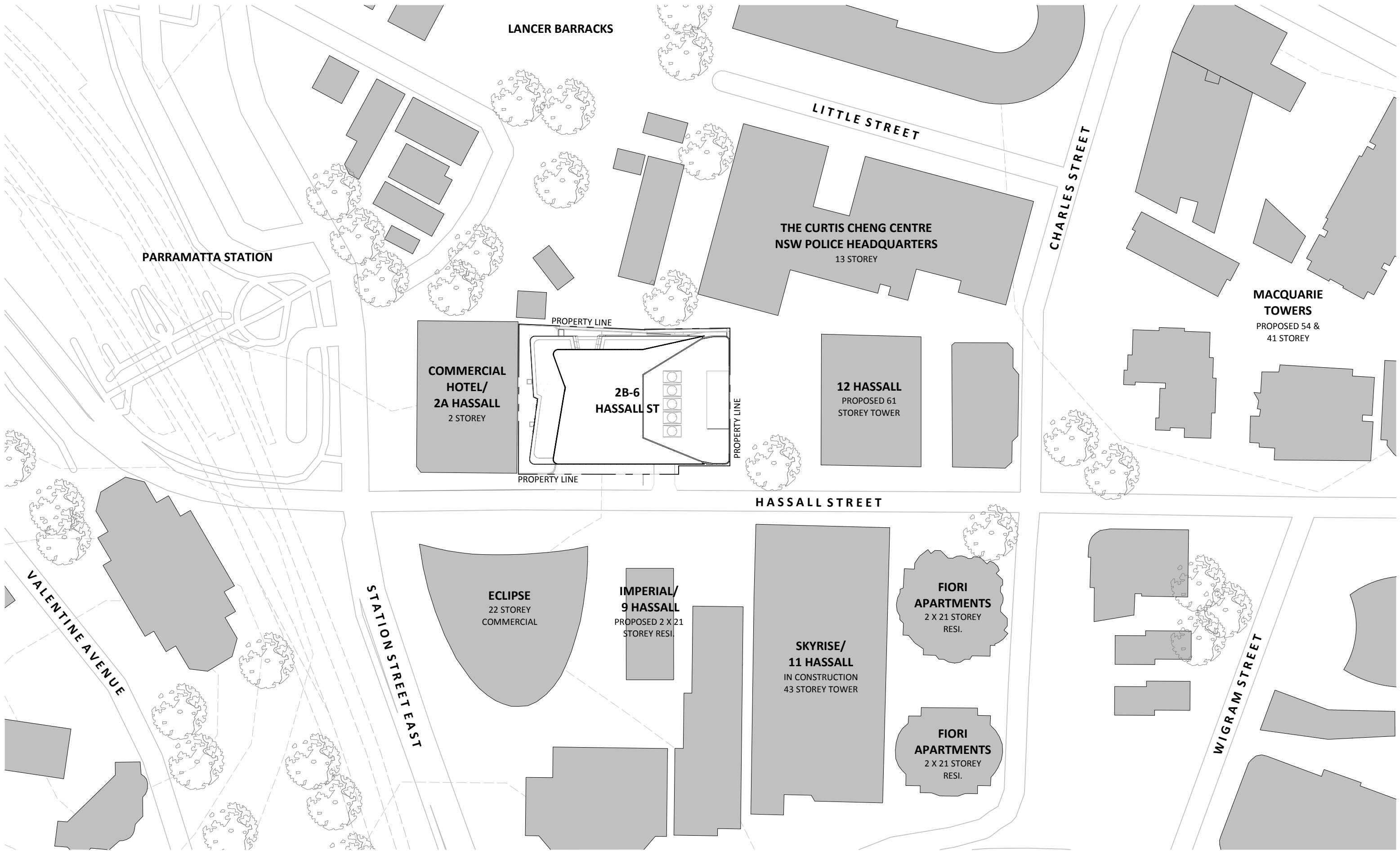


Drawing List

| Sheet No | Sheet Name | Rev |
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| | Development Summary | K |
| 03.10 | Site Plan | K |
| 03.50 | Proposed Setback Diagram | K |
| 10.00 | Basement | K |
| 10.01 | Ground Level | K |
| 10.02 | Level 01 | K |
| 10.03 | Level 02 | K |
| 10.04 | Level 03 | K |
| 10.05 | Levels 04-06 | K |
| 10.06 | Levels 07-09 | K |
| 10.07 | Level 10 | K |
| 10.08 | Level 11 | K |
| 10.09 | Level 12 - Terrace | K |
| 10.10 | Levels 13-17 | K |
| 10.11 | Level 18 - Plant | K |
| 10.12 | Level 19 - Plant | K |
| 10.13 | Roof Plan | K |
| 11.03 | Reflected Ceiling Plan - Level 02 | K |

| Sheet No | Sheet Name | Rev |
|----------|-------------------------------|-----|
| 18.00 | GFA Diagrams - Midrise | K |
| 18.01 | GFA Diagrams - Highrise | K |
| 20.00 | Section A | K |
| 20.01 | Section B | K |
| 20.10 | Podium Section B | K |
| 20.11 | Podium Section A | K |
| 30.00 | North Elevation | K |
| 30.01 | East Elevation | K |
| 30.02 | South Elevation | K |
| 30.03 | West Elevation | K |
| 52.01 | Facade Section - North Façade | K |
| 52.02 | Facade Section -West Façade | K |
| 52.03 | Facade Section - South Façade | K |
| 52.04 | Façade Section - Plant | K |
| 52.05 | Typical Terrace Door Detail | K |
| 60.01 | External Finishes Schedule | K |
| 90.00 | Schedule of Changes | A |



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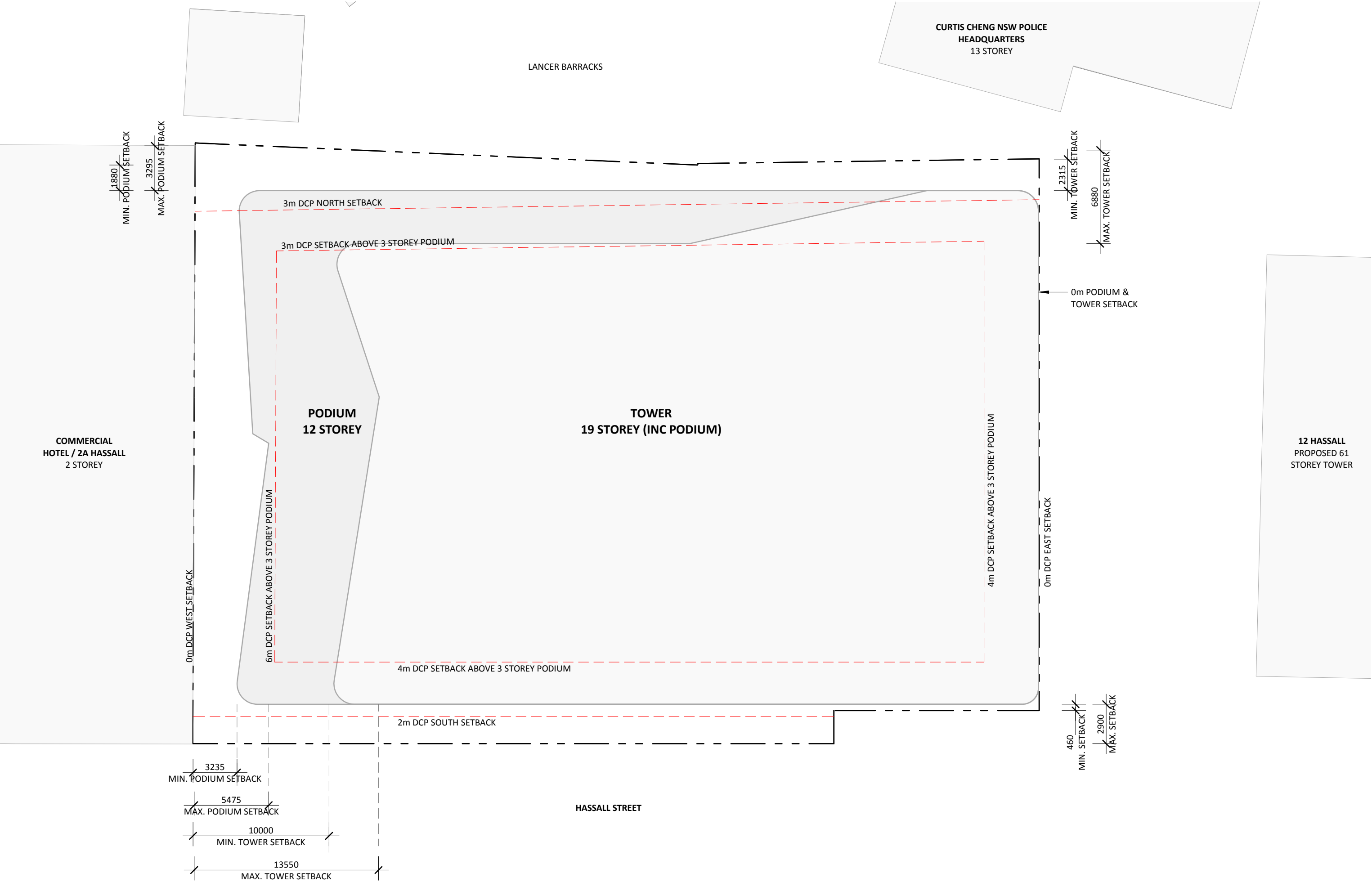
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PROPOSED SETBACK DIAGRAM

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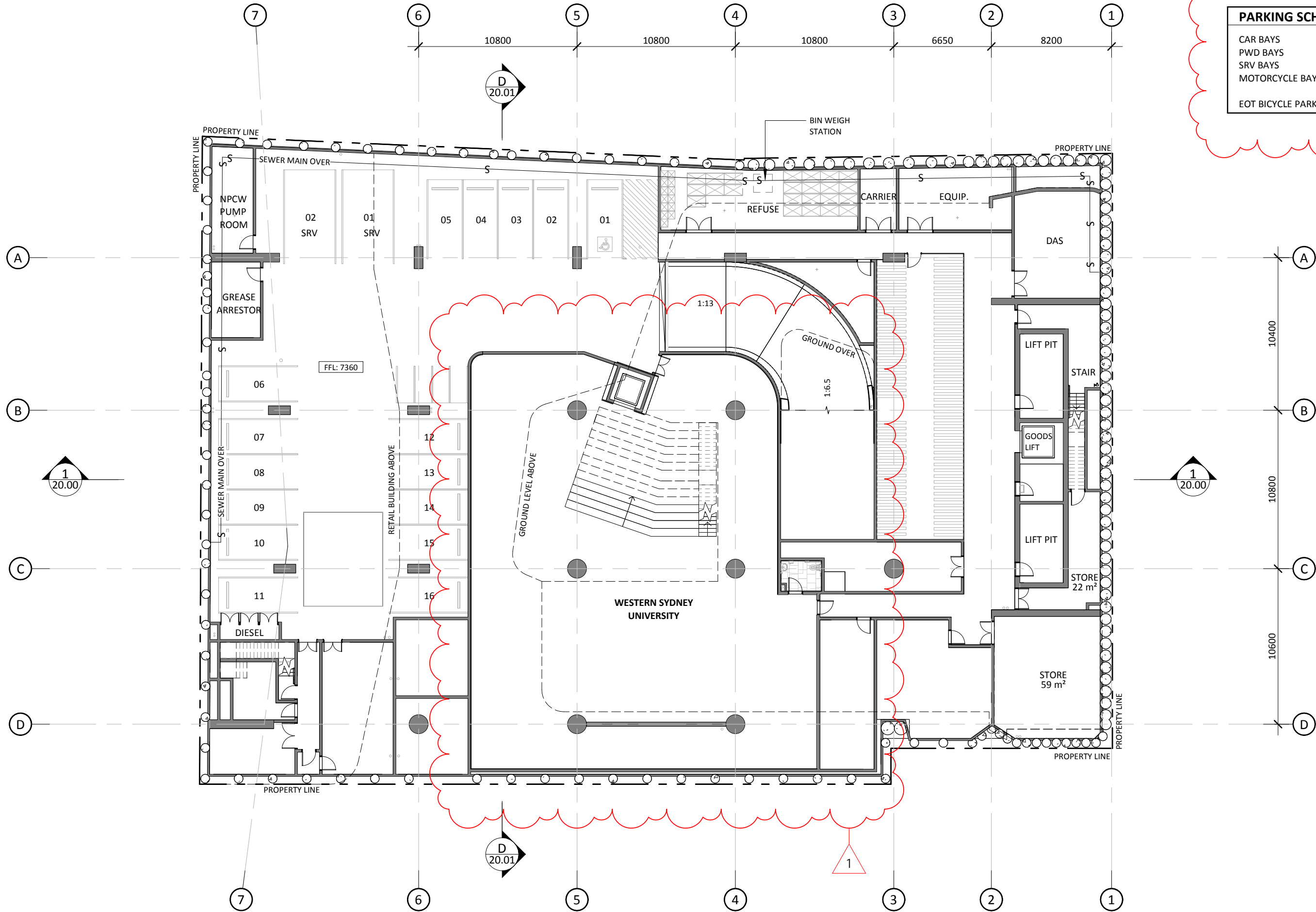
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| PARKING SCHEDULE | |
|---------------------|-----|
| CAR BAYS | 15 |
| PWD BAYS | 1 |
| SRV BAYS | 2 |
| MOTORCYCLE BAYS | 4 |
| EOT BICYCLE PARKING | 182 |

