS-1240	Hydraulic Services - Tender & Award	50	05-Nov-20	22-Jan-21	34
FSPS-1420	Hydraulic Services - Lead In	20	26-Jan-21	22-Feb-21	34
Electrical & Allied Services					
FSPS-1250	Electrical & Allied Services - Tender & Award	50	05-Nov-20	22-Jan-21	34
FSPS-1430	Electrical & Allied Services - Lead In	20	26-Jan-21	22-Feb-21	34
Mechanical Services					
FSPS-1280	Mechanical Services - Tender & Award	60	03-Dec-20	08-Mar-21	159
FSPS-1760	Mechanical Services - Lead In	60	09-Mar-21	03-Jun-21	159
Fire Services					
FSPS-1310	Fire Services - Tender & Award	60	17-Dec-20	22-Mar-21	169
FSPS-1940	Fire Services - Lead In	40	23-Mar-21	20-May-21	169
Lift Services					
FSPS-1260	Lift Services - Tender & Award	60	05-Nov-20	08-Feb-21	133
FSPS-1460	Lift Services - Lead In	120	09-Feb-21	30-Jul-21	133
Facade & Roof					
FSPS-1300	Brickworks - Tender & Award	50	23-Feb-21	06-May-21	186
FSPS-1340	Facade - Tender & Award	50	23-Mar-21	03-Jun-21	86
FSPS-1350	Windows - Tender & Award	50	23-Mar-21	03-Jun-21	96
FSPS-1750	Brickworks - Lead In	20	07-May-21	03-Jun-21	186
FSPS-1930	Facade Cladding - Shop Drawings	50	04-Jun-21	13-Aug-21	86
FSPS-1950	Windows - Lead In	80	04-Jun-21	24-Sep-21	96
A98570	Facade Cladding - Fabrication	40	16-Aug-21	11-Oct-21	86
Fitout & Finishes					
FSPS-1360	Fitout	80	03-May-21	23-Aug-21	146
FSPS-1770	Finishes	100	15-Jun-21	02-Nov-21	145
External Works					
FSPS-2120	External Works	100	27-Jul-21	14-Dec-21	54
Key Milestones & Client Dates					

Figure 13 – Procurement Programme

Certain assumptions have been made on the remediation and heritage based on the information provided and available at this time. Lendlease has not had the opportunity to carry out any “destructive” investigations to confirm any further possible contamination.

The program allows current industry procurement lead times, however, does not allow for any possible impact of materials supply due the current outbreak of Coronavirus COVID-19.

8.2 KEY ASSUMPTIONS

8.2.1 Construction Calendar Assumptions

1. Productive hours – 47.5 hrs / week.
2. 5.5 working day week has been programmed.
3. No work on Public Holidays
4. Work on Rostered Days Off (38hr week) *NB: Lendlease's EBA is currently in negotiation stage and the program could have to be revised based on new agreement;*
5. 16% Delay allowance
6.

Key Milestones & Client Dates					
Site Establishment					
FSPS-1370	Construction Commmence	0	14-Apr-21		0
FSPS-1400	Site Establishment	15	14-Apr-21	07-May-21	0
Section 1					
A98400	Demolition Works Summary	50	11-May-21	31-Jul-21	77
A98550	Civil Works Summary	44	02-Aug-21	11-Oct-21	0
FSPS-2430	Building J, H & G New Build Summary	177	20-Sep-21	05-Aug-22	0
A98420	Inground Infrastructure & External Works	65	13-May-22	29-Aug-22	3
Section 2					
A98410	Demolition Works Summary	76	11-May-21	08-Sep-21	40
FSPS-1660	Building A & D Summary	218	07-Jul-21	25-Jul-22	10
A98560	Civil Works Summary	39	06-Aug-21	09-Oct-21	10
FSPS-1650	Building M Refurbishment Summary	152	19-Aug-21	20-May-22	47
FSPS-1630	Building C Refurbishment Summary	106	09-Sep-21	25-Mar-22	78
FSPS-3150	Infrastructure & External Works	140	03-Dec-21	16-Aug-22	10
FSPS-3210	Building F New Build Summary	104	11-Feb-22	09-Aug-22	0
Commissioning & Completion					
FSPS-5800	Integrated Commissioning, Inspections & Certification	35	02-Aug-22	23-Sep-22	0
FSPS-5840	Practical Completion	0		23-Sep-22	0

Figure 14 Key Milestone Dates

8.2.2 Staging

The project is proposed to be split into two sections as noted below in figure15 below, which will run concurrently.

This allow the best outcome for the project in respect to time, cost & quality. Supervision has been factored into allow for the project to be completed as nominated in the two sections.

A copy of the proposed personnel has been included in figure 16.

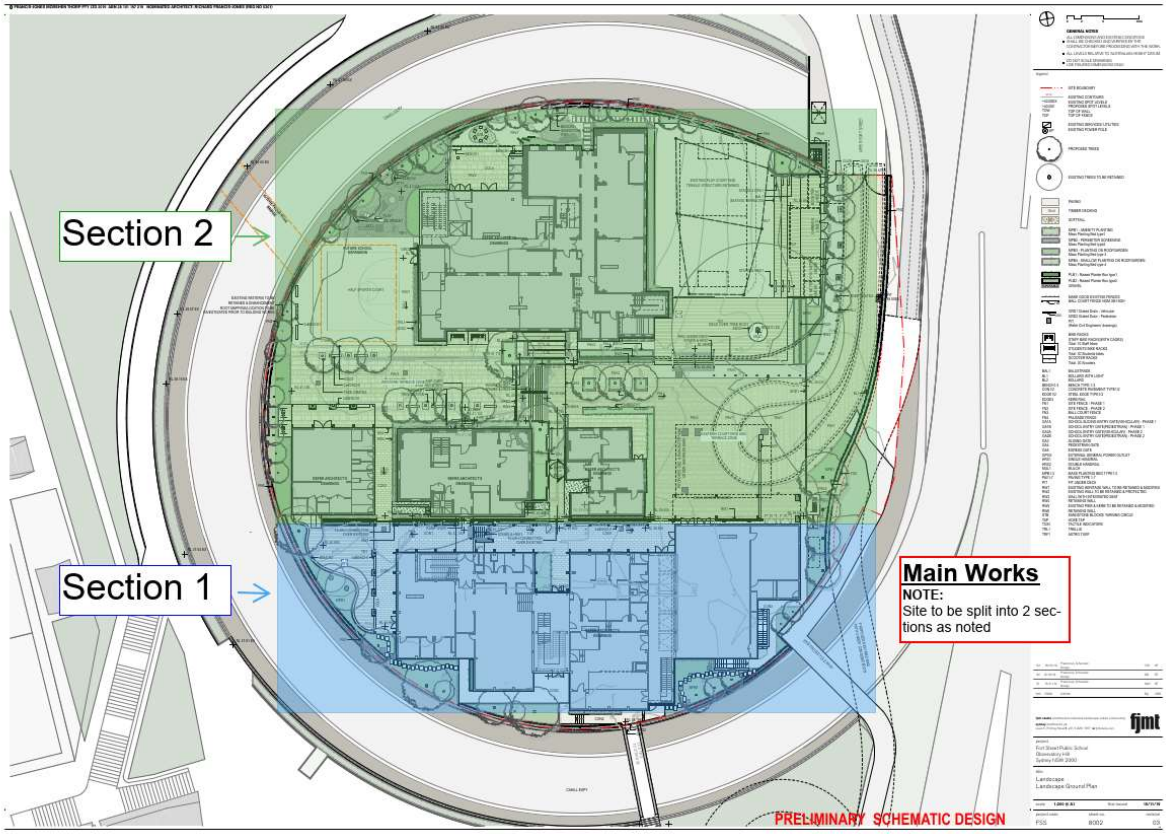


Figure 15 Details Works Sectional Areas

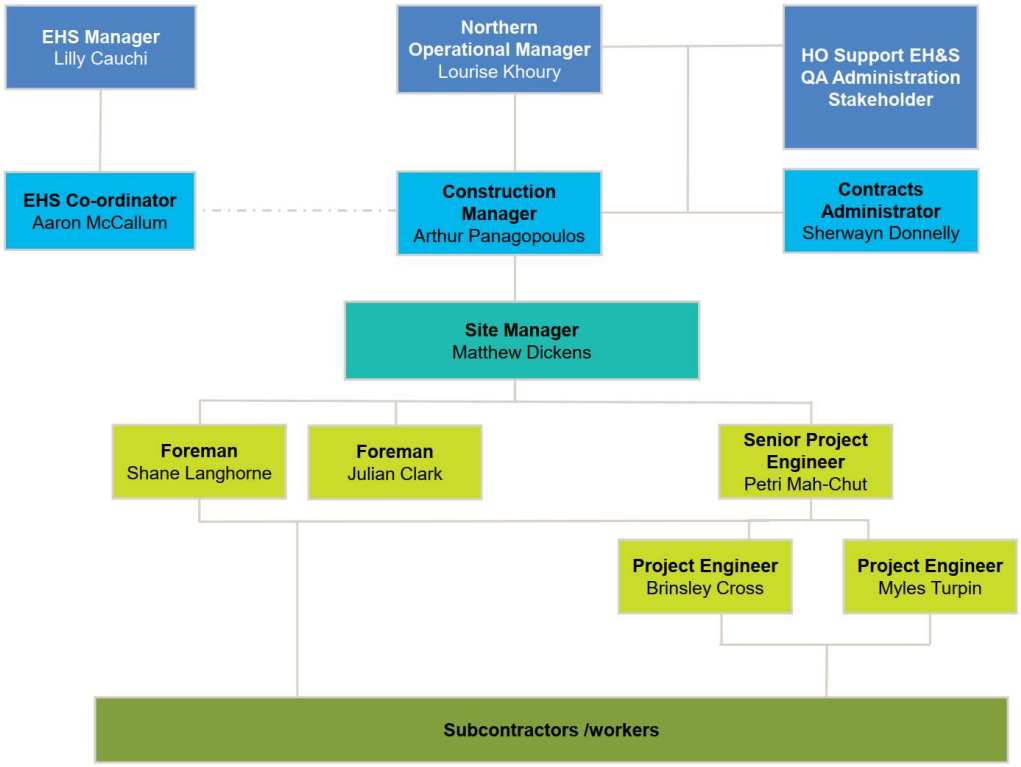


Figure 16 Organisation Chart

9.0 COMBINED TRAFFIC AND PEDESTRIAN MANAGEMENT

9.1 TRAFFIC MANAGEMENT AND CONTROL

One of the keys to the successful delivery of the project will be managing the flow of materials and equipment into and out of the construction site.

It is imperative that planning considers and successfully manages the maintenance of pedestrian, traffic flow and parking to the surrounding buildings and roads.

To do this Lendlease will be adopting a number of key traffic management strategies to minimise and mitigate FSPS project's effects on the surrounding stakeholders;

- Lendlease along with the Traffic Consultant will detail a specific Traffic Control Plans which will detail the management of pedestrian, vehicular construction and operational traffic at each stage of works;
- Understanding existing parking provision, demand currently onsite, identifying temporary and construction parking replacement options on and offsite to mitigate potential parking shortfalls during the redevelopment; and
- Encouraging staff, consultants and subcontractors to adopt a Green Travel Plan for this project with use of public transport to and from site.

9.2 TRAFFIC MANAGEMENT AND CONTROL

Traffic management and control will be established for the project. Traffic control will ensure that materials and deliveries will not block off roadways and will streamline the truck movements in and off the project. Traffic control will be located at the construction gate to ensure fluid vehicle movement.

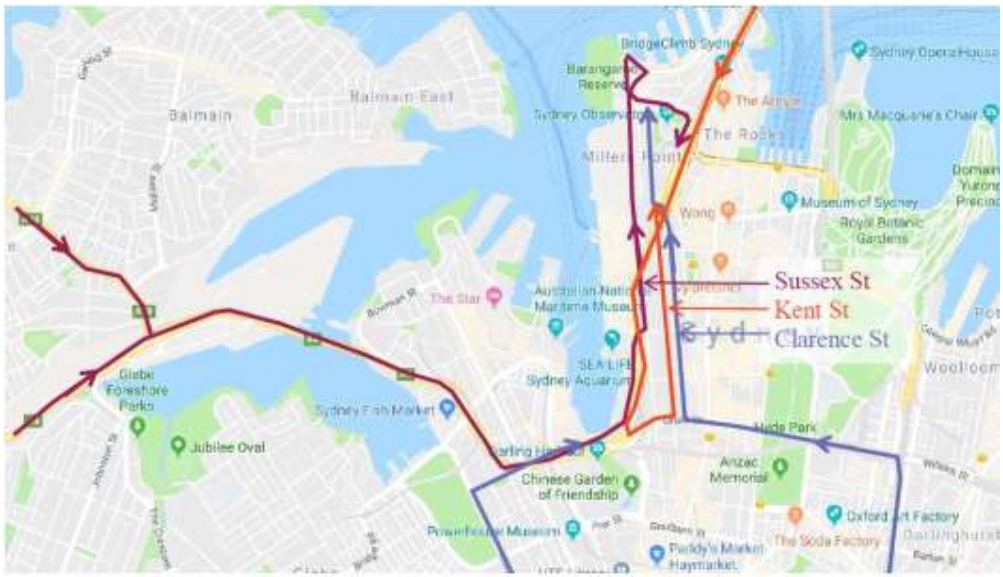
Specific construction traffic considerations include the following-

- Site entry gate
- Large vehicle movements to/from Argyle Street and Watson Road
- Prior to concrete pours and other repetitious deliveries Lendlease will coordinate with all traffic entities to ensure the concrete trucks can arrive and turn around on site in a timely and successfully manor. To assist a holding location is proposed as detailed on the Construction Works and Pedestrian Interfaces (Figure 4) where construction vehicles are held prior to reaching the pinch point over the Cahill Expressway and tight site entry turn around area. Traffic control at the holding bay will communicate with traffic control at the site entry gate to confirm when vehicle movement can safely occur to avoid vehicle bottle necking and any pedestrian/vehicle interfacing at the pinch point.

9.3 CONSTRUCTION ACCESS & CIRCULATION ROUTES

The following marked up street overlays shows the various ways delivery drivers will be accessing the FSPS SSDA works. Careful consideration has been given to all these options to ensure there are no or minimal impact to the surrounding businesses and residents.

Truck arrival routes



Truck departure routes

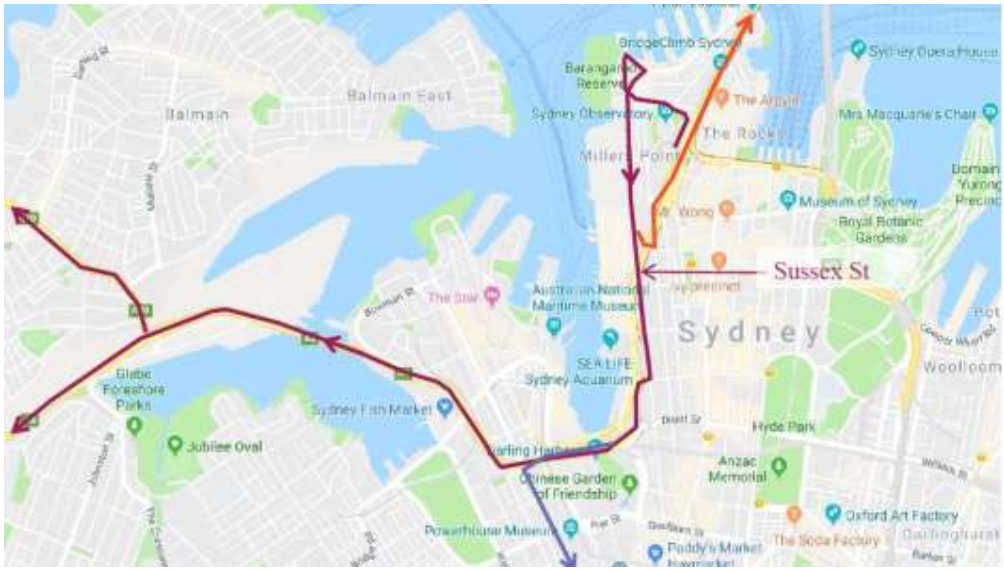


Figure 17 Proposed Truck Haulage Routes

10.0 STAKEHOLDER MANAGEMENT

10.1 CONSULTING AND COMMUNICATING

Lendlease's approach to managing stakeholder consultation and communication for SSDA works for the FSPS Project is to create a strategic framework which enables a consistent and transparent guide to engaging stakeholders who are either interested or impacted by the works.

