



DOCUMENT/STATUS REGISTER

Issue	Date	Purpose	Approved
01	16.08.2021	RTS ISSUE	IB
02	17.08.2021	RTS ISSUE	IB

PROJECT DETAILS

Site Address	Fairley Street, Murrumbateman, NSW, 2582
Site Area	15,434.92 m²
Land Use & Zoning	RU5 Village

Contents

1 ORIGINAL MASTERPLAN

Original Landscape Masterplan  
Response To Submissions

2 REVISED MASTERPLAN

Revised Landscape Masterplan  
Changes Since Original

3 LANDSCAPE DOCUMENTATION

Draft 75% Detailed Design Issue



# 1.0 ORIGINAL MASTERPLAN

## ORIGINAL LANDSCAPE MASTERPLAN

LEGEND

Site boundary

Existing contour

Spot levels

Dry creek bed

Concrete paving

Special education play

Colored concrete paving

Games court

Fence location

Mass planting

Gravel

Turf

Proposed deciduous trees

Proposed native trees

Proposed evergreen trees

Trees to be removed

Trees to be retained

Growing garden

Sitting wall

1

Existing carpark and plantings utilised to suit the new school design

2

Deciduous trees form a visual and physical buffer between school and carpark

3

Accessible footpath provides direct access to carpark and school grounds

4

Buffer planting to the perimeter of the site to includes native trees and understory of groundcovers and grasses

5

SELU play area

6

Entry forecourt to school utilised for public gatherings and highlighted with deciduous feature trees and lawn sitting area

7

Pedestrian footpath access linking Fairly street Bus Bay and the school

8

Larger evergreen native tree planting between proposed school and existing adjacent development

9

Dry creek area to provided natural drainage function to western edge of school buildings

10

Pedestrian access path to cola and front entry courtyard

11

Buffer planting to edge of school to include smaller native trees to respect the requirement of bushfire control

12

Dry creek area for natural drainage function and nature play opportunities for school students

13

Shaded grass sitting area provides outdoor learning opportunities and meeting places for students and teachers

14

COLA

15

Growing garden

16

Open grass play area surrounded by 1 in 5 embankments, which will be the location of stage two of the school development

17

Multi-use games court to provide a range of team sports

18

Grassed bank at 1 in 5 gradient to allow students to view court games

19

Accessible ramp at 1 in 14 provides a link from school to town centre and existing bridle path to the south of the site

20

Existing bridle path and foot path that links to town centre and residential areas

21

Driveway access to Health hub is maintained as part of the school proposal

The masterplan illustrates the layout of the new primary school and its integration with the surrounding environment. Key features include:

- Streets and Access:** Fairley Street to the north, Rose Street to the west, and Barton Highway to the east. A bus bay is located on Fairley Street.
- School Buildings:** Block A, Block B, Block C, and Block D are arranged in a central cluster.
- Play and Recreation:** A SELU play area (5), a multi-use games court (17), and a grassed bank (18) for viewing court games.
- Landscaping and Buffers:** Deciduous trees (2) form a buffer between the school and the carpark. A larger evergreen native tree planting (8) is located between the school and existing development.
- Drainage and Play:** Dry creek areas (9, 12) provide natural drainage and nature play opportunities.
- Other Features:** A shaded grass sitting area (13), a growing garden (15), and an open grass play area (16) are also shown.

Taylor Brammer Landscape Architects / New Primary School in Murrumbateman/RTS Report

DATE: 17 AUGUST 2021

REVISION 02

3



# 1.0 RESPONSE TO SUBMISSIONS

Yass Council Comments	Taylor Brammer's Response	GANSW Comments	Taylor Brammer's Response
<ul style="list-style-type: none"> <li>South pedestrian entry: This entry location is subject to resolution of the existing Aboriginal Land Claim over the Crown Land where there is an existing pedestrian path. From our discussions with NSW Crown Lands, it is understood it applies to LOT:7300 DP:114411. In the event that this claim is successful, access from this point is not available. While locating an entry here provides connectivity into the older established part of the Murrumbateman community, the location of the bicycle parking/storage adjacent to the southern gate presents a security concern, as there will be no surveillance of this area- particularly during class times. It is suggested that this bicycle parking be relocated adjacent to Block C.B52</li> </ul>	<ul style="list-style-type: none"> <li>Noted. TBLA to update the southern entry gate location and relocate bike rack area to the south of Block C.</li> </ul>	<ul style="list-style-type: none"> <li>A standard 2.4m palisade fence is not an appropriate site specific response. Fencing should relate to the context and surroundings. Explore zones that are appropriate to be opened during the day, context specific materials, varying perimeter lines relating to the school and avoid long expanses of hard edges.</li> <li>Develop a stronger civic address at the main entry that promotes a sense of arrival. Include traffic calming devices such as textured paving, trees, shared ways, etc. to reduce the dominance of vehicles and ensure the circulation from the street to the school entry is pedestrian friendly.</li> <li>Landscape spaces designed for appreciation of the surrounding hills and natural landscape features. This approach should continue to inform the development of the landscape design and elements such as fencing articulation</li> <li>Growing and appreciation of native flora as food, and providing a tactile learning experience for the students through the growing garden.</li> <li>Ensure a variety of quality landscape spaces will be provided to facilitate and encourage outdoor learning</li> <li>Overall, the landscape design presented is highly supported, should be retained further developed and delivered concurrently with the school facilities</li> <li>Improve the definition and amenity of the journey between the main entry and the bus stop for students, including the quality of the footpath, landscaping and introduction of trees</li> <li>The main entry's address to the public domain needs development as outlined in the following advice from SDRP 1: 'Develop a stronger civic address at the main entry that promotes a sense of arrival. Include traffic calming devices such as textured paving, trees, shared ways, etc. to reduce the dominance of vehicles and ensure the circulation from the street to the school entry is pedestrian friendly.'</li> <li>Utilize trees and vegetation at the Fairley Street entry, to improve the street presence, identity of the school and conceal the substation.</li> </ul>	<ul style="list-style-type: none"> <li>Agreed and implemented in the design</li> <li>Agreed and implemented in the design</li> <li>Agreed and implemented in the design</li> <li>Agreed and implemented in the design</li> <li>Agreed and implemented in the design</li> <li>Agreed and noted.</li> <li>Agreed and implemented in the design</li> <li>Agreed and implemented in the design</li> <li>Tree planting has been included at the entrance from Fairley Street to assist in screening the substation. General areas of grass and planting have been increased at the main entry to the school to create a stronger identity.</li> </ul>
DPIE Comments	Taylor Brammer's Response		
<ul style="list-style-type: none"> <li>The RtS must address the Government Architect NSW State Design Review Panel (SDRP) advice for the project dated 6 May 2021 and any further advice provided in response to the subsequent SDRP session held on 21 July 2021</li> <li>Further investigation is required to identify how the school site can better integrate with the locality to the west and measures such as greater pedestrian connectivity, the civic address of the main entry and softening options of the hard edge created by the proposed 2.4m palisade boundary fence.</li> </ul>	<ul style="list-style-type: none"> <li>Noted. TBLA to revise the landscape design and respond to the GANSW SDRP advice letter.</li> <li>Noted. TBLA to revise the landscape design.</li> </ul>		
GANSW Comments	Taylor Brammer's Response		
<ul style="list-style-type: none"> <li>Understand and demonstrate the intention of the yarning circle to this location. Consultation with the local community, cultural groups and school community can inform a suitable purpose for this site.</li> <li>Illustrate how the broader cultural and physical landscape, including distant views, can be incorporated into the project.</li> <li>The new school will serve as a community hub. Illustrate how the main entry will accommodate and encourage gathering and social interaction.</li> </ul>	<ul style="list-style-type: none"> <li>Noted. TBLA to revise the landscape design.</li> <li>Noted. TBLA to revise the landscape design.</li> <li>Noted. TBLA to revise the landscape design.</li> </ul>		



# 2.0 REVISED MASTERPLAN

## REVISED LANDSCAPE MASTERPLAN



### CHANGES SINCE ORIGINAL

- The pedestrian path and fence from bus bay to school main entry has been refined.
- Carpark layout updated with the revised waste pad and service equipment area location.
- Footpath to accessible carpark refined.
- Tree planting to kiss & drop turning area removed for safety.
- Main entry area updated with less concrete paving.
- A yarning circle and gathering place added to the main entry.
- Footpath linking to western property added to the main entry
- Fence layout on frontage area updated. (Now curvilinear)
- Central courtyard updated with less concrete paving and increased soft landscape.
- A series of yarning circles with native plants introduced to the courtyard.
- Growing garden design based on grinding grooves.
- A yarning circle and a grassed hill added to the southern outdoor play area.
- The seating beneath the shelter changed to the straight aluminium bench.
- Plant species are predominantly endemic. Minimal use of exotic plants
- Southern entry gate location updated
- Bike racks relocated to the south of Block C

# 3.0 LANDSCAPE DOCUMENTATION

DRAFT 75% DETAILED DESIGN ISSUE



# NEW PRIMARY SCHOOL IN MURRUMBATEMAN

## LANDSCAPE WORKS DETAILED DESIGN PACKAGE

Prepared for:  
HANSEN YUNCKEN

Prepared by:  
Taylor Brammer Landscape Architects Pty Ltd

### Drawing List

DWG NO.	DRAWING TITLE	SCALE
L000	LANDSCAPE: COVER SHEET	NTS @A1
L100	LANDSCAPE: SITE PLAN	1:500@A1
L200	LANDSCAPE: SITE FINISHES PLAN	1:500@A1
L201	LANDSCAPE: FINISHES PLAN	1:200@A1
L202	LANDSCAPE: FINISHES PLAN	1:200@A1
L203	LANDSCAPE: FINISHES PLAN	1:200@A1
L300	LANDSCAPE: SITE GRADING PLAN	1:500@A1
L301	LANDSCAPE: GRADING PLAN	1:200@A1
L302	LANDSCAPE: GRADING PLAN	1:200@A1
L303	LANDSCAPE: GRADING PLAN	1:200@A1
L400	LANDSCAPE: SITE PLANTING PLAN	1:500@A1
L401	LANDSCAPE: PLANTING PLAN	1:200@A1
L402	LANDSCAPE: PLANTING PLAN	1:200@A1
L403	LANDSCAPE: PLANTING PLAN	1:200@A1
L500	LANDSCAPE: CROSS SECTIONS	1:100@A1
L501	LANDSCAPE: CROSS SECTIONS	1:100@A1
L502	LANDSCAPE: CROSS SECTIONS	1:100@A1
L600	LANDSCAPE: CONSTRUCTION DETAILS	AS SHOWN
L601	LANDSCAPE: CONSTRUCTION DETAILS	AS SHOWN
L700	LANDSCAPE: SPECIFICATIONS	NTS @A1
L701	LANDSCAPE: SPECIFICATIONS	NTS @A1



SITE PLAN

### LEGEND

#### Boundaries & Services

---	SITE BOUNDARY
E	ELECTRICAL SUBSTATION
	EXISTING UNDERGROUND SERVICES LINEWORKS
	STORMWATER PIT TO ENGINEERS DETAIL
	RAINWATER PIT TO ENGINEERS DETAIL
	ON-SITE DETENTION TO ENGINEERS DETAIL
	RAINWATER TANK TO ENGINEERS DETAIL
	HUMECEPTOR STC2 TO ENGINEERS DETAIL
--->---	GRASSED SWALE TO ENGINEERS DETAIL
	FIRE HYDRANT TO ENGINEERS DETAIL
	HOSE TAP TO ENGINEERS DETAIL

#### Levels

	EXISTING CONTOUR
	PROPOSED CONTOUR BY ENGINEER
	MOUNDING CONTOUR
	EXISTING SPOT LEVEL
+744.50	PROPOSED SPOT LEVEL
+TOW 21.0	TOP OF WALL LEVEL
	ACCESSIBLE RAMP AT 1:14

#### Hardscape

	CONCRETE PAVING TYPE 1 TO ENGINEERS DETAIL
	CONCRETE PAVING TYPE 2 TO ENGINEERS DETAIL
	GAMES COURT PAVING TO ENGINEERS DETAIL
	NATURAL DRY CREEK DRAINAGE
SW	SANDSTONE SITTING WALL
CE	CONCRETE EDGE
SE	STEEL EDGE

#### Softscape

	EXISTING STREET TREE TO BE RETAINED
	EXISTING STREET TREE TO BE REMOVED
	PROPOSED TREE PLANTING
	MASS PLANTING BEDS
	TURF
	SELU SOFT PAVING
	MULCH BED

#### Furniture and Fixtures

F1	2150mm FENCE TO ARCHITECTS DETAIL
F2	1200mm FENCE TO ARCHITECTS DETAIL
	GATE TO ARCHITECTS DETAIL
	TACTILE INDICATORS TO ARCHITECTS SPECIFICATION
H	HANDRAIL TO ARCHITECTS DETAIL
SH	SHELTER TO ARCHITECTS DETAIL
	GAMES COURT
	HANDBALL LINE MARK
	GROWING GARDEN
	TREE PROTECTION ZONE

SB	SINK BENCH AS SPECIFIED
SD	SHED AS SPECIFIED
BSW	BRICK SITTING WALL
SL	SANDSTONE LOG
	SANDSTONE SEAT
	CONCRETE SLEEPERS
SC	SCREEN TO ARCHITECTS DETAIL
B	BENCH AS SPECIFIED
PF	PEDESTRIAN FENCE TO ARCHITECTS DETAIL

AMENDMENTS			
REV	BY	DATE	DESCRIPTION
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
B	BH	09.07.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
D	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN

TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD  
AUSTINMER STUDIO  
28 Moore St / PO Box 3064 Austinmer, NSW, 2511 E: info@taylorbrammer.com.au T: 612 9387 8855  
Copyright © Taylor Brammer Landscape Architects Pty Ltd. 490411 1901 120 1905

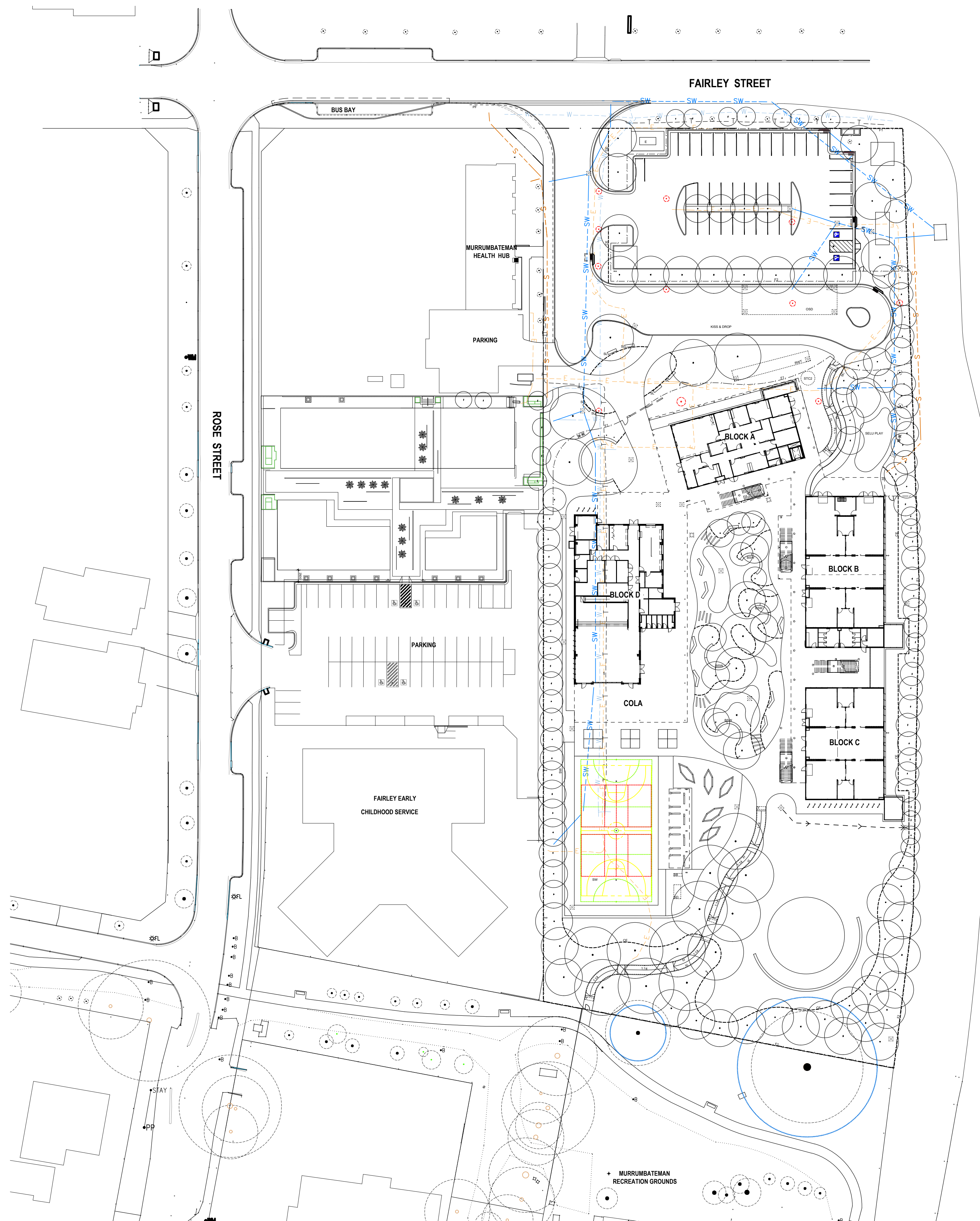
DRAWING NAME  
LANDSCAPE: COVER SHEET

PROJECT  
NEW PRIMARY SCHOOL IN MURRUMBATEMAN  
FAIRLEY STREET MURRUMBATEMAN

AUGUST 16 2021

PROJECT	PHASE	SERIES NUMBER	REVISION
MURR - DD -	L000		D





LEGEND

	SITE BOUNDARY		GATE TO ARCHITECTS DETAIL
	ELECTRICAL SUBSTATION		TACTILE INDICATORS TO ARCHITECTS SPECIFICATION
	EXISTING UNDERGROUND SERVICES LINEWORKS		HANDRAIL TO ARCHITECTS DETAIL
	STORMWATER PIT TO ENGINEERS DETAIL		SCREEN TO ARCHITECTS DETAIL
	RAINWATER PIT TO ENGINEERS DETAIL		SHELTER TO ARCHITECTS DETAIL
	ON-SITE DETENTION TO ENGINEERS DETAIL		SINK BENCH AS SPECIFIED
	RAINWATER TANK TO ENGINEERS DETAIL		SHED AS SPECIFIED
	HUMECEPTOR STC2 TO ENGINEERS DETAIL		GAMES COURT
	GRASSED SWALE TO ENGINEERS DETAIL		HANDBALL LINE MARK
	FIRE HYDRANT TO ENGINEERS DETAIL		GROWING GARDEN
	HOSE TAP TO ENGINEERS DETAIL		TREE PROTECTION ZONE
	ACCESSIBLE RAMP AT 1:14		BRICK SITTING WALL
	EXISTING TREE RETAINED		SANDSTONE SEAT
	EXISTING TREE REMOVED		SANDSTONE LOG
	PROPOSED TREE PLANTING		CONCRETE SLEEPERS
	SANDSTONE SITTING WALL		BENCH AS SPECIFIED
	CONCRETE EDGE		PEDESTRIAN FENCE TO ARCHITECTS DETAIL
	STEEL EDGE		
	2150mm FENCE TO ARCHITECTS DETAIL		
	1200mm FENCE TO ARCHITECTS DETAIL		

REV	BY	DATE	DESCRIPTION
A	BH	09.06.2021	ISSUED FOR COORDINATION
B	BH	17.06.2021	WIP ISSUED FOR INFORMATION
C	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
D	BH	02.07.2021	ISSUED FOR INFORMATION
E	BH	06.07.2021	ISSUED FOR INFORMATION
F	BH	09.07.2021	ISSUED FOR 80% DETAILED DESIGN
G	BH	20.07.2021	ISSUED FOR COORDINATION
H	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
I	BH	09.08.2021	ISSUED FOR COORDINATION
J	BH	13.08.2021	ISSUED FOR INFORMATION

REV	BY	DATE	DESCRIPTION
K	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN



**TaylorBrammer**  
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD  
AUSTINMER STUDIO  
28 Moore St | PO Box 3064 Austinmer, NSW, 2517 E: info@taylorbrammer.com.au T: 612 9387 8855  
Copyright © Taylor Brammer Landscape Architects Pty Ltd. 4/20/21 1500 120 000