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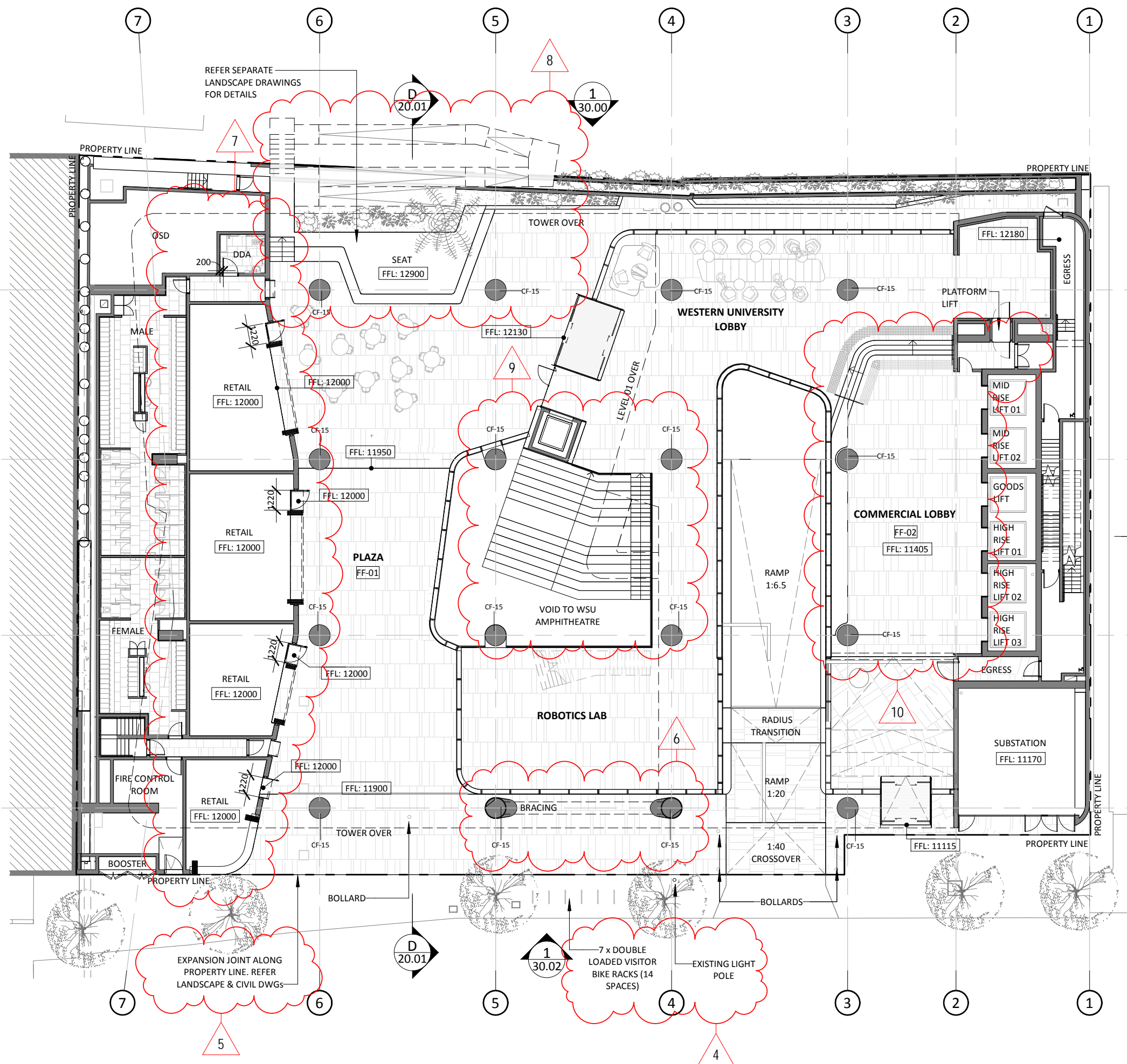
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BASEMENT
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| PARKING SCHEDULE | |
|------------------------|--|
| GROUND BICYCLE PARKING | 14 |
| END OF TRIP SCHEDULE | |
| LOCKERS | 198 |
| SHOWERS (inc PWD) | 20 |
| TOILETS (inc PWD) | 3 |
| MATERIAL SCHEDULE | |
| FF-01 | REFER LANDSCAPE ARCHITECT SCHEDULE - 'PV1.1/PV1.2' - TO HAVE MINIMUM LUMINOUS CONTRAST OF 30% WITH CF-15 |
| CF-15 | CLASS 2 OFF FORMED EXPOSED CONCRETE |