Lendlease manages stakeholder interests and expectations through early and ongoing engagement. Every member of the Lendlease Project Team is responsible for appropriate and effective stakeholder interactions.

The key principles which underpin our proposed approach are:

- Establish and maintain open and transparent communication channels with all key stakeholders to ensure they are accurately informed about the project;
- Tailor communications to provide the right information, to the right people at the right time;
- Ensure a proactive, rather than reactive approach to all potential stakeholder related issues and engagement; and
- Respect, involve and engage stakeholders to ensure their needs are recognised and considered at all stages of the project.

The Lendlease Stakeholder Management and Communications Plan supports the implementation of this CMP. The Plan outlines key stakeholder groups who are directly or indirectly impacted by works and their respective levels of interest in the project. Key stakeholder groups include:

Category	Stakeholder Group	Key Parties
Client	NSW Department of Education (DoE)	. Sylvia Corish, ED School Performance . Glen Halliday, EEC Principal - DoE Teaching Principal
Current / future users	Fort Street Public School Principal and teaching staff	Michele Peele-Yates, Principal, DoE
Current / future users	Fort Street Public School Community	. Current students . Luke Lee, P&C Representative FSPS . Future students . Nearby public schools (Conservatorium HS, Ultimo Public School, Plunkett Street Public School)

Category	Stakeholder Group	Key Parties
Interest / action groups	. Millers Point Community Residents Action Group (MCRAG) and Friends of Millers Point	. John McInerney, Chair and ex. City of Sydney Councillor. . MCRAF represents Millers Point, Dawes Point, The Rocks and Walsh Bay residents . FoMP is a coalition of public figures, artists, art organisations, educators, social scientists, church and community leaders, business owners, residents, politicians (local, state and federal) and others. . Patrons are Anthony Albanese, Eva Cox, Jack Mundy, Reg Mombassa and Michael Kendrick. Convenor - Kelli Haynes/ Media - John Dunn
Interest / action groups	Walsh Bay Precinct Management Association (PMA)	The Hon (Laurie) Laurence Brereton (attends the PMA as well as sometimes the MCRAG meetings) - ex. State and Federal Minister (ALP)
Elected representatives	Lord Mayor of Sydney	. Clover Moore (IND) as well as councillors including Alex Greenwich (IND)
Elected representatives	Local Member of Parliament	Alex Greenwich, State Member for Sydney (Also works a lot with MCRAG and Walsh Bay Precinct Committee. Popular in the local community)
Elected representatives	Federal Member for Sydney	Tanya Plibersek MP (ALP)
Indigenous/ ethnic groups	Metropolitan Local Aboriginal Land Council	. Yvonne Weldon, Board Chair . Nathan Moran, CEO . Cadigal Aboriginal people (original custodians of Millers Point)
Government agencies / depts	RMS Roads	Western Distributor, Bradfield HSW/ Cahill Expressway
Government agencies / depts	Property NSW	Kim Russell, Asset and Leasing Manager, Portfolio Management Group
Government agencies / depts	Schools Infrastructure NSW (SINSW)	. Aaron Smith, Snr PD Major Precincts . Richard Skinner, Director Education Leadership, DoE Port Jackson . Access Management Utility (AMU), SINSW Rep present . Esben Jensen, Community Engagement Manager . Emma Marshall, New Learning Environments
Consultants	Schreiber Hamilton Architecture (SHAC)	. Justin Hamilton, Architect . Elizabeth Brown, Director

Category	Stakeholder Group	Key Parties
Consultants	FJMT	Elizabeth Carpenter, Managing Principal
Consultants	Roots Partnership	Chris Crick, Director Justine Newby, Senior Project Manager
Immediate neighbours	National Trust of Australia (SWG) / Sydney Observatory	. HQ for National Trust . Home to S.H. Ervin Gallery . Richard Silink, Deputy CEO . James Rongen-Hall, Exhibition Project Coordinator . Museum of Applied Arts & Sciences
Immediate neighbours	Hotel / holiday accommodation	The Langham Sydney (Kent Street)
Authorities	NSW office of Environment & Heritage (SWG) & NSW Heritage Council	Hendry Wan, Senior Heritage Officer
Local residents	Kent Street, Lower Fort Street, Upper Fort Street, Essex Street, Hickson Road, Argyle Place, Windmill Street	. Residential and commercial properties . Barangaroo team engages with the Kent Street building managers only . Tennis courts
Sport and recreation	King George V Rec Centre	City of Sydney
Sport and recreation	Abe Mott Community and Youth Centre	. City of Sydney . Community Centre worker (Sage) has been there are long time. Sage also does a lot of work for homelessness. Darren Tan, Community Development Manager, Lendlease Barangaroo South has engaged with her re. homelessness in the Sydney CBD.
Lendlease business units	LL Millers Point (Barangaroo South) Development	Darren Tan, Lendlease Community Development Manager, Barangaroo South and Crown, Lendlease Millers Point
Lendlease business units	Lendlease Property & Building Social Sustainability Senior Strategic Management Team	. Amanda Shaw, GM Social Sustainability Australia . Clare Baker, Senior Strategic Stakeholder Engagement Manager, Property & Building
Authorities	City of Sydney Exec & Officers	. Kim Woodbury, COO . Monica Barone, CEO
Media / social media	Local, city and state-wide print media and social media (Facebook, Instagram, etc.)	. SMH, Daily Tele, etc. . Millers Point Community Facebook . Save our Millers Point Facebook

11.0 AUTHORITIES

11.1 LEGISLATIVE REQUIREMENTS

The works will be undertaken is accordance with Legislative Requirements including but not limited to:

- National Construction Code 2017 comprising the Building Code of Australia;
- Protection of the Environment Operations Act 1997 and Regulations;
- Environmentally Hazardous Materials Act 1985;
- Protection of the Environment Administration Act 1991 and Regulations;
- Work, Health & Safety Act 2017 and relevant codes of practice and standards;
- Australian Standard 2601-2001: Demolition of Structures;
- Environmental Planning and Assessment Act 1979;
- Heritage Act 1997;
- Local Government Act 1993; and
- National Parks and Wildlife Act 1974.

11.2 STATUTORY PLANNING APPROVAL AND CONSTRUCTION CERTIFICATE

Our Design Manager - Building and Authorities will lead this process working closely with the PCA (Principal Certifier) and with the client design team. The SSDA approval will identify generic and specific deliverables required from SINSW for the Construction Certificate. Lendlease will coordinate this process to ensure there is a clear and coordinated program to submit all Construction Certificate requirements to the PCA so that no program delays arise.

11.3 UTILITY PROVIDER AND ASSOCIATED EXTERNAL APPROVALS

At various stages external approvals of components of the works will be required. This will include:

- The City of Sydney Council (water, sewer, traffic);
- Jemena (gas);
- Ausgrid (or local electricity provider);
- NSW Fire and Rescue;
- Roads and Maritime Services;
- Communication providers; and
- Other relevant utility providers.

Our approach with these authorities will differ dependent on the respective requirements, however fundamentally we will seek:

- Prior coordination with SINSW to ensure all approaches are aligned and coordinated;
- Early contact to mitigate potential delays and identify potential issues; and
- Establish common contacts that can provide continuity of service on the project

Fort Street Public School - Option 3A

Activity ID	Activity Name	Duration	Start	Finish	Total Float
Fort Street Public School - Option 3A					
Wentworth Pop-Up School Communications Plan					
FSPS-PU-1000	Project Update - Start of Year	5	24-Feb-20 A	28-Feb-20 A	
FSPS-PU-1010	Project Update - SSDA Lodgement; Pop-up school proposal	5	09-Mar-20*	13-Mar-20	0
FSPS-PU-1020	Ultimo Public School e-news - Pop-up school proposal	5	09-Mar-20*	13-Mar-20	0
FSPS-PU-1030	Information session/s - SSDA exhibition; Pop-up school proposal	5	23-Mar-20*	27-Mar-20	0
FSPS-PU-1040	Project Update - Wentworth Park pop-up school REF Amendment determination; Parent/carer s	20	04-May-20*	29-May-20	0
FSPS-PU-1050	Project Notification - Wentworth Park pop-up school REF Amendment determination	20	04-May-20*	29-May-20	0
FSPS-PU-1060	Parent/carer survey	20	18-May-20*	15-Jun-20	0
ECI Services					
Planning Milestones					
FSPS-1000	Preferred Contractor Award	0	10-Oct-19 A		
FSPS-1010	Contractor Participation & Acceptance	43	10-Oct-19 A	09-Dec-19 A	
FSPS-1020	Initial Meeting with Johnstaff and SINSW	0	05-Dec-19 A		
FSPS-1030	EOI Commencement - Contract Execution	0	10-Dec-19 A		
FSPS-1040	Concept Design Validation	16	12-Dec-19 A	15-Jan-20 A	
FSPS-1060	Concept Design Validation Report	0		15-Jan-20 A	
FSPS-1070	Schematic Design	74	16-Jan-20 A	01-May-20	0
FSPS-1050	Initial Design Meeting & Design Briefing	0	05-Mar-20		0
FSPS-1080	Schematic Design Report	0		01-May-20	0
FSPS-1090	Detailed Design	61	04-May-20	28-Jul-20	34
FSPS-1100	Detailed Design Report	0		28-Jul-20	34
FSPS-1110	Preparation of Contract Documentation Suitable for Tender	34	29-Jul-20	14-Sep-20	38
FSPS-1120	Contract Documentation Suitable for Tender	0		14-Sep-20	38
FSPS-1130	Preparation of Main Works Offer	21	15-Sep-20	14-Oct-20	38
FSPS-1140	Main Works Offer	0	15-Oct-20		38
FSPS-1150	Review of Main Works Offer	11	15-Oct-20	29-Oct-20	38
FSPS-1160	Approval of Main Works Offer	0		29-Oct-20	38
Planning Approval					
SSD Application					
A98440	Complile concept DA & EIS (submitted by SINSW), test for adequacy & updates	38	04-May-20	25-Jun-20	0
A98450	Submit SSD Application for proposed works	0		25-Jun-20	0
A98460	SSD Approval Period	177	26-Jun-20	12-Mar-21	0
A98470	DPE Determination of Application	0		12-Mar-21	0
SSDA Construction Certificate					
A98480	Construction Certificate documentation and approval	20	15-Mar-21	13-Apr-21	0
A98490	Start on Site (Earliest)	0		13-Apr-21	0
Utilities					
Power					
A98510	Utility connection application	102	26-Aug-20	27-Jan-21	83
A98520	Services Upgrades	145	28-Jan-21	24-Aug-21	83
Sydney Water					
A98530	Utility connection application	50	30-Oct-20	18-Jan-21	234
Main Works					
Design AFT/AFC/CC					
FSPS-1170	Balance of AFT Documentation	60	29-Jul-20	21-Oct-20	34
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FSPS-1220	Services Infrastructure - Tender & Award	40	05-Nov-20	08-Jan-21	44
FSPS-1290	Earthworks / Demolition - Lead In	10	05-Jan-21	18-Jan-21	58
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FSPS-1450	Formwork - Lead In	40	09-Feb-21	07-Apr-21	106
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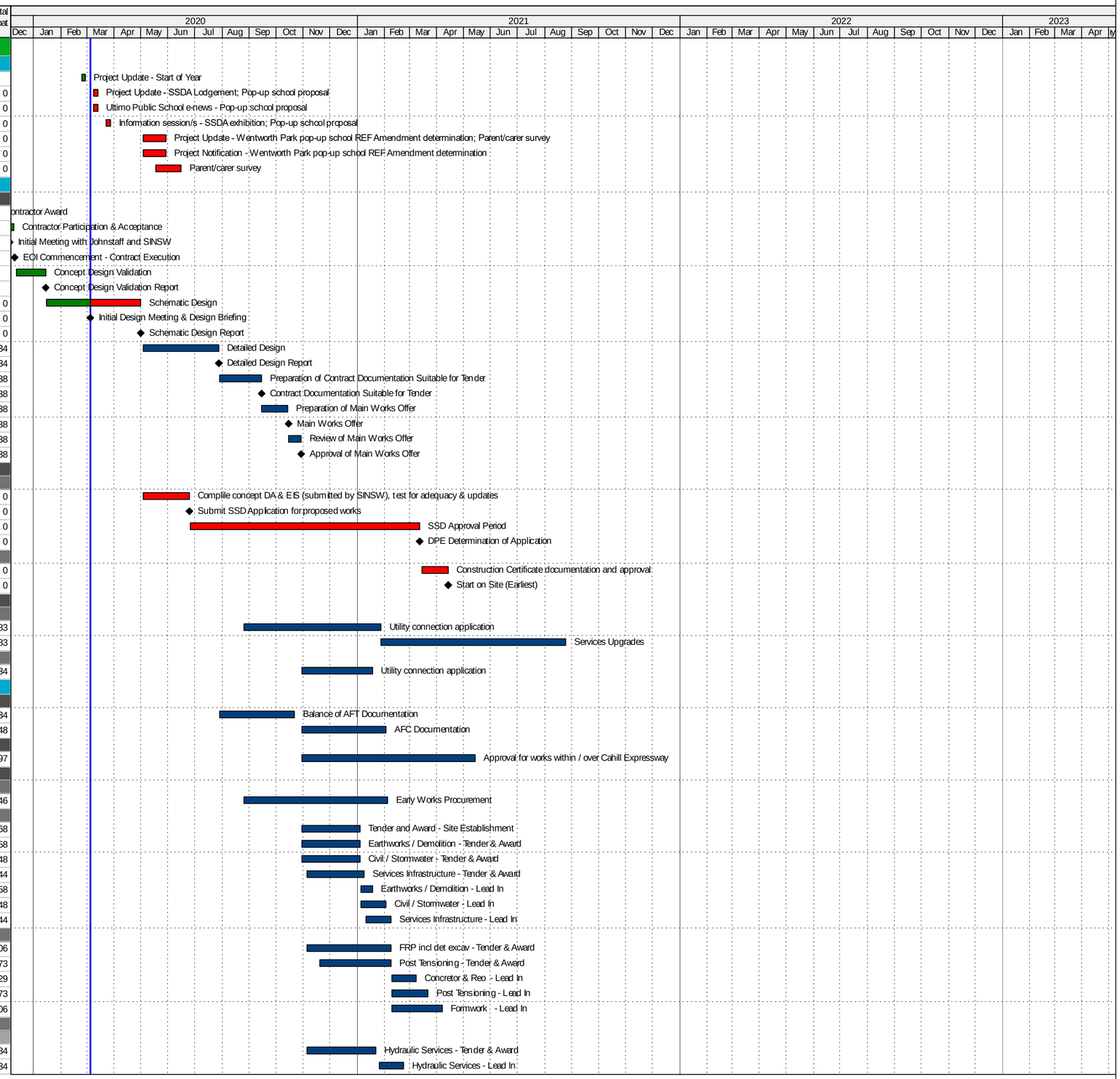

Remaining Level of Effort ◆ Milestone
Remaining Work
Critical Remaining Work
Actual Work