DRAWING NAME  
**LANDSCAPE: SITE PLAN**

PROJECT  
**NEW PRIMARY SCHOOL IN MURRUMBATEMAN**  
**FAIRLEY STREET MURRUMBATEMAN**

5000 10000 15000 20000 25000 50000

SCALE 1 : 500 @ A1

AUGUST 16 2021

PROJECT PHASE SERIES NUMBER REVISION

MURR - DD - L100 K





## LEGEND

	SITE BOUNDARY		SANDSTONE SITTING WALL
	ELECTRICAL SUBSTATION		CONCRETE EDGE
	STORMWATER PIT TO ENGINEERS DETAIL		STEEL EDGE
	RAINWATER PIT TO ENGINEERS DETAIL		2150mm FENCE TO ARCHITECTS DETAIL
	ON-SITE DETENTION TO ENGINEERS DETAIL		1200mm FENCE TO ARCHITECTS DETAIL
	RAINWATER TANK TO ENGINEERS DETAIL		GATE TO ARCHITECTS DETAIL
	HUMECEPTOR STC2 TO ENGINEERS DETAIL		TACTILE INDICATORS TO ARCHITECTS SPECIFICATION
	GRASSED SWALE TO ENGINEERS DETAIL		HANDRAIL TO ARCHITECTS DETAIL
	FIRE HYDRANT TO ENGINEERS DETAIL		SHELTER TO ARCHITECTS DETAIL
	HOSE TAP TO ENGINEERS DETAIL		SCREEN TO ARCHITECTS DETAIL
	ACCESSIBLE RAMP AT 1:14		GAMES COURT
	EXISTING TREE RETAINED		HANDBALL LINE MARK
	EXISTING TREE REMOVED		GROWING GARDEN
	CONCRETE PAVING TYPE 1 TO ENGINEERS DETAIL		TREE PROTECTION ZONE
	GAMES COURT PAVING TO ENGINEERS DETAIL		SINK BENCH AS SPECIFIED
	NATURAL DRY CREEK DRAINAGE		SHED AS SPECIFIED
	MASS PLANTING BEDS		BRICK SITTING WALL
	TURF		SANDSTONE SEAT
	SELU SOFT PAVING		SANDSTONE LOG
	MULCH BED		CONCRETE SLEEPERS
			BENCH AS SPECIFIED
			PEDESTRIAN FENCE TO ARCHITECTS DETAIL

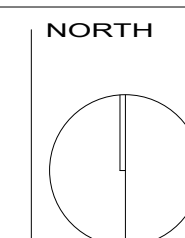
AMENDMENTS			
REV	BY	DATE	DESCRIPTION
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
B	BH	02.07.2021	ISSUED FOR INFORMATION
C	BH	06.07.2021	ISSUED FOR INFORMATION
D	BH	09.07.2021	ISSUED FOR 50% DETAILED DESIGN
E	BH	20.07.2021	ISSUED FOR COORDINATION
F	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
G	BH	09.08.2021	ISSUED FOR COORDINATION
H	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN



**TaylorBrammer**  
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD  
AUSTINMER STUDIO  
28 Moore St / PO Box 3064 Austinmer, NSW, 2511 E: info@taylorbrammer.com.au T: 612 9387 8855  
Copyright © Taylor Brammer Landscape Architects Pty Ltd. 4/20/21 1001 7/20/2021

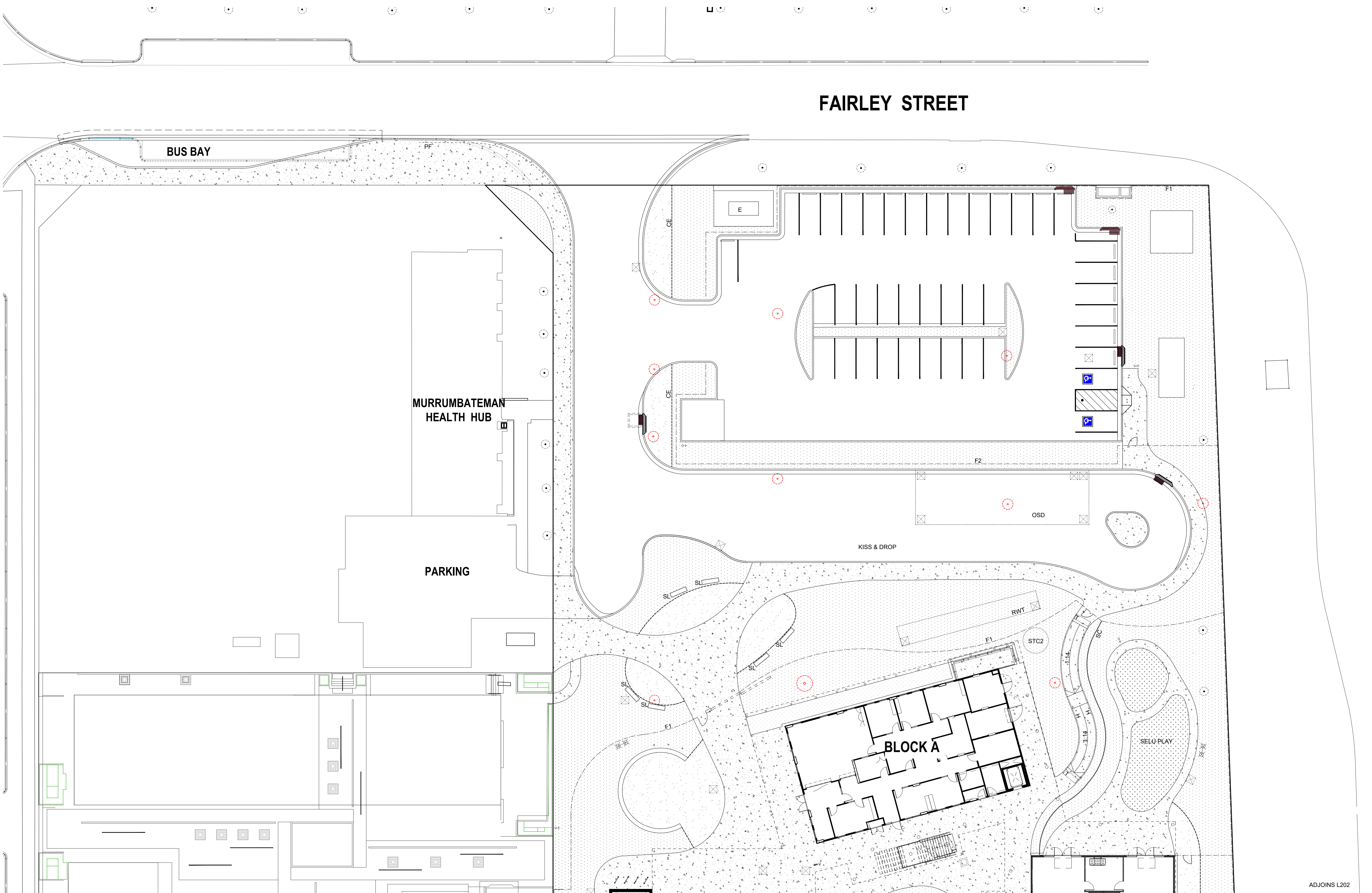
DRAWING NAME  
**LANDSCAPE: SITE FINISHES PLAN**

PROJECT  
**NEW PRIMARY SCHOOL IN MURRUMBATEMAN**  
**FAIRLEY STREET MURRUMBATEMAN**



5000	10000	15000	20000	25000	50000
SCALE 1 : 500 @ A1					
AUGUST 16 2021					
PROJECT	PHASE	SERIES NUMBER	REVISION		
MURR - DD -	L200	H			





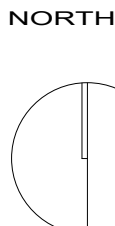
AMENDMENTS			
REV	BY	DATE	DESCRIPTION
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
B	BH	09.07.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
D	BH	03.08.2021	ISSUED FOR INFORMATION
E	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN



**TaylorBrammer**  
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD  
AUSTINMER STUDIO  
28 Moore St / PO Box 3064 Austinmer, NSW, 2511 E: info@taylorbrammer.com.au T: 612 9387 8855  
Copyright © Taylor Brammer Landscape Architects Pty Ltd. 490411 0001 001 000

DRAWING NAME  
**LANDSCAPE: FINISHES PLAN**

PROJECT  
**NEW PRIMARY SCHOOL IN MURRUMBATEMAN**  
**FAIRLEY STREET MURRUMBATEMAN**



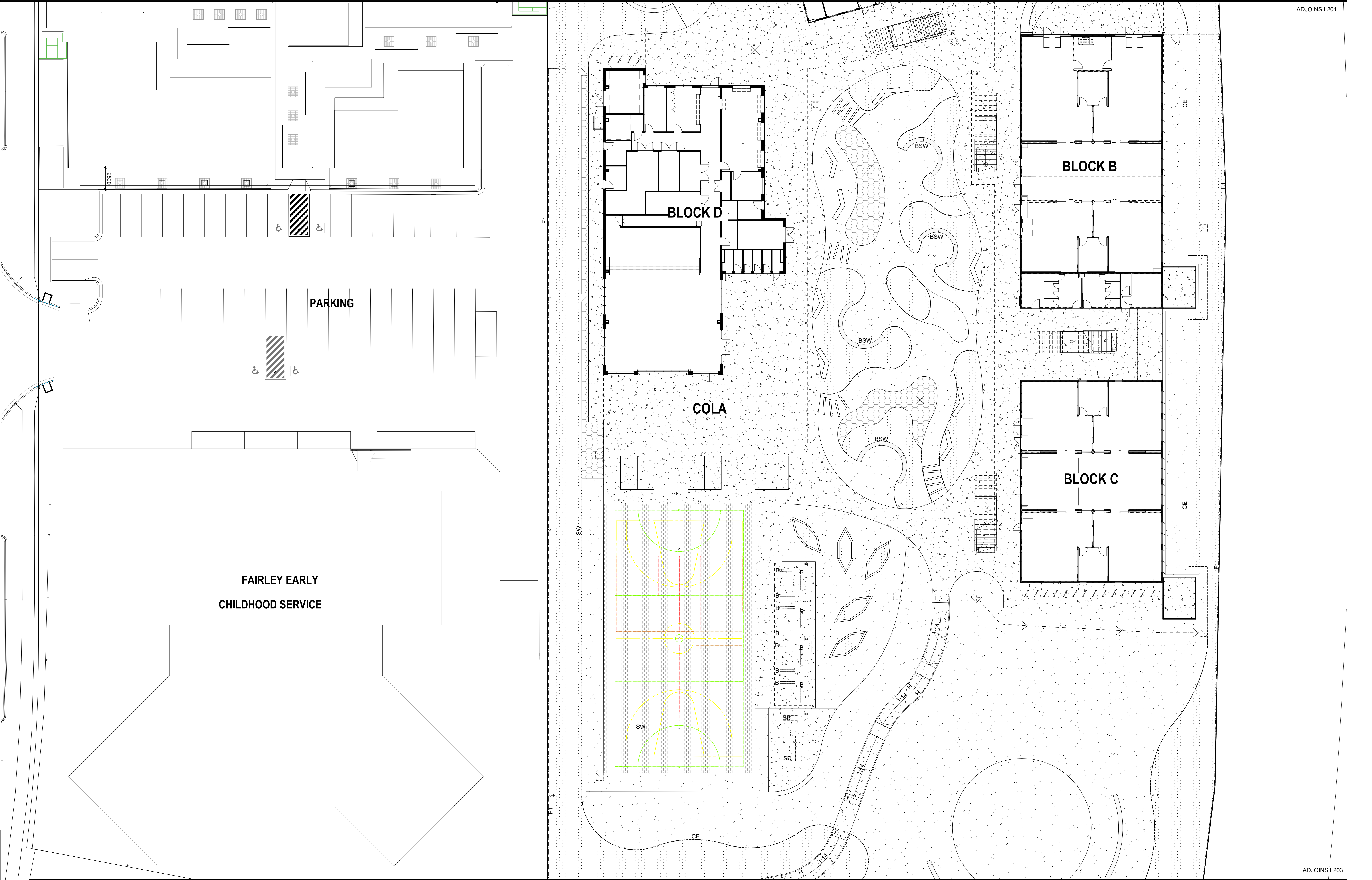
2000 4000 6000 8000 12000 20000

SCALE 1 : 200 @ A1

AUGUST 16 2021

PROJECT	PHASE	SERIES NUMBER	REVISION
MURR - DD -	L201	E	





AMENDMENTS			
REV	BY	DATE	DESCRIPTION
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
B	BH	09.07.2021	ISSUED FOR 50% DETAILED DESIGN
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
D	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN



DRAWING NAME  
LANDSCAPE: FINISHES PLAN

PROJECT  
NEW PRIMARY SCHOOL IN MURRUMBATEMAN  
FAIRLEY STREET MURRUMBATEMAN

NORTH

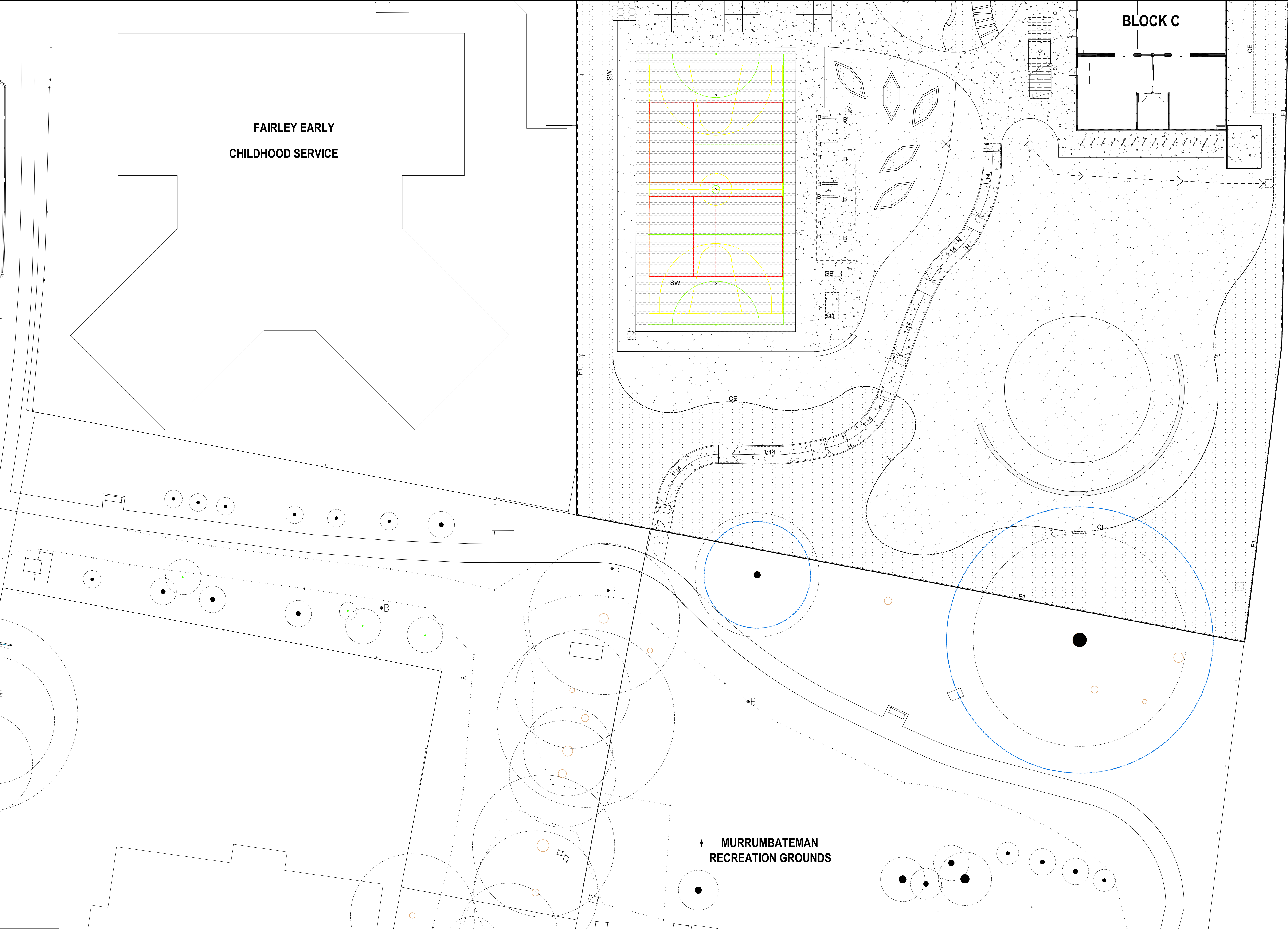
2000 4000 6000 8000 12000 20000

SCALE 1 : 200 @ A1

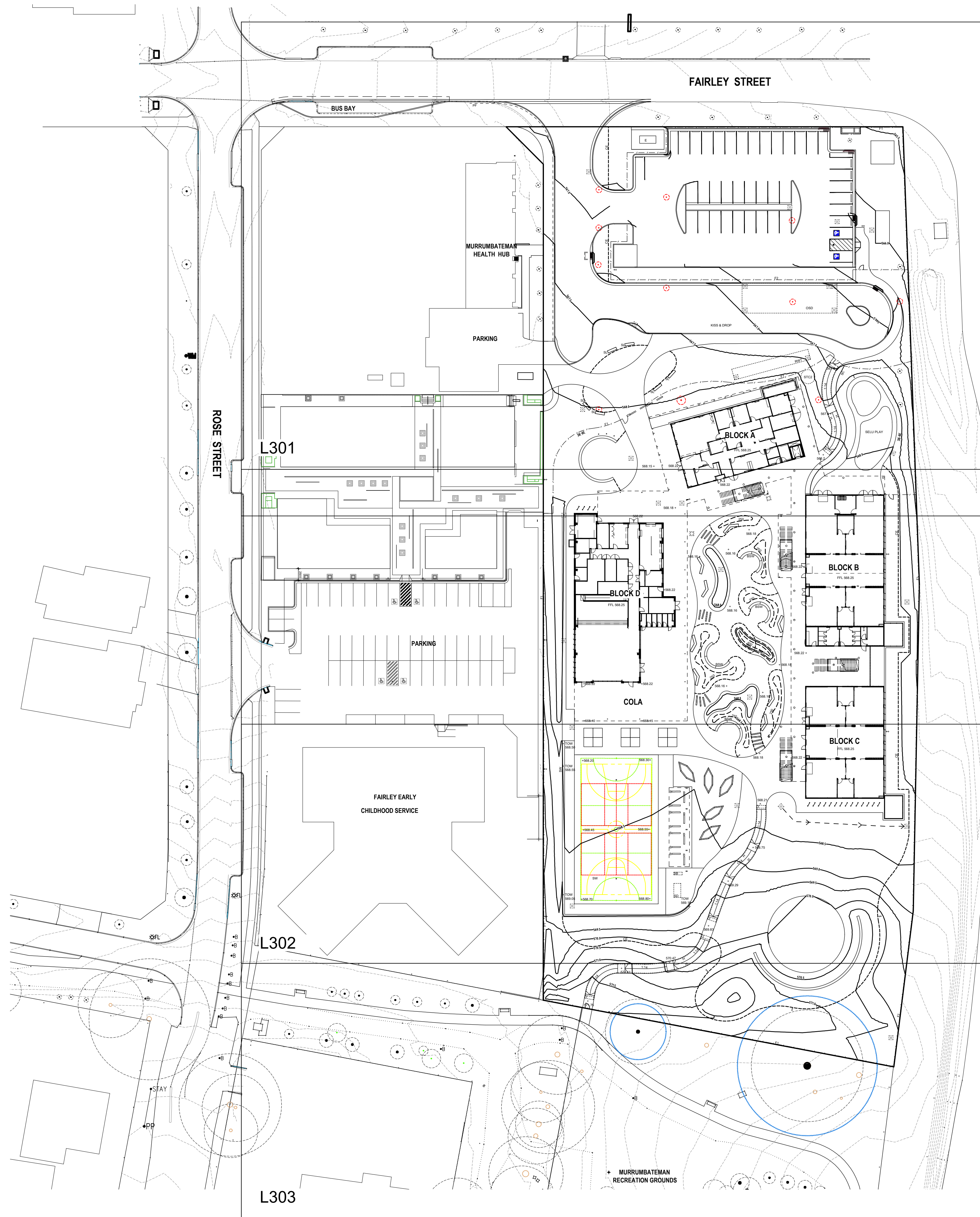
AUGUST 16 2021

PROJECT	PHASE	SERIES NUMBER	REVISION
MURR - DD -	L202	D	









LEGEND

	SITE BOUNDARY		SANDSTONE SITTING WALL
	ELECTRICAL SUBSTATION		CONCRETE EDGE
	STORMWATER PIT TO ENGINEERS DETAIL		STEEL EDGE
	RAINWATER PIT TO ENGINEERS DETAIL		2150mm FENCE TO ARCHITECTS DETAIL
	ON-SITE DETENTION TO ENGINEERS DETAIL		1200mm FENCE TO ARCHITECTS DETAIL
	RAINWATER TANK TO ENGINEERS DETAIL		GATE TO ARCHITECTS DETAIL
	HUMECEPTOR STC2 TO ENGINEERS DETAIL		TACTILE INDICATORS TO ARCHITECTS SPECIFICATION
	GRASSED SWALE TO ENGINEERS DETAIL		HANDRAIL TO ARCHITECTS DETAIL
	FIRE HYDRANT TO ENGINEERS DETAIL		SHELTER TO ARCHITECTS DETAIL
	HOSE TAP TO ENGINEERS DETAIL		SCREEN TO ARCHITECTS DETAIL
	EXISTING CONTOUR		GAMES COURT
	PROPOSED CONTOUR BY ENGINEER		HANDBALL LINE MARK
	MOUNDING CONTOUR		GROWING GARDEN
	EXISTING SPOT LEVEL		TREE PROTECTION ZONE
	PROPOSED SPOT LEVEL		SINK BENCH AS SPECIFIED
	TOP OF WALL LEVEL		SHED AS SPECIFIED
	ACCESSIBLE RAMP AT 1:14		SANDSTONE SEAT
	EXISTING TREE RETAINED		SANDSTONE LOG
	EXISTING TREE REMOVED		CONCRETE SLEEPERS
			BRICK SITTING WALL
			BENCH AS SPECIFIED
			PEDESTRIAN FENCE TO ARCHITECTS DETAIL