NOTE

REFER LANDSCAPE ARCHITECT'S DRAWINGS FOR SHORELINE STRATEGY AND MORE INFORMATION ON PUBLIC DOMAIN

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GROUND LEVEL

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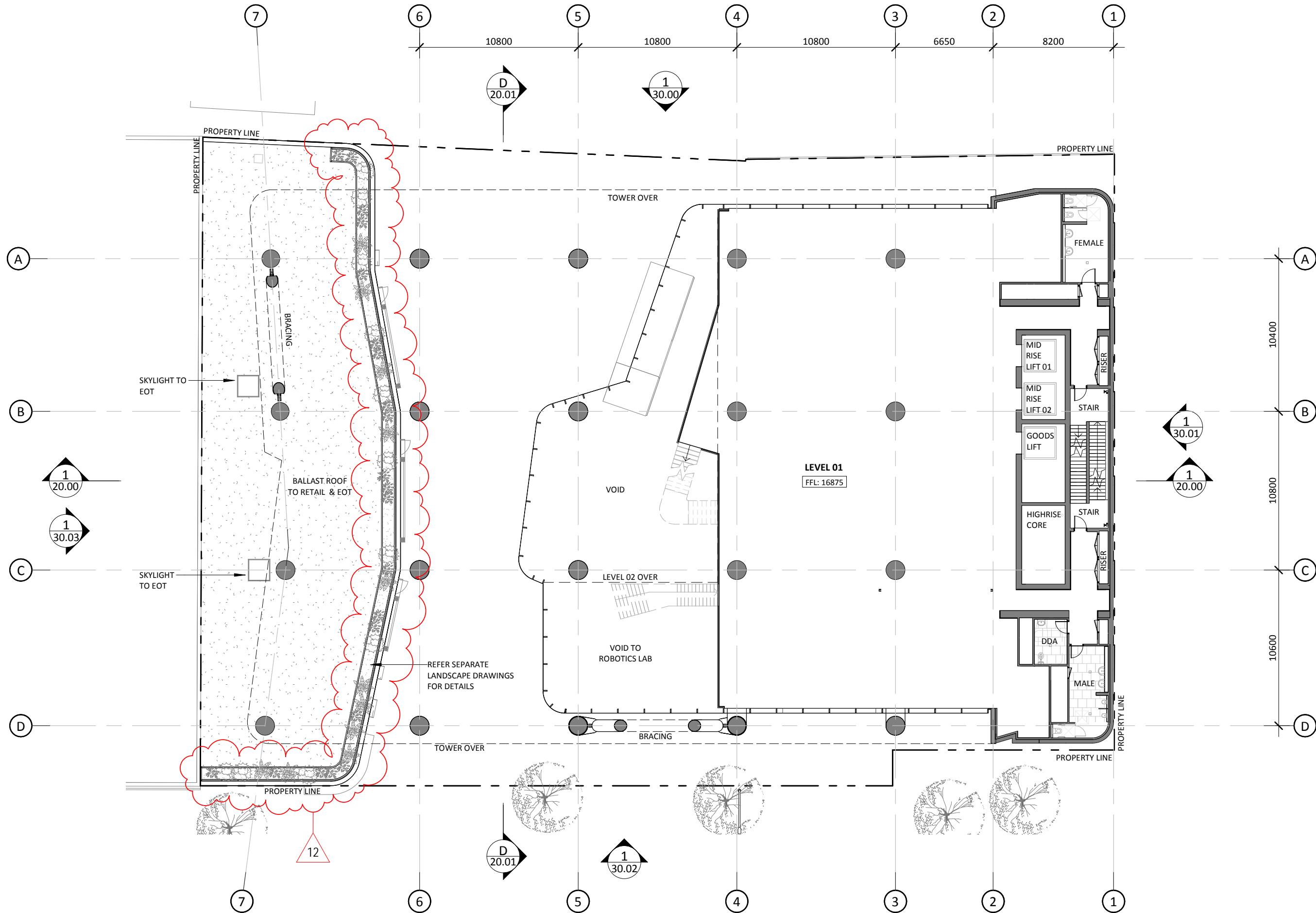
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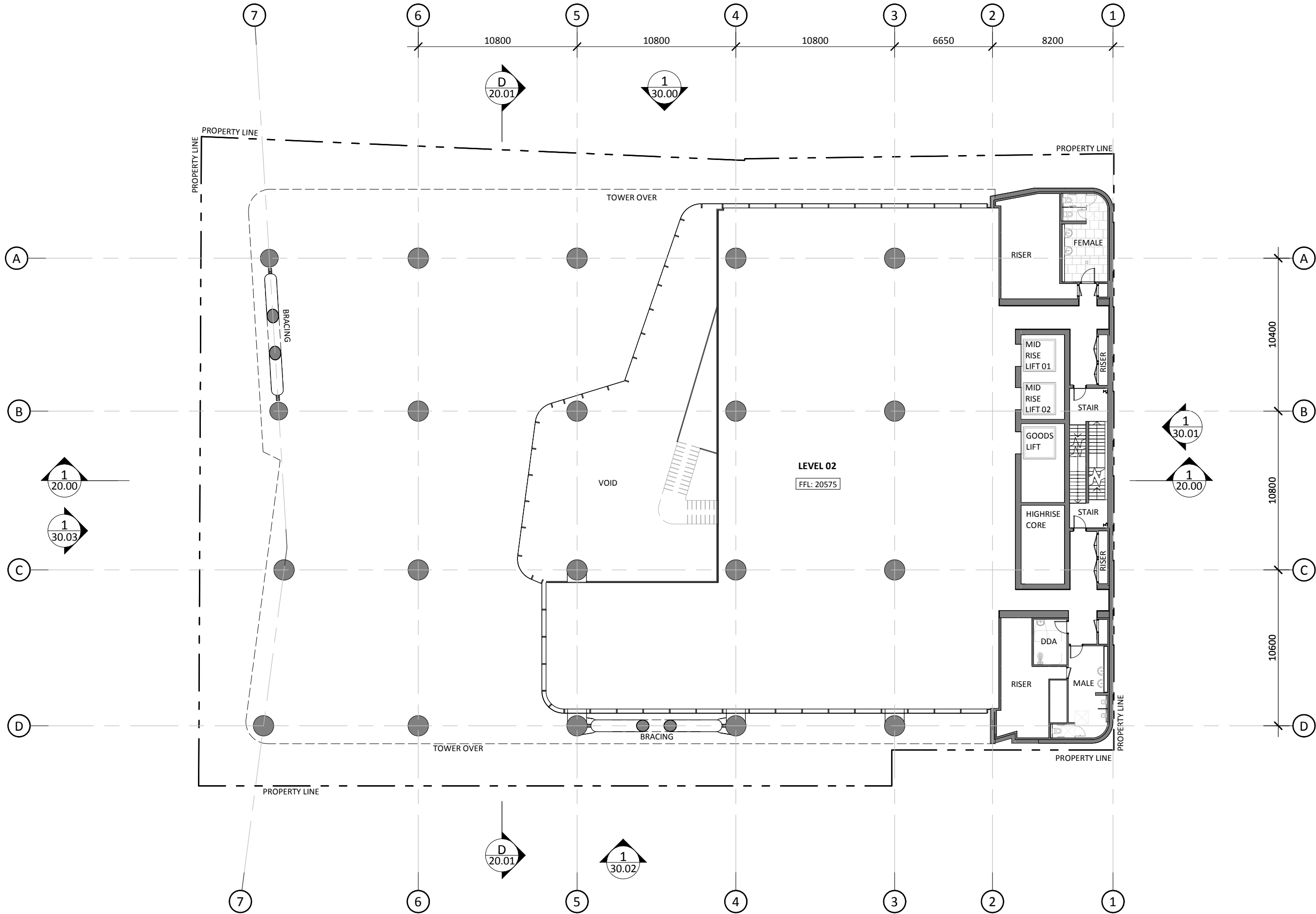
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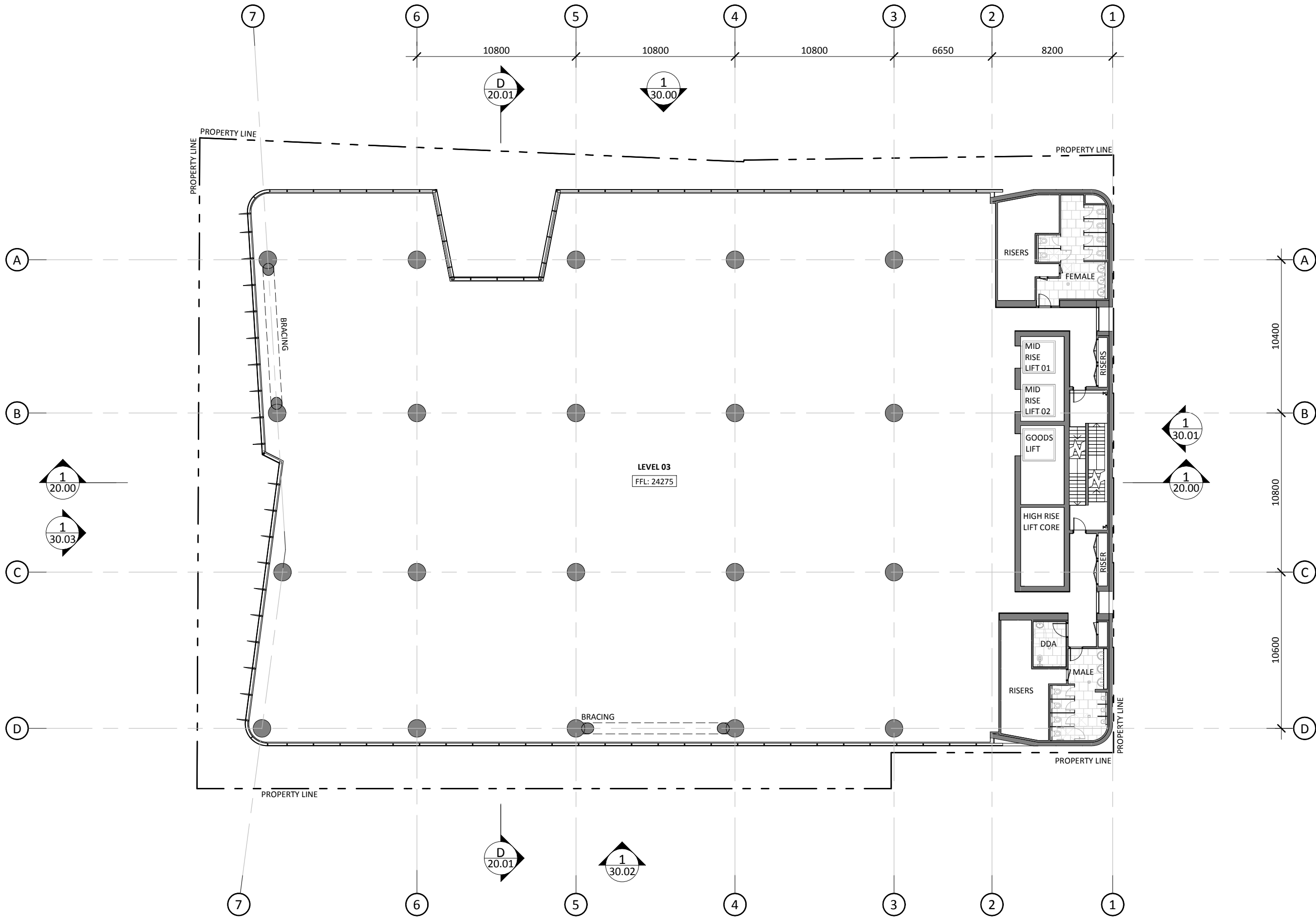
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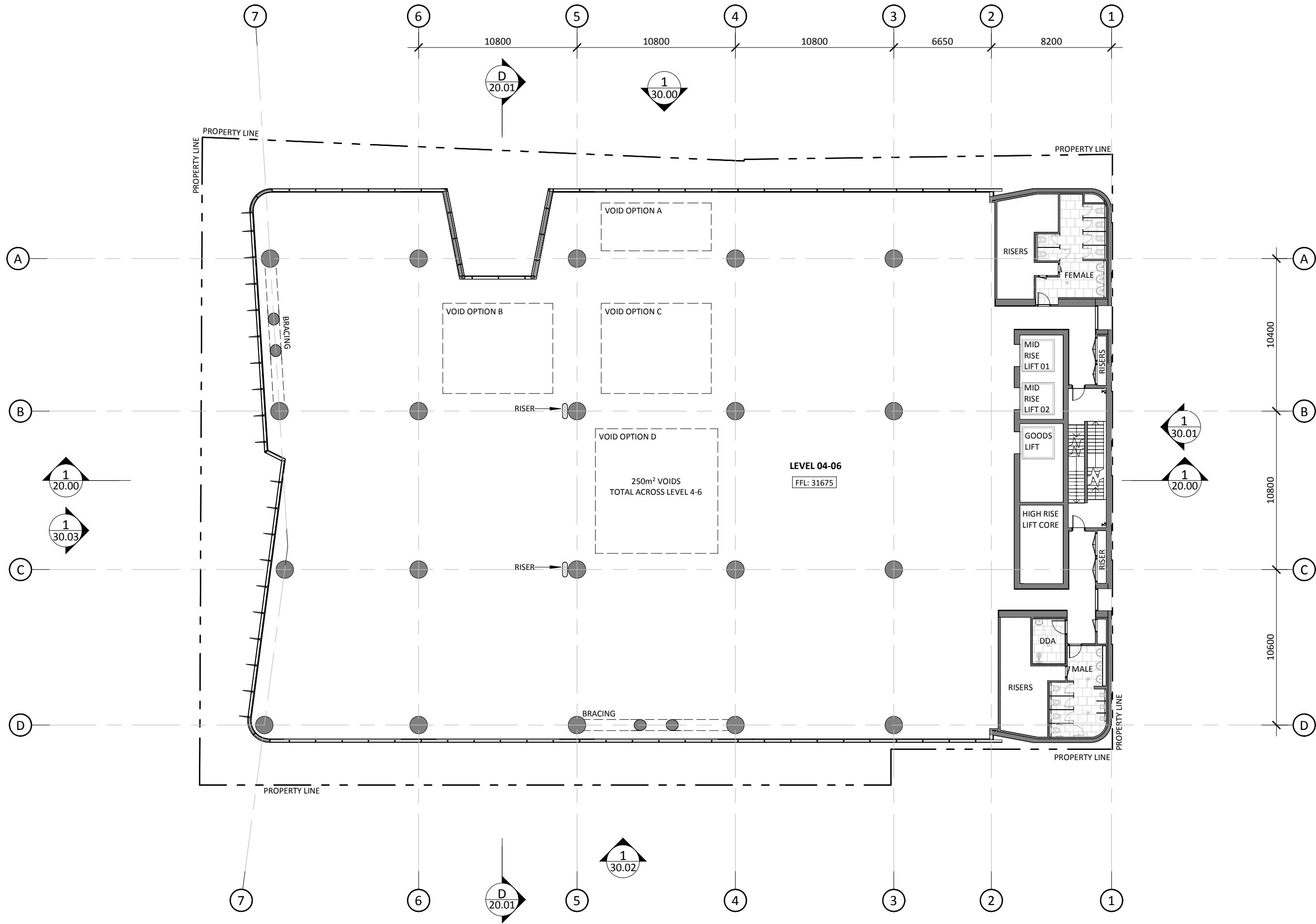
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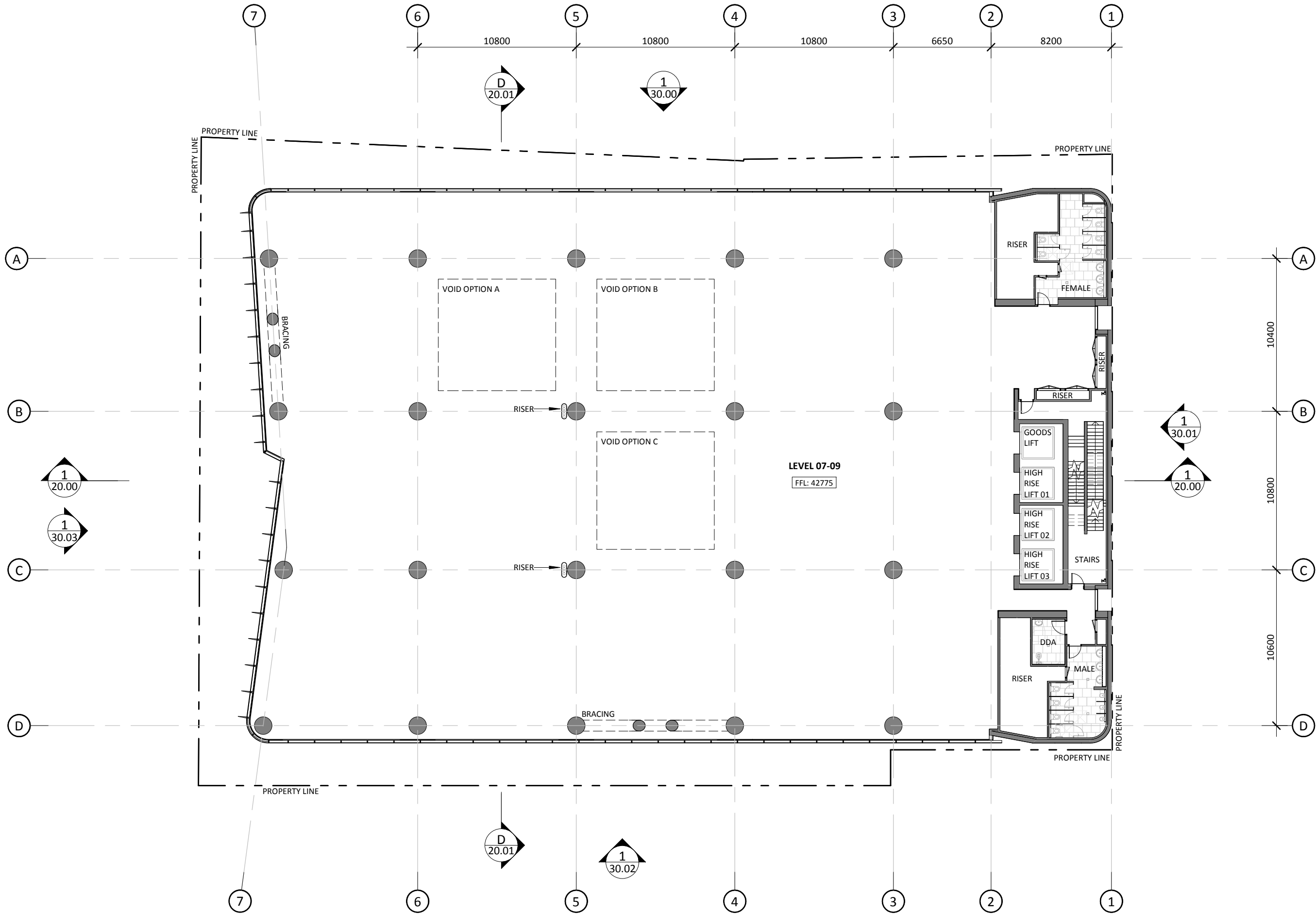