Date	Revision	Checked	Approved
09-Mar-20	Option 3A	PL	

Fort Street Public School - Option 3A

Project: FSS-IND-001
Data Date: 05-Mar-20
Run Date: 09-Mar-20
Layout: FSPS

Fort Street Public School - Option 3A

Activity ID	Activity Name	Duration	Start	Finish	Total Float
Electrical & Allied Services					
FSPS-1250	Electrical & Allied Services - Tender & Award	50	05-Nov-20	22-Jan-21	34
FSPS-1430	Electrical & Allied Services - Lead In	20	26-Jan-21	22-Feb-21	34
Mechanical Services					
FSPS-1280	Mechanical Services - Tender & Award	60	03-Dec-20	08-Mar-21	159
FSPS-1760	Mechanical Services - Lead In	60	09-Mar-21	03-Jun-21	159
Fire Services					
FSPS-1310	Fire Services - Tender & Award	60	17-Dec-20	22-Mar-21	169
FSPS-1940	Fire Services - Lead In	40	23-Mar-21	20-May-21	169
Lift Services					
FSPS-1260	Lift Services - Tender & Award	60	05-Nov-20	08-Feb-21	133
FSPS-1460	Lift Services - Lead In	120	09-Feb-21	30-Jul-21	133
Facade & Roof					
FSPS-1300	Brickworks - Tender & Award	50	23-Feb-21	06-May-21	186
FSPS-1340	Facade - Tender & Award	50	23-Mar-21	03-Jun-21	86
FSPS-1350	Windows - Tender & Award	50	23-Mar-21	03-Jun-21	96
FSPS-1750	Brickworks - Lead In	20	07-May-21	03-Jun-21	186
FSPS-1930	Facade Cladding - Shop Drawings	50	04-Jun-21	13-Aug-21	86
FSPS-1950	Windows - Lead In	80	04-Jun-21	24-Sep-21	96
A98570	Facade Cladding - Fabrication	40	16-Aug-21	11-Oct-21	86
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FSPS-1770	Finishes	100	15-Jun-21	02-Nov-21	145
External Works					
FSPS-2120	External Works	100	27-Jul-21	14-Dec-21	54
Key Milestones & Client Dates					
Site Establishment					
FSPS-1370	Construction Commmence	0	14-Apr-21		0
FSPS-1400	Site Establishment	15	14-Apr-21	07-May-21	0
Section 1					
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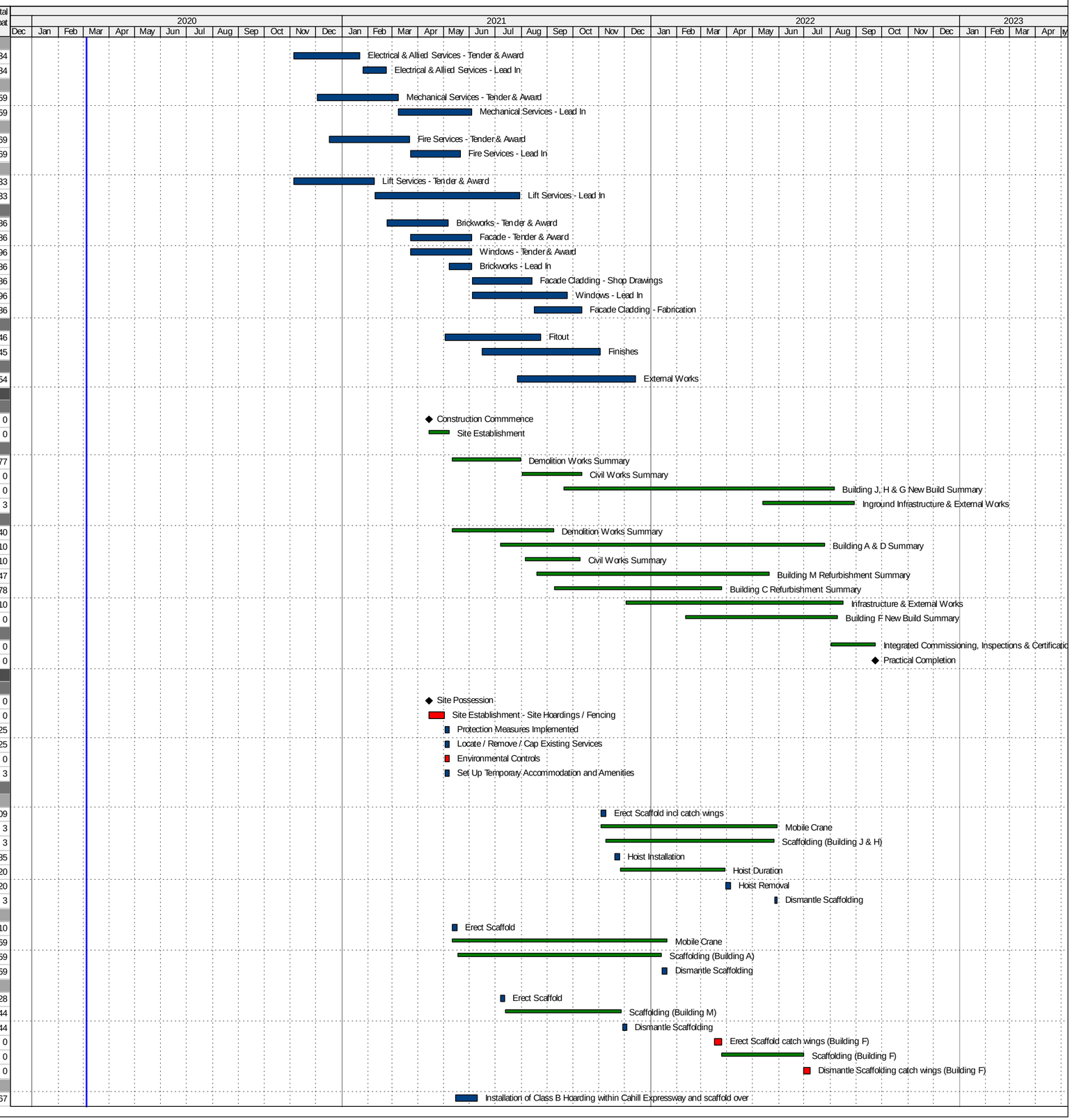
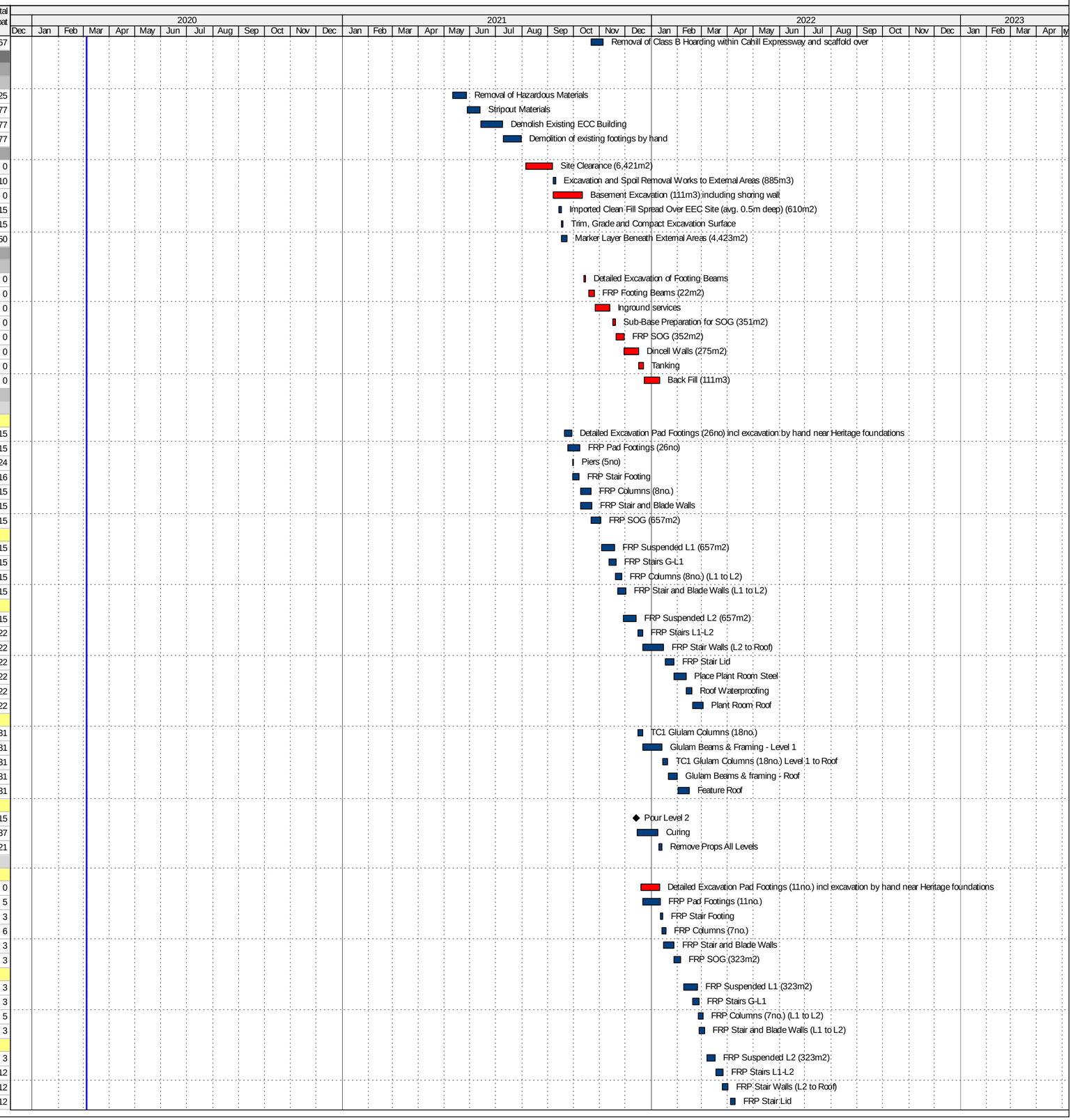
A98550	Civil Works Summary	44	02-Aug-21	11-Oct-21	0
FSPS-2430	Building J, H & G New Build Summary	177	20-Sep-21	05-Aug-22	0
A98420	Inground Infrastructure & External Works	65	13-May-22	29-Aug-22	3
Section 2					
A98410	Demolition Works Summary	76	11-May-21	08-Sep-21	40
FSPS-1660	Building A & D Summary	218	07-Jul-21	25-Jul-22	10
A98560	Civil Works Summary	39	06-Aug-21	09-Oct-21	10
FSPS-1650	Building M Refurbishment Summary	152	19-Aug-21	20-May-22	47
FSPS-1630	Building C Refurbishment Summary	106	09-Sep-21	25-Mar-22	78
FSPS-3150	Infrastructure & External Works	140	03-Dec-21	16-Aug-22	10
FSPS-3210	Building F New Build Summary	104	11-Feb-22	09-Aug-22	0
Commissioning & Completion					
FSPS-5800	Integrated Commissioning, Inspections & Certification	35	02-Aug-22	23-Sep-22	0
FSPS-5840	Practical Completion	0		23-Sep-22	0
Onsite Construction Works					
Mobilisation & Site Establishment					
FSPS-1388	Site Possession	0	14-Apr-21		0
FSPS-1390	Site Establishment - Site Hoardings / Fencing	10	14-Apr-21	01-May-21	0
FSPS-1470	Protection Measures Implemented	5	03-May-21	07-May-21	25
FSPS-1480	Locate / Remove / Cap Existing Services	5	03-May-21	07-May-21	25
FSPS-1490	Environmental Controls	5	03-May-21	07-May-21	0
FSPS-1500	Set Up Temporary Accommodation and Amenities	5	03-May-21	07-May-21	3
Construction Equipment & Plant					
Building J, H & G					
FSPS-3070	Erect Scaffold incl catch wings	5	03-Nov-21	08-Nov-21	109
FSPS-3090	Mobile Crane	114	03-Nov-21	30-May-22	3
FSPS-3280	Scaffolding (Building J & H)	106	09-Nov-21	26-May-22	3
FSPS-3390	Hoist Installation	5	19-Nov-21	25-Nov-21	85
FSPS-3500	Hoist Duration	65	26-Nov-21	29-Mar-22	20
FSPS-4630	Hoist Removal	5	30-Mar-22	05-Apr-22	20
FSPS-5260	Dismantle Scaffolding	3	27-May-22	30-May-22	3
Building A & D					
FSPS-1600	Erect Scaffold	5	11-May-21	17-May-21	10
FSPS-1640	Mobile Crane	146	11-May-21	20-Jan-22	59
FSPS-1810	Scaffolding (Building A)	136	18-May-21	13-Jan-22	59
FSPS-4450	Dismantle Scaffolding	5	14-Jan-22	20-Jan-22	59
Building M & F					
FSPS-1610	Erect Scaffold	5	07-Jul-21	12-Jul-21	128
FSPS-1800	Scaffolding (Building M)	84	13-Jul-21	26-Nov-21	44
FSPS-3260	Dismantle Scaffolding	5	29-Nov-21	03-Dec-21	44
A98280	Erect Scaffold catch wings (Building F)	5	17-Mar-22	25-Mar-22	0
A98300	Scaffolding (Building F)	53	26-Mar-22	30-Jun-22	0
A98290	Dismantle Scaffolding catch wings (Building F)	5	01-Jul-22	08-Jul-22	0
Vent Shaft Works					
A98320	Installation of Class B Hoarding within Cahill Expressway and scaffold over	15	15-May-21	09-Jun-21	167