AMENDMENTS			
REV	BY	DATE	DESCRIPTION
A	BH	09.06.2021	ISSUED FOR COORDINATION
B	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
C	BH	06.07.2021	ISSUED FOR INFORMATION
D	BH	09.07.2021	ISSUED FOR 50% DETAILED DESIGN
E	BH	20.07.2021	ISSUED FOR COORDINATION
F	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
G	BH	09.08.2021	ISSUED FOR COORDINATION
H	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN



DRAWING NAME  
LANDSCAPE: SITE GRADING PLAN

PROJECT  
NEW PRIMARY SCHOOL IN MURRUMBATEMAN  
FAIRLEY STREET MURRUMBATEMAN

NORTH

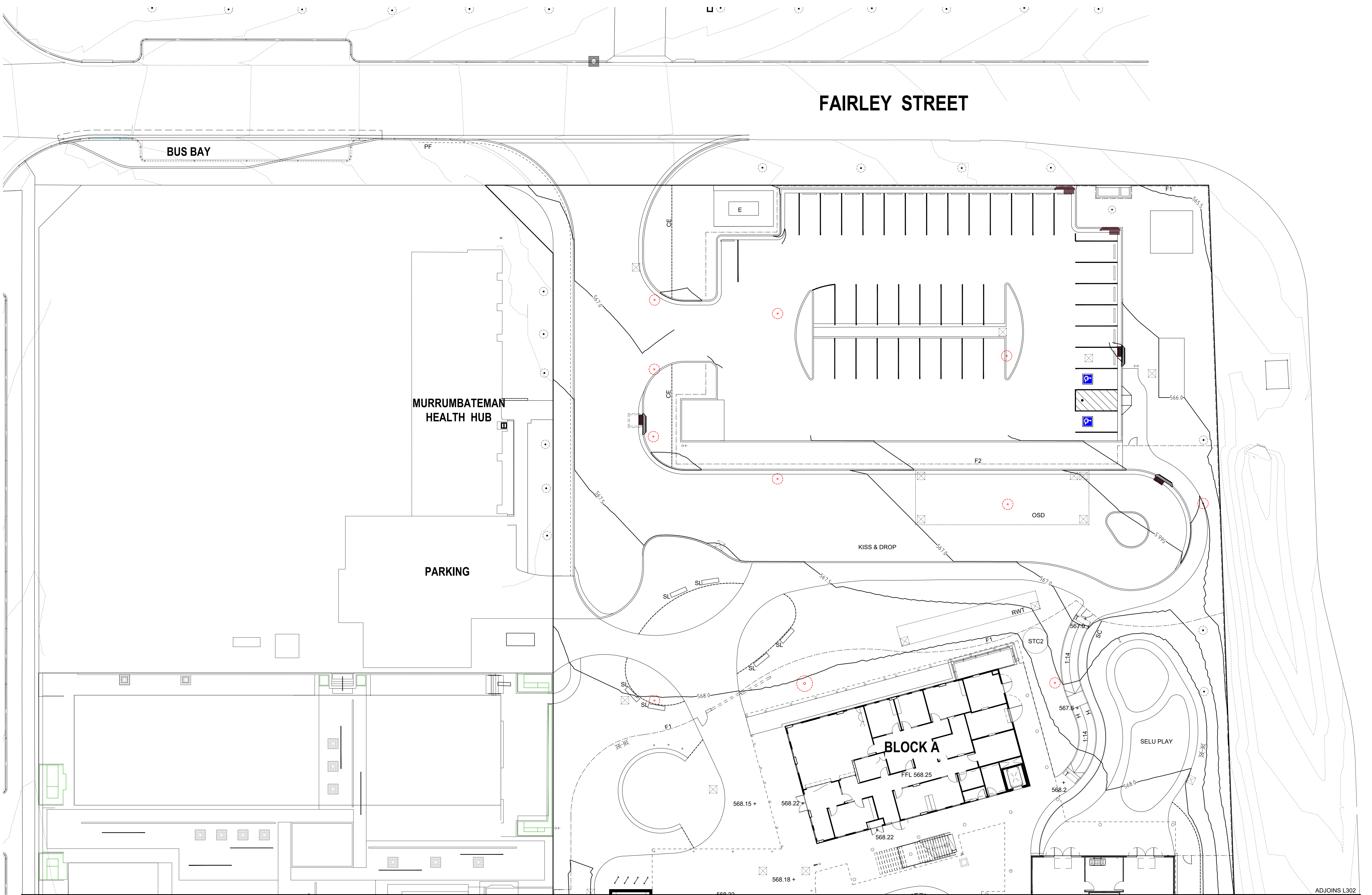
5000 10000 15000 20000 25000 50000

SCALE 1 : 500 @ A1

AUGUST 16 2021

PROJECT	PHASE	SERIES NUMBER	REVISION
MURR - DD -	L300		H





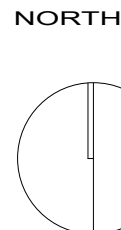
AMENDMENTS			
REV	BY	DATE	DESCRIPTION
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
B	BH	09.07.2021	ISSUED FOR 50% DETAILED DESIGN
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
D	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN



**TaylorBrammer**  
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD  
AUSTINER STUDIO  
28 Moore St | PO Box 3064 Adelaide, NSW, 2511 | E: info@taylorbrammer.com.au | T: 612 2 937 8855  
Copyright © Taylor Brammer Landscape Architects Pty Ltd. | 490/171 000 720 988

DRAWING NAME  
**LANDSCAPE: GRADING PLAN**

PROJECT  
**NEW PRIMARY SCHOOL IN MURRUMBATEMAN**  
**FAIRLEY STREET MURRUMBATEMAN**



2000 4000 6000 8000 12000 20000

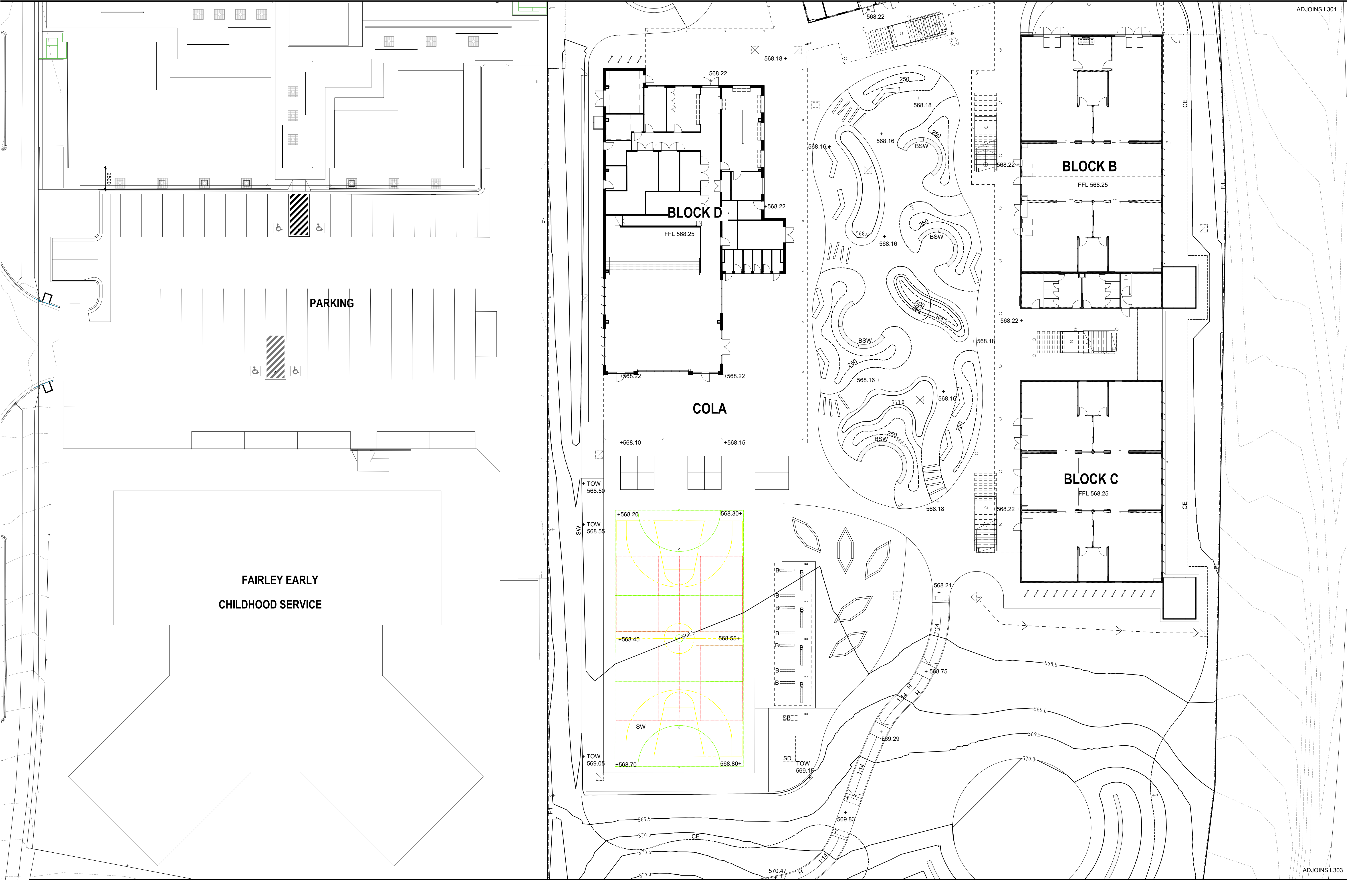
SCALE 1 : 200 @ A1

AUGUST 16 2021

PROJECT PHASE SERIES NUMBER REVISION

MURR - DD - L301 D





AMENDMENTS				
REV	BY	DATE	DESCRIPTION	
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN	
B	BH	09.07.2021	ISSUED FOR 50% DETAILED DESIGN	
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN	
D	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN	



**TaylorBrammer**  
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD  
AUSTINER STUDIO  
28 Moore St / PO Box 3064 Adelaide, NSW, 2511 E: info@taylorbrammer.com.au T: 612 9387 8855  
Copyright © Taylor Brammer Landscape Architects Pty Ltd. 489/01/2001/201/000

DRAWING NAME  
**LANDSCAPE: GRADING PLAN**

PROJECT  
**NEW PRIMARY SCHOOL IN MURRUMBATEMAN**  
**FAIRLEY STREET MURRUMBATEMAN**

NORTH

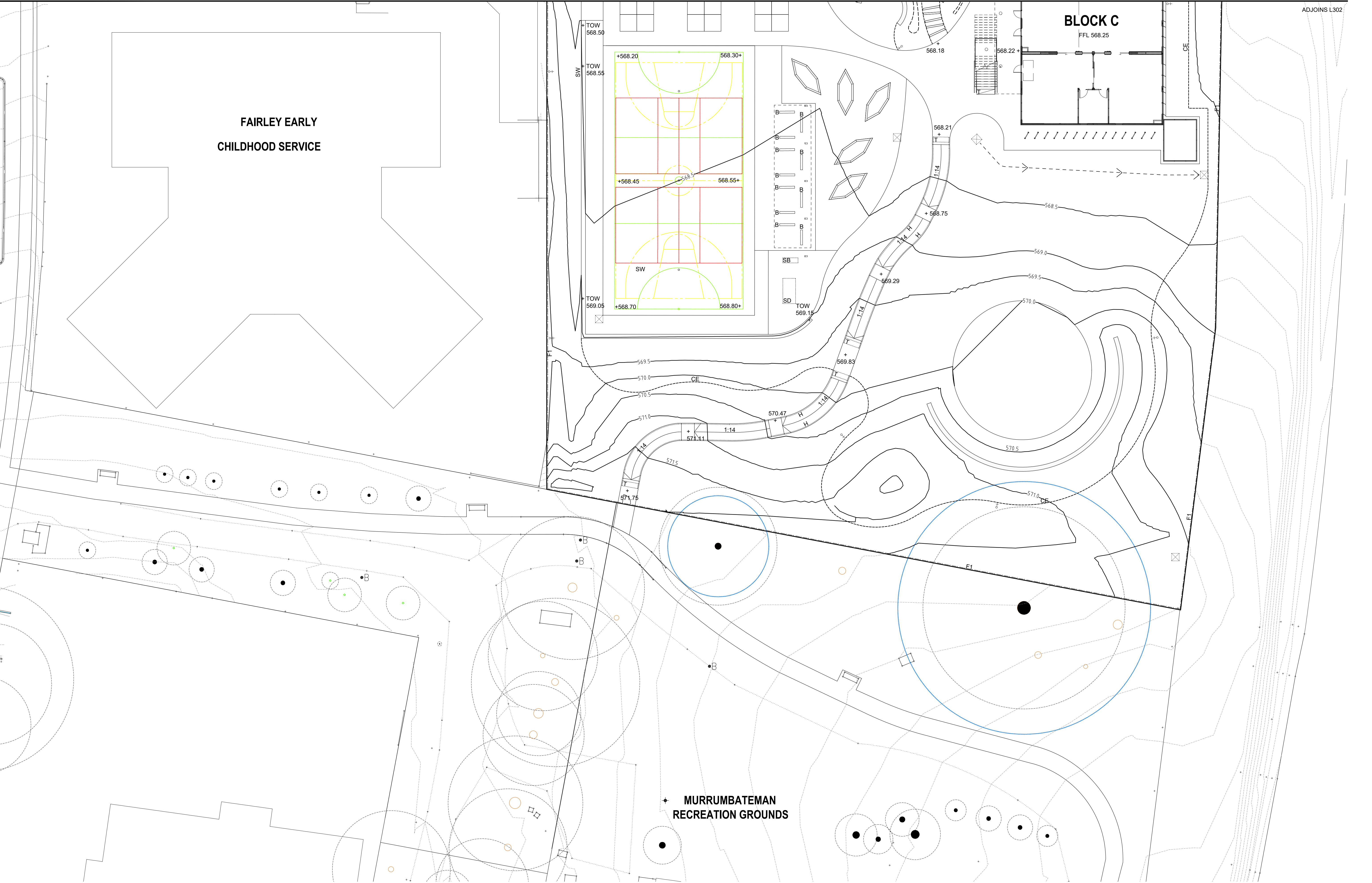
2000 4000 6000 8000 12000 20000

SCALE 1 : 200 @ A1

AUGUST 16 2021

PROJECT	PHASE	SERIES NUMBER	REVISION
MURR - DD -	L302	D	



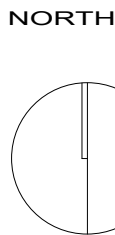


AMENDMENTS				
REV	BY	DATE	DESCRIPTION	
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN	
B	BH	09.07.2021	ISSUED FOR 50% DETAILED DESIGN	
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN	
D	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN	



DRAWING NAME  
LANDSCAPE: GRADING PLAN

PROJECT  
NEW PRIMARY SCHOOL IN  
MURRUMBATEMAN  
FAIRLEY STREET MURRUMBATEMAN



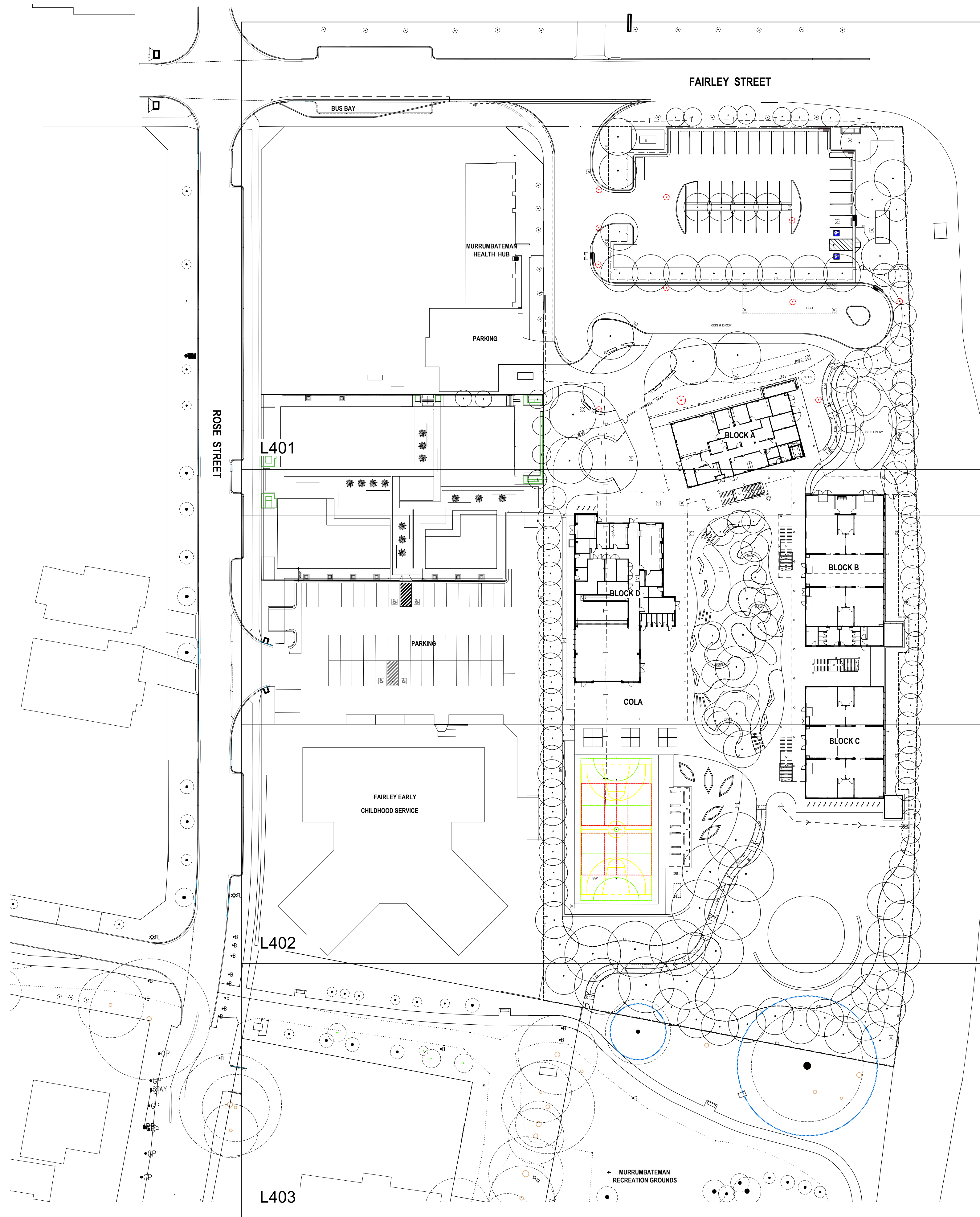
20004000600080001200020000

SCALE 1 : 200 @ A1

AUGUST 16 2021

PROJECT	PHASE	SERIES NUMBER	REVISION
MURR - DD -	L303	D	



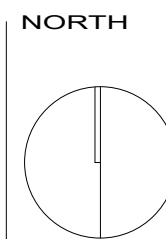


AMENDMENTS			
REV	BY	DATE	DESCRIPTION
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
B	BH	09.07.2021	ISSUED FOR 50% DETAILED DESIGN
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
D	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN



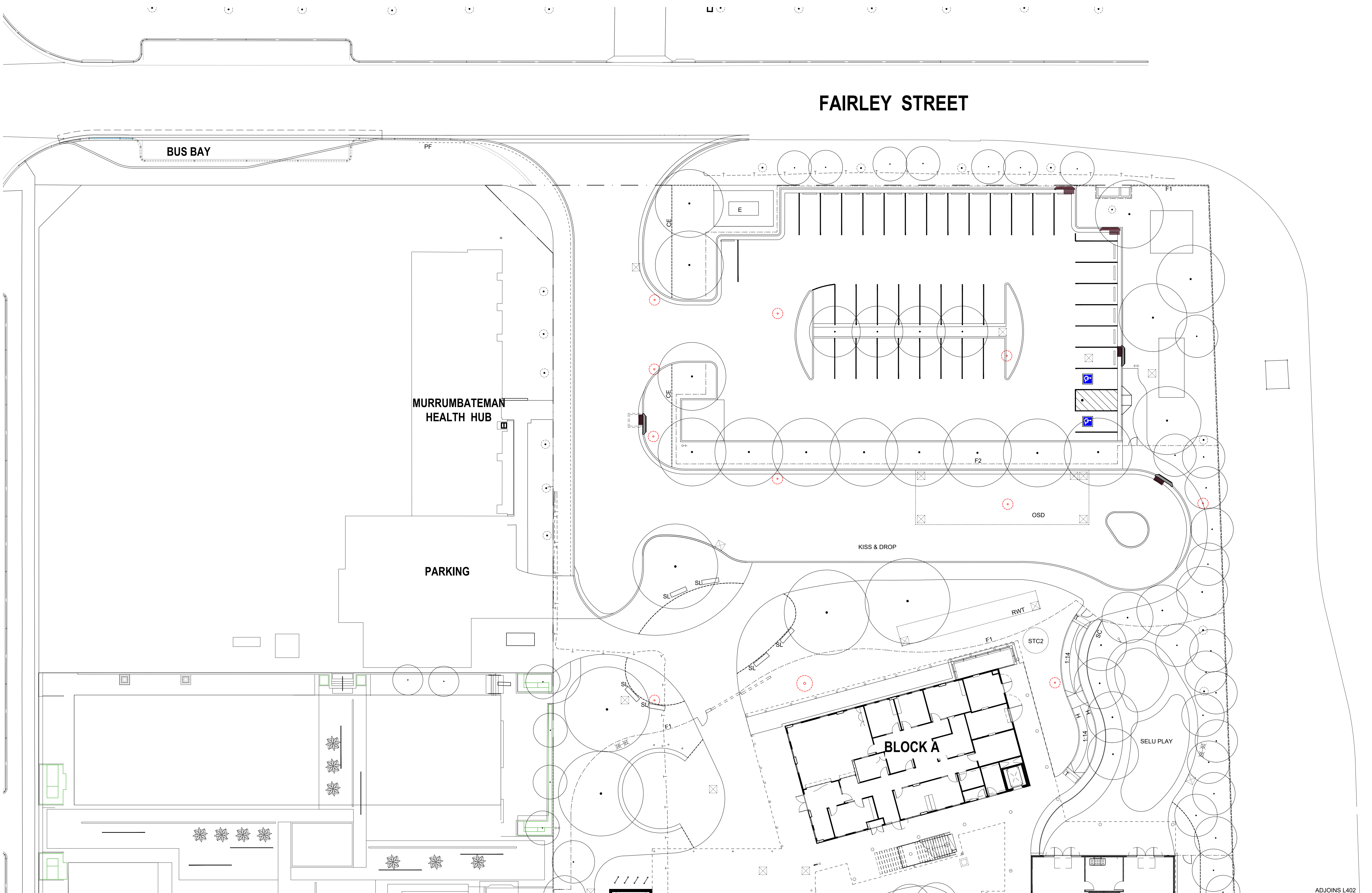
DRAWING NAME  
**LANDSCAPE: SITE PLANTING PLAN**