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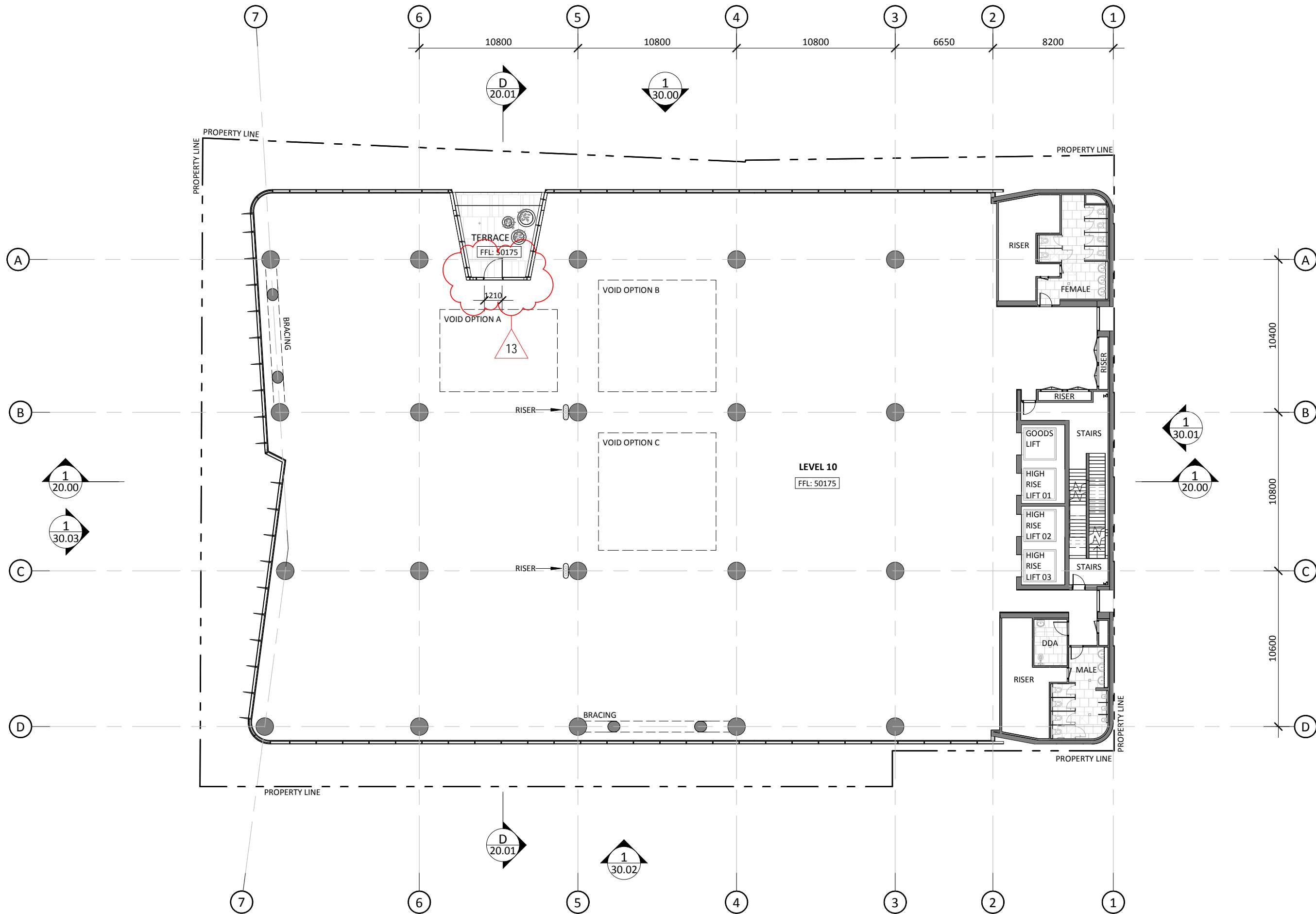
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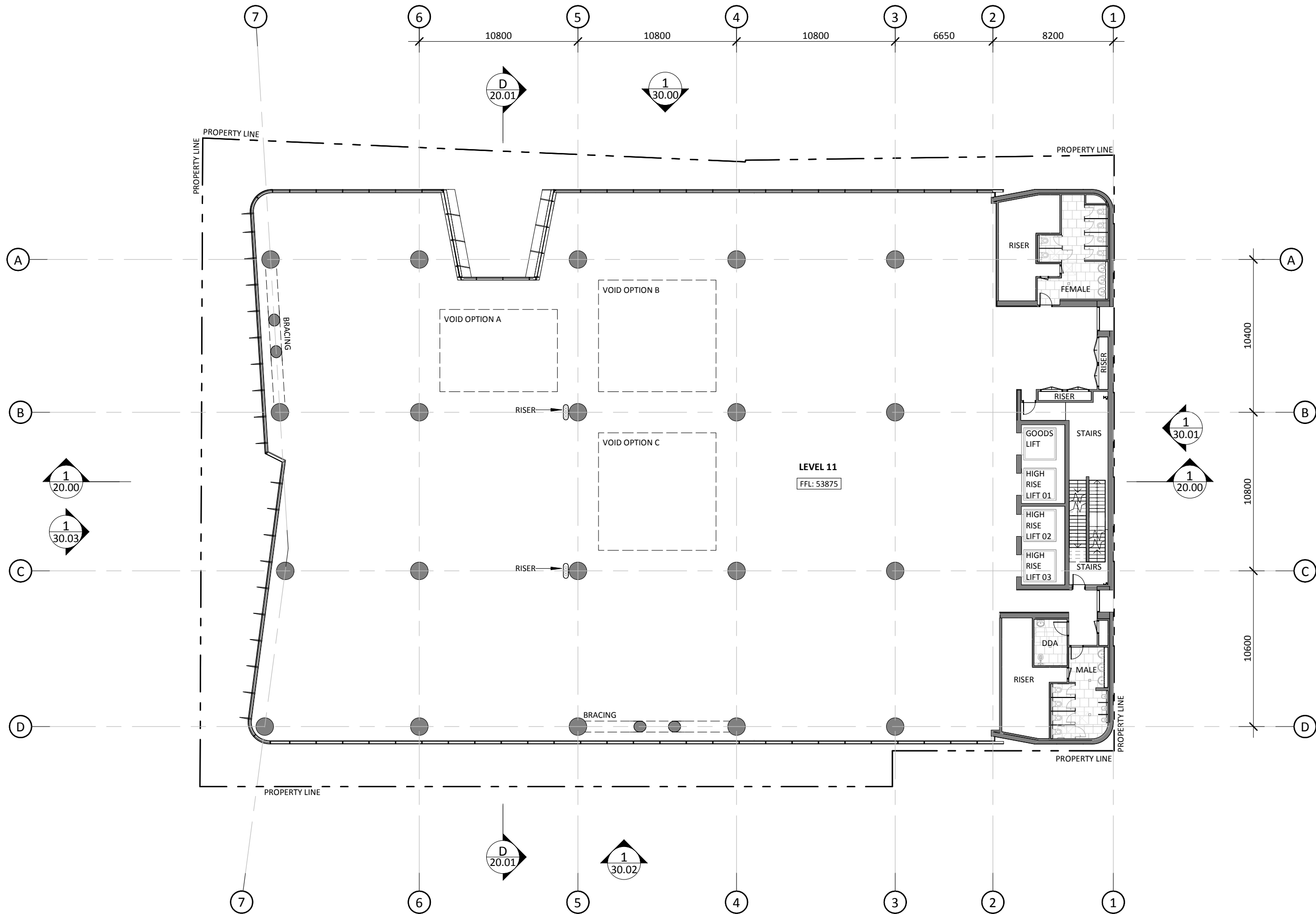
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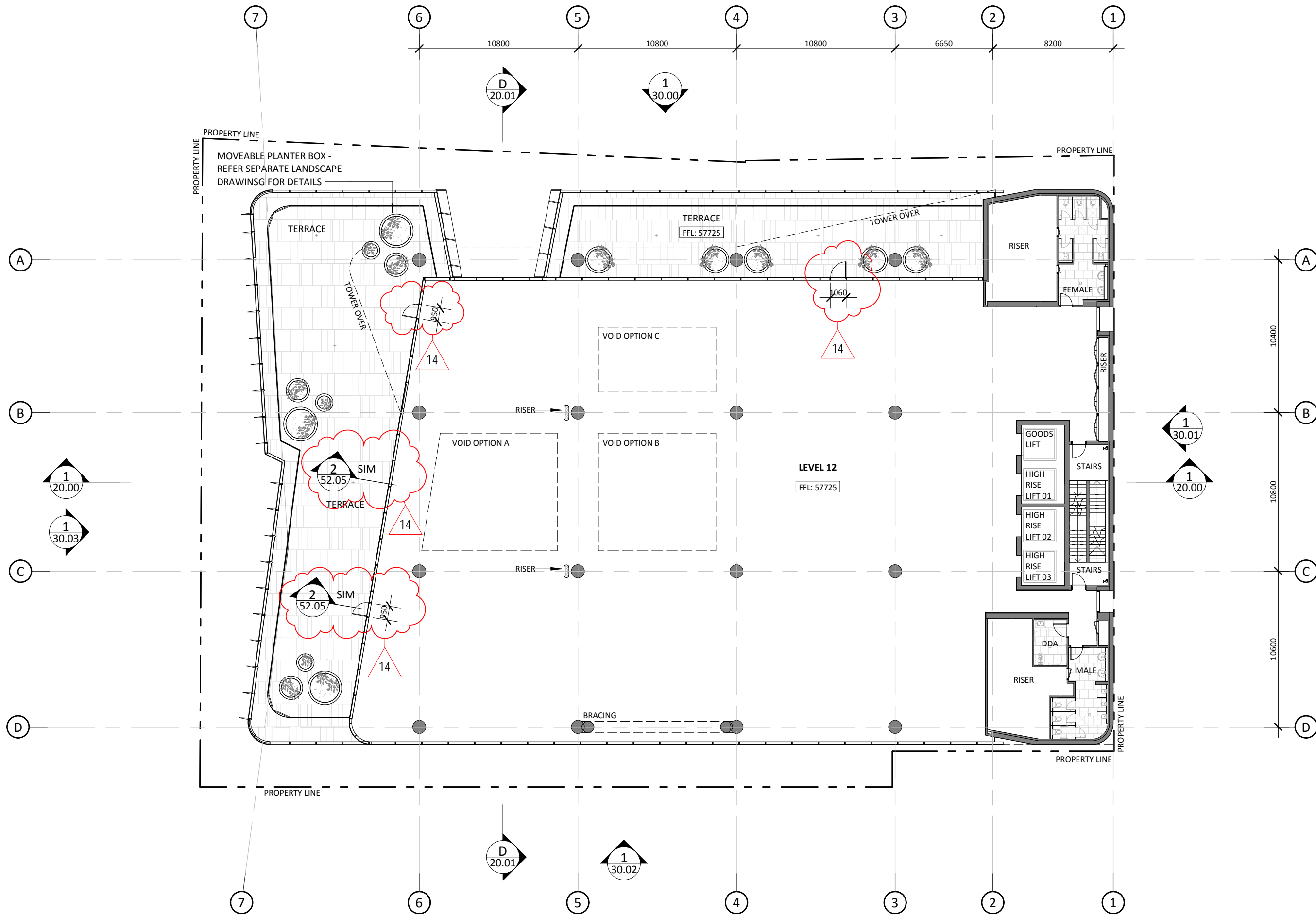
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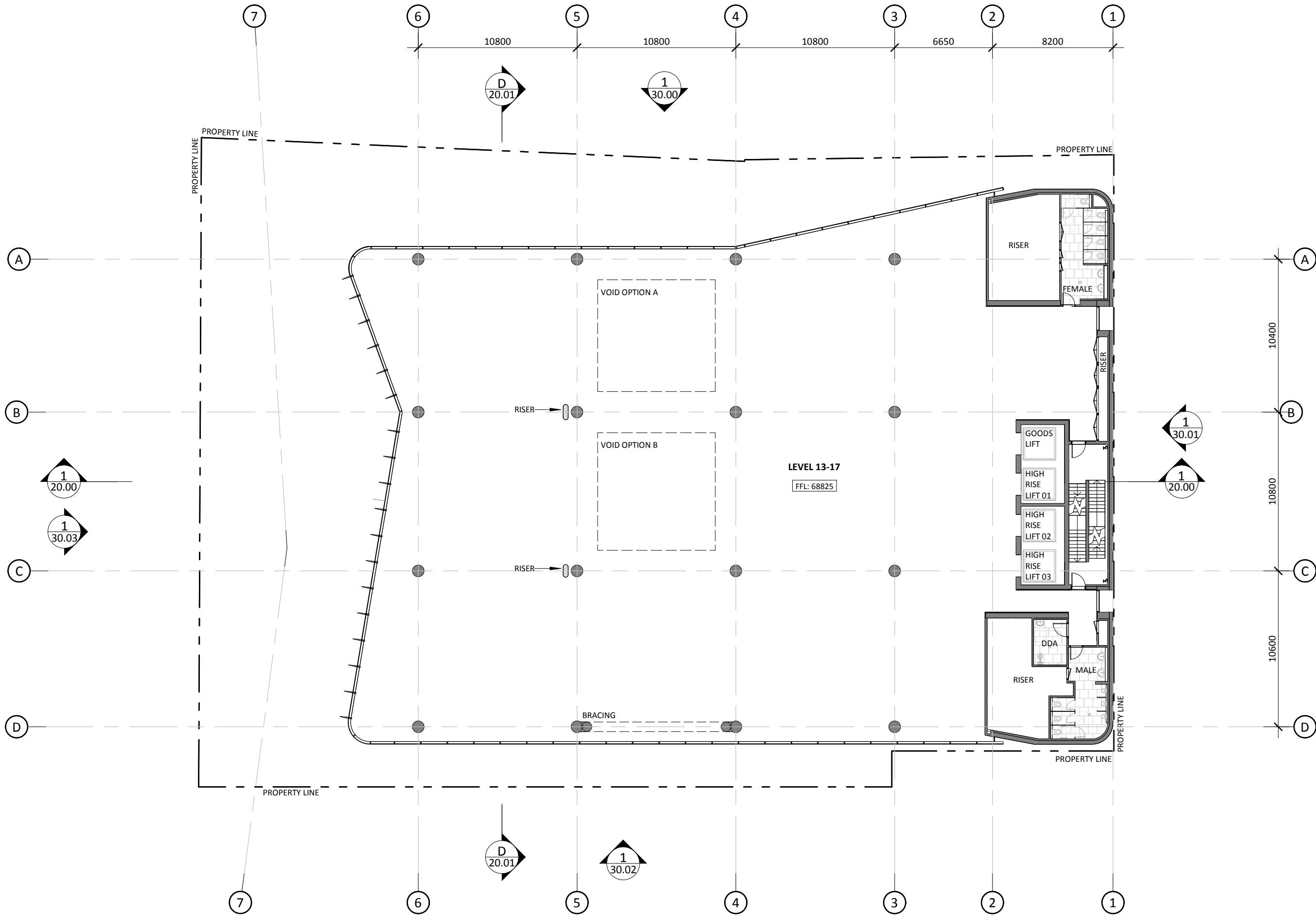
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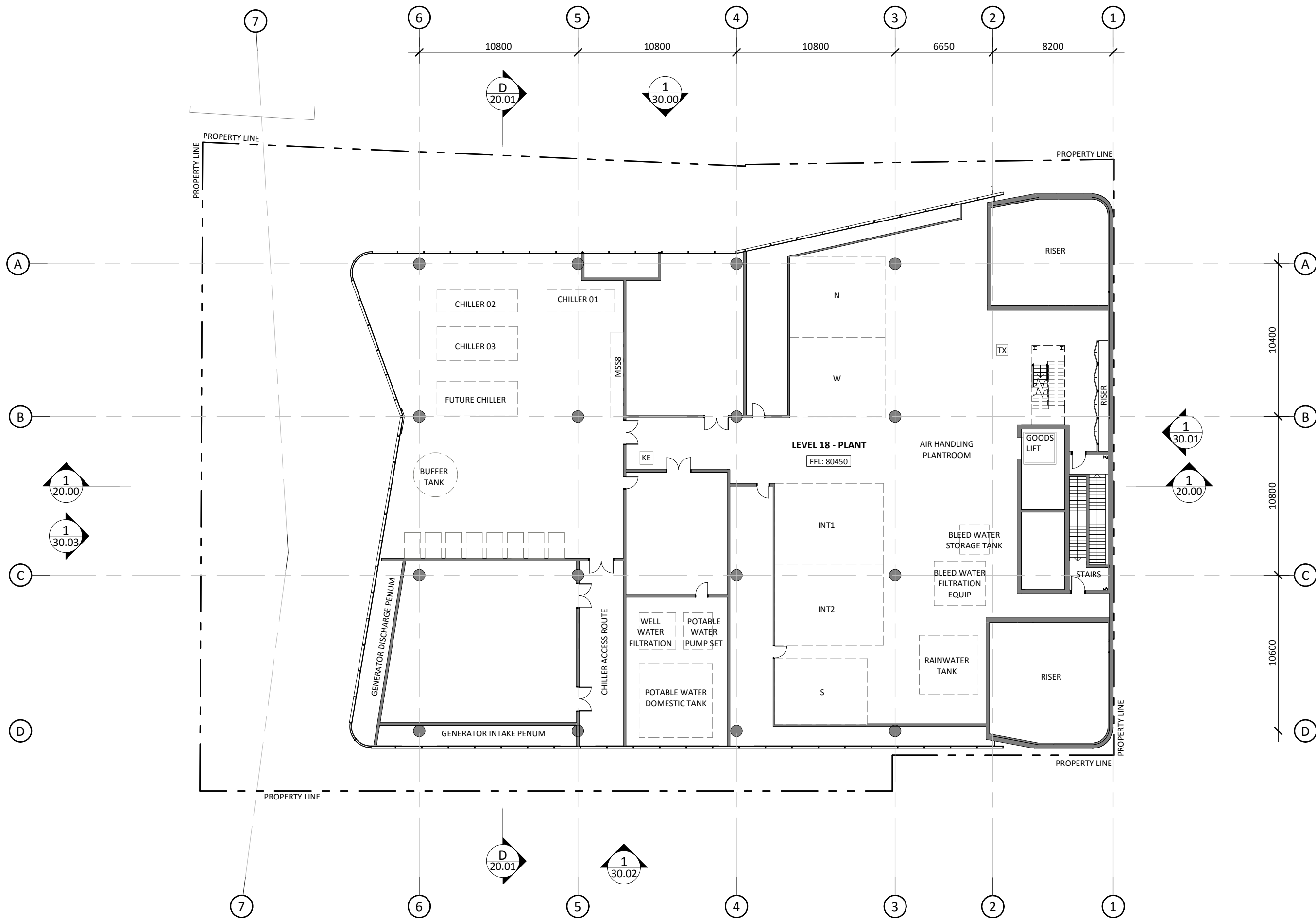
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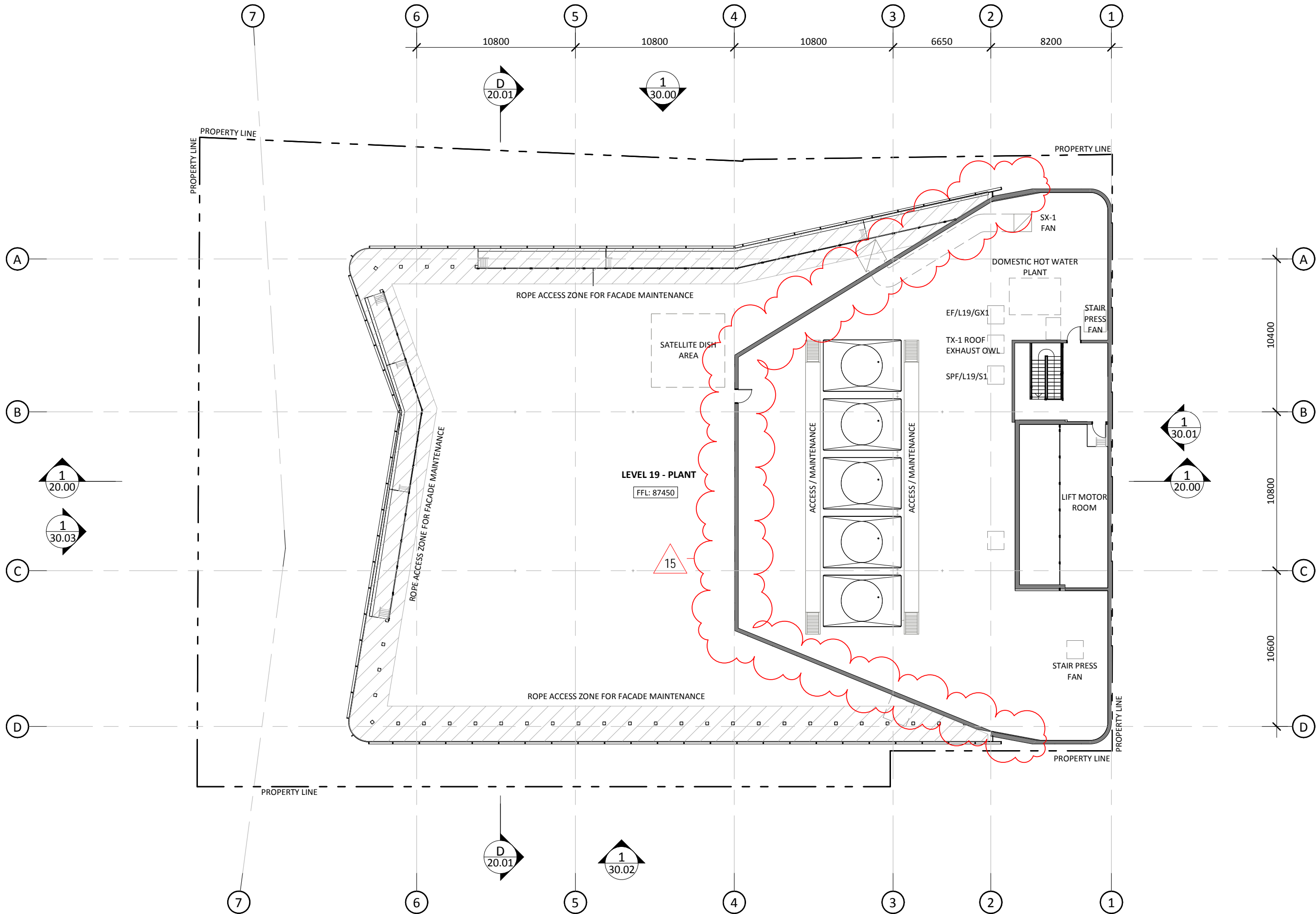
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E: info@blightrayner.com.au