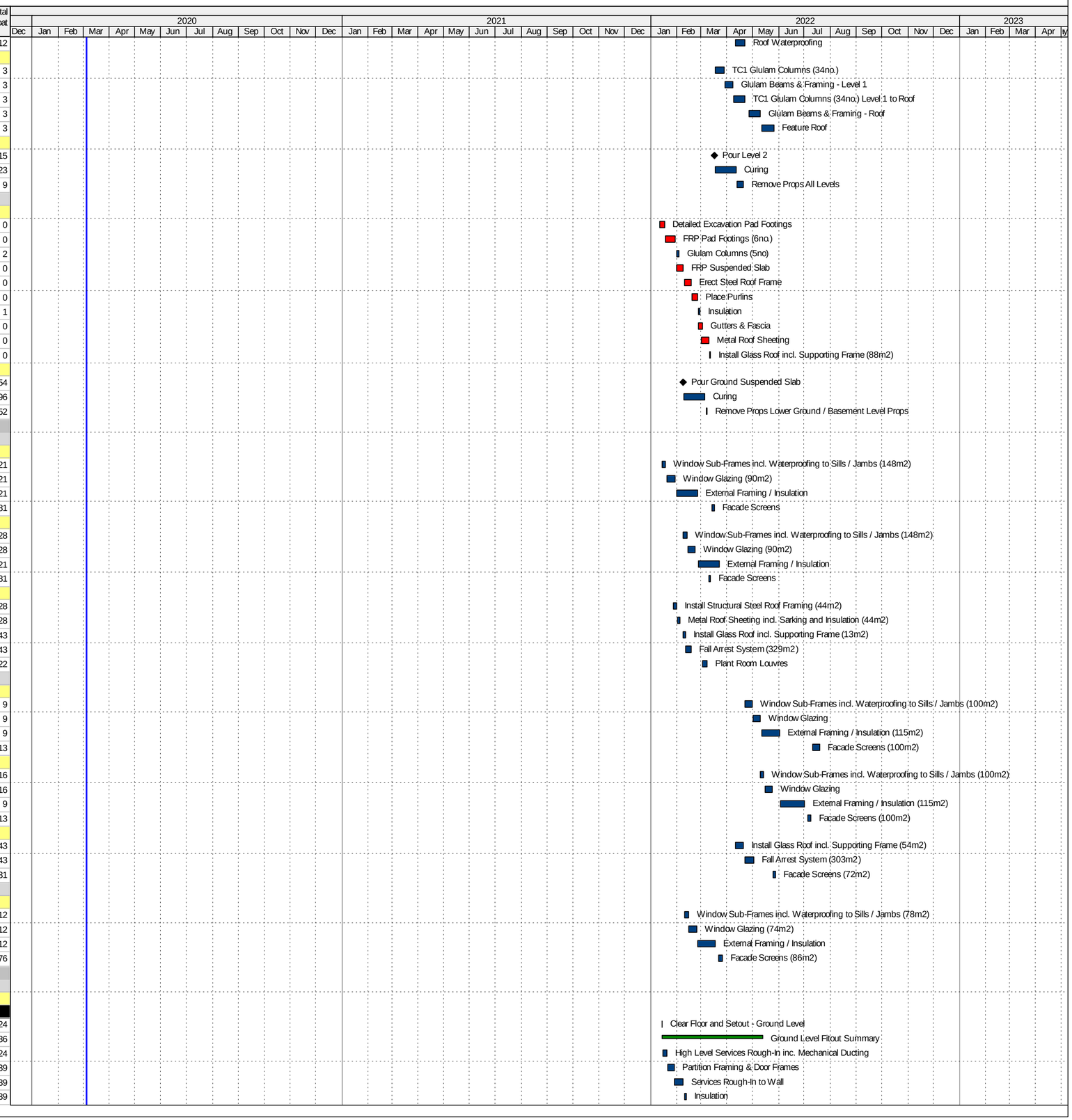
Fort Street Public School - Option 3A

Activity ID	Activity Name	Duration	Start	Finish	Total Float
A98330	Removal of Class B Hoarding within Cahill Expressway and scaffold over	10	22-Oct-21	05-Nov-21	167
Section 1					
Demolition					
EEC Building (514m2)					
FSPS-1590	Removal of Hazardous Materials	10	11-May-21	27-May-21	25
FSPS-1790	Stripout Materials	10	28-May-21	12-Jun-21	77
FSPS-1920	Demolish Existing ECC Building	15	14-Jun-21	09-Jul-21	77
A98200	Demolition of existing footings by hand	15	10-Jul-21	31-Jul-21	77
Bulk Earthworks					
FSPS-2270	Site Clearance (6,421m2)	20	06-Aug-21	06-Sep-21	0
FSPS-2420	Excavation and Spoil Removal Works to External Areas (885m3)	4	07-Sep-21	10-Sep-21	10
FSPS-2410	Basement Excavation (111m3) including shoring wall	20	07-Sep-21	11-Oct-21	0
FSPS-2490	Imported Clean Fill Spread Over EEC Site (avg. 0.5m deep) (610m2)	2	14-Sep-21	16-Sep-21	15
FSPS-2560	Trim, Grade and Compact Excavation Surface	2	17-Sep-21	18-Sep-21	15
FSPS-2570	Marker Layer Beneath External Areas (4,423m2)	5	17-Sep-21	23-Sep-21	50
Building G, H & J - New Build					
Substructure (Building H & G)					
FSPS-2460	Detailed Excavation of Footing Beams	2	13-Oct-21	15-Oct-21	0
FSPS-2540	FRP Footing Beams (22m2)	5	19-Oct-21	25-Oct-21	0
A98220	Inground services	12	26-Oct-21	12-Nov-21	0
FSPS-2660	Sub-Base Preparation for SOG (351m2)	3	16-Nov-21	19-Nov-21	0
FSPS-2740	FRP SOG (352m2)	6	20-Nov-21	29-Nov-21	0
FSPS-2860	Dincell Walls (275m2)	10	30-Nov-21	16-Dec-21	0
FSPS-3020	Tanking	5	17-Dec-21	22-Dec-21	0
FSPS-3240	Back Fill (111m3)	2	23-Dec-21	10-Jan-22	0
Structure					
Building J					
Ground Floor					
FSPS-2600	Detailed Excavation Pad Footings (26no) incl excavation by hand near Heritage foundations	6	20-Sep-21	29-Sep-21	15
FSPS-2690	FRP Pad Footings (26no)	7	24-Sep-21	08-Oct-21	15
FSPS-2700	Piers (5no)	1	30-Sep-21	30-Sep-21	24
FSPS-2710	FRP Stair Footing	3	30-Sep-21	07-Oct-21	16
FSPS-2820	FRP Columns (8no.)	6	09-Oct-21	21-Oct-21	15
FSPS-2840	FRP Stair and Blade Walls	7	09-Oct-21	22-Oct-21	15
FSPS-2930	FRP SOG (657m2)	7	22-Oct-21	02-Nov-21	15
Level 1					
FSPS-3080	FRP Suspended L1 (657m2)	10	03-Nov-21	18-Nov-21	15
FSPS-3320	FRP Stairs G-L1	5	12-Nov-21	20-Nov-21	15
FSPS-3430	FRP Columns (8no.) (L1 to L2)	6	19-Nov-21	26-Nov-21	15
FSPS-3460	FRP Stair and Blade Walls (L1 to L2)	7	22-Nov-21	01-Dec-21	15
Level 2					
FSPS-3520	FRP Suspended L2 (657m2)	10	29-Nov-21	14-Dec-21	15
FSPS-3670	FRP Stairs L1-L2	5	16-Dec-21	21-Dec-21	22
FSPS-3760	FRP Stair Walls (L2 to Roof)	7	22-Dec-21	15-Jan-22	22
FSPS-3890	FRP Stair Lid	5	17-Jan-22	27-Jan-22	22
FSPS-4060	Place Plant Room Steel	8	28-Jan-22	10-Feb-22	22
FSPS-4270	Roof Waterproofing	5	11-Feb-22	17-Feb-22	22
FSPS-4400	Plant Room Roof	8	18-Feb-22	02-Mar-22	22
Verandah Structure					
FSPS-3680	TC1 Glulam Columns (18no.)	5	16-Dec-21	21-Dec-21	131
FSPS-3750	Glulam Beams & Framing - Level 1	5	22-Dec-21	13-Jan-22	131
FSPS-3830	TC1 Glulam Columns (18no.) Level 1 to Roof	5	14-Jan-22	20-Jan-22	131
FSPS-3950	Glulam Beams & framing - Roof	5	21-Jan-22	31-Jan-22	131
FSPS-4150	Feature Roof	8	01-Feb-22	14-Feb-22	131
Curing / Stripping / Prop Removal					
FSPS-3640	Pour Level 2	0		14-Dec-21	15
FSPS-3650	Curing	25	15-Dec-21	08-Jan-22	37
FSPS-4040	Remove Props All Levels	3	10-Jan-22	13-Jan-22	21
Building H					
Ground Floor					
FSPS-3220	Detailed Excavation Pad Footings (11no.) incl excavation by hand near Heritage foundations	5	20-Dec-21	10-Jan-22	0
FSPS-3290	FRP Pad Footings (11no.)	4	22-Dec-21	11-Jan-22	5
FSPS-3310	FRP Stair Footing	3	11-Jan-22	14-Jan-22	3
FSPS-3420	FRP Columns (7no.)		13-Jan-22	18-Jan-22	6
FSPS-3440	FRP Stair and Blade Walls	6	15-Jan-22	27-Jan-22	3
FSPS-3510	FRP SOG (323m2)	6	28-Jan-22	04-Feb-22	3
Level 1					
FSPS-3600	FRP Suspended L1 (323m2)	10	08-Feb-22	24-Feb-22	3
FSPS-3690	FRP Stairs G-L1	5	18-Feb-22	26-Feb-22	3
FSPS-3720	FRP Columns (7no.) (L1 to L2)	5	25-Feb-22	02-Mar-22	5
FSPS-3740	FRP Stair and Blade Walls (L1 to L2)	6	26-Feb-22	04-Mar-22	3
Level 2					
FSPS-3850	FRP Suspended L2 (323m2)	7	08-Mar-22	17-Mar-22	3
FSPS-4050	FRP Stairs L1-L2	5	18-Mar-22	26-Mar-22	12
FSPS-4210	FRP Stair Walls (L2 to Roof)	6	26-Mar-22	01-Apr-22	12
FSPS-4320	FRP Stair Lid	5	04-Apr-22	09-Apr-22	12



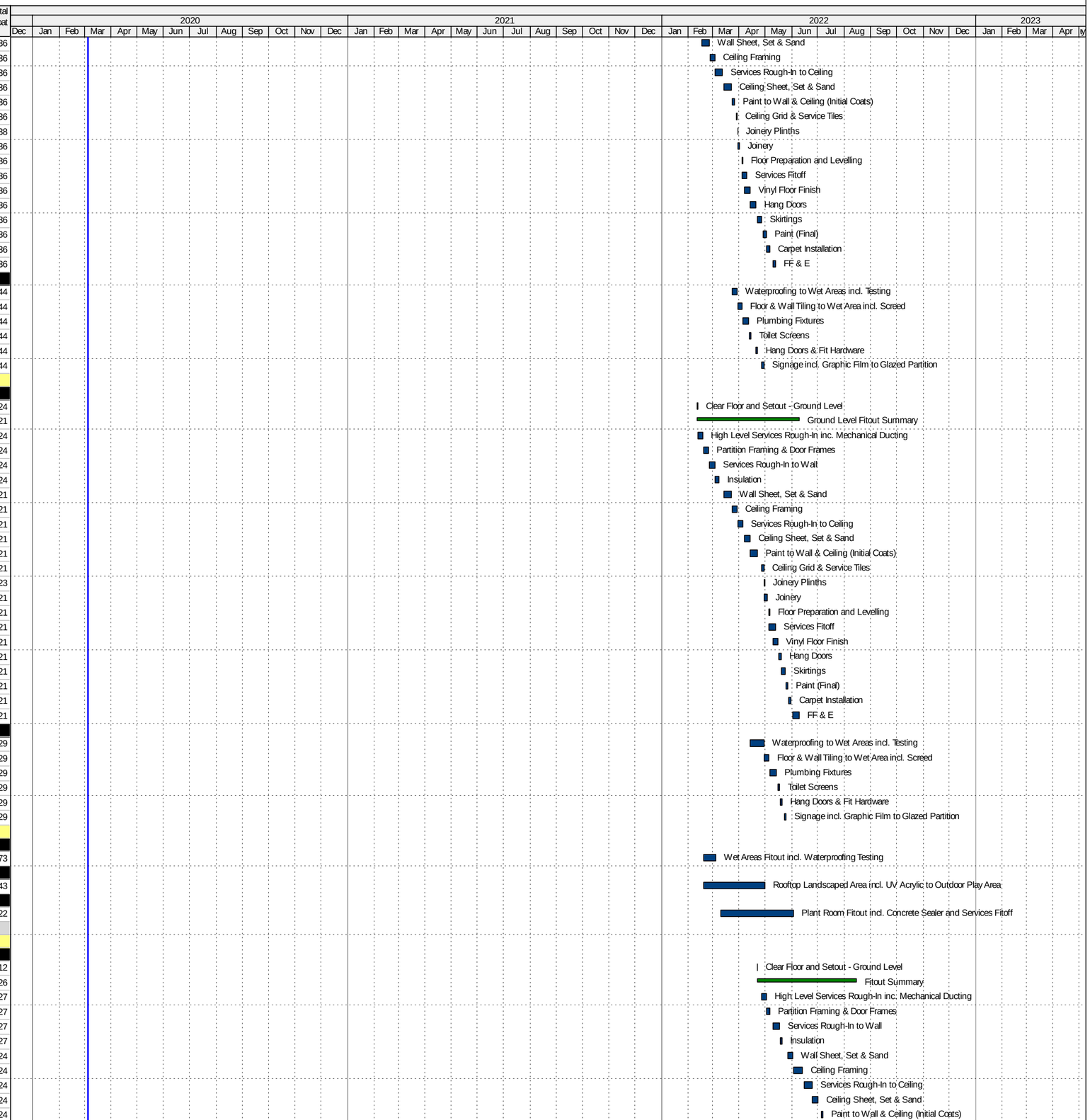
Fort Street Public School - Option 3A

Activity ID	Activity Name	Duration	Start	Finish	Total Float
FSPS-4440	Roof Waterproofing	5	11-Apr-22	22-Apr-22	12
Verandah Structure					
FSPS-4070	TC1 Glulam Columns (34no.)	6	18-Mar-22	28-Mar-22	3
FSPS-4330	Glulam Beams & Framing - Level 1	8	29-Mar-22	08-Apr-22	3
FSPS-4570	TC1 Glulam Columns (34no.) Level 1 to Roof	6	09-Apr-22	22-Apr-22	3
FSPS-4770	Glulam Beams & Framing - Roof	8	27-Apr-22	10-May-22	3
FSPS-4960	Feature Roof	10	12-May-22	26-May-22	3
Curing / Stripping / Prop Removal					
FSPS-4030	Pour Level 2	0		17-Mar-22	15
FSPS-4090	Curing	25	18-Mar-22	11-Apr-22	23
FSPS-4510	Remove Props All Levels	3	13-Apr-22	20-Apr-22	9
Building G					
Ground Level					
FSPS-3330	Detailed Excavation Pad Footings	5	11-Jan-22	17-Jan-22	0
FSPS-3450	FRP Pad Footings (6no.)	6	18-Jan-22	29-Jan-22	0
FSPS-3540	Glulam Columns (5no)	3	31-Jan-22	03-Feb-22	2
FSPS-3550	FRP Suspended Slab	5	31-Jan-22	08-Feb-22	0
FSPS-3620	Erect Steel Roof Frame	6	10-Feb-22	17-Feb-22	0
FSPS-3710	Place Purlins	4	18-Feb-22	25-Feb-22	0
FSPS-3770	Insulation	2	26-Feb-22	28-Feb-22	1
FSPS-3790	Gutters & Fascia	4	26-Feb-22	02-Mar-22	0
FSPS-3820	Metal Roof Sheeting	5	02-Mar-22	10-Mar-22	0
FSPS-3822	Install Glass Roof incl. Supporting Frame (88m2)	2	11-Mar-22	12-Mar-22	0
Curing / Stripping / Prop Removal					
A98090	Pour Ground Suspended Slab	0		08-Feb-22	54
A98120	Curing	25	09-Feb-22	05-Mar-22	96
A98110	Remove Props Lower Ground / Basement Level Props	1	08-Mar-22	08-Mar-22	52
Exterior (Facade, Cladding & Roofing)					
Building J					
Ground Level					
A2400	Window Sub-Frames incl. Waterproofing to Sills / Jambs (148m2)	4	14-Jan-22	18-Jan-22	21
A2402	Window Glazing (90m2)	5	20-Jan-22	29-Jan-22	21
A2405	External Framing / Insulation	15	31-Jan-22	25-Feb-22	21
A2415	Facade Screens	3	14-Mar-22	17-Mar-22	81
Level 1					
A2444	Window Sub-Frames incl. Waterproofing to Sills / Jambs (148m2)	4	08-Feb-22	12-Feb-22	28
A2445	Window Glazing (90m2)	5	14-Feb-22	22-Feb-22	28
A2447	External Framing / Insulation	15	26-Feb-22	22-Mar-22	21
A2460	Facade Screens	3	10-Mar-22	12-Mar-22	81
Level 2 / Roof					
A3065	Install Structural Steel Roof Framing (44m2)	3	28-Jan-22	31-Jan-22	28
A3069	Metal Roof Sheeting incl. Sarking and Insulation (44m2)	3	01-Feb-22	04-Feb-22	28
A3071	Install Glass Roof incl. Supporting Frame (13m2)	2	08-Feb-22	10-Feb-22	43
A3075	Fall Arrest System (329m2)	5	11-Feb-22	17-Feb-22	43
A3077	Plant Room Louvres	3	03-Mar-22	08-Mar-22	22
Building H					
Ground Level					
A95610	Window Sub-Frames incl. Waterproofing to Sills / Jambs (100m2)	4	22-Apr-22	30-Apr-22	9
A95615	Window Glazing	5	02-May-22	10-May-22	9
A95617	External Framing / Insulation (115m2)	15	12-May-22	02-Jun-22	9
A95620	Facade Screens (100m2)	5	11-Jul-22	19-Jul-22	13
Level 1					
A95658	Window Sub-Frames incl. Waterproofing to Sills / Jambs (100m2)	4	10-May-22	14-May-22	16
A95659	Window Glazing	5	16-May-22	24-May-22	16
A95660	External Framing / Insulation (115m2)	15	03-Jun-22	01-Jul-22	9
A95680	Facade Screens (100m2)	5	05-Jul-22	09-Jul-22	13
Level 2 / Roof					
A95768	Install Glass Roof incl. Supporting Frame (54m2)	4	11-Apr-22	20-Apr-22	43
A95770	Fall Arrest System (303m2)	5	22-Apr-22	02-May-22	43
A95780	Facade Screens (72m2)	4	25-May-22	28-May-22	31
Building G					
Ground					
A96860	Window Sub-Frames incl. Waterproofing to Sills / Jambs (78m2)	4	10-Feb-22	14-Feb-22	12
A96865	Window Glazing (74m2)	5	15-Feb-22	24-Feb-22	12
A96870	External Framing / Insulation	15	25-Feb-22	18-Mar-22	12
A96920	Facade Screens (86m2)	4	22-Mar-22	26-Mar-22	76
Interior (Services, Finishes & Fitout)					
Building J					
Ground Level					
Learning					
FSPS-4120	Clear Floor and Setout - Ground Level	1	14-Jan-22	14-Jan-22	24
FSPS-4180	Ground Level Fitout Summary	67	14-Jan-22	13-May-22	36
FSPS-4200	High Level Services Rough-In inc. Mechanical Ducting	4	15-Jan-22	20-Jan-22	24
FSPS-4260	Partition Framing & Door Frames	3	21-Jan-22	28-Jan-22	39
FSPS-4360	Services Rough-In to Wall	6	29-Jan-22	08-Feb-22	39
FSPS-4500	Insulation	2	10-Feb-22	11-Feb-22	39