PROJECT  
**NEW PRIMARY SCHOOL IN MURRUMBATEMAN**  
**FAIRLEY STREET MURRUMBATEMAN**



5000 10000 15000 20000 25000 50000			
SCALE 1 : 500 @ A1			
AUGUST 16 2021			
PROJECT	PHASE	SERIES NUMBER	REVISION
MURR - DD -	L400		D





AMENDMENTS			
REV	BY	DATE	DESCRIPTION
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
B	BH	09.07.2021	ISSUED FOR 50% DETAILED DESIGN
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
D	BH	03.08.2021	ISSUED FOR INFORMATION
E	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN



**TaylorBrammer**  
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD  
AUSTRALIAN STUDIO  
28 Moore St / PO Box 3064 Adelaide, NSW, 2511 E: info@taylorbrammer.com.au T: 612 9387 8855  
Copyright © Taylor Brammer Landscape Architects Pty Ltd. 490411 1981 100 100 100

DRAWING NAME  
**LANDSCAPE: PLANTING PLAN**

PROJECT  
**NEW PRIMARY SCHOOL IN MURRUMBATEMAN**  
**FAIRLEY STREET MURRUMBATEMAN**

NORTH

2000 4000 6000 8000 12000 20000

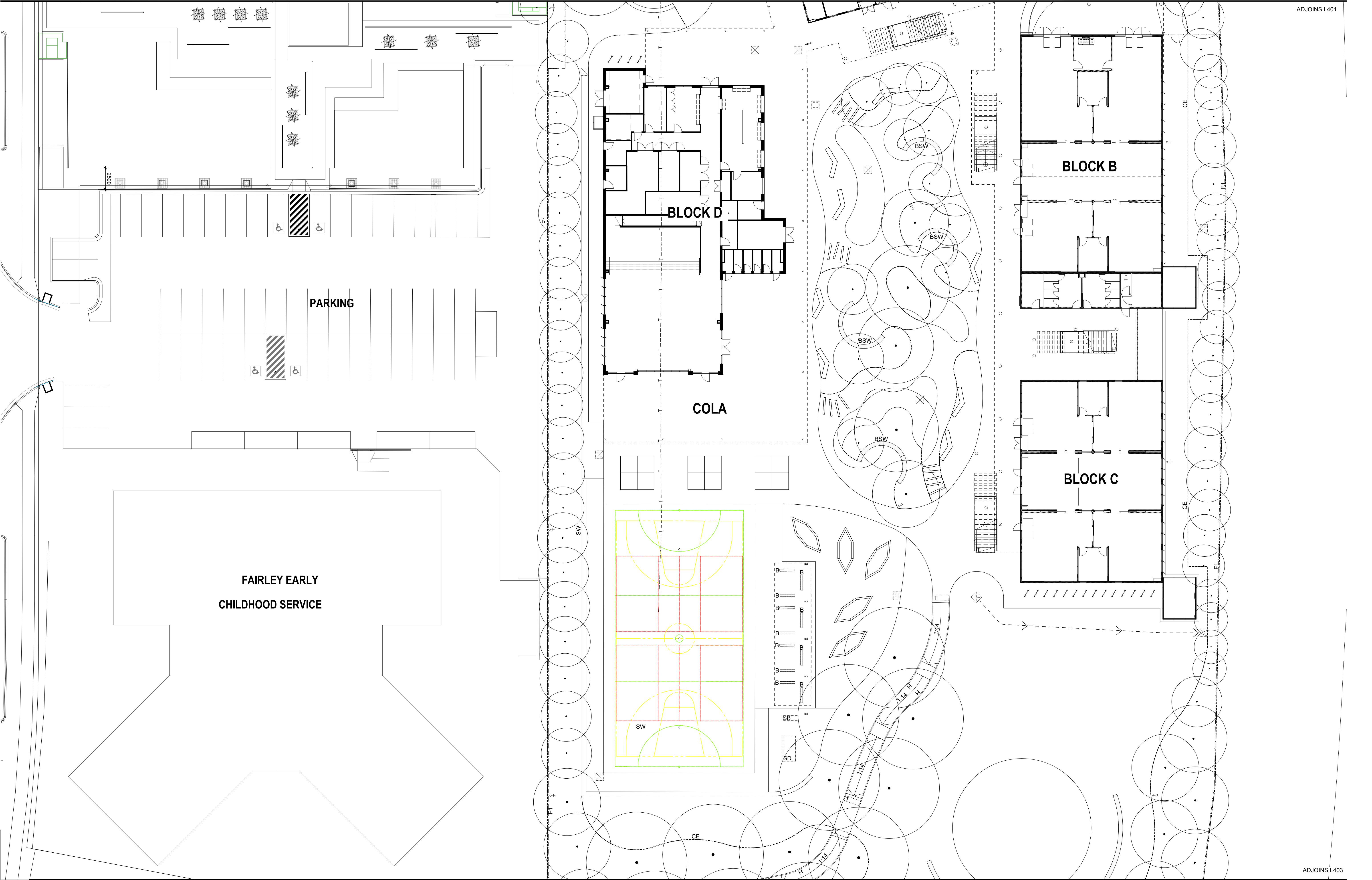
SCALE 1 : 200 @ A1

AUGUST 16 2021

PROJECT PHASE SERIES NUMBER REVISION

MURR - DD - L401 E





ADJOINS L401

ADJOINS L403

AMENDMENTS			
REV	BY	DATE	DESCRIPTION
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
B	BH	09.07.2021	ISSUED FOR 50% DETAILED DESIGN
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
D	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN



**TaylorBrammer**  
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD  
AUSTINMER STUDIO  
28 Moore St / PO Box 5064 Austinmer, NSW, 2511 E: studio@taylorbrammer.com.au T: 612 9387 8855  
Copyright © Taylor Brammer Landscape Architects Pty Ltd. ABN 61 198 720 988

DRAWING NAME  
**LANDSCAPE: PLANTING PLAN**

PROJECT  
**NEW PRIMARY SCHOOL IN MURRUMBATEMAN**  
**FAIRLEY STREET MURRUMBATEMAN**

NORTH

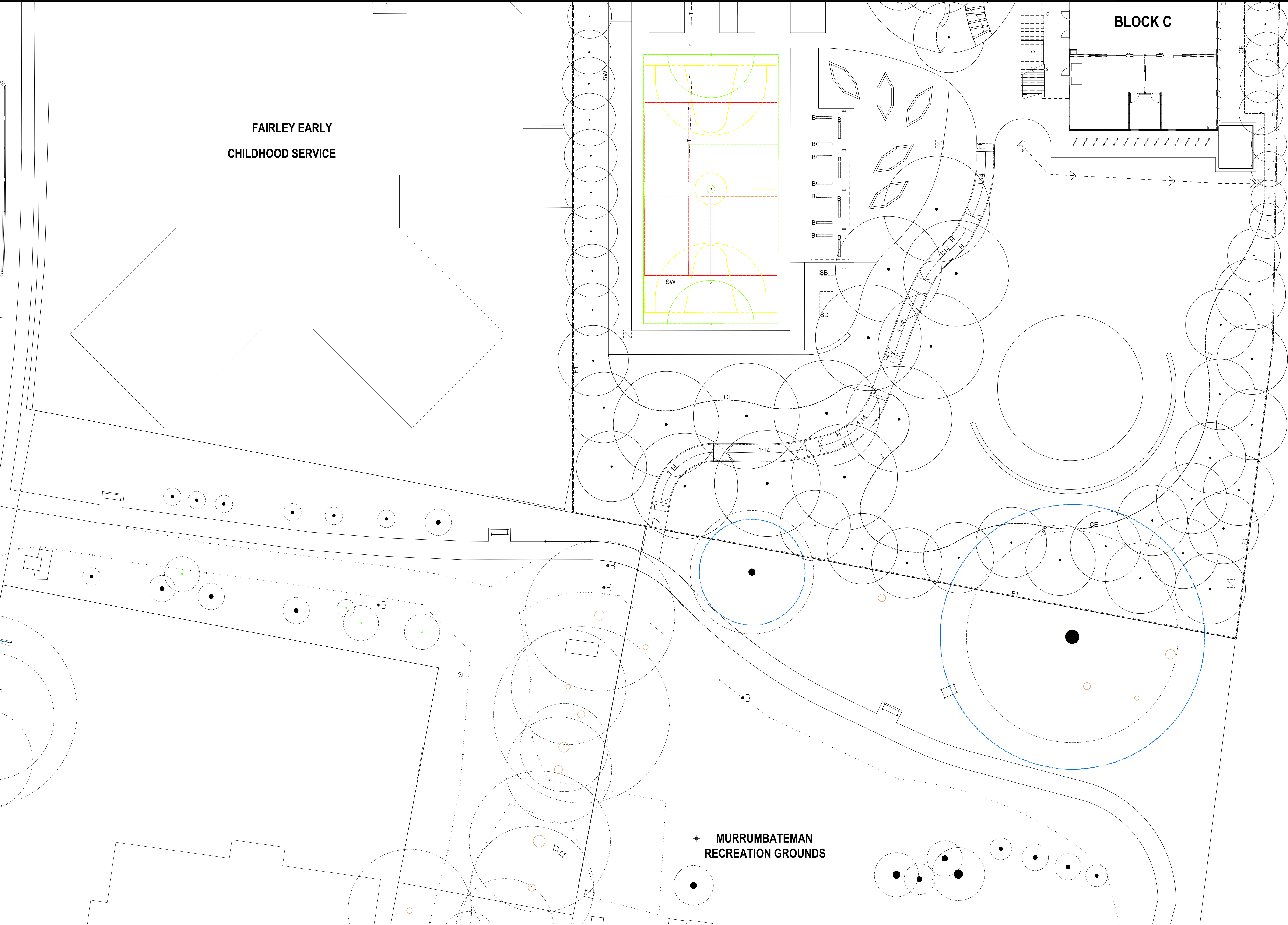
2000 4000 6000 8000 12000 20000

SCALE 1 : 200 @ A1

AUGUST 16 2021

PROJECT	PHASE	SERIES NUMBER	REVISION
MURR - DD -	L402	D	





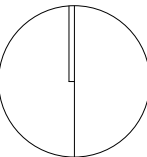
AMENDMENTS			
REV	BY	DATE	DESCRIPTION
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
B	BH	09.07.2021	ISSUED FOR 50% DETAILED DESIGN
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
D	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN


**HANSEN YUNCKEN**  
 **Education**

**TaylorBrammer**  
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD  
AUSTINMER STUDIO  
28 Moore St | PO Box 3064 Austinmer, NSW, 2511 | E: info@taylorbrammer.com.au | T: 612 9387 8855  
Copyright © Taylor Brammer Landscape Architects Pty Ltd. | 490411 0001 001 000