Project Name
Hassall Street
Project Address
2-6 Hassall Street Parramatta NSW 2150

Sheet Name
LEVEL 19 - PLANT

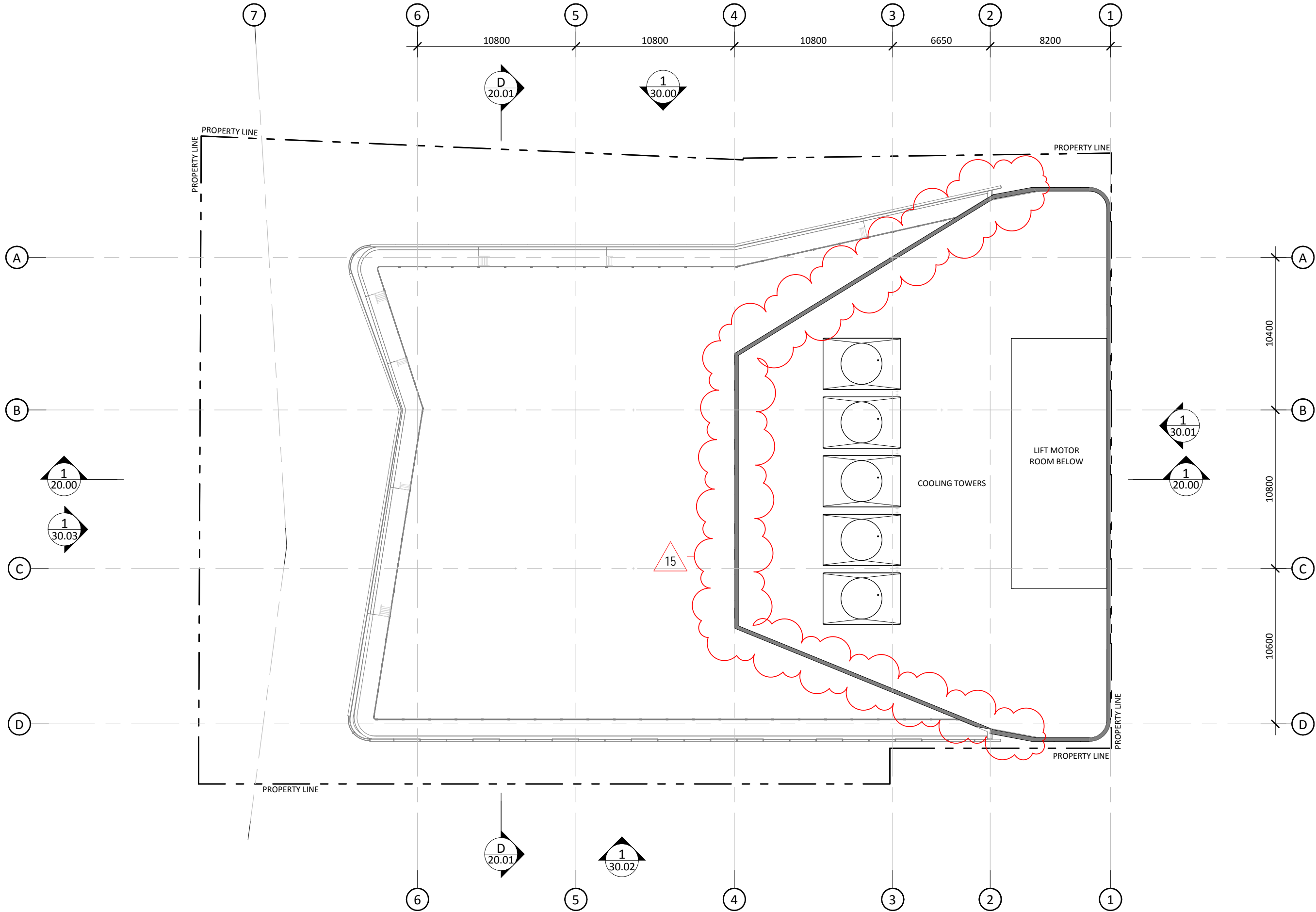
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18032
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| H | Draft SSDA Drawings | BRT | 22.03.19 | MSK |
| I | SSDA Submission | BRT | 08.04.19 | TW |
| J | Draft RTS | BRT | 17.07.19 | MD |
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Project Name
Hassall Street
Project Address
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Sheet Name
ROOF PLAN

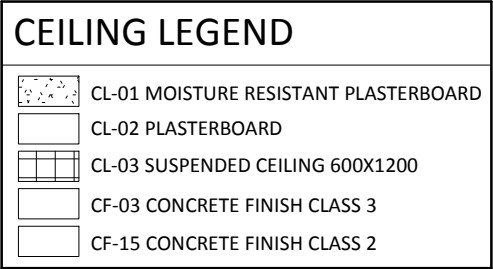
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Project No.
18032
Drawing No.
10.13
Revision
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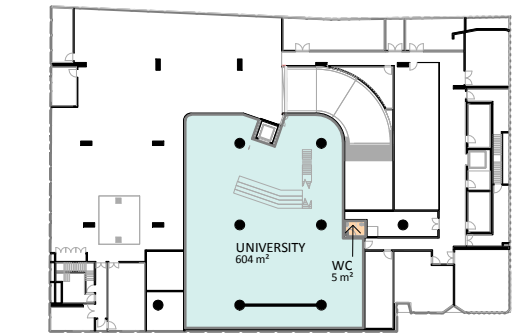
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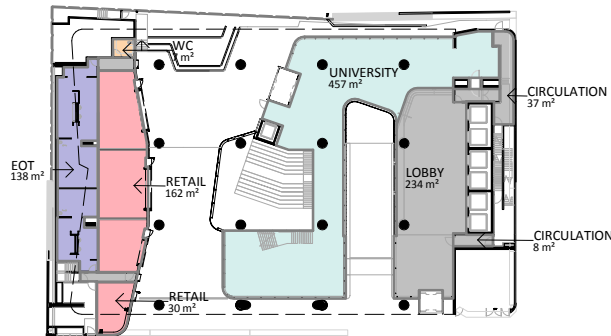




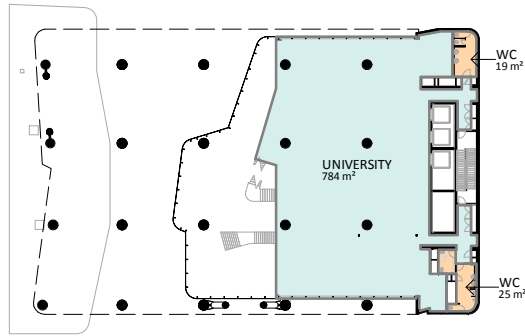
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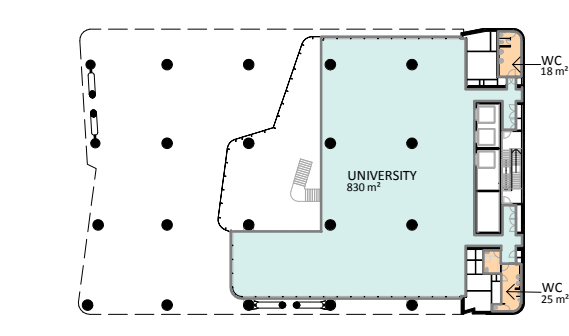
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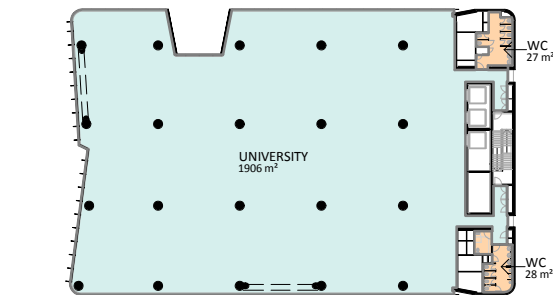
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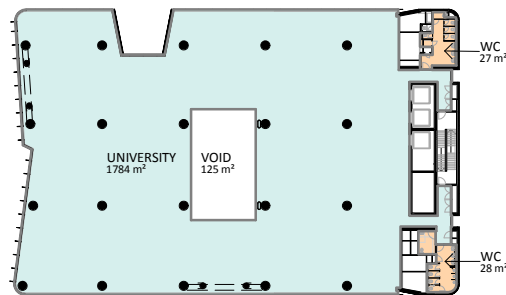
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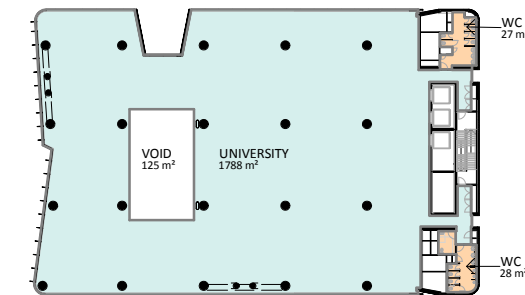
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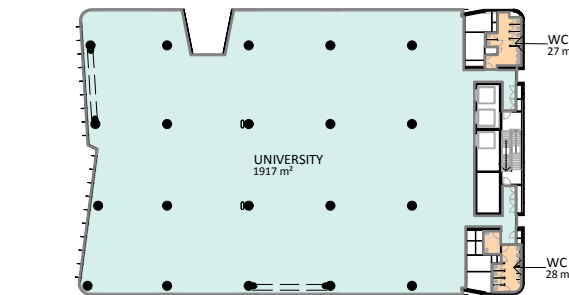
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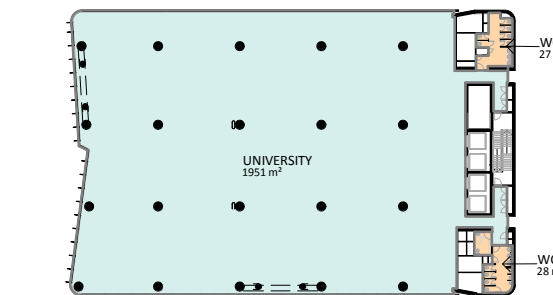
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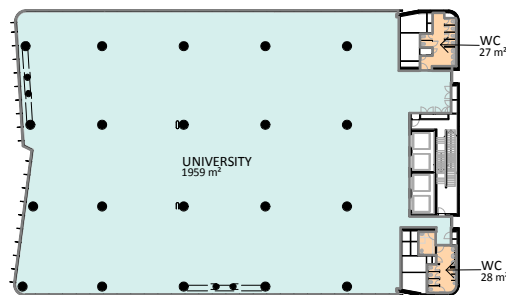
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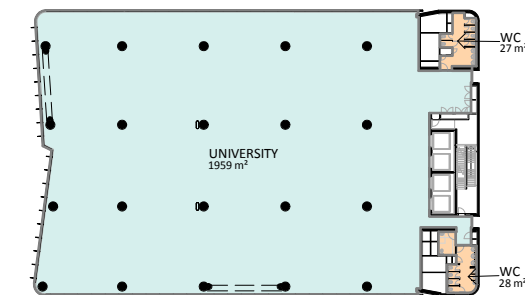
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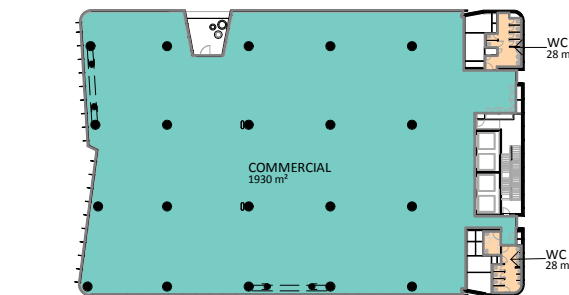
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20.00 1 : 1000



11 LEVEL 09
20.00 1 : 1000



12 LEVELS 10
20.00 1 : 1000

GENERAL NOTES

GFA CALCULATED PER CITY OF PARRAMATTA DEFINITION:

Gross floor area

Gross floor area (has the same meaning as in the Parramatta LEP 2011).