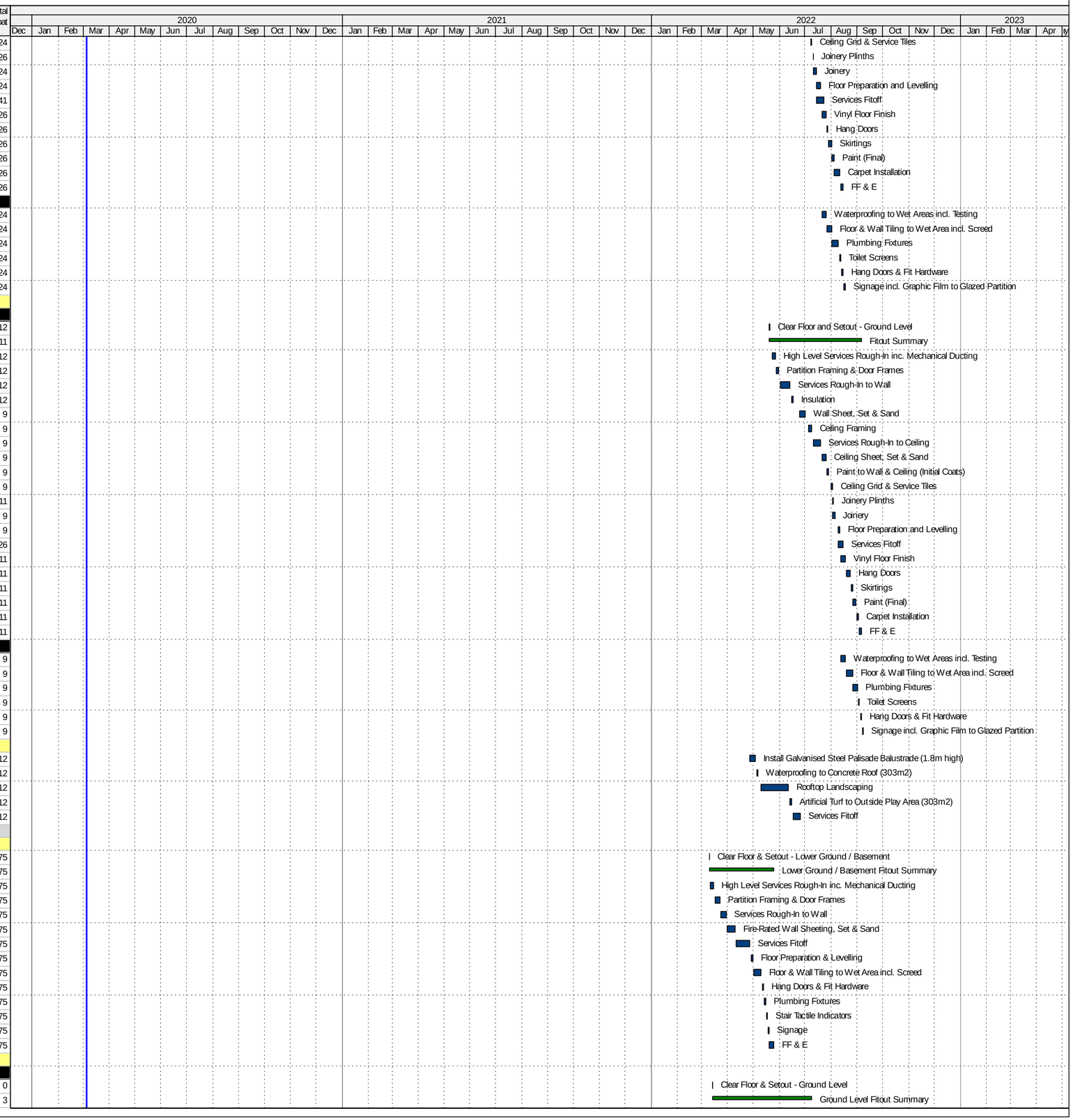
Fort Street Public School - Option 3A

Activity ID	Activity Name	Duration	Start	Finish	Total Float
FSPS-4540	Wall Sheet, Set & Sand	5	17-Feb-22	25-Feb-22	36
FSPS-4660	Ceiling Framing	5	26-Feb-22	03-Mar-22	36
FSPS-4720	Services Rough-In to Ceiling	5	04-Mar-22	12-Mar-22	36
FSPS-4820	Ceiling Sheet, Set & Sand	5	14-Mar-22	22-Mar-22	36
FSPS-4900	Paint to Wall & Ceiling (Initial Coats)	3	24-Mar-22	26-Mar-22	36
FSPS-5000	Ceiling Grid & Service Tiles	2	28-Mar-22	29-Mar-22	36
FSPS-5030	Joinery Plinths	1	30-Mar-22	30-Mar-22	38
FSPS-5060	Joinery	3	30-Mar-22	01-Apr-22	36
FSPS-5140	Floor Preparation and Levelling	2	04-Apr-22	05-Apr-22	36
FSPS-5170	Services Fitoff	5	04-Apr-22	09-Apr-22	36
FSPS-5250	Vinyl Floor Finish	5	07-Apr-22	13-Apr-22	36
FSPS-5400	Hang Doors	2	14-Apr-22	20-Apr-22	36
FSPS-5480	Skirtings	2	22-Apr-22	27-Apr-22	36
FSPS-5540	Paint (Final)	3	29-Apr-22	02-May-22	36
FSPS-5610	Carpet Installation	3	03-May-22	06-May-22	36
FSPS-5660	FF & E	3	10-May-22	13-May-22	36
Wet Area					
FSPS-4940	Waterproofing to Wet Areas incl. Testing	5	24-Mar-22	29-Mar-22	44
FSPS-5090	Floor & Wall Tiling to Wet Area incl. Screed	4	30-Mar-22	04-Apr-22	44
FSPS-5200	Plumbing Fixtures	5	05-Apr-22	11-Apr-22	44
FSPS-5370	Toilet Screens	2	13-Apr-22	14-Apr-22	44
FSPS-5450	Hang Doors & Fit Hardware	2	20-Apr-22	22-Apr-22	44
FSPS-5500	Signage incl. Graphic Film to Glazed Partition	2	27-Apr-22	29-Apr-22	44
Level 1					
Learning					
FSPS-4305	Clear Floor and Setout - Ground Level	1	11-Feb-22	11-Feb-22	24
FSPS-4300	Ground Level Fitout Summary	67	11-Feb-22	09-Jun-22	21
FSPS-4310	High Level Services Rough-In inc. Mechanical Ducting	4	12-Feb-22	17-Feb-22	24
FSPS-4390	Partition Framing & Door Frames	3	18-Feb-22	24-Feb-22	24
FSPS-4460	Services Rough-In to Wall	6	25-Feb-22	03-Mar-22	24
FSPS-4620	Insulation	2	04-Mar-22	08-Mar-22	24
FSPS-4670	Wall Sheet, Set & Sand	5	14-Mar-22	22-Mar-22	21
FSPS-4730	Ceiling Framing	5	24-Mar-22	29-Mar-22	21
FSPS-4830	Services Rough-In to Ceiling	5	30-Mar-22	05-Apr-22	21
FSPS-4950	Ceiling Sheet, Set & Sand	5	07-Apr-22	13-Apr-22	21
FSPS-5070	Paint to Wall & Ceiling (Initial Coats)	3	14-Apr-22	22-Apr-22	21
FSPS-5150	Ceiling Grid & Service Tiles	2	27-Apr-22	29-Apr-22	21
FSPS-5210	Joinery Plinths	1	30-Apr-22	30-Apr-22	23
FSPS-5220	Joinery	3	30-Apr-22	03-May-22	21
FSPS-5310	Floor Preparation and Levelling	2	05-May-22	06-May-22	21
FSPS-5320	Services Fitoff	5	05-May-22	13-May-22	21
FSPS-5410	Vinyl Floor Finish	5	10-May-22	16-May-22	21
FSPS-5550	Hang Doors	2	17-May-22	19-May-22	21
FSPS-5580	Skirtings	2	20-May-22	24-May-22	21
FSPS-5630	Paint (Final)	3	25-May-22	27-May-22	21
FSPS-5680	Carpet Installation	3	28-May-22	31-May-22	21
FSPS-5690	FF & E	3	02-Jun-22	09-Jun-22	21
Wet Area					
FSPS-5100	Waterproofing to Wet Areas incl. Testing	5	14-Apr-22	29-Apr-22	29
FSPS-5230	Floor & Wall Tiling to Wet Area incl. Screed	4	30-Apr-22	05-May-22	29
FSPS-5380	Plumbing Fixtures	5	06-May-22	14-May-22	29
FSPS-5510	Toilet Screens	2	16-May-22	17-May-22	29
FSPS-5570	Hang Doors & Fit Hardware	2	19-May-22	20-May-22	29
FSPS-5620	Signage incl. Graphic Film to Glazed Partition	2	24-May-22	25-May-22	29
Level 2 / Roof					
Wet Area					
A94830	Wet Areas Fitout incl. Waterproofing Testing	10	18-Feb-22	04-Mar-22	73
Rooftop Outdoor Play					
FSPS-4410	Rooftop Landscaped Area incl. UV Acrylic to Outdoor Play Area	40	18-Feb-22	30-Apr-22	43
Plant Room					
FSPS-4760	Plant Room Fitout incl. Concrete Sealer and Services Fitoff	50	10-Mar-22	03-Jun-22	22
Building H					
Ground Level					
Learning Area					
A97535	Clear Floor and Setout - Ground Level	1	22-Apr-22	22-Apr-22	12
A97530	Fitout Summary	67	22-Apr-22	15-Aug-22	26
A97540	High Level Services Rough-In inc. Mechanical Ducting	4	27-Apr-22	02-May-22	27
A97550	Partition Framing & Door Frames	3	03-May-22	06-May-22	27
A97560	Services Rough-In to Wall	6	10-May-22	17-May-22	27
A97570	Insulation	2	19-May-22	20-May-22	27
A97580	Wall Sheet, Set & Sand	5	27-May-22	02-Jun-22	24
A97590	Ceiling Framing	5	03-Jun-22	13-Jun-22	24
A97600	Services Rough-In to Ceiling	5	15-Jun-22	24-Jun-22	24
A97610	Ceiling Sheet, Set & Sand	5	25-Jun-22	01-Jul-22	24
A97620	Paint to Wall & Ceiling (Initial Coats)	3	05-Jul-22	07-Jul-22	24