DRAWING NAME  
**LANDSCAPE: PLANTING PLAN**

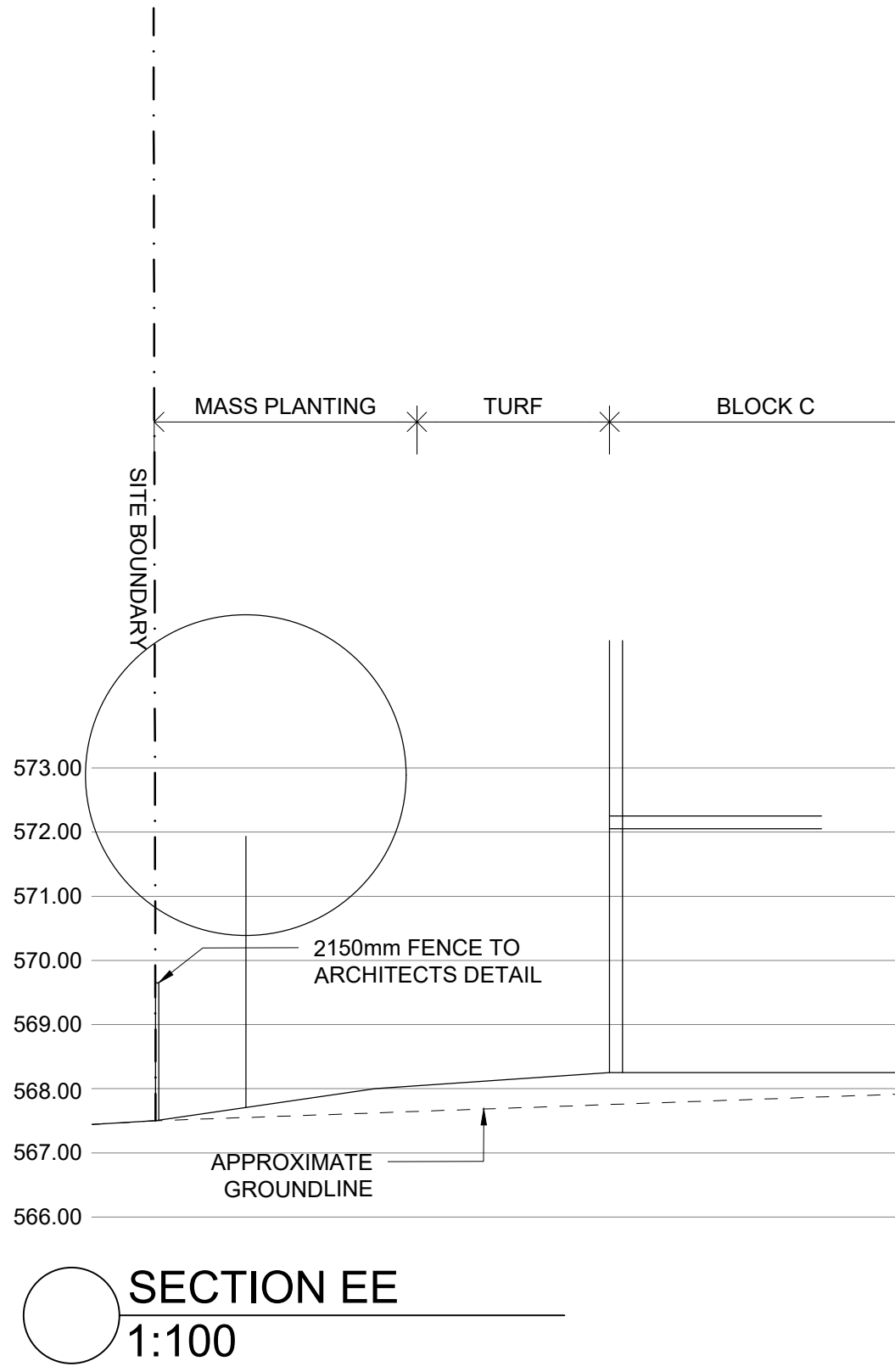
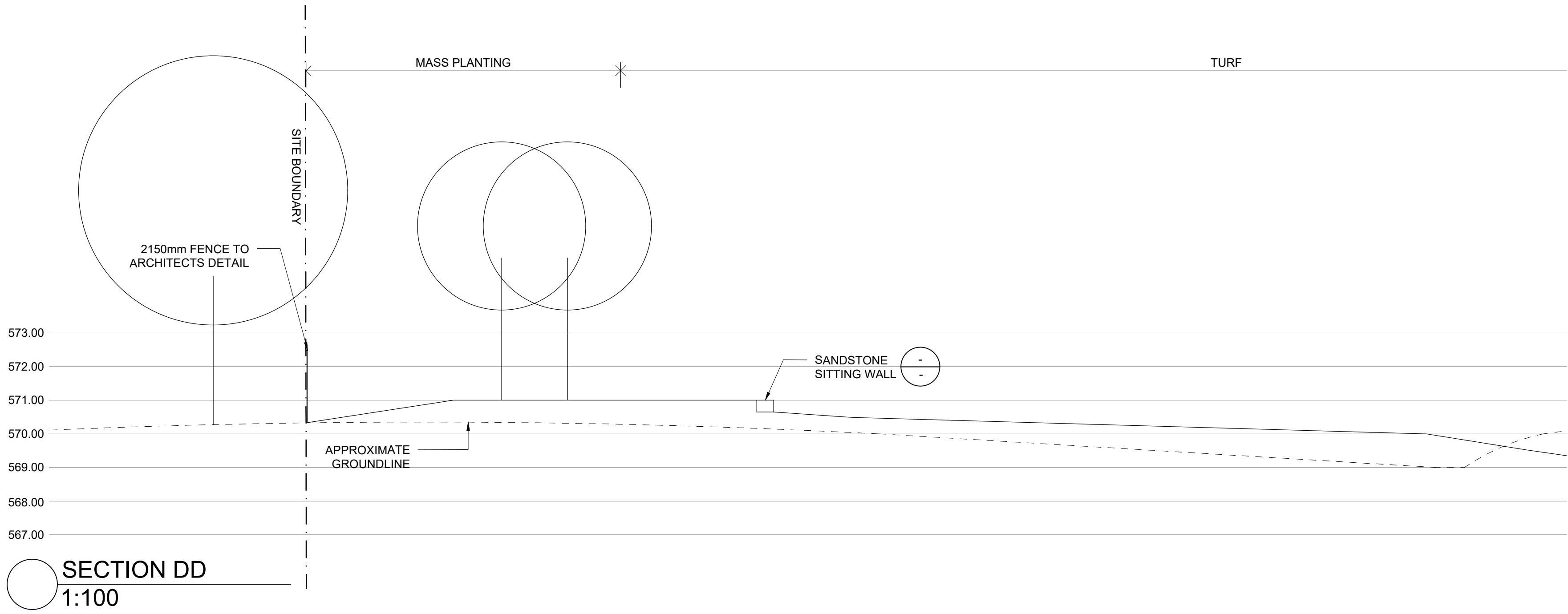
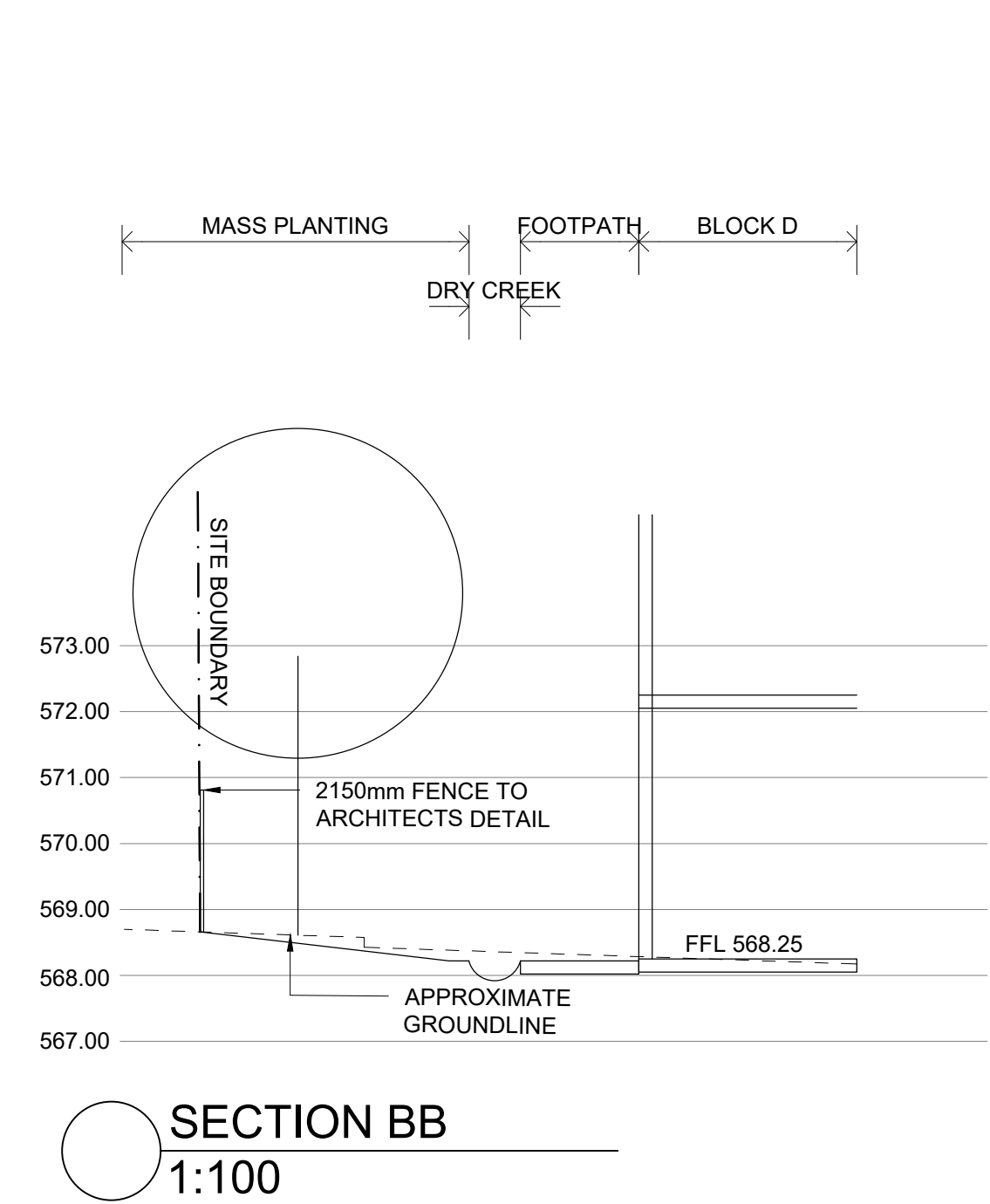
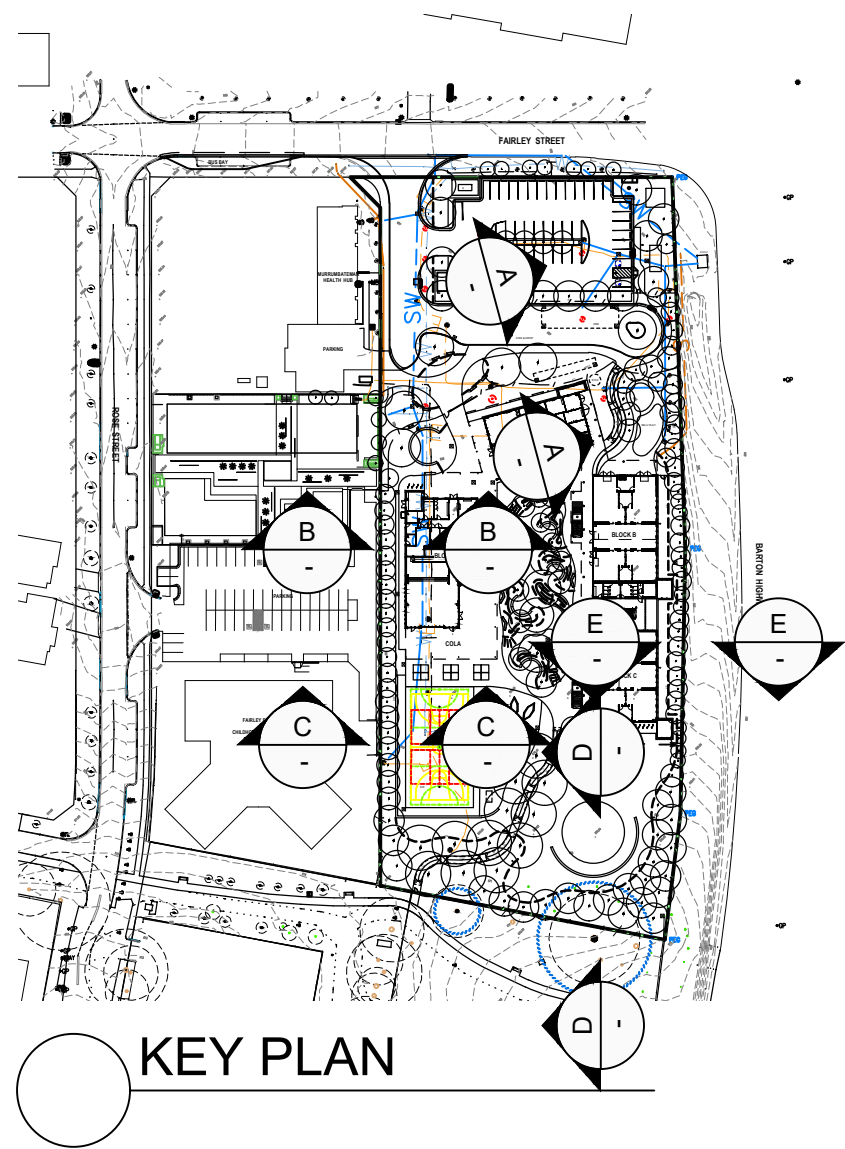
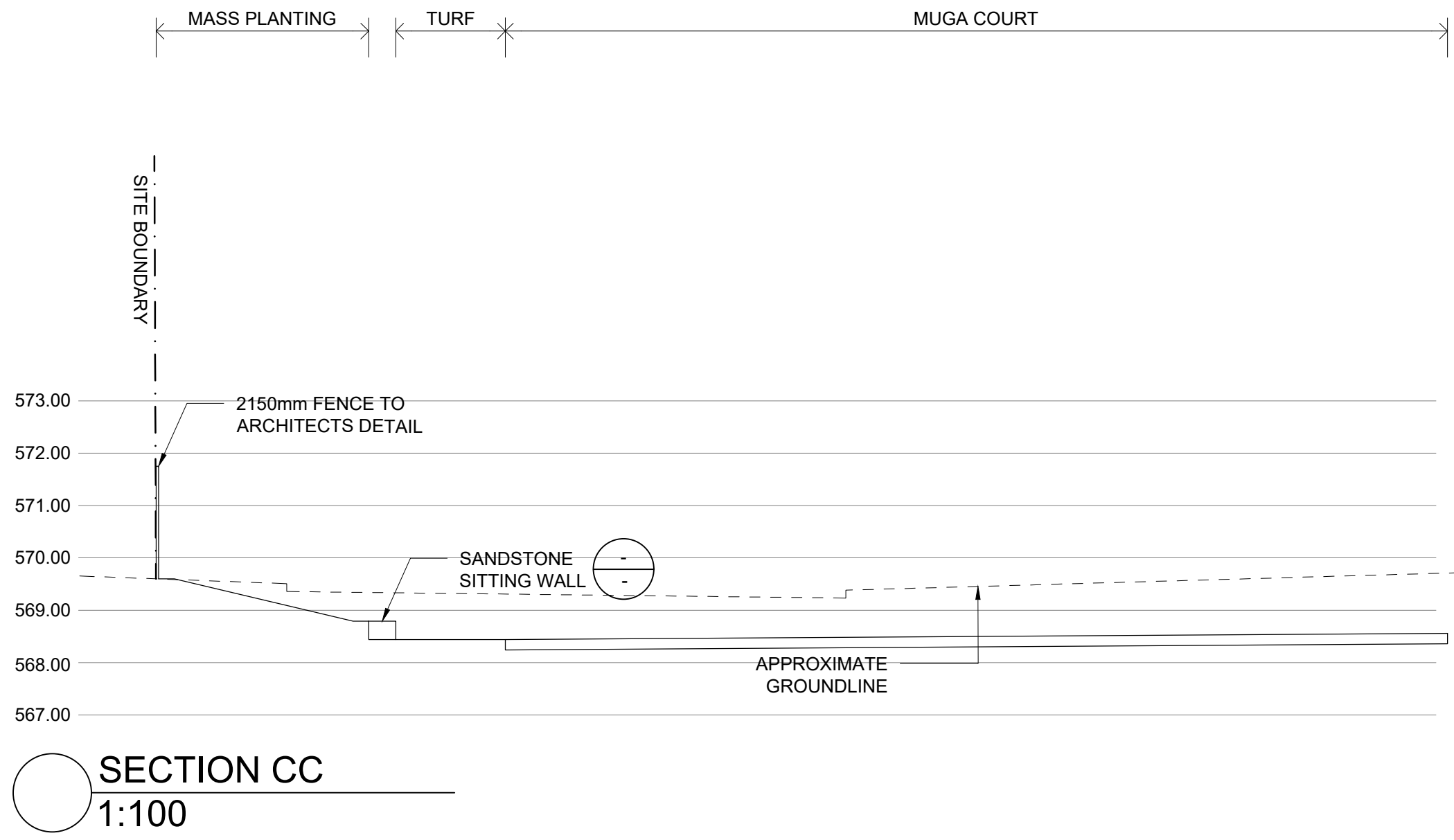
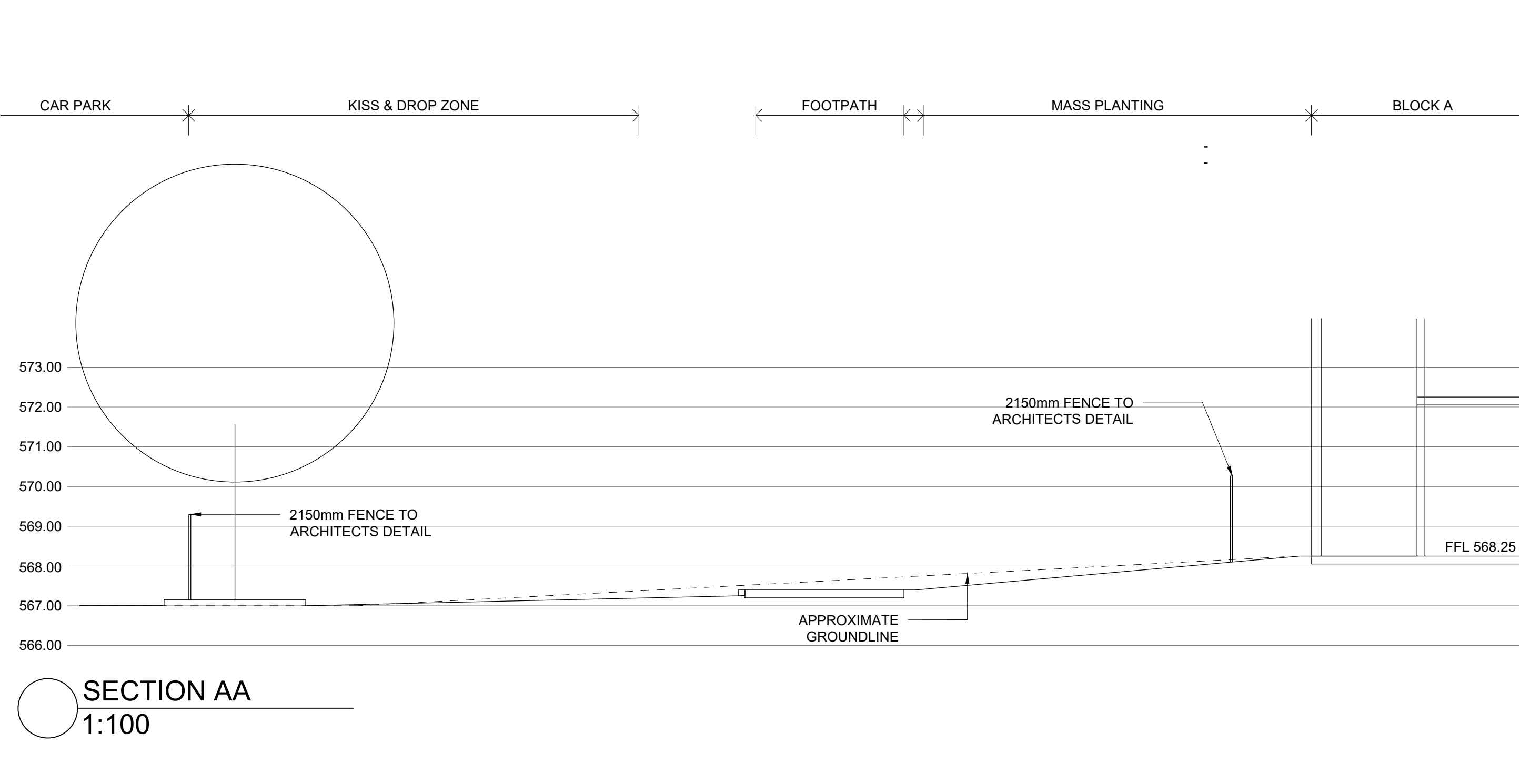
PROJECT  
**NEW PRIMARY SCHOOL IN MURRUMBATEMAN**  
**FAIRLEY STREET MURRUMBATEMAN**

**NORTH**  


  
**SCALE 1 : 200 @ A1**  
**AUGUST 16 2021**

PROJECT	PHASE	SERIES NUMBER	REVISION
MURR - DD -	L403	D	





AMENDMENTS			
REV	BY	DATE	DESCRIPTION
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
B	BH	09.07.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
D	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN

**HANSEN YUNCKEN**

 **Education**

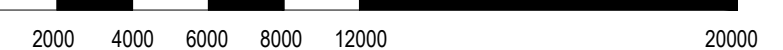
**TaylorBrammer**

TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD  
AUSTINMER STUDIO  
28 Moore St / PO Box 3064 Austinmer, NSW, 2511 E: info@taylorbrammer.com.au T: 612 9387 8855  
Copyright © Taylor Brammer Landscape Architects Pty Ltd. 490411 000 120 000

DRAWING NAME  
**LANDSCAPE: CROSS SECTIONS**

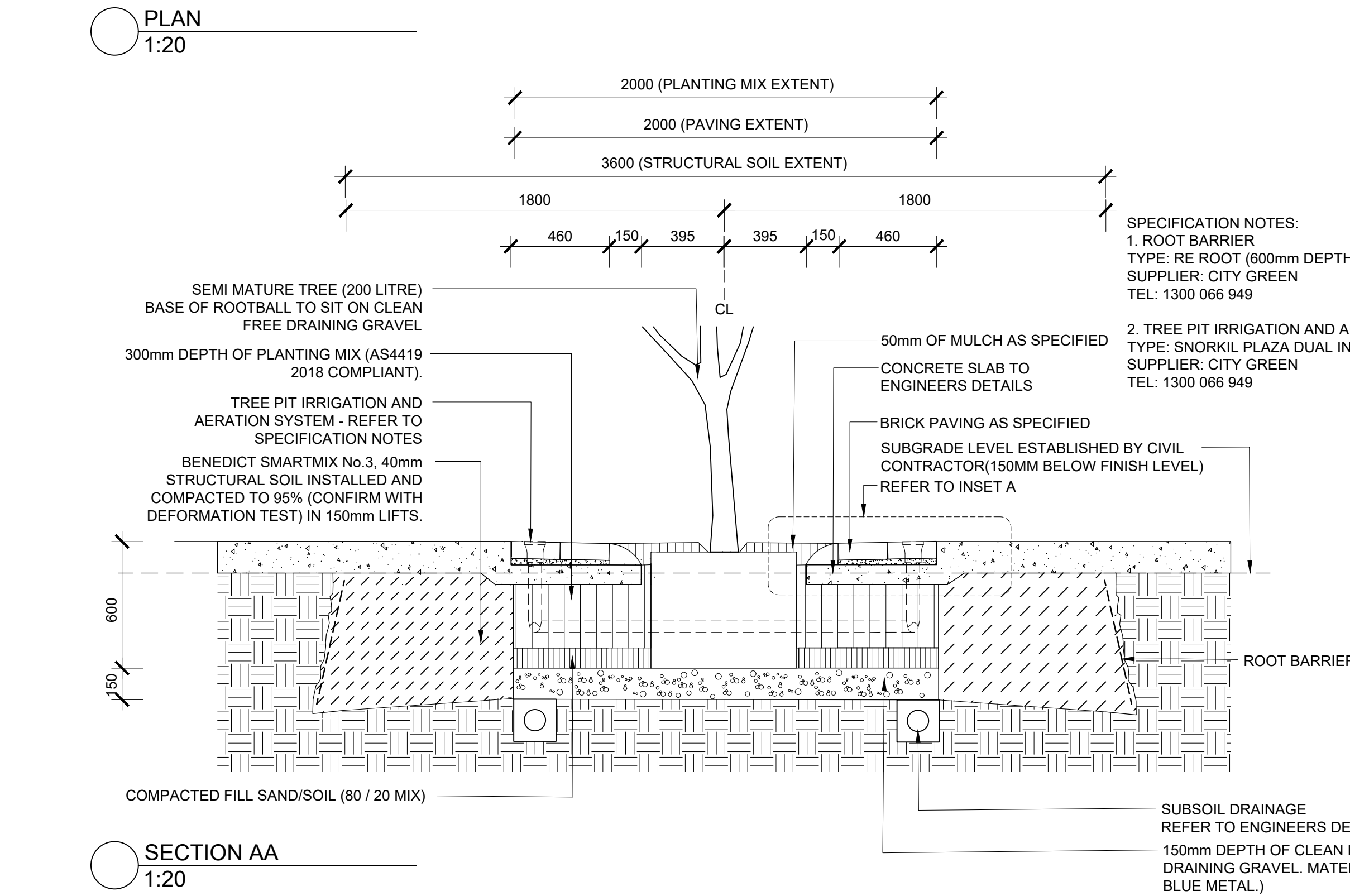
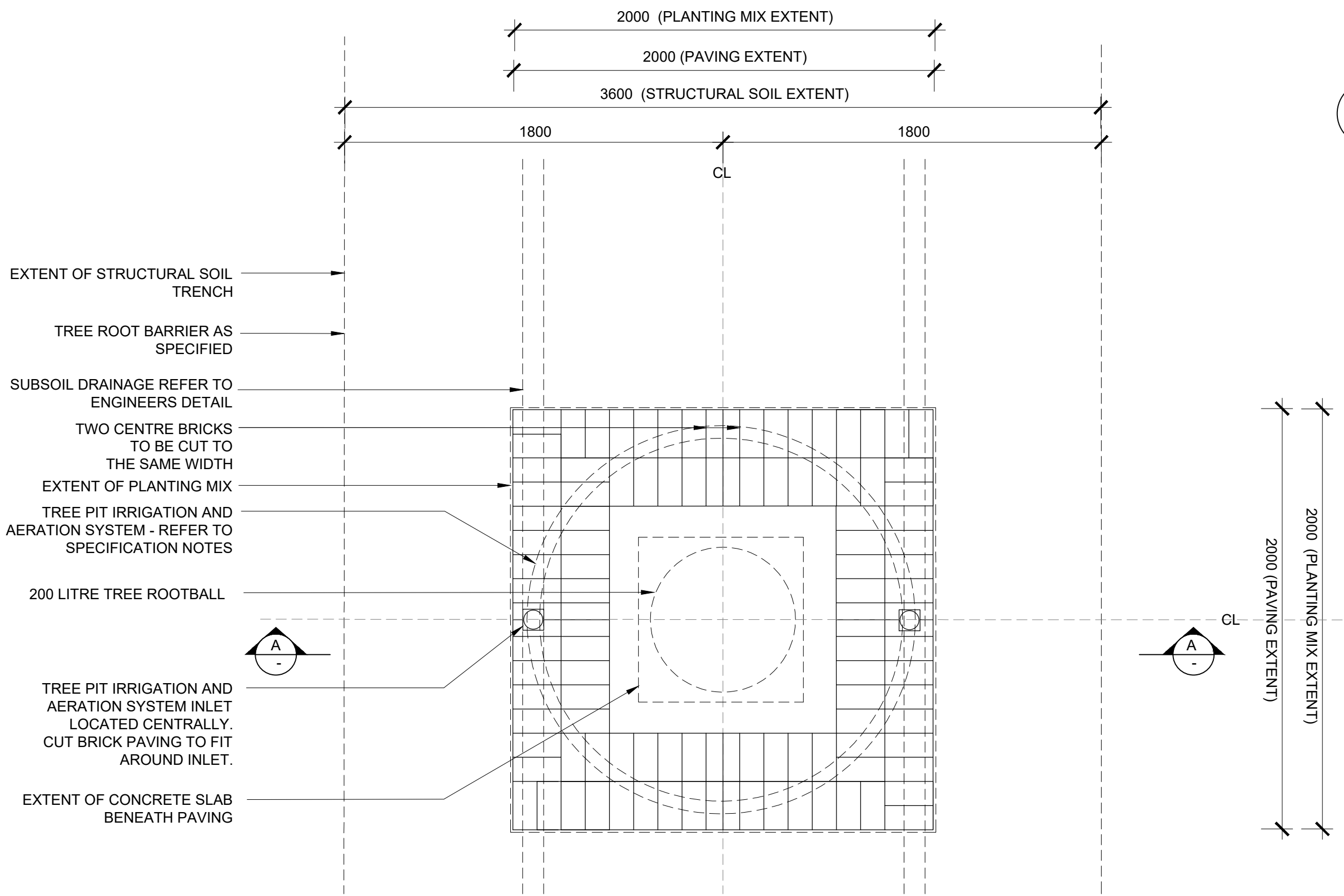
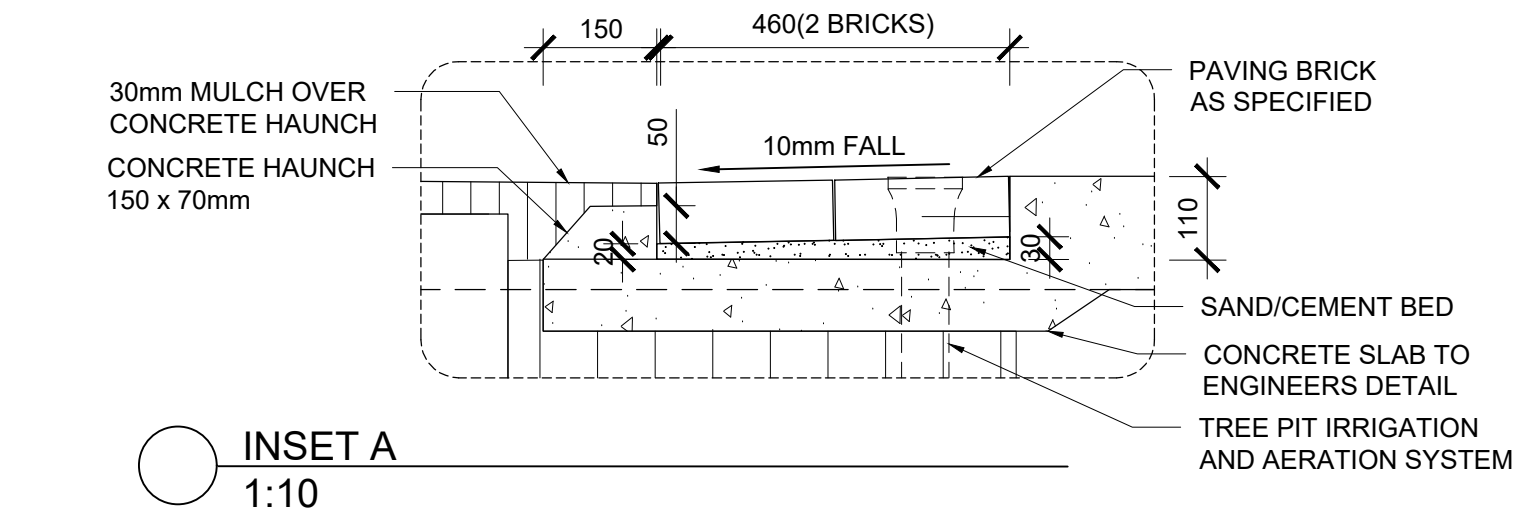
PROJECT  
**NEW PRIMARY SCHOOL IN MURRUMBATEMAN**  
**FAIRLEY STREET MURRUMBATEMAN**