Gross floor area is the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:

the area of a mezzanine, and habitable rooms in a basement or an attic, and any shop, auditorium, cinema, and the like, in a basement or attic,

but excludes:

- any area for common vertical circulation, such as lifts and stairs, and
- any basement: storage, and vehicular access, loading areas, garbage and services, and plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
- car parking to meet any requirements of the consent authority (including access to that car parking), and
- any space used for the loading or unloading of goods (including access to it), and
- terraces and balconies with outer walls less than 1.4 metres high, and
- voids above a floor at the level of a storey or storey above.

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Project Name
Hassall Street
Project Address
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Sheet Name
GFA DIAGRAMS - MIDRISE
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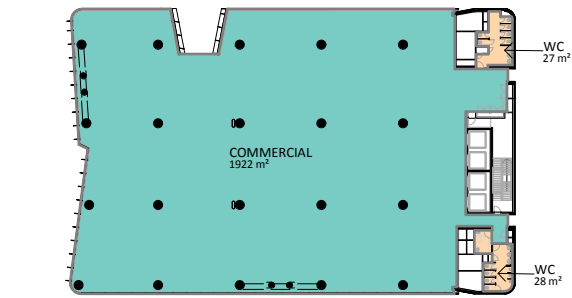
Project No.
18032
Drawing No.
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Revision
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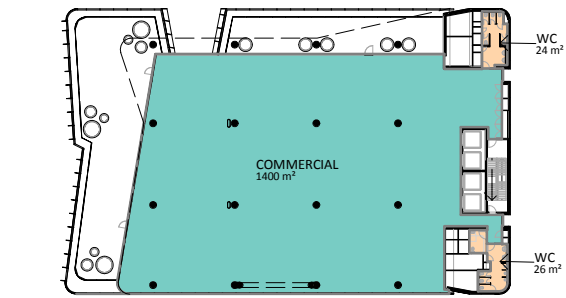
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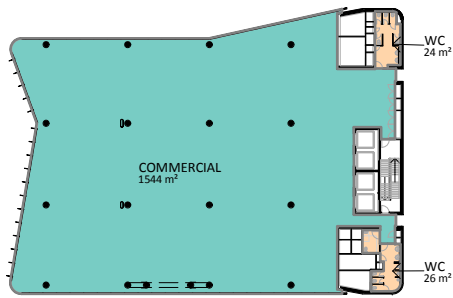
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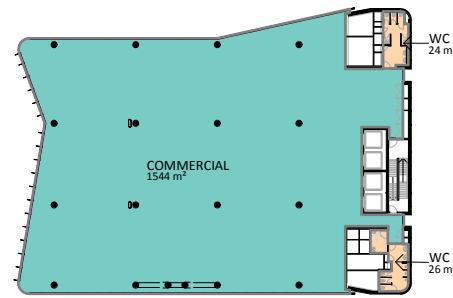
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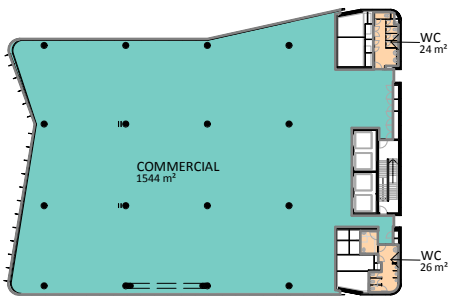
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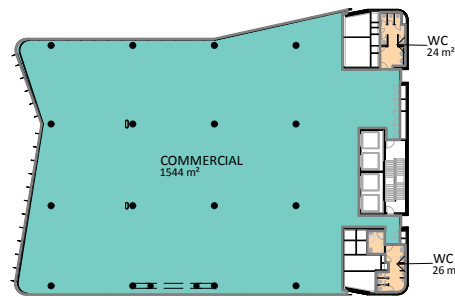
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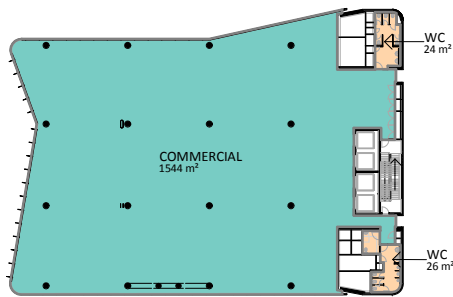
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5 LEVEL 15
20.00 1 : 1000



6 LEVEL 16
20.00 1 : 1000



7 LEVEL 17
20.00 1 : 1000

GFA SCHEDULE

| LEVEL | AREA |
|--------------|----------------------|
| BASEMENT | 610 m ² |
| GROUND FLOOR | 1090 m ² |
| LEVEL 01 | 828 m ² |
| LEVEL 02 | 873 m ² |
| LEVEL 03 | 1961 m ² |
| LEVEL 04 | 1840 m ² |
| LEVEL 05 | 1843 m ² |
| LEVEL 06 | 1972 m ² |
| LEVEL 07 | 2006 m ² |
| LEVEL 08 | 2015 m ² |
| LEVEL 09 | 2015 m ² |
| LEVEL 10 | 1986 m ² |
| LEVEL 11 | 1978 m ² |
| LEVEL 12 | 1450 m ² |
| LEVEL 13 | 1594 m ² |
| LEVEL 14 | 1594 m ² |
| LEVEL 15 | 1594 m ² |
| LEVEL 16 | 1594 m ² |
| LEVEL 17 | 1594 m ² |
| Total: | 30437 m ² |

GENERAL NOTES

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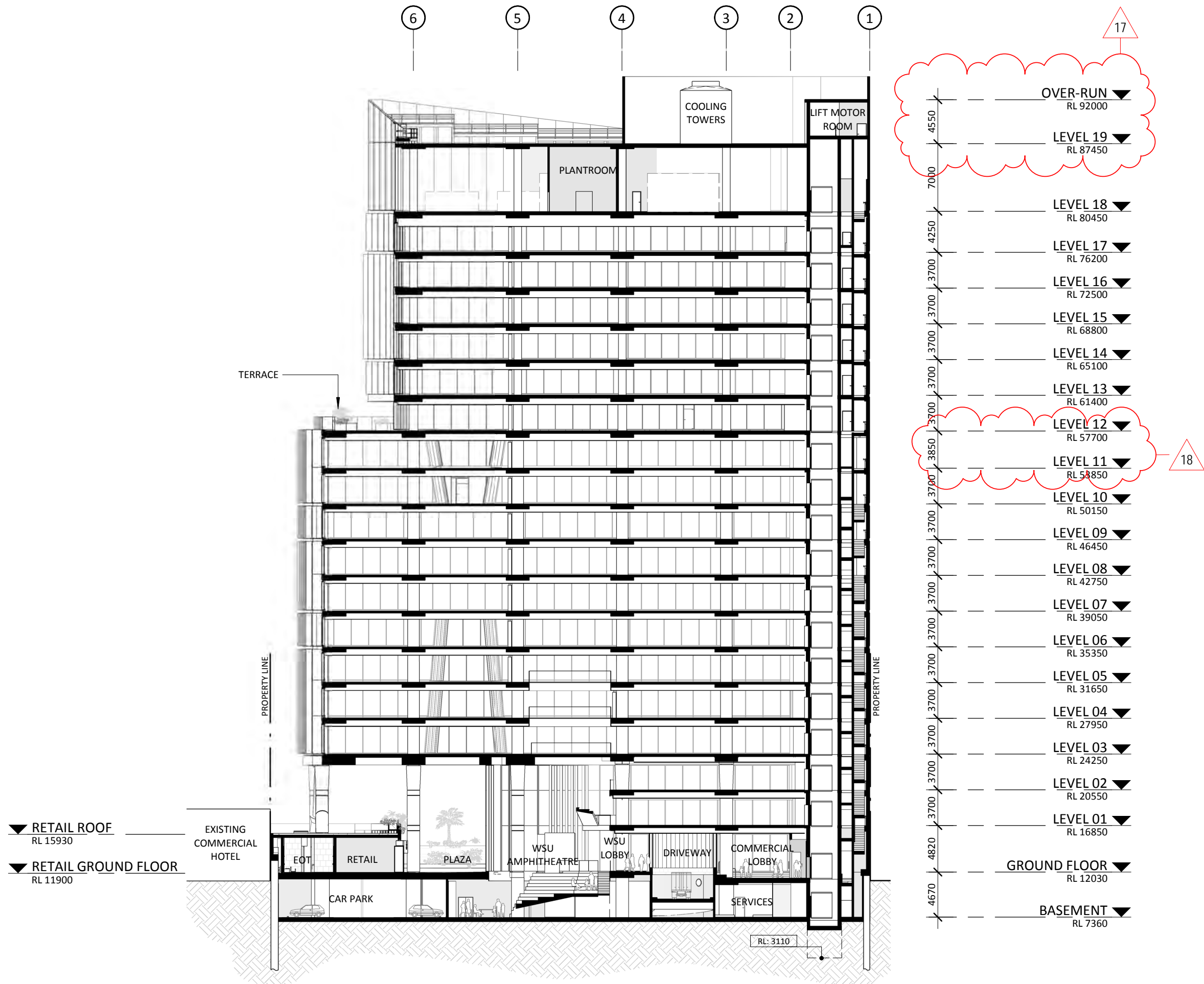
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GFA DIAGRAMS - HIGHRISE
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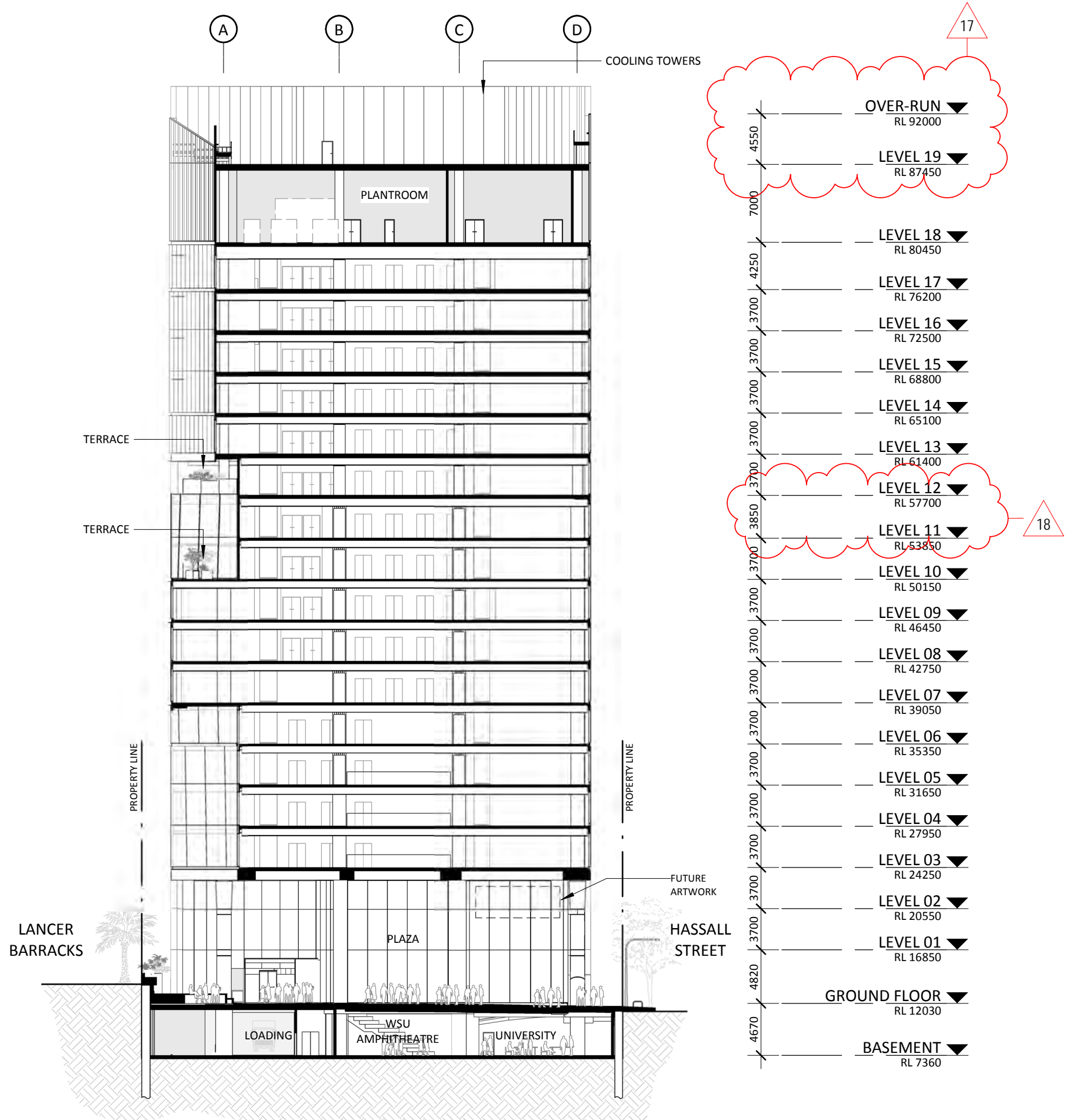
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Hassall Street
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SECTION A
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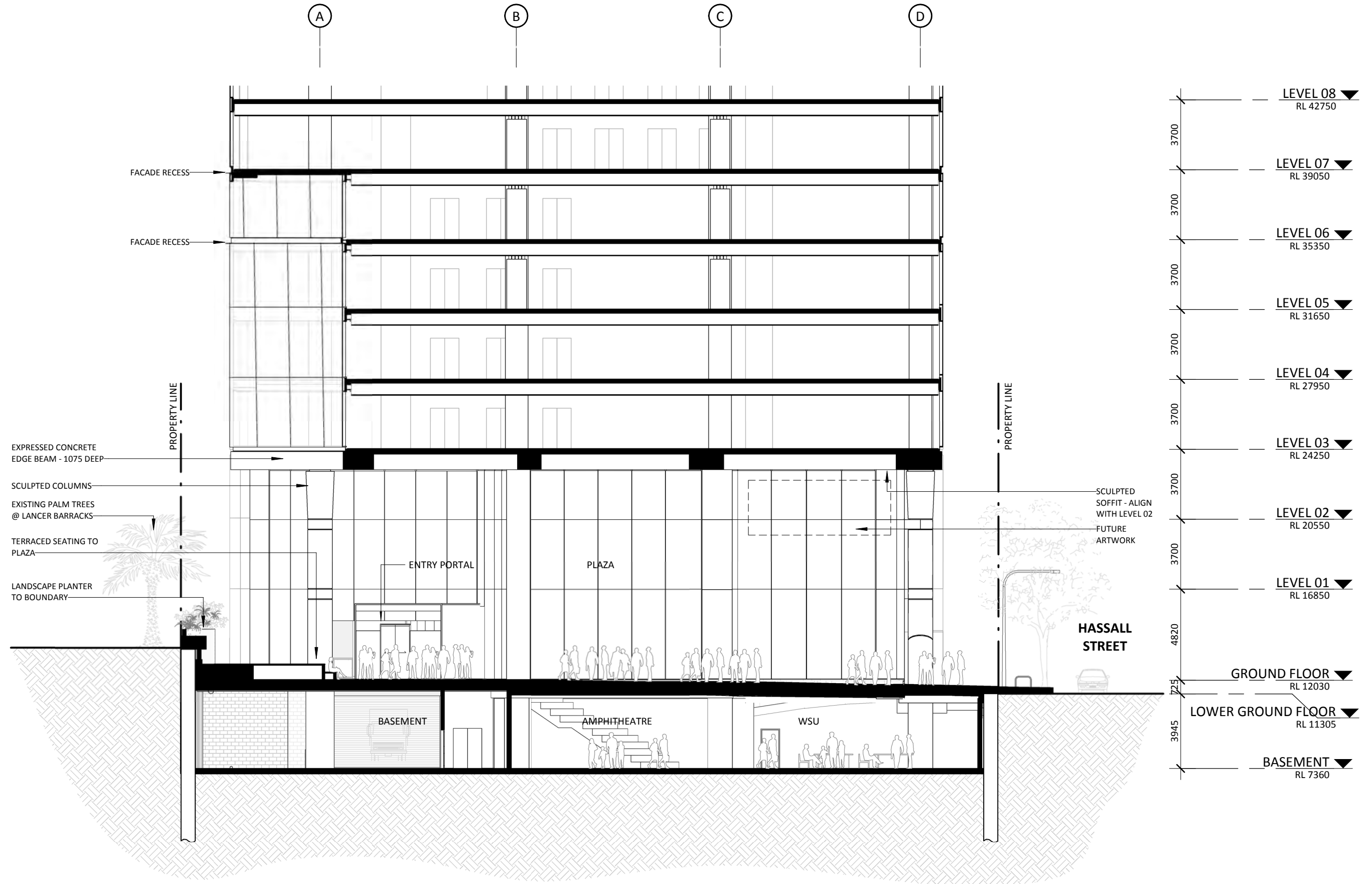
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SECTION B
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E: tzannes@tzannes.com.au