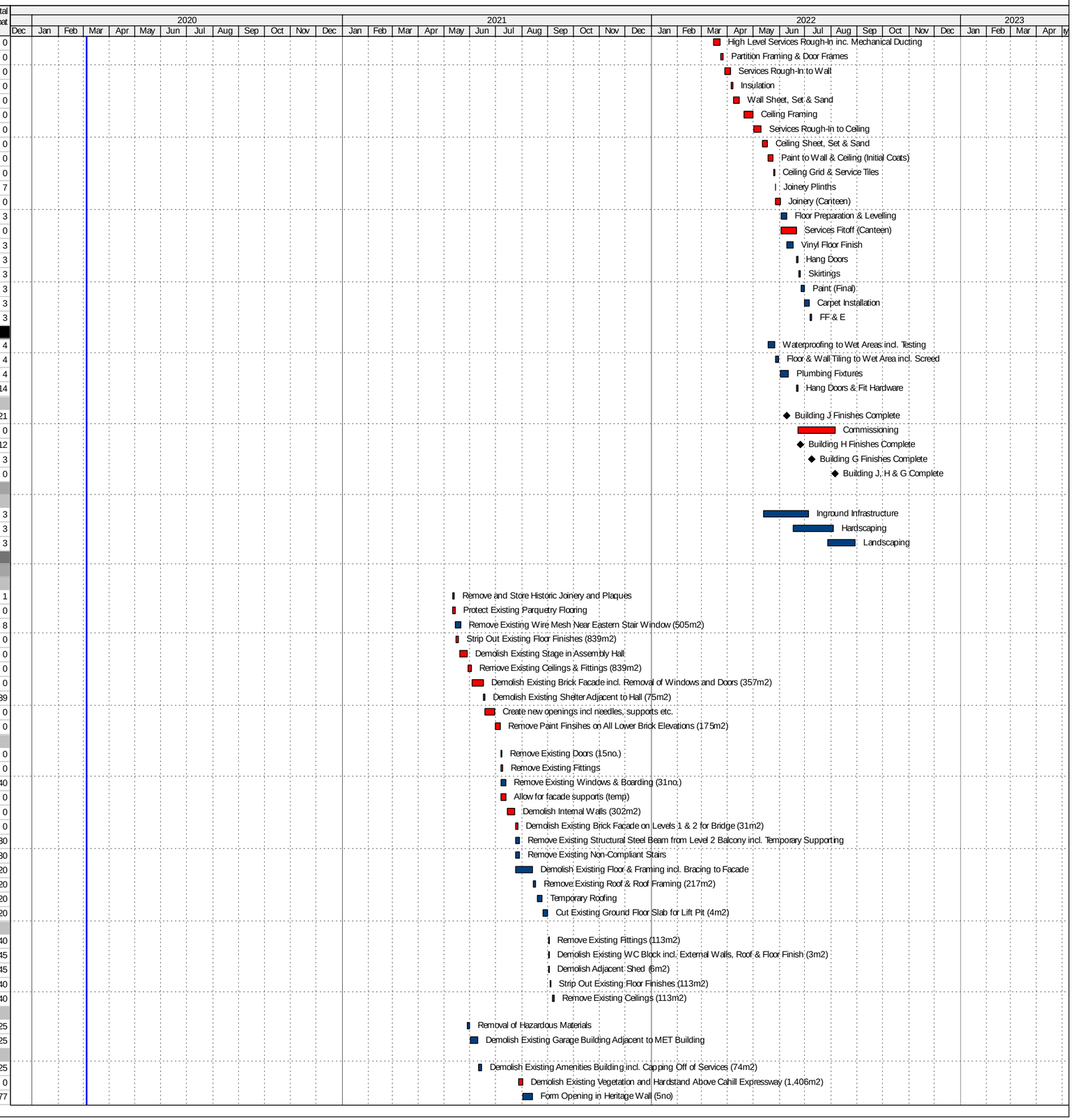
Fort Street Public School - Option 3A

Activity ID	Activity Name	Duration	Start	Finish	Total Float
A97630	Ceiling Grid & Service Tiles	2	08-Jul-22	09-Jul-22	24
A97640	Joinery Plinths	1	11-Jul-22	11-Jul-22	26
A97650	Joinery	3	11-Jul-22	14-Jul-22	24
A97660	Floor Preparation and Levelling	2	15-Jul-22	19-Jul-22	24
A97670	Services Fitoff	5	15-Jul-22	23-Jul-22	41
A97680	Vinyl Floor Finish	5	21-Jul-22	26-Jul-22	26
A97690	Hang Doors	2	27-Jul-22	28-Jul-22	26
A97700	Skirtings	2	29-Jul-22	01-Aug-22	26
A97710	Paint (Final)	3	02-Aug-22	04-Aug-22	26
A97720	Carpet Installation	3	05-Aug-22	11-Aug-22	26
A97730	FF & E	3	12-Aug-22	15-Aug-22	26
Wet Area					
A97740	Waterproofing to Wet Areas incl. Testing	5	21-Jul-22	26-Jul-22	24
A97750	Floor & Wall Tiling to Wet Area incl. Screed	4	27-Jul-22	01-Aug-22	24
A97760	Plumbing Fixtures	5	02-Aug-22	09-Aug-22	24
A97770	Toilet Screens	2	11-Aug-22	12-Aug-22	24
A97780	Hang Doors & Fit Hardware	2	13-Aug-22	15-Aug-22	24
A97790	Signage incl. Graphic Film to Glazed Partition	2	16-Aug-22	18-Aug-22	24
Level 1					
Learning Area					
A97815	Clear Floor and Setout - Ground Level	1	20-May-22	20-May-22	12
A97810	Fitout Summary	67	20-May-22	06-Sep-22	11
A97820	High Level Services Rough-In inc. Mechanical Ducting	4	24-May-22	27-May-22	12
A97830	Partition Framing & Door Frames	3	28-May-22	31-May-22	12
A97840	Services Rough-In to Wall	6	02-Jun-22	13-Jun-22	12
A97850	Insulation	2	15-Jun-22	17-Jun-22	12
A97860	Wall Sheet, Set & Sand	5	25-Jun-22	01-Jul-22	9
A97870	Ceiling Framing	5	05-Jul-22	09-Jul-22	9
A97880	Services Rough-In to Ceiling	5	11-Jul-22	19-Jul-22	9
A97890	Ceiling Sheet, Set & Sand	5	21-Jul-22	26-Jul-22	9
A97900	Paint to Wall & Ceiling (Initial Coats)	3	27-Jul-22	29-Jul-22	9
A97910	Ceiling Grid & Service Tiles	2	01-Aug-22	02-Aug-22	9
A97920	Joinery Plinths	1	03-Aug-22	03-Aug-22	11
A97930	Joinery	3	03-Aug-22	05-Aug-22	9
A97940	Floor Preparation and Levelling	2	09-Aug-22	11-Aug-22	9
A97950	Services Fitoff	5	09-Aug-22	15-Aug-22	26
A97960	Vinyl Floor Finish	5	12-Aug-22	18-Aug-22	11
A97970	Hang Doors	2	19-Aug-22	23-Aug-22	11
A97980	Skirtings	2	25-Aug-22	26-Aug-22	11
A97990	Paint (Final)	3	27-Aug-22	30-Aug-22	11
A98000	Carpet Installation	3	31-Aug-22	02-Sep-22	11
A98010	FF & E	3	03-Sep-22	06-Sep-22	11
Wet Area					
A98020	Waterproofing to Wet Areas incl. Testing	5	12-Aug-22	18-Aug-22	9
A98030	Floor & Wall Tiling to Wet Area incl. Screed	4	19-Aug-22	26-Aug-22	9
A98040	Plumbing Fixtures	5	27-Aug-22	01-Sep-22	9
A98050	Toilet Screens	2	02-Sep-22	03-Sep-22	9
A98060	Hang Doors & Fit Hardware	2	05-Sep-22	06-Sep-22	9
A98070	Signage incl. Graphic Film to Glazed Partition	2	07-Sep-22	08-Sep-22	9
Level 2 / Roof					
A95790	Install Galvanised Steel Palisade Balustrade (1.8m high)	5	27-Apr-22	03-May-22	12
A95820	Waterproofing to Concrete Roof (303m2)	2	05-May-22	06-May-22	12
A95822	Rooftop Landscaping	20	10-May-22	11-Jun-22	12
A95825	Artificial Turf to Outside Play Area (303m2)	2	13-Jun-22	15-Jun-22	12
A96642	Services Fitoff	5	17-Jun-22	25-Jun-22	12
Building G					
Lower Ground / Basement					
A97040	Clear Floor & Setout - Lower Ground / Basement	1	10-Mar-22	10-Mar-22	75
A97050	Lower Ground / Basement Fitout Summary	43	10-Mar-22	25-May-22	75
A97410	High Level Services Rough-In inc. Mechanical Ducting	4	11-Mar-22	15-Mar-22	75
A97420	Partition Framing & Door Frames	3	17-Mar-22	22-Mar-22	75
A97430	Services Rough-In to Wall	6	24-Mar-22	30-Mar-22	75
A97440	Fire-Rated Wall Sheeting, Set & Sand	7	31-Mar-22	09-Apr-22	75
A97450	Services Fitoff	6	11-Apr-22	27-Apr-22	75
A97460	Floor Preparation & Levelling	2	29-Apr-22	30-Apr-22	75
A97470	Floor & Wall Tiling to Wet Area incl. Screed	5	02-May-22	10-May-22	75
A97480	Hang Doors & Fit Hardware	2	12-May-22	13-May-22	75
A97490	Plumbing Fixtures	2	14-May-22	16-May-22	75
A97495	Stair Tactile Indicators	1	17-May-22	17-May-22	75
A97500	Signage	1	19-May-22	19-May-22	75
A97510	FF & E	3	20-May-22	25-May-22	75
Ground					
Communal Hall					
FSPS-3930	Clear Floor & Setout - Ground Level	1	14-Mar-22	14-Mar-22	0
FSPS-3970	Ground Level Fitout Summary	66	14-Mar-22	09-Jul-22	3



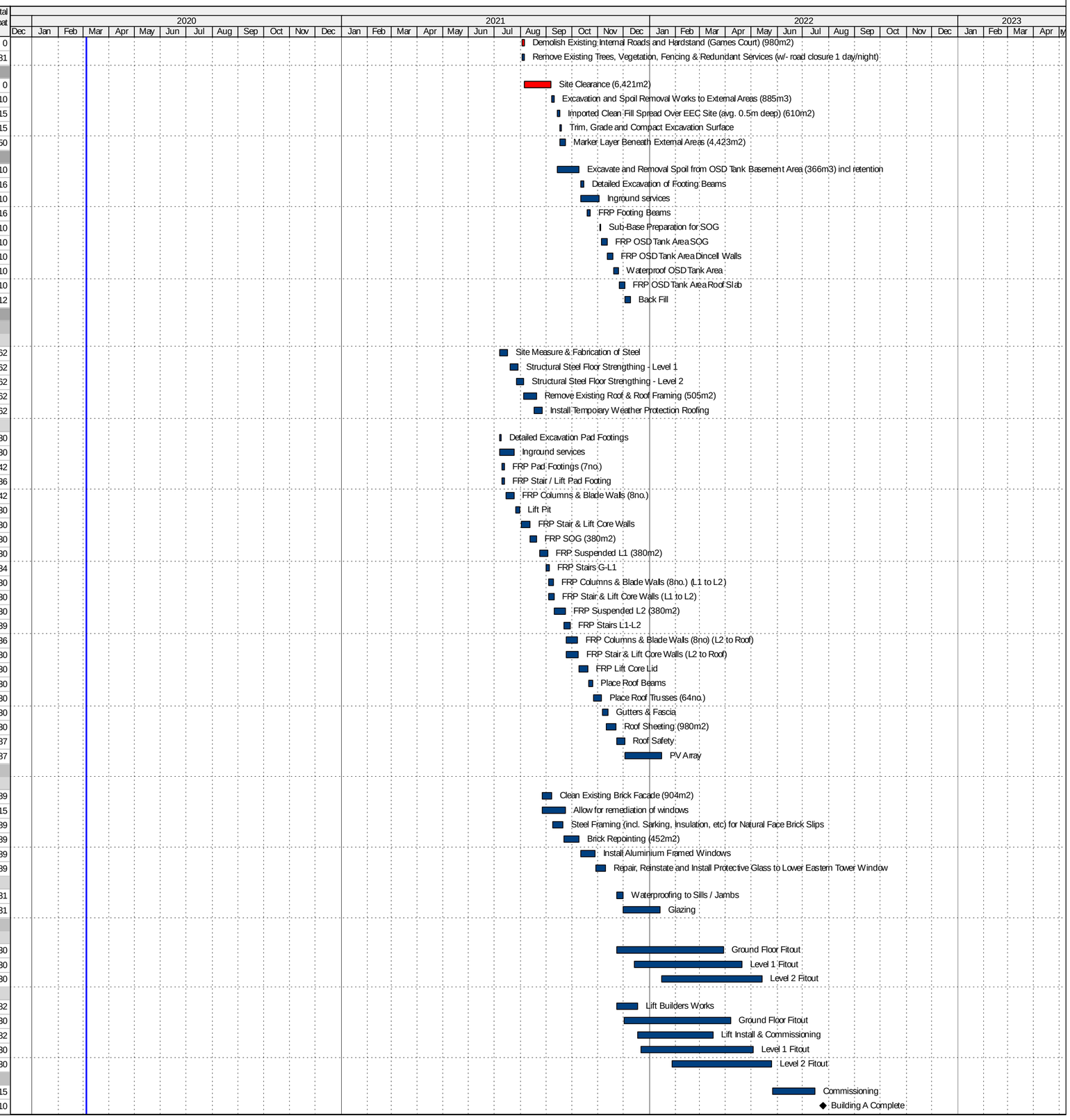
Fort Street Public School - Option 3A

Activity ID	Activity Name	Duration	Start	Finish	Total Float
FSPS-3990	High Level Services Rough-In inc. Mechanical Ducting	4	15-Mar-22	22-Mar-22	0
FSPS-4130	Partition Framing & Door Frames	3	24-Mar-22	26-Mar-22	0
FSPS-4230	Services Rough-In to Wall	6	28-Mar-22	04-Apr-22	0
FSPS-4370	Insulation	2	05-Apr-22	07-Apr-22	0
FSPS-4420	Wall Sheet, Set & Sand	5	08-Apr-22	14-Apr-22	0
FSPS-4530	Ceiling Framing	5	20-Apr-22	30-Apr-22	0
FSPS-4650	Services Rough-In to Ceiling	5	02-May-22	10-May-22	0
FSPS-4710	Ceiling Sheet, Set & Sand	5	12-May-22	17-May-22	0
FSPS-4790	Paint to Wall & Ceiling (Initial Coats)	3	19-May-22	24-May-22	0
FSPS-4870	Ceiling Grid & Service Tiles	2	25-May-22	26-May-22	0
FSPS-4880	Joinery Plinths	1	27-May-22	27-May-22	7
FSPS-4930	Joinery (Canteen)	5	27-May-22	02-Jun-22	0
FSPS-5040	Floor Preparation & Levelling	2	03-Jun-22	09-Jun-22	3
FSPS-5110	Services Fitoff (Canteen)	8	03-Jun-22	21-Jun-22	0
FSPS-5120	Vinyl Floor Finish	5	10-Jun-22	17-Jun-22	3
FSPS-5290	Hang Doors	2	21-Jun-22	23-Jun-22	3
FSPS-5360	Skirtings	2	24-Jun-22	25-Jun-22	3
FSPS-5460	Paint (Final)	3	27-Jun-22	30-Jun-22	3
FSPS-5530	Carpet Installation	3	01-Jul-22	06-Jul-22	3
FSPS-5600	FF & E	3	07-Jul-22	09-Jul-22	3
Kitchen / Canteen Area					
FSPS-4810	Waterproofing to Wet Areas incl. Testing	5	19-May-22	26-May-22	4
FSPS-4910	Floor & Wall Tiling to Wet Area incl. Screed	4	27-May-22	31-May-22	4
FSPS-5010	Plumbing Fixtures	5	02-Jun-22	11-Jun-22	4
FSPS-5280	Hang Doors & Fit Hardware	2	21-Jun-22	23-Jun-22	14
Commissioning & Inspections					
FSPS-5730	Building J Finishes Complete	0		09-Jun-22	21
FSPS-5655	Commissioning	30	23-Jun-22	05-Aug-22	0
FSPS-5645	Building H Finishes Complete	0		25-Jun-22	12
FSPS-5665	Building G Finishes Complete	0		09-Jul-22	3
FSPS-5810	Building J, H & G Complete	0		05-Aug-22	0
External Works					
Building G, H & J					
FSPS-5270	Inground Infrastructure	30	13-May-22	05-Jul-22	3
FSPS-5710	Hardscaping	30	17-Jun-22	03-Aug-22	3
FSPS-5790	Landscaping	20	28-Jul-22	29-Aug-22	3
Section 2					
Demolition					
Building A Demolition / Removal					
FSPS-1540	Remove and Store Historic Joinery and Plaques	2	11-May-21	13-May-21	1
FSPS-1570	Protect Existing Parquetry Flooring	3	11-May-21	14-May-21	0
FSPS-1720	Remove Existing Wire Mesh Near Eastern Stair Window (505m2)	5	14-May-21	20-May-21	8
FSPS-1700	Strip Out Existing Floor Finishes (839m2)	3	15-May-21	18-May-21	0
FSPS-1730	Demolish Existing Stage in Assembly Hall	5	20-May-21	28-May-21	0
FSPS-1710	Remove Existing Ceilings & Fittings (839m2)	4	29-May-21	02-Jun-21	0
FSPS-1900	Demolish Existing Brick Facade incl. Removal of Windows and Doors (357m2)	7	03-Jun-21	16-Jun-21	0
FSPS-1690	Demolish Existing Shelter Adjacent to Hall (75m2)	2	16-Jun-21	18-Jun-21	39
A98250	Create new openings incl needles, supports etc.	7	18-Jun-21	29-Jun-21	0
FSPS-2020	Remove Paint Finsihes on All Lower Brick Elevations (175m2)	3	01-Jul-21	06-Jul-21	0
Building M Demolition					
FSPS-1530	Remove Existing Doors (15no.)	2	07-Jul-21	08-Jul-21	0
FSPS-1580	Remove Existing Fittings	3	07-Jul-21	09-Jul-21	0
FSPS-1620	Remove Existing Windows & Boarding (31no.)	6	07-Jul-21	13-Jul-21	40
A98270	Allow for facade supports (temp)	6	07-Jul-21	13-Jul-21	0
FSPS-1670	Demolish Internal Walls (302m2)	5	15-Jul-21	23-Jul-21	0
FSPS-1820	Demolish Existing Brick Facade on Levels 1 & 2 for Bridge (31m2)	3	24-Jul-21	27-Jul-21	0
FSPS-1840	Remove Existing Structural Steel Beam from Level 2 Balcony incl. Temporary Supporting	5	24-Jul-21	29-Jul-21	30
FSPS-1850	Remove Existing Non-Compliant Stairs	5	24-Jul-21	29-Jul-21	30
FSPS-1830	Demolish Existing Floor & Framing incl. Bracing to Facade	15	24-Jul-21	13-Aug-21	20
FSPS-1960	Remove Existing Roof & Roof Framing (217m2)	3	14-Aug-21	17-Aug-21	20
FSPS-1980	Temporary Roofing	3	19-Aug-21	24-Aug-21	20
FSPS-2060	Cut Existing Ground Floor Slab for Lift Pit (4m2)	5	26-Aug-21	31-Aug-21	20
Building C Demolition / Removal					
FSPS-1550	Remove Existing Fittings (113m2)	2	01-Sep-21	02-Sep-21	40
FSPS-1510	Demolish Existing WC Block incl. External Walls, Roof & Floor Finish (3m2)	2	01-Sep-21	02-Sep-21	45
FSPS-1520	Demolish Adjacent Shed (6m2)	2	01-Sep-21	02-Sep-21	45
FSPS-1680	Strip Out Existing Floor Finishes (113m2)	2	03-Sep-21	04-Sep-21	40
FSPS-1740	Remove Existing Ceilings (113m2)	3	06-Sep-21	08-Sep-21	40
Existing Garage (70m2)					
FSPS-1780	Removal of Hazardous Materials	3	28-May-21	31-May-21	25
FSPS-1890	Demolish Existing Garage Building Adjacent to MET Building	5	01-Jun-21	09-Jun-21	25
Other Facilities					
FSPS-1560	Demolish Existing Amenities Building incl. Capping Off of Services (74m2)	3	11-Jun-21	14-Jun-21	25
FSPS-2080	Demolish Existing Vegetation and Hardstand Above Cahill Expressway (1,406m2)	5	28-Jul-21	02-Aug-21	0
FSPS-2130	Form Opening in Heritage Wall (5no)	8	02-Aug-21	13-Aug-21	77