**NORTH**

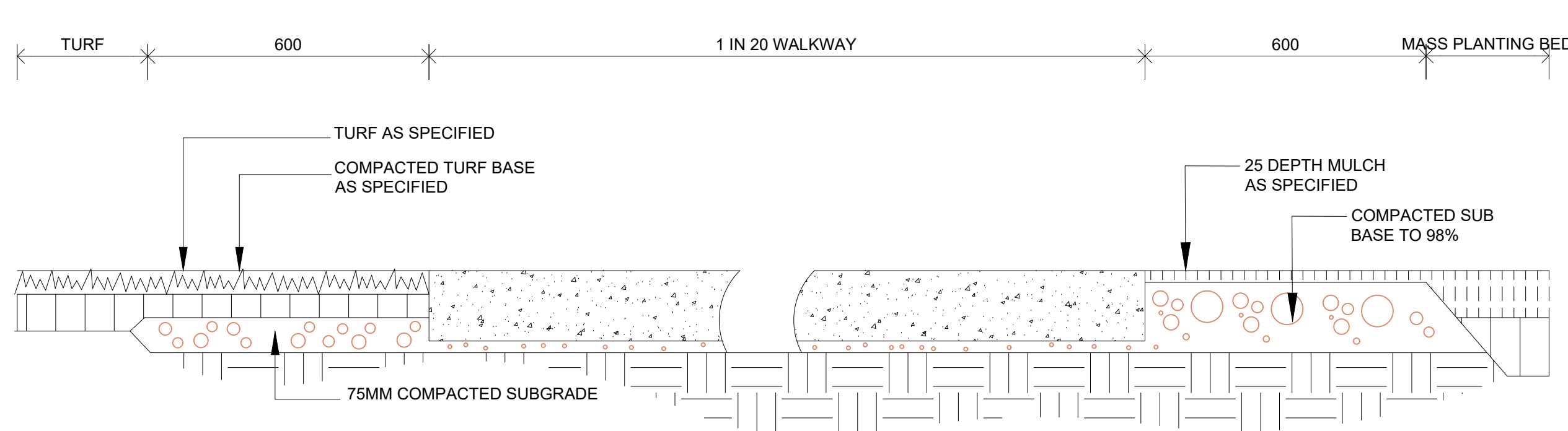
  
SCALE 1 : 200 @ A1  
AUGUST 16 2021

PROJECT	PHASE	SERIES NUMBER	REVISION
MURR - DD -	L500	D	

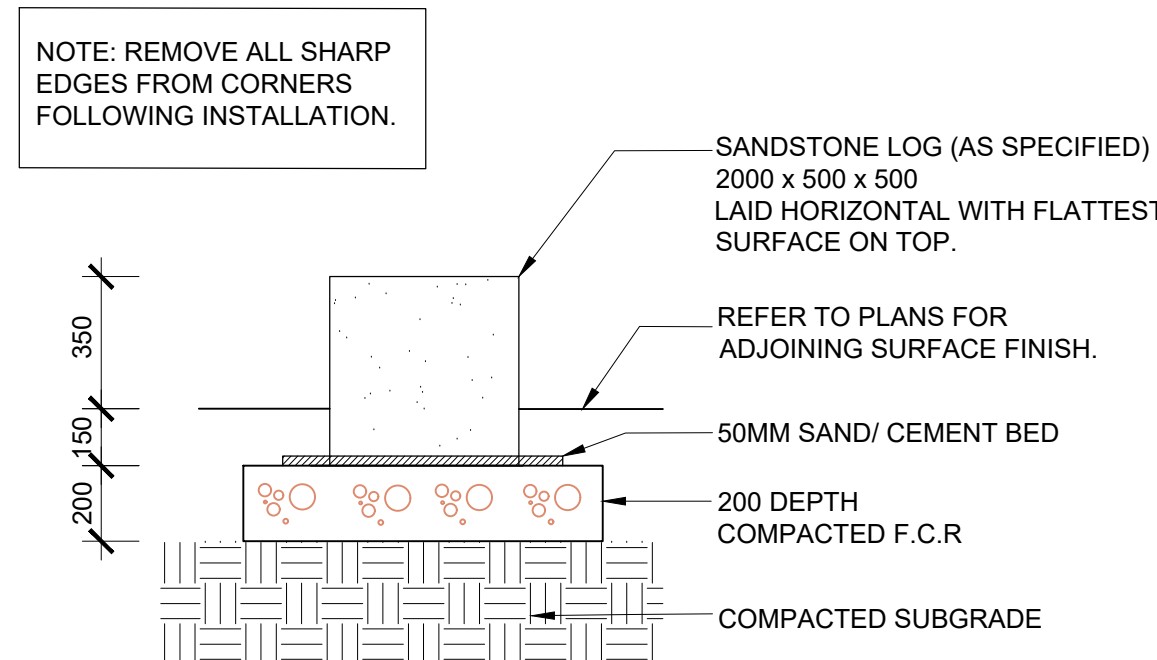




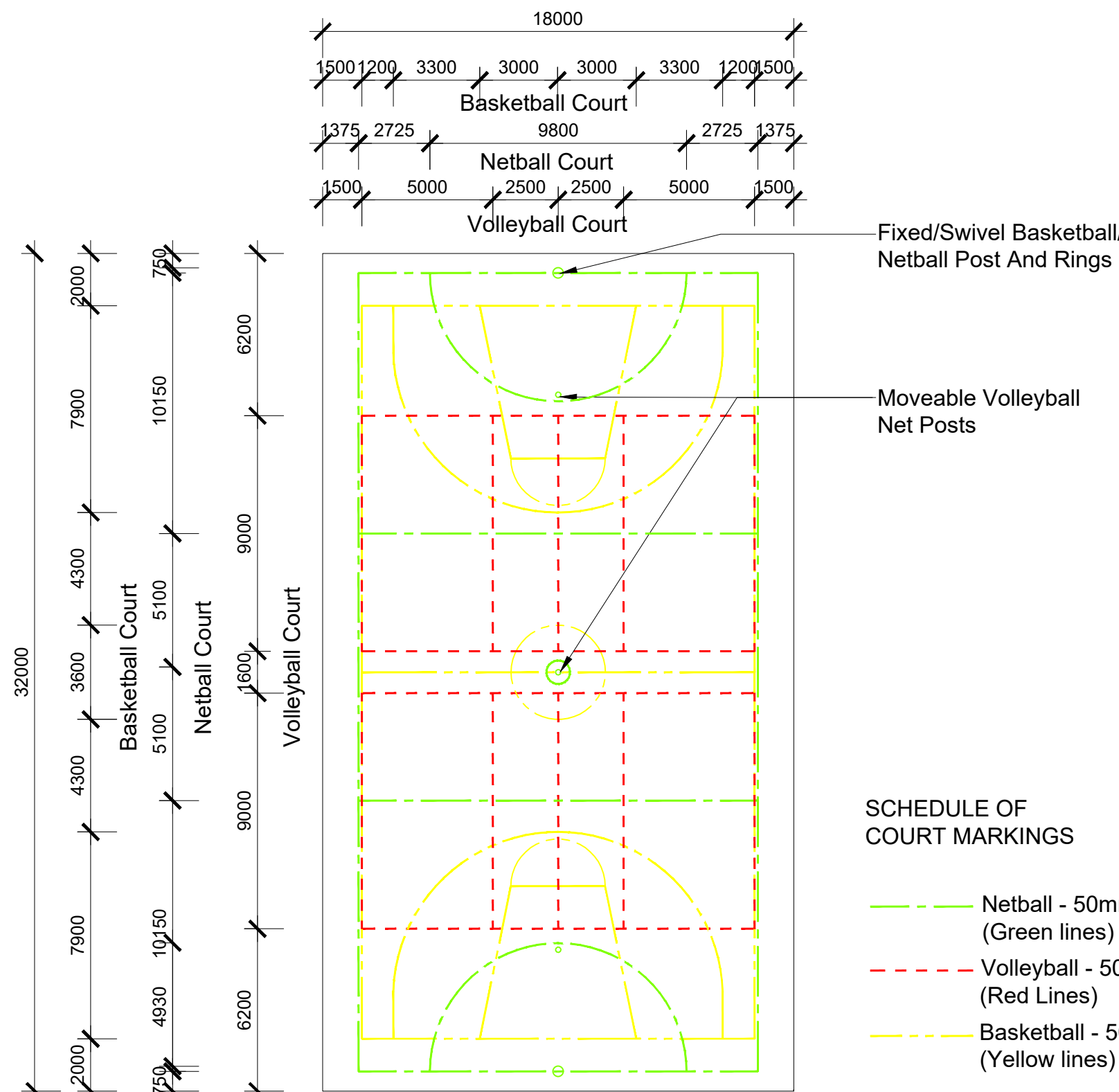
1 SEMI MATURE TREE PLANTING IN PAVING / STRUCTURAL SOIL



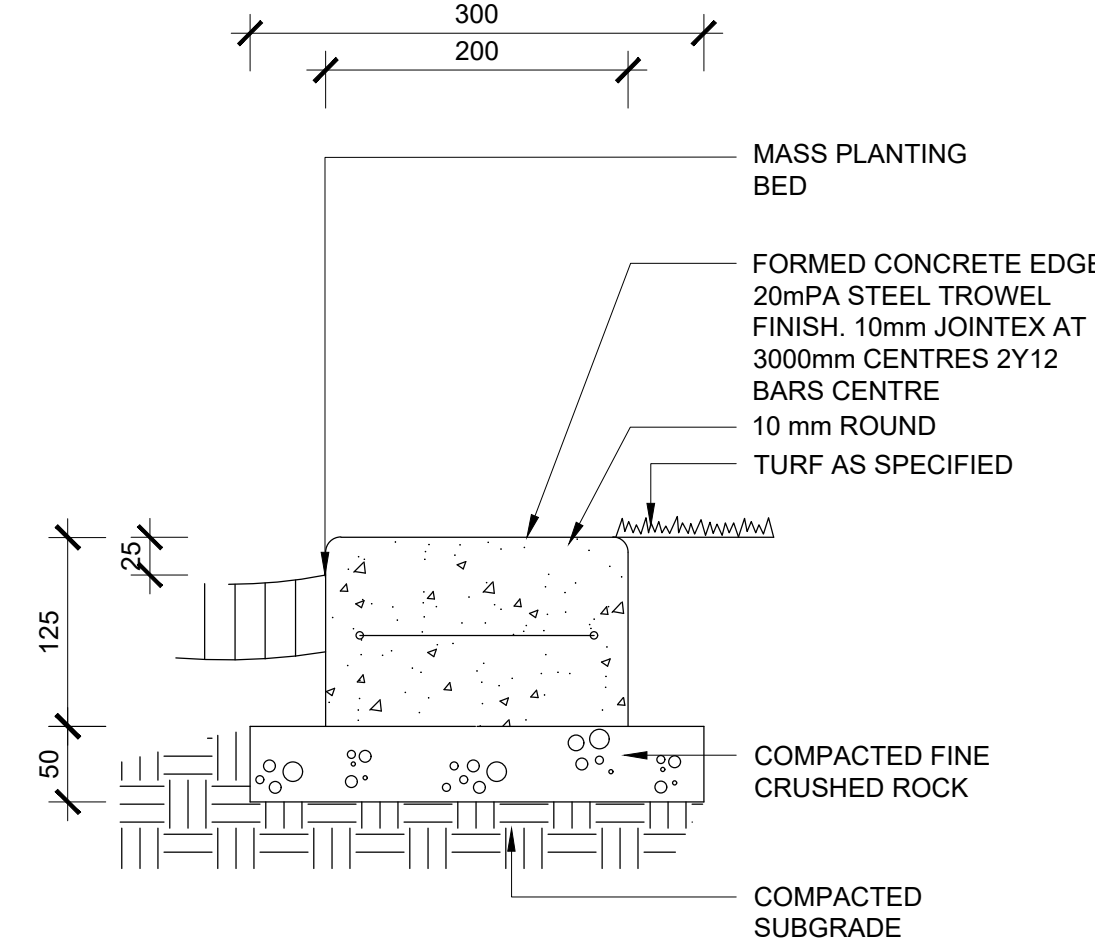
2 1 IN 20 WALKWAY EDGE TREATMENT TYPICAL SECTION 1:10



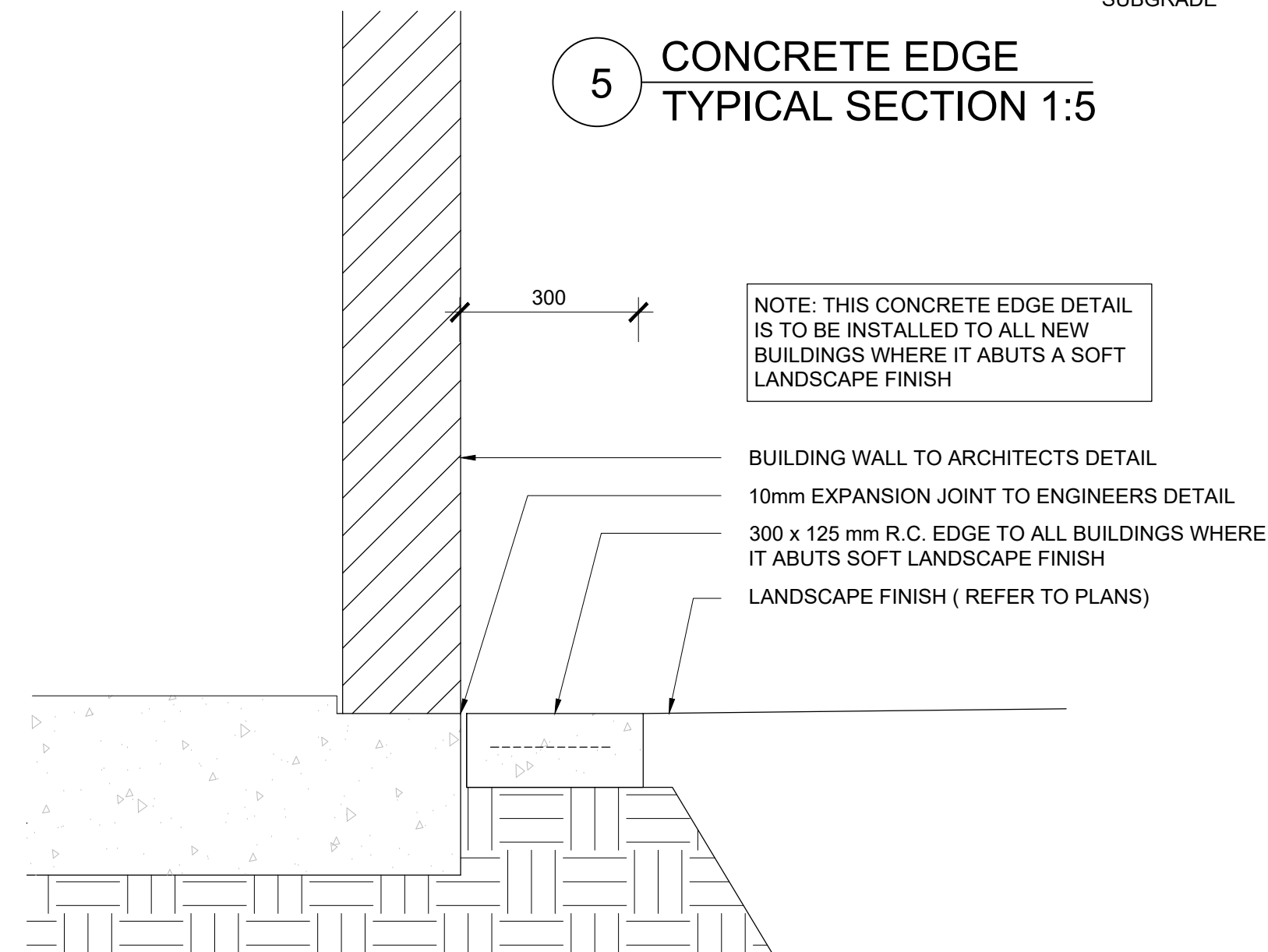
3 SANDSTONE LOG SEAT TYPICAL SECTION 1:20