Project Name
Hassall Street
Project Address
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Sheet Name
PODIUM SECTION A

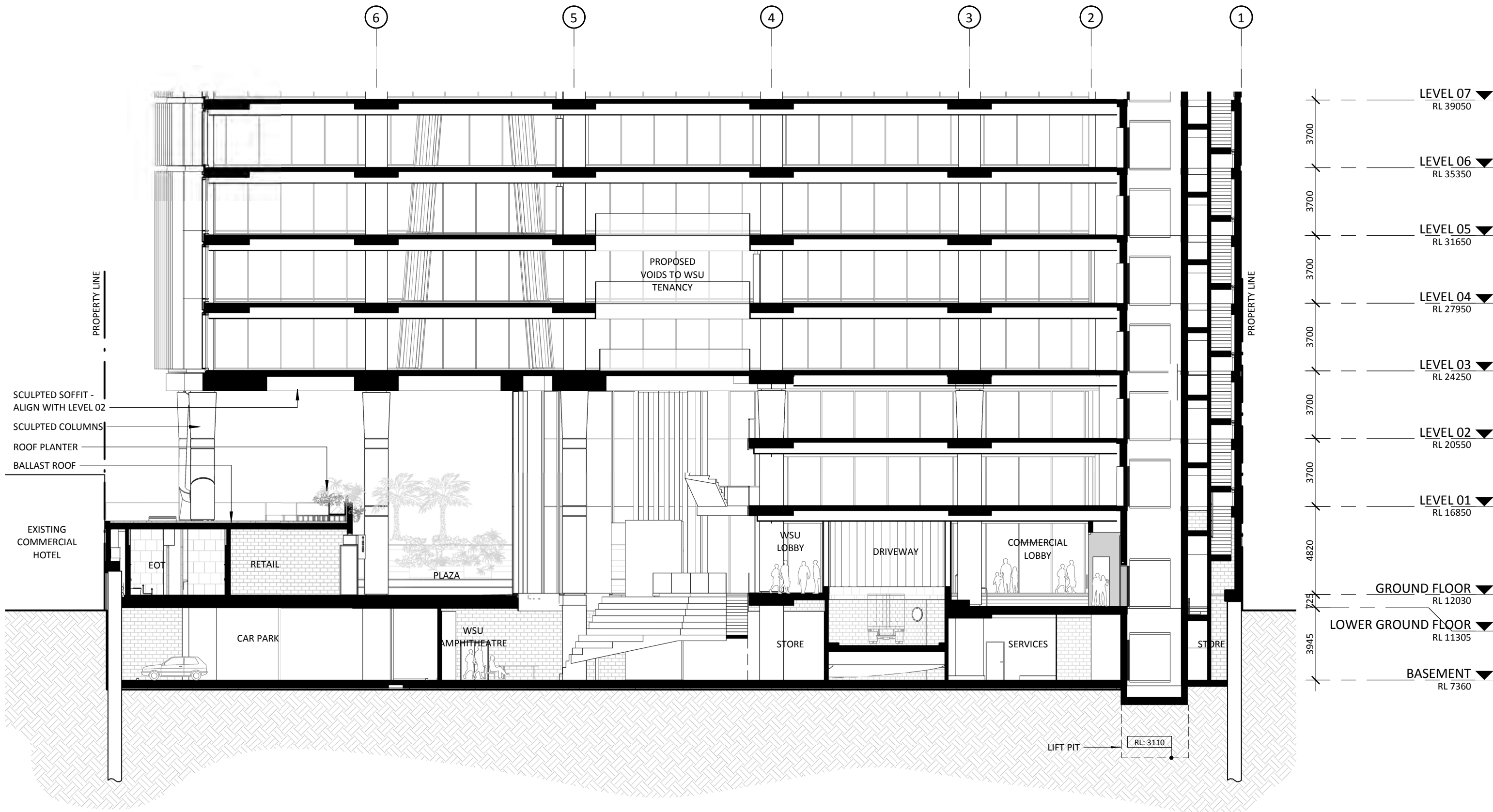
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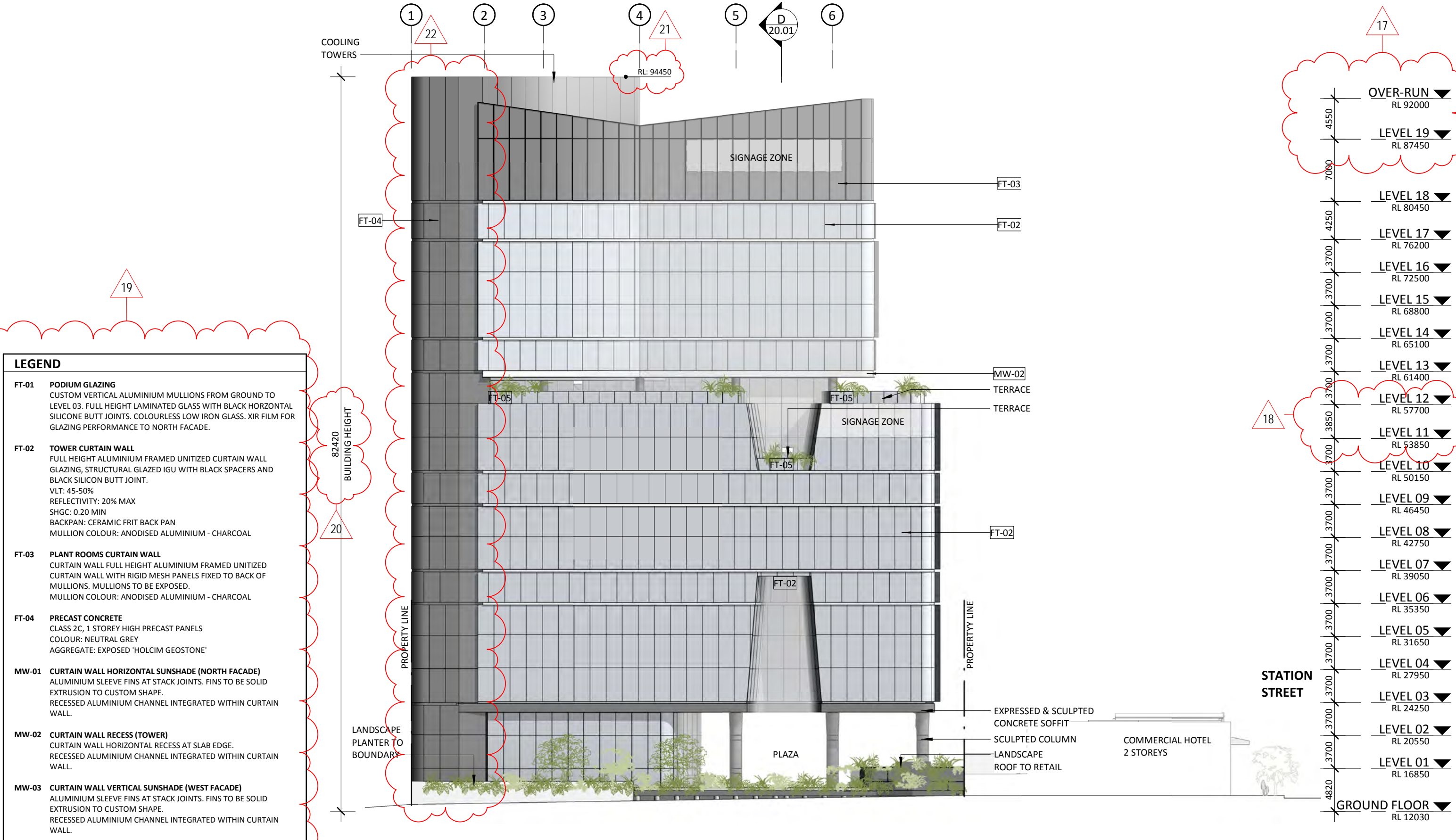
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Project Name
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Sheet Name
PODIUM SECTION B
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20.11
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1 : 200
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LEGEND

- FT-01 PODIUM GLAZING**
CUSTOM VERTICAL ALUMINIUM MULLIONS FROM GROUND TO LEVEL 03. FULL HEIGHT LAMINATED GLASS WITH BLACK HORIZONTAL SILICONE BUTT JOINTS. COLOURLESS LOW IRON GLASS. XIR FILM FOR GLAZING PERFORMANCE TO NORTH FACADE.
- FT-02 TOWER CURTAIN WALL**
FULL HEIGHT ALUMINIUM FRAMED UNITIZED CURTAIN WALL GLAZING, STRUCTURAL GLAZED IGU WITH BLACK SPACERS AND BLACK SILICON BUTT JOINT.
VLT: 45-50%
REFLECTIVITY: 20% MAX
SHGC: 0.20 MIN
BACKPAN: CERAMIC FRIT BACK PAN
MULLION COLOUR: ANODISED ALUMINIUM - CHARCOAL
- FT-03 PLANT ROOMS CURTAIN WALL**
CURTAIN WALL FULL HEIGHT ALUMINIUM FRAMED UNITIZED CURTAIN WALL WITH RIGID MESH PANELS FIXED TO BACK OF MULLIONS. MULLIONS TO BE EXPOSED.
MULLION COLOUR: ANODISED ALUMINIUM - CHARCOAL
- FT-04 PRECAST CONCRETE**
CLASS 2C, 1 STOREY HIGH PRECAST PANELS
COLOUR: NEUTRAL GREY
AGGREGATE: EXPOSED 'HOLCIM GEOSTONE'
- MW-01 CURTAIN WALL HORIZONTAL SUNSHADE (NORTH FACADE)**
ALUMINIUM SLEEVE FINS AT STACK JOINTS. FINS TO BE SOLID EXTRUSION TO CUSTOM SHAPE.
RECESSED ALUMINIUM CHANNEL INTEGRATED WITHIN CURTAIN WALL.
- MW-02 CURTAIN WALL RECESS (TOWER)**
CURTAIN WALL HORIZONTAL RECESS AT SLAB EDGE.
RECESSED ALUMINIUM CHANNEL INTEGRATED WITHIN CURTAIN WALL.
- MW-03 CURTAIN WALL VERTICAL SUNSHADE (WEST FACADE)**
ALUMINIUM SLEEVE FINS AT STACK JOINTS. FINS TO BE SOLID EXTRUSION TO CUSTOM SHAPE.
RECESSED ALUMINIUM CHANNEL INTEGRATED WITHIN CURTAIN WALL.

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Project Name
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Sheet Name
NORTH ELEVATION
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18032
Drawing No.
30.00
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K

Date
31.07.19
Drawn by
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Checked by
MSK

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As indicated
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This architectural elevation drawing illustrates the facade of a building, detailing its vertical structure and levels. The drawing includes the following elements:

- Grid Lines:** Vertical grid lines are labeled A, B, C, and D at the top. Horizontal grid lines are labeled 1 through 22 on the left side.
- Building Height:** The total building height is indicated as 82420 on the left side.
- Levels and Elevation:** The right side of the drawing lists levels from 01 to 19, each with a corresponding elevation (RL):
 - LEVEL 01: RL 16850
 - LEVEL 02: RL 20550
 - LEVEL 03: RL 24250
 - LEVEL 04: RL 27950
 - LEVEL 05: RL 31650
 - LEVEL 06: RL 35350
 - LEVEL 07: RL 39050
 - LEVEL 08: RL 42750
 - LEVEL 09: RL 46450
 - LEVEL 10: RL 50150
 - LEVEL 11: RL 53850
 - LEVEL 12: RL 57700
 - LEVEL 13: RL 61400
 - LEVEL 14: RL 65100
 - LEVEL 15: RL 68800
 - LEVEL 16: RL 72500
 - LEVEL 17: RL 76200
 - LEVEL 18: RL 80450
 - LEVEL 19: RL 87450
 - OVER-RUN: RL 92000
- Structural Details:** The drawing shows a central core with two vertical shafts (FT-02 and FT-04) and a SIGNAGE ZONE at the top. The building is flanked by COOLING TOWERS (RL: 94450) and a LANDSCAPE ROOF TO RETAIL BEYOND.
- Ground Level:** The ground floor is at RL 12030, adjacent to HASSALL STREET and LANCER BARRACKS.
- Property Line:** The property line is indicated on the right side of the building.
- Other Features:** The drawing includes a LANDSCAPE PLANTERS TO NORTHERN BOUNDARY and a LANDSCAPE ROOF TO RETAIL BEYOND.