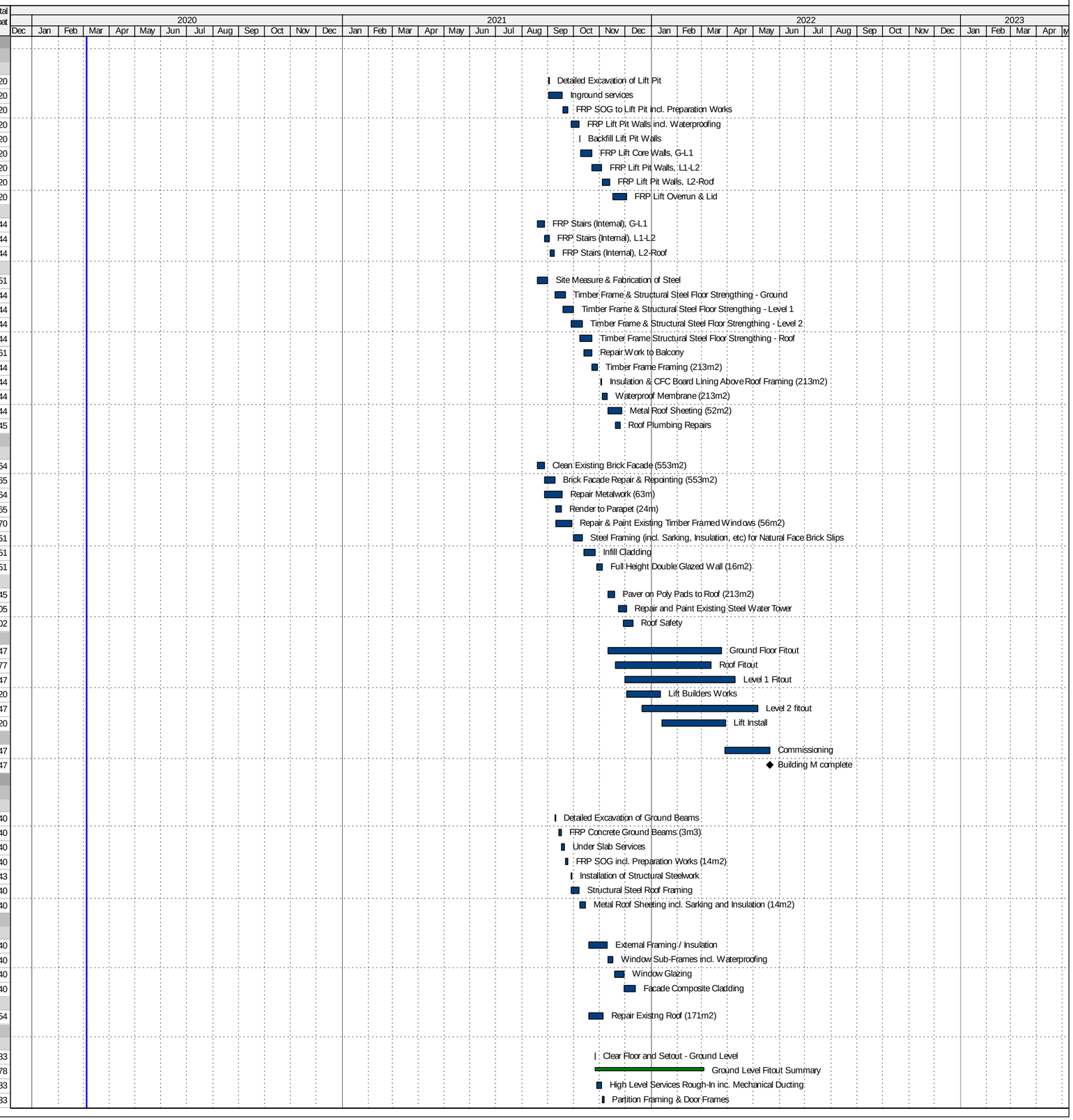
Fort Street Public School - Option 3A

Activity ID	Activity Name	Duration	Start	Finish	Total Float
FSPS-2200	Demolish Existing Internal Roads and Hardstand (Games Court) (980m2)	3	03-Aug-21	05-Aug-21	0
FSPS-2210	Remove Existing Trees, Vegetation, Fencing & Redundant Services (w/- road closure 1 day/nigh	3	03-Aug-21	05-Aug-21	81
Bulk Earthworks					
A98350	Site Clearance (6,421m2)	20	06-Aug-21	06-Sep-21	0
A98370	Excavation and Spoil Removal Works to External Areas (885m3)	4	07-Sep-21	10-Sep-21	10
A98360	Imported Clean Fill Spread Over EEC Site (avg. 0.5m deep) (610m2)	2	14-Sep-21	16-Sep-21	15
A98380	Trim, Grade and Compact Excavation Surface	2	17-Sep-21	18-Sep-21	15
A98390	Marker Layer Beneath External Areas (4,423m2)	5	17-Sep-21	23-Sep-21	50
OSD Basement					
FSPS-2500	Excavate and Removal Spoil from OSD Tank Basement Area (366m3) incl retention	15	14-Sep-21	09-Oct-21	10
FSPS-2590	Detailed Excavation of Footing Beams	3	11-Oct-21	15-Oct-21	16
A98210	Inground services	12	11-Oct-21	02-Nov-21	10
FSPS-2650	FRP Footing Beams	3	19-Oct-21	22-Oct-21	16
FSPS-2730	Sub-Base Preparation for SOG	2	03-Nov-21	04-Nov-21	10
FSPS-2790	FRP OSD Tank Area SOG	5	05-Nov-21	11-Nov-21	10
FSPS-2870	FRP OSD Tank Area Dincell Walls	3	12-Nov-21	18-Nov-21	10
FSPS-2920	Waterproof OSD Tank Area	5	19-Nov-21	25-Nov-21	10
FSPS-3010	FRP OSD Tank Area Roof Slab	5	26-Nov-21	02-Dec-21	10
FSPS-3120	Back Fill	2	03-Dec-21	09-Dec-21	12
Building A (Existing FSPS Building) - Refurbishment & Building D - New Build					
Structure					
Existing Structure					
FSPS-1870	Site Measure & Fabrication of Steel	8	07-Jul-21	16-Jul-21	62
FSPS-2030	Structural Steel Floor Strengthing - Level 1	8	20-Jul-21	29-Jul-21	62
FSPS-2140	Structural Steel Floor Strengthing - Level 2	8	27-Jul-21	04-Aug-21	62
FSPS-2330	Remove Existing Roof & Roof Framing (505m2)	10	05-Aug-21	20-Aug-21	62
FSPS-2360	Install Temporary Weather Protection Roofing	5	17-Aug-21	26-Aug-21	62
New Structure & Roof					
FSPS-2070	Detailed Excavation Pad Footings	3	07-Jul-21	09-Jul-21	30
A98230	Inground services	12	07-Jul-21	24-Jul-21	30
FSPS-2150	FRP Pad Footings (7no.)	3	10-Jul-21	13-Jul-21	42
FSPS-2160	FRP Stair / Lift Pad Footing	3	10-Jul-21	13-Jul-21	36
FSPS-2250	FRP Columns & Blade Walls (8no.)	6	15-Jul-21	24-Jul-21	42
FSPS-2240	Lift Pit	6	26-Jul-21	31-Jul-21	30
FSPS-2370	FRP Stair & Lift Core Walls	7	02-Aug-21	12-Aug-21	30
FSPS-2550	FRP SOG (380m2)	7	12-Aug-21	20-Aug-21	30
FSPS-2720	FRP Suspended L1 (380m2)	8	24-Aug-21	02-Sep-21	30
FSPS-2810	FRP Stairs G-L1	5	31-Aug-21	04-Sep-21	34
FSPS-2880	FRP Columns & Blade Walls (8no.) (L1 to L2)	6	03-Sep-21	09-Sep-21	30
FSPS-2890	FRP Stair & Lift Core Walls (L1 to L2)	7	03-Sep-21	10-Sep-21	30
FSPS-2980	FRP Suspended L2 (380m2)	8	10-Sep-21	23-Sep-21	30
FSPS-3100	FRP Stairs L1-L2	5	21-Sep-21	29-Sep-21	39
FSPS-3180	FRP Columns & Blade Walls (8no) (L2 to Roof)	6	24-Sep-21	07-Oct-21	36
FSPS-3190	FRP Stair & Lift Core Walls (L2 to Roof)	7	24-Sep-21	08-Oct-21	30
FSPS-3400	FRP Lift Core Lid	5	09-Oct-21	19-Oct-21	30
FSPS-3490	Place Roof Beams	4	21-Oct-21	25-Oct-21	30
FSPS-3570	Place Roof Trusses (64no.)	7	26-Oct-21	05-Nov-21	30
FSPS-3660	Gutters & Fascia	5	06-Nov-21	12-Nov-21	30
FSPS-3730	Roof Sheeting (980m2)	7	11-Nov-21	22-Nov-21	30
FSPS-3840	Roof Safety	7	23-Nov-21	02-Dec-21	87
FSPS-4080	PV Array	18	03-Dec-21	15-Jan-22	87
Exterior (Facade, Cladding & Roofing)					
Existing Structure					
FSPS-2530	Clean Existing Brick Facade (904m2)	10	27-Aug-21	07-Sep-21	89
A98260	Allow for remediation of windows	20	27-Aug-21	23-Sep-21	115
FSPS-2770	Steel Framing (incl. Sarking, Insulation, etc) for Natural Face Brick Slips	8	08-Sep-21	20-Sep-21	89
FSPS-2780	Brick Repointing (452m2)	10	21-Sep-21	09-Oct-21	89
FSPS-2940	Install Aluminium Framed Windows	10	11-Oct-21	28-Oct-21	89
FSPS-3200	Repair, Reinstate and Install Protective Glass to Lower Eastern Tower Window	8	29-Oct-21	09-Nov-21	89
New Structure					
FSPS-3810	Waterproofing to Sills / Jambs	5	23-Nov-21	30-Nov-21	31
FSPS-3960	Glazing	18	01-Dec-21	13-Jan-22	31
Interior (Services, Finishes & Fitout)					
Existing Structure					
FSPS-3870	Ground Floor Fitout	67	23-Nov-21	29-Mar-22	30
FSPS-4020	Level 1 Fitout	67	14-Dec-21	20-Apr-22	30
FSPS-4220	Level 2 Fitout	67	15-Jan-22	14-May-22	30
New Structure					
FSPS-3860	Lift Builders Works	15	23-Nov-21	17-Dec-21	82
FSPS-3920	Ground Floor Fitout	67	02-Dec-21	07-Apr-22	30
FSPS-4290	Lift Install & Commissioning	45	18-Dec-21	17-Mar-22	82
FSPS-4100	Level 1 Fitout	67	22-Dec-21	03-May-22	30
FSPS-4480	Level 2 Fitout	67	28-Jan-22	25-May-22	30
Commissioning & Inspections					
FSPS-5560	Commissioning	30	26-May-22	15-Jul-22	15
FSPS-5760	Building A Complete	0		25-Jul-22	10