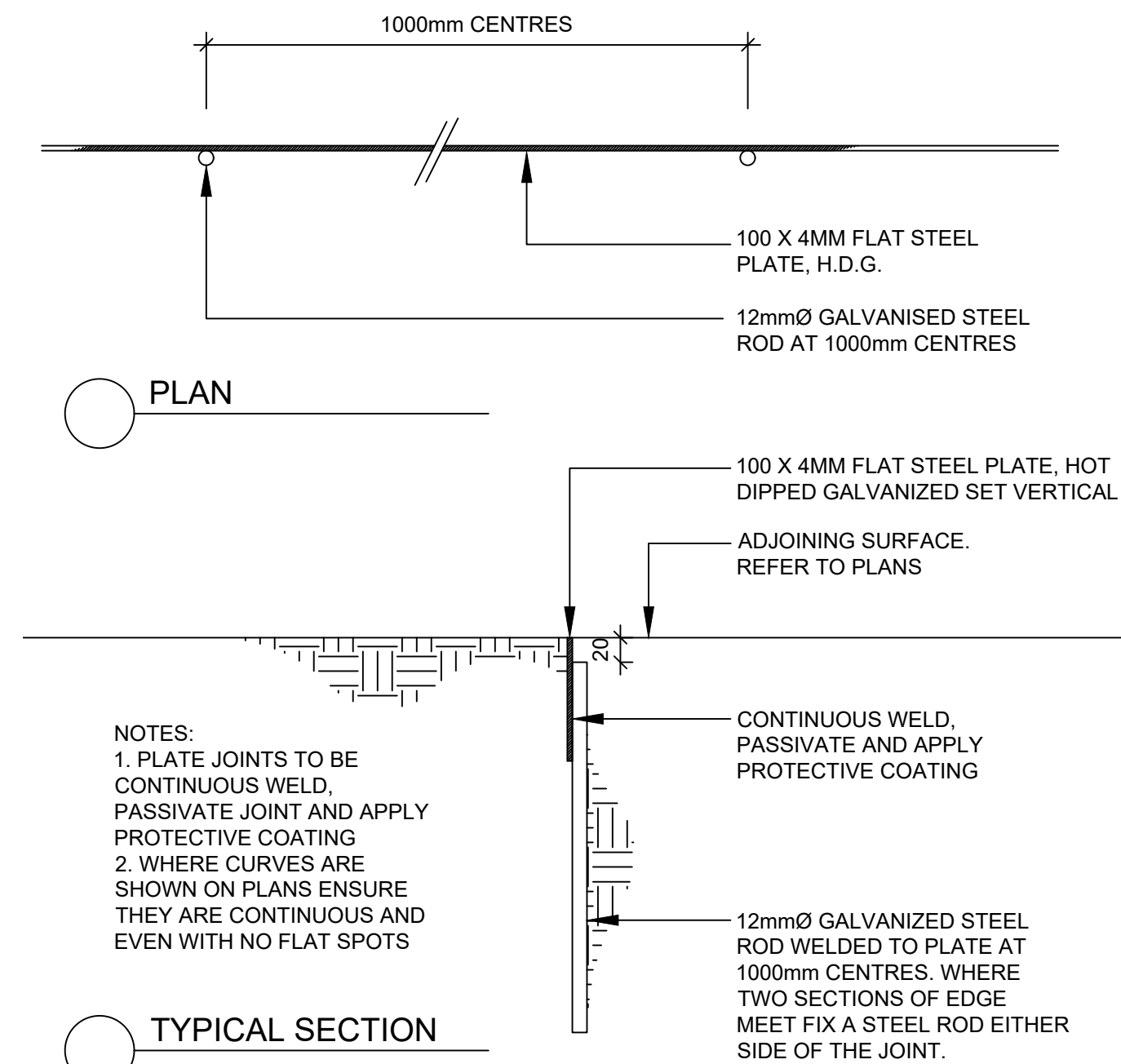
4 GAMES COURT SCALE 1:200



5 CONCRETE EDGE TYPICAL SECTION 1:5



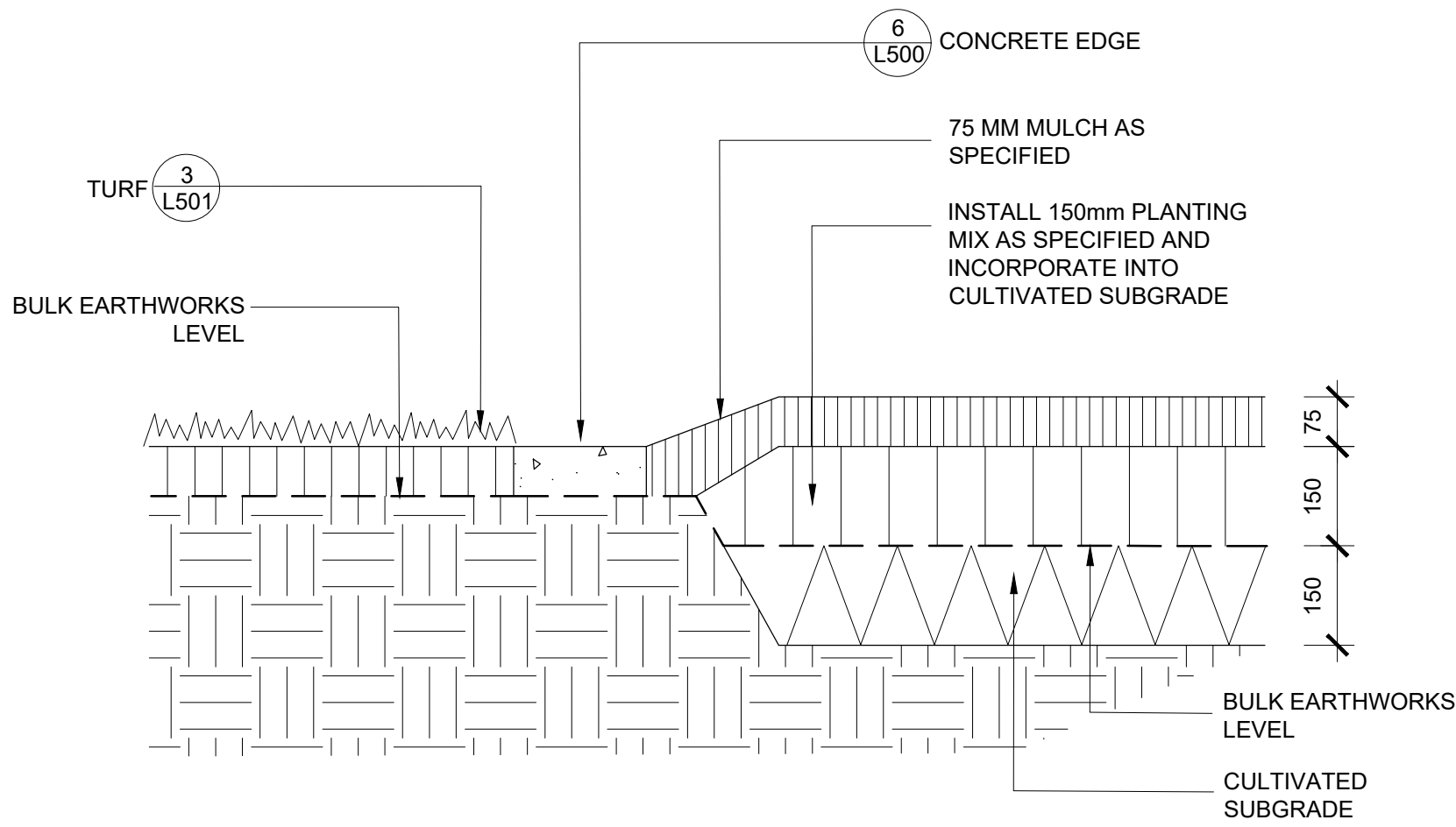
6 MOWING STRIP TYPICAL SECTION 1:10



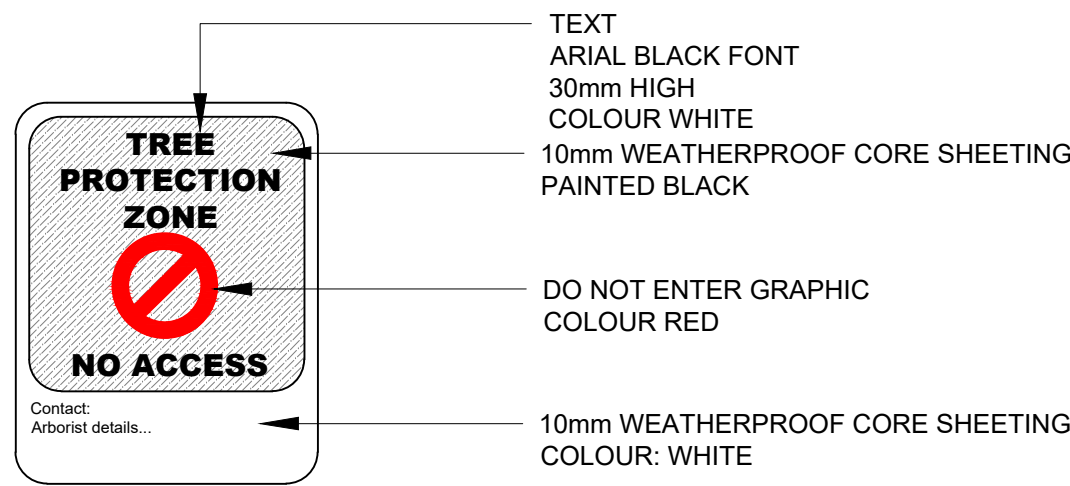
7 STEEL EDGE 1:5

AMENDMENTS				
REV	BY	DATE	DESCRIPTION	
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN	
B	BH	09.07.2021	ISSUED FOR 50% DETAILED DESIGN	
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN	
D	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN	

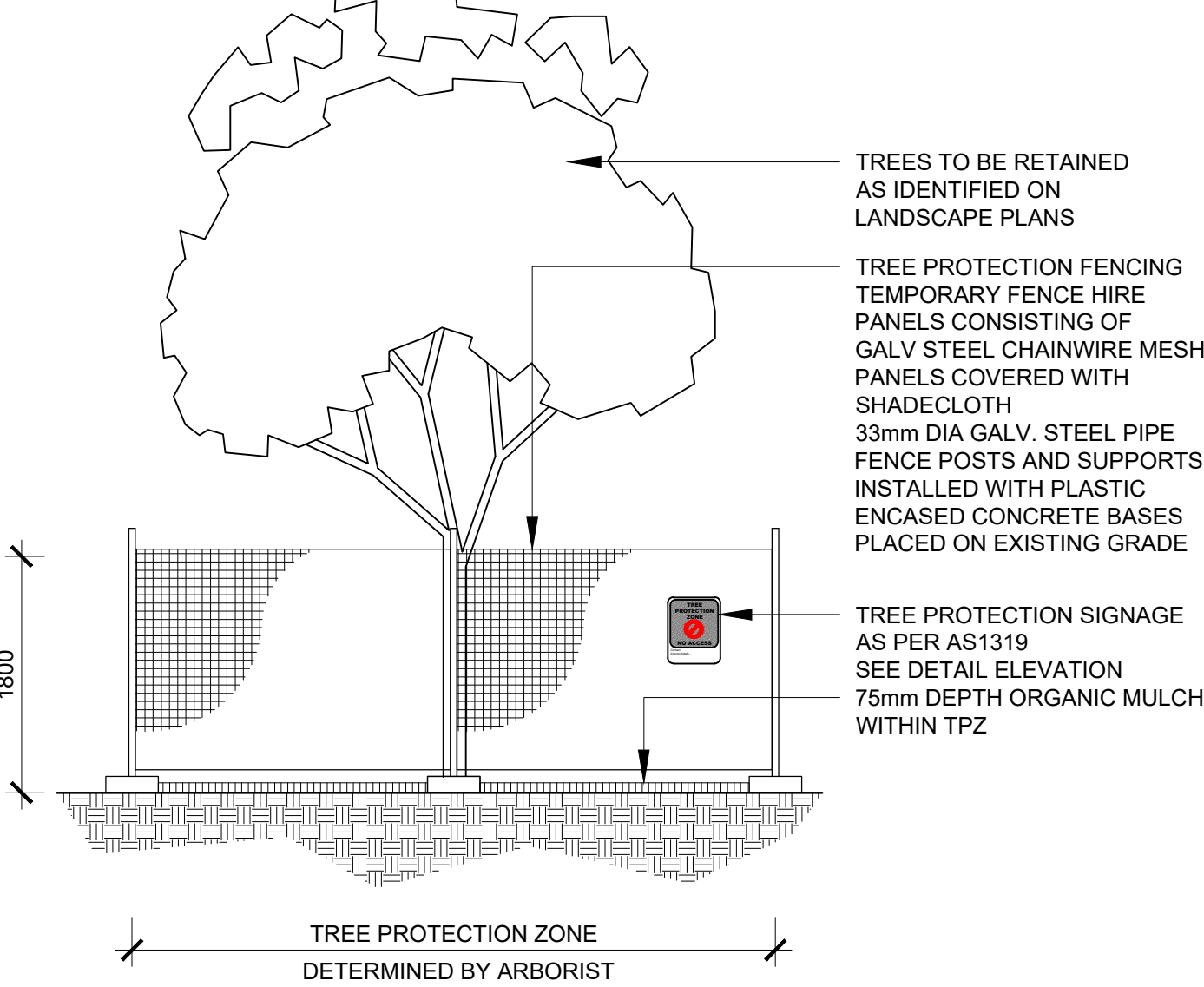




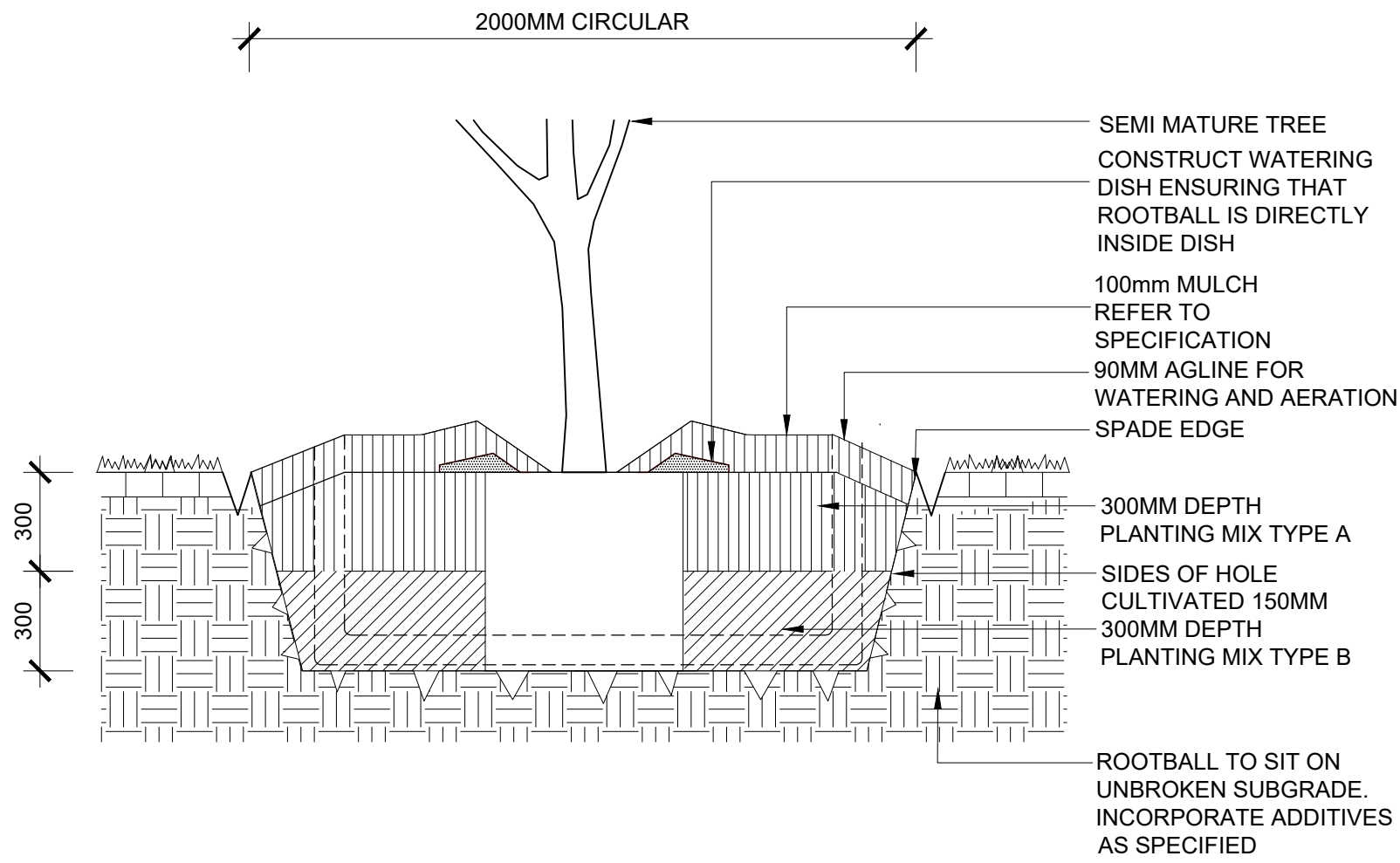
1 MASS PLANTING BEDS  
TYPICAL SECTION 1:10



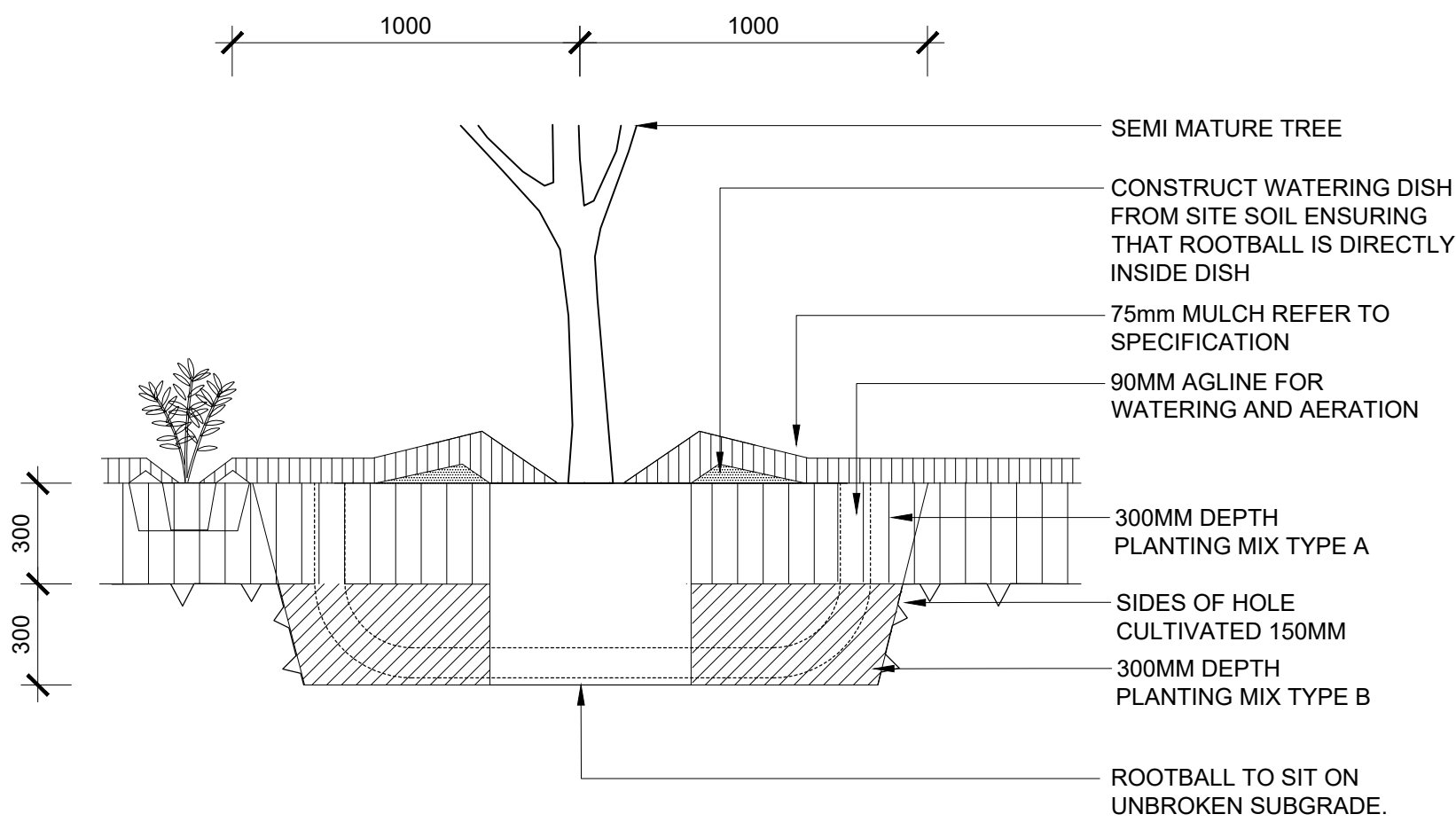
TREE PROTECTION FENCE SIGNAGE  
DETAIL ELEVATION 1:10



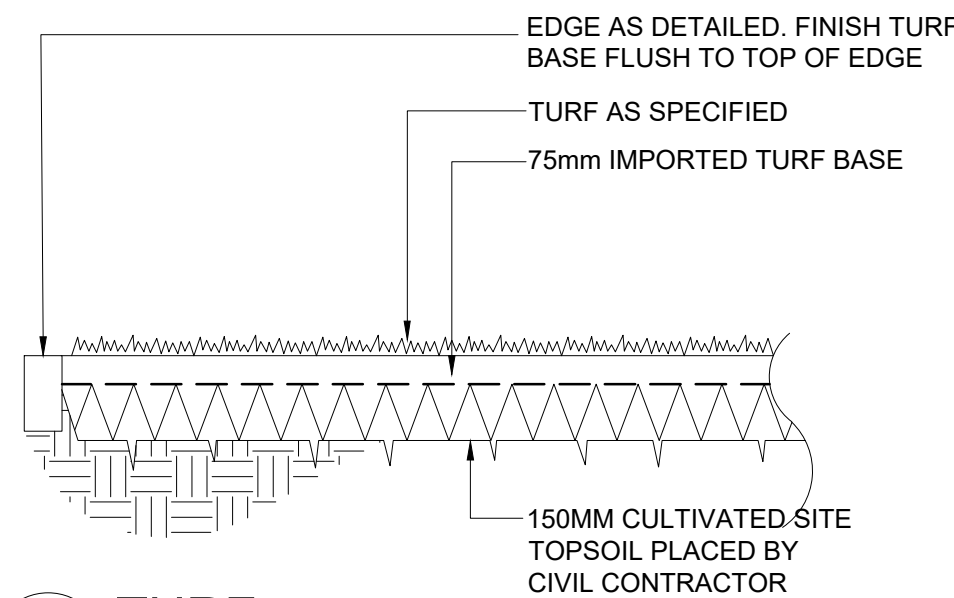
SECTION  
SCALE 1:50  
2 TREE PROTECTION



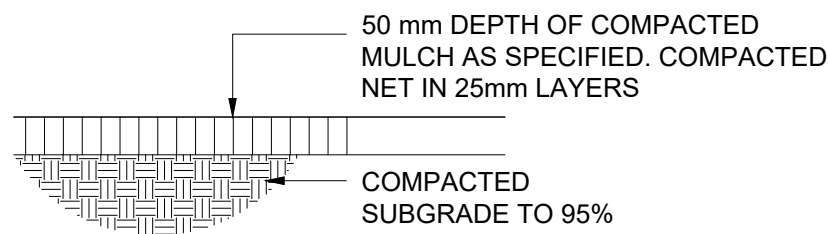
3 SEMI MATURE TREE PLANTING IN GRASS  
TYPICAL SECTION 1:20



4 TREE PLANTING IN MASS PLANTING BED  
TYPICAL SECTION 1:20



5 TURF  
TYPICAL SECTION 1:20



NOTE: EXISTING SUBGRADE TO BE  
EXCAVATED TO 150 DEPTH THEN  
REINSTALLED IN 50mm COMPACTED  
LAYERS

6 MULCH BED  
TYPICAL SECTION 1:10

AMENDMENTS			
REV	BY	DATE	DESCRIPTION
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
B	BH	09.07.2021	ISSUED FOR 50% DETAILED DESIGN
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
D	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN