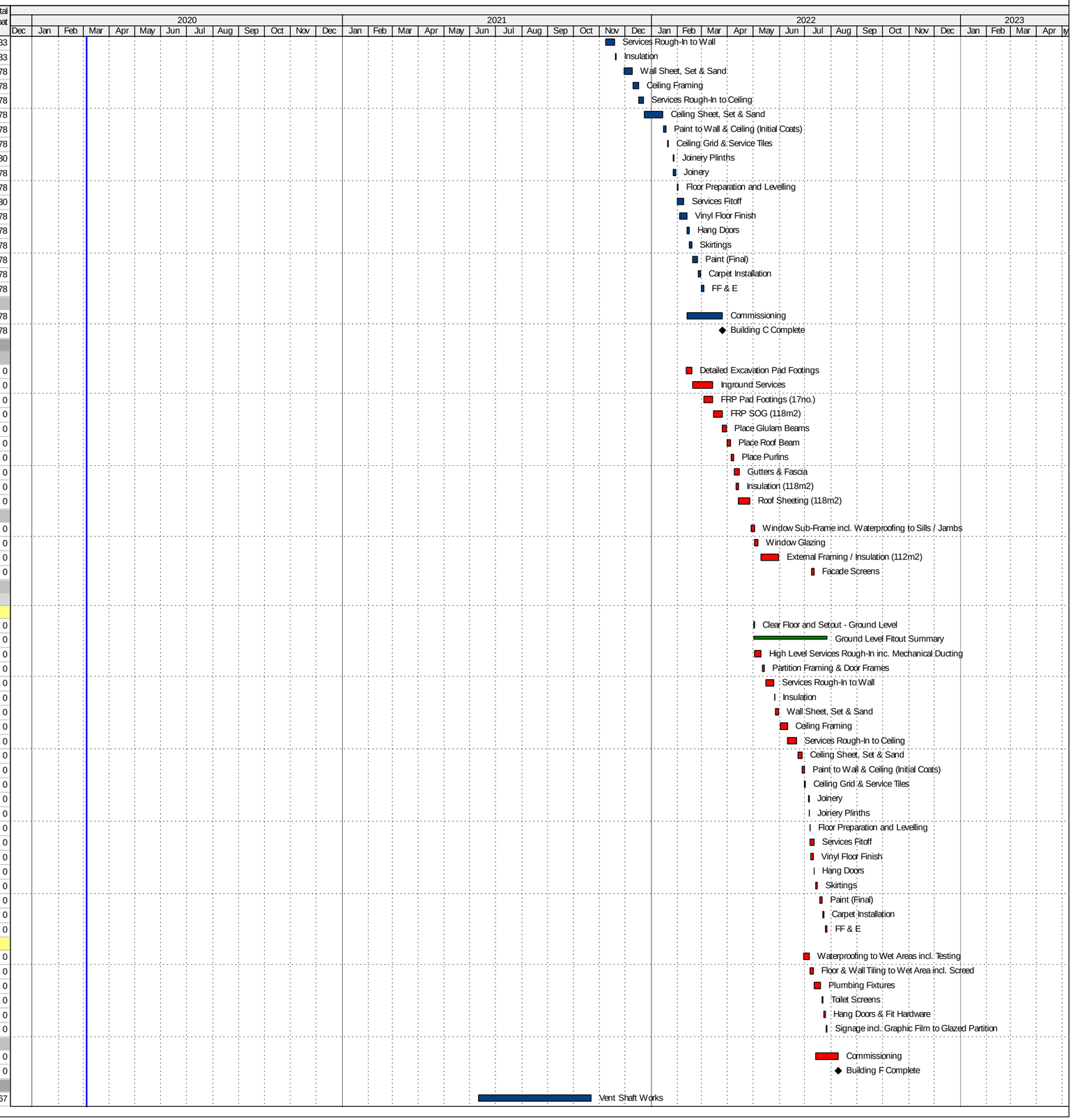
Fort Street Public School - Option 3A

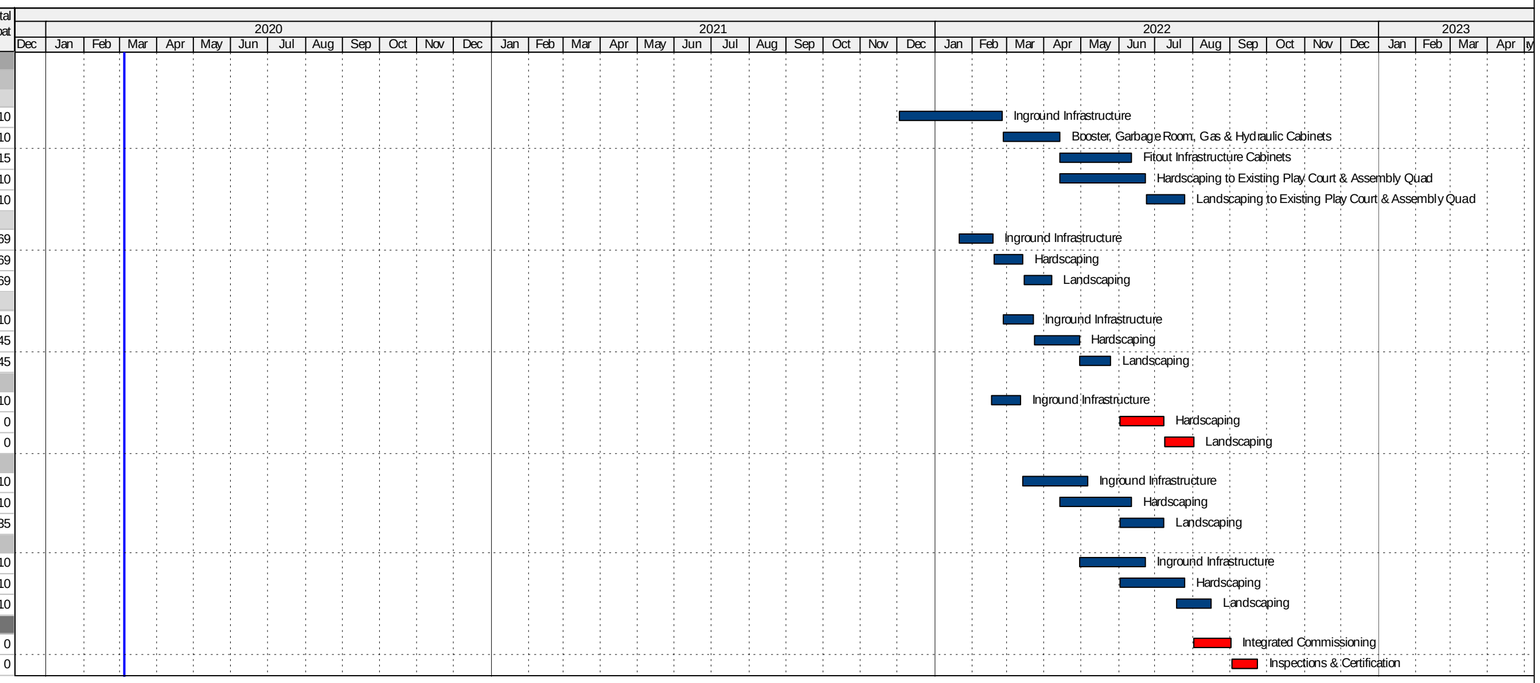
Activity ID	Activity Name	Duration	Start	Finish	Total Float
Building M (Existing MET Building) - Refurbishment					
Structure					
New Lift Core					
FSPS-2180	Detailed Excavation of Lift Pit	2	01-Sep-21	02-Sep-21	20
A98240	Inground services	12	01-Sep-21	17-Sep-21	20
FSPS-2220	FRP SOG to Lift Pit incl. Preparation Works	5	18-Sep-21	24-Sep-21	20
FSPS-2340	FRP Lift Pit Walls incl. Waterproofing	5	28-Sep-21	07-Oct-21	20
FSPS-2450	Backfill Lift Pit Walls	1	08-Oct-21	08-Oct-21	20
FSPS-2520	FRP Lift Core Walls, G-L1	7	09-Oct-21	22-Oct-21	20
FSPS-2680	FRP Lift Pit Walls, L1-L2	7	23-Oct-21	03-Nov-21	20
FSPS-2830	FRP Lift Pit Walls, L2-Roof	7	04-Nov-21	12-Nov-21	20
FSPS-2950	FRP Lift Overrun & Lid	12	16-Nov-21	02-Dec-21	20
New Concrete Stairs					
FSPS-1990	FRP Stairs (Internal), G-L1	5	19-Aug-21	27-Aug-21	44
FSPS-2090	FRP Stairs (Internal), L1-L2	5	28-Aug-21	02-Sep-21	44
FSPS-2230	FRP Stairs (Internal), L2-Roof	5	03-Sep-21	08-Sep-21	44
Structural Strengthening & Roof					
FSPS-2010	Site Measure & Fabrication of Steel	8	19-Aug-21	31-Aug-21	51
FSPS-2190	Timber Frame & Structural Steel Floor Strengthing - Ground	8	09-Sep-21	21-Sep-21	44
FSPS-2320	Timber Frame & Structural Steel Floor Strengthing - Level 1	8	18-Sep-21	30-Sep-21	44
FSPS-2440	Timber Frame & Structural Steel Floor Strengthing - Level 2	8	28-Sep-21	11-Oct-21	44
FSPS-2580	Timber Frame Structural Steel Floor Strengthing - Roof	8	08-Oct-21	22-Oct-21	44
FSPS-2630	Repair Work to Balcony	5	13-Oct-21	22-Oct-21	61
FSPS-2750	Timber Frame Framing (213m2)	5	23-Oct-21	29-Oct-21	44
FSPS-2850	Insulation & CFC Board Lining Above Roof Framing (213m2)	2	02-Nov-21	03-Nov-21	44
FSPS-2910	Waterproof Membrane (213m2)	5	04-Nov-21	09-Nov-21	44
FSPS-2990	Metal Roof Sheeting (52m2)	10	11-Nov-21	26-Nov-21	44
FSPS-3040	Roof Plumbing Repairs	5	19-Nov-21	25-Nov-21	45
Exterior (Facade, Cladding & Roofing)					
Facade					
FSPS-2000	Clean Existing Brick Facade (553m2)	5	19-Aug-21	27-Aug-21	64
FSPS-2100	Brick Facade Repair & Repointing (553m2)	11	28-Aug-21	09-Sep-21	65
FSPS-2110	Repair Metalwork (63m)	15	28-Aug-21	17-Sep-21	64
FSPS-2350	Render to Parapet (24m)	3	10-Sep-21	16-Sep-21	65
FSPS-2380	Repair & Paint Existing Timber Framed Windows (56m2)	11	10-Sep-21	29-Sep-21	70
FSPS-2510	Steel Framing (incl. Sarking, Insulation, etc) for Natural Face Brick Slips	5	01-Oct-21	11-Oct-21	51
FSPS-2640	Infill Cladding	8	13-Oct-21	26-Oct-21	51
FSPS-2760	Full Height Double Glazed Wall (16m2)	5	28-Oct-21	04-Nov-21	51
Roof Finishes					
FSPS-2960	Paver on Poly Pads to Roof (213m2)	4	11-Nov-21	18-Nov-21	45
FSPS-3130	Repair and Paint Existing Steel Water Tower	7	23-Nov-21	02-Dec-21	105
FSPS-3270	Roof Safety	7	29-Nov-21	10-Dec-21	102
Interior (Services, Finishes & Fitout)					
FSPS-3000	Ground Floor Fitout	70	11-Nov-21	24-Mar-22	47
FSPS-3050	Roof Fitout	60	19-Nov-21	12-Mar-22	77
FSPS-3110	Level 1 Fitout	70	01-Dec-21	09-Apr-22	47
FSPS-3300	Lift Builders Works	15	03-Dec-21	11-Jan-22	20
FSPS-3340	Level 2 fitout	70	21-Dec-21	06-May-22	47
FSPS-3580	Lift Install	45	13-Jan-22	29-Mar-22	20
Commissioning & Inspections					
FSPS-4380	Commissioning	30	28-Mar-22	20-May-22	47
FSPS-4980	Building M complete	0		20-May-22	47
Building C (Existing Messenger Cottage) - Refurbishment					
Structure					
Ground Level					
FSPS-1860	Detailed Excavation of Ground Beams	2	09-Sep-21	10-Sep-21	40
FSPS-1880	FRP Concrete Ground Beams (3m3)	2	14-Sep-21	16-Sep-21	40
FSPS-1910	Under Slab Services	3	17-Sep-21	20-Sep-21	40
FSPS-1970	FRP SOG incl. Preparation Works (14m2)	3	21-Sep-21	24-Sep-21	40
FSPS-2040	Installation of Structural Steelwork	2	28-Sep-21	29-Sep-21	43
FSPS-2050	Structural Steel Roof Framing	5	28-Sep-21	07-Oct-21	40
FSPS-2170	Metal Roof Sheeting incl. Sarking and Insulation (14m2)	5	08-Oct-21	15-Oct-21	40
Exterior (Facade, Cladding & Roofing)					
Facade					
FSPS-2280	External Framing / Insulation	15	19-Oct-21	09-Nov-21	40
FSPS-2390	Window Sub-Frames incl. Waterproofing	3	11-Nov-21	16-Nov-21	40
FSPS-2470	Window Glazing	8	18-Nov-21	29-Nov-21	40
FSPS-2610	Facade Composite Cladding	8	30-Nov-21	13-Dec-21	40
Roof					
FSPS-2290	Repair Existng Roof (171m2)	12	19-Oct-21	05-Nov-21	54
Interior (Services, Finishes & Fitout)					
Ground					
FSPS-2260	Clear Floor and Setout - Ground Level	1	26-Oct-21	26-Oct-21	83
FSPS-2300	Ground Level Fitout Summary	69	26-Oct-21	03-Mar-22	78
FSPS-2310	High Level Services Rough-In inc. Mechanical Ducting	4	28-Oct-21	03-Nov-21	83
FSPS-2400	Partition Framing & Door Frames	3	04-Nov-21	06-Nov-21	83



Fort Street Public School - Option 3A

Activity ID	Activity Name	Duration	Start	Finish	Total Float
FSPS-2480	Services Rough-In to Wall	6	08-Nov-21	18-Nov-21	83
FSPS-2620	Insulation	2	19-Nov-21	20-Nov-21	83
FSPS-2670	Wall Sheet, Set & Sand	5	30-Nov-21	09-Dec-21	78
FSPS-2800	Ceiling Framing	5	10-Dec-21	16-Dec-21	78
FSPS-2900	Services Rough-In to Ceiling	5	17-Dec-21	22-Dec-21	78
FSPS-2970	Ceiling Sheet, Set & Sand	5	23-Dec-21	14-Jan-22	78
FSPS-3060	Paint to Wall & Ceiling (Initial Coats)	3	15-Jan-22	18-Jan-22	78
FSPS-3160	Ceiling Grid & Service Tiles	2	20-Jan-22	21-Jan-22	78
FSPS-3230	Joinery Plinths	1	27-Jan-22	27-Jan-22	80
FSPS-3250	Joinery	3	27-Jan-22	29-Jan-22	78
FSPS-3350	Floor Preparation and Levelling	2	31-Jan-22	01-Feb-22	78
FSPS-3360	Services Fitoff	5	31-Jan-22	08-Feb-22	80
FSPS-3410	Vinyl Floor Finish	5	03-Feb-22	11-Feb-22	78
FSPS-3480	Hang Doors	2	12-Feb-22	14-Feb-22	78
FSPS-3530	Skirtings	2	15-Feb-22	17-Feb-22	78
FSPS-3560	Paint (Final)	3	18-Feb-22	24-Feb-22	78
FSPS-3590	Carpet Installation	3	25-Feb-22	28-Feb-22	78
FSPS-3630	FF & E	3	01-Mar-22	03-Mar-22	78
Commissioning & Inspections					
FSPS-3470	Commissioning	25	12-Feb-22	25-Mar-22	78
FSPS-3880	Building C Complete	0		25-Mar-22	78
Building F - New Build					
Structure					
FSPS-3170	Detailed Excavation Pad Footings	5	11-Feb-22	17-Feb-22	0
FSPS-3380	Inground Services	15	18-Feb-22	14-Mar-22	0
FSPS-3370	FRP Pad Footings (17no.)	6	04-Mar-22	14-Mar-22	0
FSPS-3610	FRP SOG (118m2)	6	15-Mar-22	25-Mar-22	0
FSPS-3700	Place Glulam Beams	4	26-Mar-22	30-Mar-22	0
FSPS-3780	Place Roof Beam	3	31-Mar-22	04-Apr-22	0
FSPS-3800	Place Purlins	3	05-Apr-22	08-Apr-22	0
FSPS-3910	Gutters & Fascia	4	09-Apr-22	14-Apr-22	0
FSPS-3900	Insulation (118m2)	2	11-Apr-22	13-Apr-22	0
FSPS-3980	Roof Sheeting (118m2)	4	14-Apr-22	27-Apr-22	0
Exterior (Facade, Cladding & Roofing)					
FSPS-4140	Window Sub-Frame incl. Waterproofing to Sills / Jambs	3	29-Apr-22	02-May-22	0
FSPS-4142	Window Glazing	3	03-May-22	06-May-22	0
FSPS-4280	External Framing / Insulation (112m2)	15	10-May-22	31-May-22	0
FSPS-4145	Facade Screens	3	09-Jul-22	12-Jul-22	0
Interior (Services, Finishes & Fitout)					
Ground					
Common Area					
FSPS-4110	Clear Floor and Setout - Ground Level	1	02-May-22	02-May-22	0
FSPS-4170	Ground Level Fitout Summary	51	02-May-22	27-Jul-22	0
FSPS-4190	High Level Services Rough-In inc. Mechanical Ducting	4	03-May-22	10-May-22	0
FSPS-4250	Partition Framing & Door Frames	3	12-May-22	14-May-22	0
FSPS-4350	Services Rough-In to Wall	6	16-May-22	25-May-22	0
FSPS-4490	Insulation	1	26-May-22	26-May-22	0
FSPS-4520	Wall Sheet, Set & Sand	4	27-May-22	31-May-22	0
FSPS-4640	Ceiling Framing	4	02-Jun-22	10-Jun-22	0
FSPS-4700	Services Rough-In to Ceiling	5	11-Jun-22	21-Jun-22	0
FSPS-4800	Ceiling Sheet, Set & Sand	4	23-Jun-22	27-Jun-22	0
FSPS-4890	Paint to Wall & Ceiling (Initial Coats)	2	28-Jun-22	30-Jun-22	0
FSPS-4990	Ceiling Grid & Service Tiles	1	01-Jul-22	01-Jul-22	0
FSPS-5050	Joinery	2	05-Jul-22	06-Jul-22	0
FSPS-5020	Joinery Plinths	1	06-Jul-22	06-Jul-22	0
FSPS-5130	Floor Preparation and Levelling	1	07-Jul-22	07-Jul-22	0
FSPS-5160	Services Fitoff	5	07-Jul-22	12-Jul-22	0
FSPS-5240	Vinyl Floor Finish	3	08-Jul-22	11-Jul-22	0
FSPS-5390	Hang Doors	1	12-Jul-22	12-Jul-22	0
FSPS-5470	Skirtings	2	14-Jul-22	15-Jul-22	0
FSPS-5520	Paint (Final)	2	19-Jul-22	21-Jul-22	0
FSPS-5590	Carpet Installation	2	22-Jul-22	23-Jul-22	0
FSPS-5650	FF & E	3	25-Jul-22	27-Jul-22	0
Wet Area					
FSPS-4920	Waterproofing to Wet Areas incl. Testing	4	30-Jun-22	06-Jul-22	0
FSPS-5080	Floor & Wall Tiling to Wet Area incl. Screed	4	07-Jul-22	11-Jul-22	0
FSPS-5190	Plumbing Fixtures	4	12-Jul-22	19-Jul-22	0
FSPS-5340	Toilet Screens	2	21-Jul-22	22-Jul-22	0
FSPS-5440	Hang Doors & Fit Hardware	2	23-Jul-22	25-Jul-22	0
FSPS-5490	Signage incl. Graphic Film to Glazed Partition	2	26-Jul-22	27-Jul-22	0
Commissioning & Inspections					
FSPS-5330	Commissioning	17	14-Jul-22	09-Aug-22	0
FSPS-5720	Building F Complete	0		09-Aug-22	0
Vent Shaft Works					
A98340	Vent Shaft Works	80	11-Jun-21	21-Oct-21	167



Fort Street Public School - Option 3A

Activity ID	Activity Name	Duration	Start	Finish	Total Float
External Works					
Building A					
Existing Play Court & Assembly Quad					
FSPS-3140	Inground Infrastructure	40	03-Dec-21	25-Feb-22	10
FSPS-4010	Booster, Garbage Room, Gas & Hydraulic Cabinets	30	26-Feb-22	13-Apr-22	10
FSPS-4740	Fitout Infrastructure Cabinets	30	14-Apr-22	11-Jun-22	15
FSPS-4750	Hardscaping to Existing Play Court & Assembly Quad	35	14-Apr-22	23-Jun-22	10
FSPS-5670	Landscaping to Existing Play Court & Assembly Quad	20	24-Jun-22	25-Jul-22	10
C.O.L.A.					
FSPS-4600	Inground Infrastructure	15	21-Jan-22	17-Feb-22	69
FSPS-4860	Hardscaping	15	18-Feb-22	14-Mar-22	69
FSPS-5300	Landscaping	15	15-Mar-22	07-Apr-22	69
Equipment Play & Half Court					
FSPS-4000	Inground Infrastructure	15	26-Feb-22	22-Mar-22	10
FSPS-4610	Hardscaping	20	24-Mar-22	29-Apr-22	45
FSPS-4970	Landscaping	15	30-Apr-22	25-May-22	45
Building C, M & F					
FSPS-4550	Inground Infrastructure	15	17-Feb-22	12-Mar-22	10
FSPS-4840	Hardscaping	20	02-Jun-22	08-Jul-22	0
FSPS-5420	Landscaping	15	09-Jul-22	01-Aug-22	0
Western Terrace, Central Plaza & Cottage Courtyard					
FSPS-4850	Inground Infrastructure	30	14-Mar-22	06-May-22	10
FSPS-5430	Hardscaping	30	14-Apr-22	11-Jun-22	10
FSPS-5740	Landscaping	20	02-Jun-22	08-Jul-22	35
Eastern Courtyard, Terrace Zone & Multipurpose Entry Play					
FSPS-4430	Inground Infrastructure	30	30-Apr-22	23-Jun-22	10
FSPS-5750	Hardscaping	30	02-Jun-22	25-Jul-22	10
FSPS-5820	Landscaping	20	19-Jul-22	16-Aug-22	10
Commissioning & Completion of Works					
FSPS-5780	Integrated Commissioning	20	02-Aug-22	01-Sep-22	0
FSPS-5830	Inspections & Certification	15	02-Sep-22	23-Sep-22	0