DRAWING  
NAME  
LANDSCAPE: CONSTRUCTION  
DETAILS

PROJECT  
NEW PRIMARY SCHOOL IN  
MURRUMBATEMAN  
FAIRLEY STREET MURRUMBATEMAN

NORTH			
AUGUST 16 2021			
PROJECT	PHASE	SERIES NUMBER	REVISION
MURR - DD -	L601	D	



SPECIFICATION NOTES				
GENERAL	HARDSCAPE	HARDSCAPE	FURNITURE AND FIXTURES	FURNITURE AND FIXTURES
<p><b>1.0 SERVICES</b></p> <p>Before landscape work is commenced. The Landscape Contractor is to establish the position of all servicelines and ensure tree planting is to be carried out at least 3 metres away from these services. Service lids, vents and hydrants shall be left exposed and not covered by any landscape finishes (turfing, paving, garden beds etc.) Finish adjoining surfaces flush with pit lids.</p> <p>Dial Before You Dig - It is the landscape contractor's full responsibility to complete a full services search and take all required measures to ensure protection of these services including potholing to confirm locations. The client in no way will be held responsible for any damage caused to services as a result of the contract works.</p> <p>Excavation Do not excavate by machine within 1m of existing underground services.</p> <p><b>2.0 GENERAL</b></p> <ul style="list-style-type: none"><li>Do not scale from drawings.</li><li>Larger scale drawings and written dimensions take preference.</li><li>All dimensions in mm unless stated otherwise.</li><li>All tree dimensions and RLs in metres.</li><li>Use figured dimensions only.</li><li>Verify all dimensions on site before the commencement of any works.</li><li>Contractors shall locate and protect all services prior to construction.</li><li>All work shall be carried out in accordance with current versions of Australian Standards, BCA and Local Government Regulations.</li><li>Structural Details shall be subject to Engineer's Specifications.</li><li>Drainage &amp; Water Feature Details shall be subject to Hydraulic Engineer's Specifications.</li><li>All work shall be carried out in a professional manner by Qualified Tradesperson according to the Landscape Drawings &amp; Technical Specification and Engineer's Specifications.</li><li>Protect all adjoining property building, walls and paving. Damaged elements are to be replaced at no cost to the client.</li></ul> <p><b>3.0 FINISHES</b></p> <ul style="list-style-type: none"><li>There are to be no sharp protrusions or abrasive edges, obtrusive fittings and fixtures.</li><li>Adjust extent of each type of soilworks and edging locally as required to accommodate final constructed locations of walls and pavements.</li><li>All garden bed levels must be a minimum of 150mm below facade flashing and waterproof membrane to slab. Refer typical details.</li><li>All paving and deck levels must be setout and co-ordinated with civil stormwater pits and trench drains prior to construction. Refer Civil Engineer's documentation.</li><li>Contractor to provide an access hatch in timber decking for each pit located beneath timber deck.</li><li>Adjust final location of soilworks and edging locally to suit service infrastructure including services, lines, pillars, valves and the like.</li><li>Each area of turf extends to the entire area bounded by adjacent walls, pavements, edges and kerbs as shown.</li><li>For all lighting locations to landscape areas refer to Electrical Engineers drawings. Final</li><li>Location to be confirmed with Project Landscape Architect.</li><li>Finish surface levels and contours are indicative only. Refer to Civil Engineers drawings for final levels.</li><li>For all structural details of walls, pavements, and the like refer to Structural and/or Civil</li><li>Engineer's documentation and specification.</li><li>Sub soil drainage indicative only. Refer to Civil or Hydraulic Engineer's documentation for overland flow requirements, extent and details of all sub soil drainage.</li><li>Existing trees to be retained are to be protected to Council and Project Arborist's requirements. No vehicular traffic, stockpiling or storage of materials within Tree Protection Zones (TPZs).</li></ul> <p><b>4.0 PLANTING NOTES</b></p> <ul style="list-style-type: none"><li>Adjust final location of planting locally to suit service infrastructure including service lines, pillars, valves and the like.</li><li>Adjust final variation of plant material as directed by Project Landscape Architect to suit final extent of each planting area.</li><li>All trees in landscape grass seeded batter and turf areas are, unless otherwise noted, to be provided with a mulch ring with spade finish edge.</li><li>Project Landscape Architect to inspect and approve all Plant material prior to delivery to site.</li><li>Project Landscape Architect to inspect and approve all Plant material setout prior to install.</li><li>Plant substitutes shall be approved by the Project Landscape Architect prior to ordering.</li></ul> <p><b>5.0 IRRIGATION NOTES</b></p> <ul style="list-style-type: none"><li>Irrigation by specialist D&amp;C Irrigation Consultant in accordance with the Performance Specification in the Landscape Technical Specification. Refer to Irrigation Consultant documentation for details and requirements of landscape irrigation system.</li><li>Irrigation is to comply with Council Conditions of Consent and Water Authorities.</li><li>All turf and garden beds within the site boundary are to be irrigated unless stated otherwise.</li><li>Irrigation must be spaced at min. 200 centres and adjusted according to plant setout to provide adequate irrigation to all plants.</li><li>Drip irrigation is to be fully concealed by 75mm minimum of mulch.</li></ul>	<p><b>1.0 CONCRETE PAVING</b></p> <p>Construction: Refer to engineers detail Finish: Broom finish. 50cm steel trowel either side of construction joints. Colours: Type 1: General Use - Standard Grey Colour Samples: Prepare 1000 x 1000mm sample of concrete pavement and finish for approval prior to construction.</p> <div><div><p>FINISH</p></div><div><p>STANDARD GREY COLOUR</p></div></div> <p><b>2.0 DRY CREEK BED</b></p> <p>Construction: Refer to detail on the Landscape Plans Edge Rock - 1-2 man sandstone Base Rock - Sandstone Random Dimensions Joints - base rock to have 10-20mm wide recessed mortar joint. Supplier: Australian Native Landscapes or an approved equivalent.</p> <div><div><p>EDGE ROCK</p></div><div><p>BASE ROCK</p></div></div> <p><b>3.0 BRICK PAVING</b></p> <p>Type: TECHPAVE 80 Size: 230 x 115 x 80 Colour: Natural Supplier: Austral Masonry (tel:02 9840 2333) Samples: Provide 5 pieces for approval prior to construction.</p> <div></div> <p><b>4.0 SANDSTONE LOG SEAT</b></p> <p>Type:Sandstone Retaining A grade Wall Blocks. Dimension: 500 x 500 x 2000mm Grader: Wheel Sawn Premium 'A' Grade Blocks Supplier: Kimberley Sandstone or approved equivalent.</p> <p><b>5.0 GAMES COURT</b></p> <p>Finish: AC5 Construction: Refer to engineers detail. Linemarking: Refer to landscape detail. Layout to be road marking paint.</p> <p><b>6.0 TREE PIT IRRIGATION AND AERATION</b></p> <p>Type: Snorkil plaza dual inlet Code: SNPL2 Diameter D: 1790mm Supplier: Citygreen Australia. (Tel. 1300 066 949)</p> <div></div> <p><b>7.0 DECOMPOSED GRANITE</b></p> <p>Type: Brown Decomposed Granite Supplier: Australian Native Landscapes or an approved equivalent.</p> <div></div>		<p><b>1.0 BIKE RAIL</b></p> <p>Type: Bicycle Hitch Rail (BR85B) - Surface mount. Material: 40NB (50.0) x 1.5mm Grade 304 Stainless Steel Size: 859 x 800mm Supplier: Leda (Ledasecurity.com.au) or an approved equivalent.</p> <div></div> <p><b>2.0 SINK BENCH</b></p> <p>Type: BenchTech Single Sink Benches - Right Hand Bowl Dimension: 1800mm L x 600mm W x 500mm H Code:BT-SSB-618-R Supplier: Britex (Tel. 02 9531 2100)</p> <div></div> <p><b>3.0 SHED</b></p> <p>Type: Gable Slider Garden Shed Model: EGSL-D3015 Material: 0.35mm High Tensile Steel Size: 3.00m (w) x 1.50m (d) x 2.10m (h) Colour: Slate Grey Supplier: Easyshed (Tel. 1300 739 097).</p> <div></div>	

[illegible]

DRAWING  
NAME





LANDSCAPE: SPECIFICATION

PROJECT  
NEW PRIMARY SCHOOL IN  
MURRUMBATEMAN  
FAIRLEY STREET MURRUMBATEMAN

NORTH

AUGUST 16 2021			
PROJECT	PHASE	SERIES NUMBER	REVISION
MURR - DD -		L700	D



<b>SOFTSCAPE</b>	<b>SOFTSCAPE</b>	<b>MAINTENANCE PROGRAM</b>		
<p>1.0 SOILS</p> <p>MASS PLANTING AND TREE PLANTING IN GROUND</p> <p>Type A - Landscape Native Mix (Imported)</p> <p>Supplier: Soilco Pty Ltd Tel: 02 4272 9444</p> <p>Type B-Washed River Sand/ Site Soil (50/50)</p> <p>Supplier: Soilco Pty Ltd Tel: 02 4272 9444</p>  <p>VEGETABLE GARDENS</p> <p>Soil Type A-Benedict 'Smartmix' No. 4 Lightweight Planter Box Mix</p> <p>Supplier: Benedict Industries Tel: 02 9986 3500</p> <p>Soil Type B-Benedict 'Smartmix' No. 5 Lightweight Planter Box Sub Soil</p> <p>Supplier: Benedict Industries Tel: 02 9986 3500</p> <p>TURF</p> <p>Type: "Turf underlay"</p> <p>Supplier: Benedict Industries Tel: 02 9986 3500</p> <p>2.0 MULCH</p> <p>APPLICATION: Place mulch to the required depth, (refer to drawings clear of plant stems, and rake to an even surface finishing flush with adjoining levels. Ensure mulch is watered in and tamped down during installation.</p>  <p>3.0 PLANTS</p> <p>SUPPLY</p> <p>The Landscape Contractor is responsible for organising the delivery of plant stock to site and checking plant stock prior to accepting delivery on site to ensure the plants supply possess the following characteristics:</p> <ul style="list-style-type: none"><li>• Large healthy root systems, with no evidence of root curl, restriction or damage.</li><li>• Vigorous, well established, free from disease and pests, of good form consistent with the species or variety.</li><li>• Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site.</li><li>• Trees must, unless required to be multi-stemmed, have a single leading shoot.</li><li>• Any plants or trees that are accepted by the landscape contractor that do not meet this specification will be replaced at the contractor's expense.</li></ul> <p>Replacement: Replace damaged or failed plants with plants of the same type and size.</p> <p>PLANTING</p> <p>Do not plant in unsuitable weather conditions such as extremes of heat or cold, wind or rain. Before planting begins, complete cultivation, soil placement, fertilisation etc as previously specified.</p> <p>Before plants are installed all pot sizes shall have their roots pruned with an appropriate, clean, sharp instrument to eliminate any root confusion occurring at edge of pot zone.</p> <p>Before planting begins, thoroughly water the plants and the planting area. Keep the area and plants moist during planting. Water the plants immediately after planting, and thereafter as required to maintain growth rates free of stress.</p> <p>The contractor shall give notice, of not less than 24 hours, for inspections as nominated in inspect and hold point schedule</p> <p>ROOT PRUNING OF TREES</p> <p>Remove tree from container and root prune 20mm on sides and bottom to ensure all circling roots have been either severed or aligned radially into the surrounding soil.</p> <p>Plant as per detail.</p> <p>4.0 FERTILISER</p> <p>MASS PLANTING AREAS</p> <p>Type: Nutricote Standard Black 270 Day (16: 4.4: 8.3) or approved equal.</p> <p>Installation: Evenly distribute 5g per litre (rootball size) of fertiliser onto backfill area around rootball prior to placing mulch.</p> <p>TREE PLANTING</p> <p>Type: Nutricote Standard Brown 360 Day blend (16: 4.4: 8.3) or approved equal.</p> <p>Installation: Distribute 5g per litre (rootball size)of fertiliser into backfill around rootball.</p> <p>Apply in 3 evenly spread layers as hole is filled. First layer is to be half way up the rootball, second layer 3/4 up the rootball and third layer 50-100mm from the soil finished surface level. This application ensures that the nutrients leeches evenly downwards into the soil profile and encourages outward root system growth.</p>	<p>5.0 STAKING AND TYING</p> <p>Stakes shall be straight plantation grown hardwood, free from knots and twists, pointed at one end and sized according to size of plants to be staked.</p> <p>a. 5-15 litre size plant 1x(1200x25x25mm)</p> <p>b. 35-75 litre size plant 2x(1500x38x38mm)</p> <p>c. 100 - 200 litre 3x(1800x50x50mm)</p> <p>Ties shall be 50mm wide hessian webbing or approved equivalent nailed or stapled to stake. Drive stakes a minimum one third of their length, avoiding damage to the root system, on the windward side of the plant.</p> <p>6.0 ROOT CONTROL BARRIER</p> <p>TYPE: Root Stop Root Barrier</p> <p>PRODUCT CODE: RS600</p> <p>LOCATION: Street tree plantings</p> <p>SIZE: 600mm deep roll</p> <p>SUPPLIER: Arbor Green (Tel: 1300 760 642)</p> <p>INSTALLATION: The top of root control barrier to be located 150mm closer to the tree trunk than the base of the root control barrier. The angling of the root control barrier encourages root growth in a downward direction.</p>  <p>7.0 GEOTEXTILE</p> <p>Type: Polymeric fabric formed from a plastic yarn composed of at least 85% by weight of propylene, ethylene, amide or vinylidenechloride and containing stabilisers or inhibitors to make the filaments resistant to deterioration due to ultraviolet light.</p> <p>Identification and marking: To AS 3705.</p> <p>Product: Bidim A34</p> <p>Recommended Supplier: Geofabrics Australia</p> <p>8.0 SYNTHETIC TURF/SOFTFALL</p> <p>Dressed/filled synthetic grass</p> <p>Type: High-intensity traffic turf.</p> <p>Product: Centennial 35mm</p> <p>Supplier: FieldTurf (Tel: 02 9316 7244).</p> <p>Pile height: 35mm.</p> <p>Location: To all areas documented as synthetic turf on the landscape plans.</p>  <p>9.0 TURF</p> <ul style="list-style-type: none"><li>• PREPARATION</li></ul> <p>Spread 100mm of Turf Underlay as specified and finish flush with adjacent finished surface levels.</p> <p>Provide a one (1)kg sample of imported topsoil mixes, if required, for approval. No imported topsoil shall be delivered to site prior to approval of the sample provided.</p> <ul style="list-style-type: none"><li>• TOPDRESSING</li></ul> <p>Topdress material shall be as specified in AS 4419 - 1999. Topdress material shall be clean washed river sand, free from any clay lumps, clods, weeds, tree roots, sticks, organic matter, rubbish and material toxic to plant growth and the like, and shall have a neutral pH and minimal salt content (measured oven dry of 0.1%).</p> <p>Turf shall be of even thickness free from weeds and other foreign matter, lay in stretcher pattern with joints staggered and close butted. Deliver turf on site within 24 hours of being cut, and lay within 36 hours or being cut. Prevent it from drying out between cutting and laying.</p> <p>Evenly spread and mix 50g of fertiliser per m2 into topsoil prior to placing turf.</p> <ul style="list-style-type: none"><li>• INSTALLATION &amp; ESTABLISHMENT</li></ul> <p>Watering: Water as necessary to keep soil moist to a depth of 100mm.</p> <p>Protection: Protect newly turfed areas against traffic until grass is established.</p> <p>Making Good: Lift failed turf and relay with new turf.</p> <p>Fertilising: Two weeks after laying, fertilise turf as specified.</p> <p>Topdressing : When the turf is established, lightly topdress to a depth of 10mm with topdress material as specified. Rub the dressing well into the joints and correct any unevenness of surface</p> <p>Mowing: When the turf is established, mow at regular intervals to maintain an average height of 50mm.</p> <p>- TURF TYPE: Kikuyu</p> <p>Recommended Supplier: A registered Turf grower to be approved by the Landscape Architect or an approved equivalent.</p>	<p>Maintenance shall mean the care and maintenance of the landscape works by accepted horticultural practice as rectifying any defects that become apparent in the landscape works under normal use. This shall include, but shall not be limited to, watering, mowing, fertilising, reseeding, returfing, weeding, pest and disease control, staking and tying, replanting and plant replacement, cultivation, pruning, aerating, renovating, topdressing, maintaining the site in a neat and tidy condition as follows:</p> <p>1.0 GENERAL</p> <p>The Landscape Contractor shall maintain the landscape works for the term of the maintenance (or plant establishment) period to the satisfaction of the Landscape Architect and Client. The Landscape Contractor shall attend to the site on a weekly basis. The maintenance period shall commence at practical completion and continue for a period of fifty two (52) weeks.</p> <p>2.0 WATERING</p> <p>Grass and trees shall be watered regularly so as to ensure continuous healthy growth. Street trees and larger plant stock are to be watered through the top of the rootball to ensure a thorough soaking of the plant rootball. Watering of street trees shall be carried out on a weekly basis throughout the maintenance period <u>regardless of rainfall.</u></p> <p>3.0 RUBBISH REMOVAL</p> <p>During the term of the maintenance period the Landscape Contractor shall remove rubbish that may occur and reoccur throughout the maintenance period. This work shall be carried out regularly so that at weekly intervals the area may be observed in a completely clean and tidy condition.</p> <p>4.0 REPLACEMENTS</p> <p>The Landscape Contractor shall replace all plants that are missing, unhealthy or dead at the Landscape Contractor's cost. Replacements shall be of the same size, quality and species as the plant that has failed unless otherwise directed by the Landscape Architect. Replacements shall be made on a continuing basis not exceeding two (2) weeks after the plant has died or is seen to be missing. The landscape contractor is to report any evidence of theft or vandalism to the Landscape Architect within one day of them occurring.</p> <p>5.0 STAKES AND TIES</p> <p>The Landscape Contractor shall replace or adjust plant stakes and tree guards as necessary or as directed by the Landscape Architect. Remove stakes and ties at the end of the maintenance period if so directed.</p> <p>6.0 PRUNING</p> <p>Trees and shrubs shall be pruned as directed by the Landscape Architect. Pruning will be directed at the maintenance of the dense foliage or miscellaneous pruning beneficial to the condition of the plants. Any damaged growth shall be pruned. All pruned material shall be removed from the site.</p> <p>7.0 MULCHED SURFACES</p> <p>All mulched surfaces shall be maintained in a clean and tidy condition and be reinstated if necessary to ensure that a depth of 75mm is maintained. Ensure mulch is kept clear of plant stems at all times.</p> <p>8.0 PEST AND DISEASE CONTROL</p> <p>The Landscape Contractor shall spray against insect and fungus infestation with all spraying to be carried out in accordance with the manufacturer's directions. Report all instances of pests and diseases (immediately that they are detected) to the Landscape Architect prior to spraying.</p> <p>9.0 GRASS AND TURF AREAS</p> <p>The Landscape Contractor shall maintain all grass and turf areas by watering, weeding, reseeding, rolling, mowing, trimming or other operations as necessary.</p> <p>Apply lawn fertiliser as specified in fertilisers at the completion of the first and the last mowing, and at times as necessary to maintain healthy grass cover. Carry out last mowing and fertilisation not less than seven (7) days before the end of the maintenance period. Remove grass clippings from site. Grass and turf areas shall be sprayed with approved selective herbicide against broad leaved weeds as required by the Landscape Architect and in accordance with the manufacturer's directions.</p> <p>No fertiliser is to be used on turf areas.</p> <p>Grass and turf areas shall be kept mown to maintain a healthy and vigorous sward within the 30-75mm range, average 50mm.</p> <p>10.0 WEED ERADICATION</p> <p>Eradicate weeds by environmentally acceptable methods using a non-residual glyphosate herbicide (eg: 'Roundup') in any of its registered formulae, at the recommended maximum rate. Regularly remove by hand, weed growth that may occur or recur throughout grassed, planted and mulched areas. Remove weed growth from an area 1000mm diameter around the base of trees in grassed areas. Continue eradication throughout the course of the works and during the maintenance period.</p> <p>11.0 SOIL SUBSIDENCE</p> <p>Any soil subsidence or erosion which may occur after the soil filling and preparation operations shall be made good by the Landscape Contractor at no cost to the client.</p> <p>12.0 COMPLETION</p> <p>Notwithstanding anything to the contrary in the Contract, The Landscape Architect may instruct the Landscape Contractor to perform urgent maintenance works. Should the Landscape Contractor fail to carry out these works within seven (7) days of such a notice, the Principal reserves the right to employ others to carry out such works and charges costs of these works to the Landscape Contractor.</p>		

AMENDMENTS			
REV	BY	DATE	DESCRIPTION
A	BH	21.06.2021	ISSUED FOR DRAFT 50% DETAILED DESIGN
B	BH	09.07.2021	ISSUED FOR 50% DETAILED DESIGN
C	BH	23.07.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN
D	BH	16.08.2021	ISSUED FOR DRAFT 75% DETAILED DESIGN