FT-01 **PODIUM GLAZING**
CUSTOM VERTICAL ALUMINIUM MULLIONS FROM GROUND TO LEVEL 03. FULL HEIGHT LAMINATED GLASS WITH BLACK HORIZONTAL SILICONE BUTT JOINTS. COLOURLESS LOW IRON GLASS. XIR FILM FOR GLAZING PERFORMANCE TO NORTH FACADE.

FT-02 **TOWER CURTAIN WALL**
FULL HEIGHT ALUMINIUM FRAMED UNITIZED CURTAIN WALL GLAZING, STRUCTURAL GLAZED IGU WITH BLACK SPACERS AND BLACK SILICON BUTT JOINT.
VLT: 45-50%
REFLECTIVITY: 20% MAX
SHGC: 0.20 MIN
BACKPAN: CERAMIC FRIT BACK PAN
MULLION COLOUR: ANODISED ALUMINIUM - CHARCOAL

FT-03 **PLANT ROOMS CURTAIN WALL**
CURTAIN WALL FULL HEIGHT ALUMINIUM FRAMED UNITIZED CURTAIN WALL WITH RIGID MESH PANELS FIXED TO BACK OF MULLIONS. MULLIONS TO BE EXPOSED.
MULLION COLOUR: ANODISED ALUMINIUM - CHARCOAL

FT-04 **PRECAST CONCRETE**
CLASS 2C, 1 STOREY HIGH PRECAST PANELS
COLOUR: NEUTRAL GREY
AGGREGATE: EXPOSED 'HOLCIM GEOSTONE'

MW-01 **CURTAIN WALL HORIZONTAL SUNSHADE (NORTH FACADE)**
ALUMINIUM SLEEVE FINS AT STACK JOINTS. FINS TO BE SOLID EXTRUSION TO CUSTOM SHAPE.
RECESSED ALUMINIUM CHANNEL INTEGRATED WITHIN CURTAIN WALL.

MW-02 **CURTAIN WALL RECESS (TOWER)**
CURTAIN WALL HORIZONTAL RECESS AT SLAB EDGE.
RECESSED ALUMINIUM CHANNEL INTEGRATED WITHIN CURTAIN WALL.

MW-03 **CURTAIN WALL VERTICAL SUNSHADE (WEST FACADE)**
ALUMINIUM SLEEVE FINS AT STACK JOINTS. FINS TO BE SOLID EXTRUSION TO CUSTOM SHAPE.
RECESSED ALUMINIUM CHANNEL INTEGRATED WITHIN CURTAIN WALL.

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UNIVERSITY 

Project Name
Hassall Street

Project Address
2-6 Hassall Street Parramatta NSW 2150

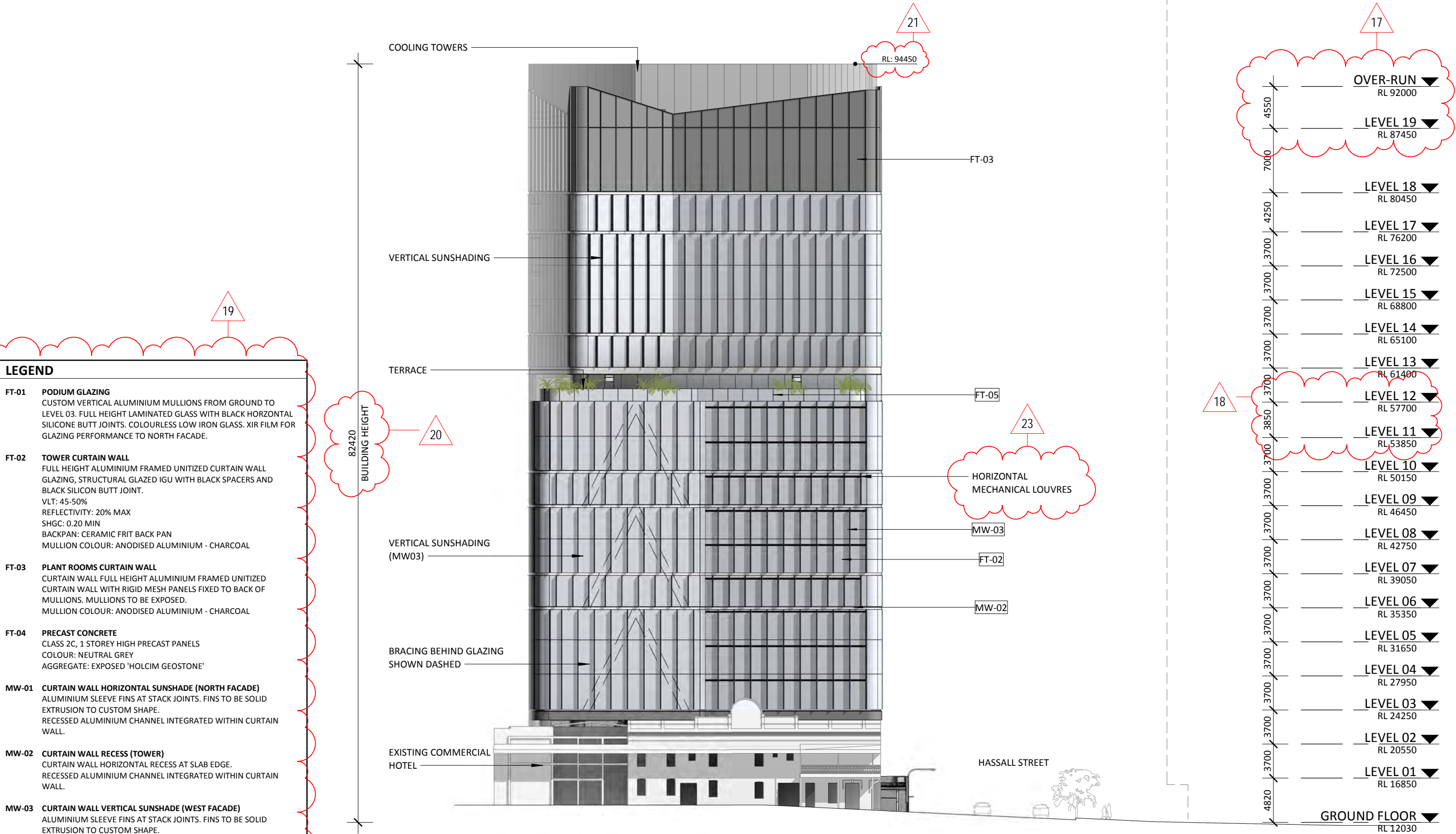
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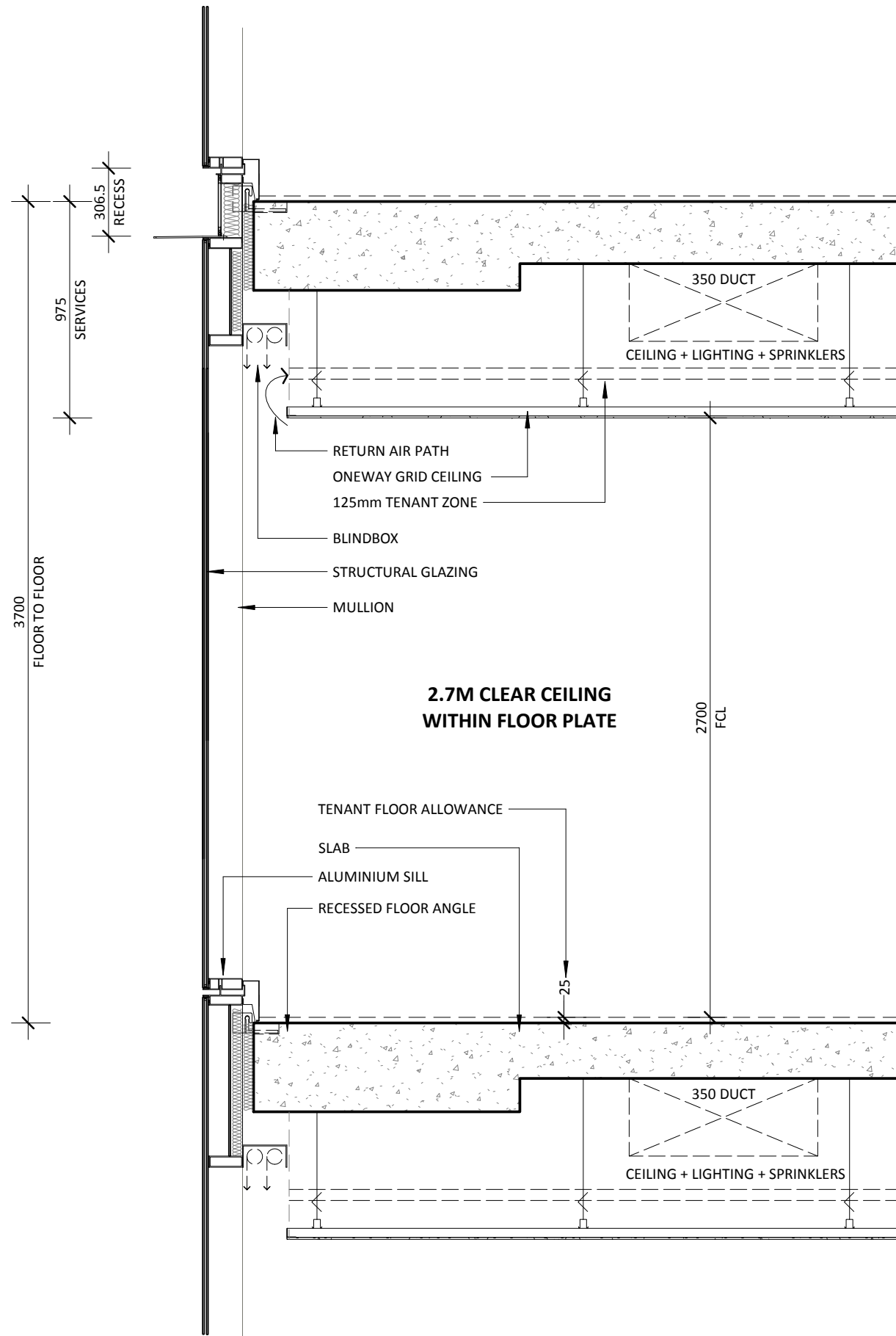
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LEGEND

- FT-01 PODIUM GLAZING**
CUSTOM VERTICAL ALUMINIUM MULLIONS FROM GROUND TO LEVEL 03. FULL HEIGHT LAMINATED GLASS WITH BLACK HORIZONTAL SILICONE BUTT JOINTS. COLOURLESS LOW IRON GLASS. XIR FILM FOR GLAZING PERFORMANCE TO NORTH FACADE.
- FT-02 TOWER CURTAIN WALL**
FULL HEIGHT ALUMINIUM FRAMED UNITIZED CURTAIN WALL GLAZING, STRUCTURAL GLAZED IGU WITH BLACK SPACERS AND BLACK SILICON BUTT JOINT.
VLT: 45-50%
REFLECTIVITY: 20% MAX
SHGC: 0.20 MIN
BACKPAN: CERAMIC FRIT BACK PAN
MULLION COLOUR: ANODISED ALUMINIUM - CHARCOAL
- FT-03 PLANT ROOMS CURTAIN WALL**
CURTAIN WALL FULL HEIGHT ALUMINIUM FRAMED UNITIZED CURTAIN WALL WITH RIGID MESH PANELS FIXED TO BACK OF MULLIONS. MULLIONS TO BE EXPOSED.
MULLION COLOUR: ANODISED ALUMINIUM - CHARCOAL
- FT-04 PRECAST CONCRETE**
CLASS 2C, 1 STOREY HIGH PRECAST PANELS
COLOUR: NEUTRAL GREY
AGGREGATE: EXPOSED 'HOLCIM GEOSTONE'
- MW-01 CURTAIN WALL HORIZONTAL SUNSHADE (NORTH FACADE)**
ALUMINIUM SLEEVE FINIS AT STACK JOINTS. FINIS TO BE SOLID EXTRUSION TO CUSTOM SHAPE.
RECESSED ALUMINIUM CHANNEL INTEGRATED WITHIN CURTAIN WALL.
- MW-02 CURTAIN WALL RECESS (TOWER)**
CURTAIN WALL HORIZONTAL RECESS AT SLAB EDGE.
RECESSED ALUMINIUM CHANNEL INTEGRATED WITHIN CURTAIN WALL.
- MW-03 CURTAIN WALL VERTICAL SUNSHADE (WEST FACADE)**
ALUMINIUM SLEEVE FINIS AT STACK JOINTS. FINIS TO BE SOLID EXTRUSION TO CUSTOM SHAPE.
RECESSED ALUMINIUM CHANNEL INTEGRATED WITHIN CURTAIN WALL.



| Rev | Description | Consultant | Date | Issued by |
|-----|-----------------------|------------|----------|-----------|
| H | Draft SSDA Drawings | BRT | 22.03.19 | MSK |
| I | SSDA Submission | BRT | 08.04.19 | TW |
| J | Draft RTS | BRT | 17.07.19 | MD |
| K | Issue for Jury Review | BRT | 31.07.19 | MD |



2 North Sectional Perspective

| Rev | Description | Consultant | Date | Issued by |
|-----|-----------------------|------------|----------|-----------|
| H | Draft SSDA Drawings | BRT | 22.03.19 | MSK |
| I | SSDA Submission | BRT | 08.04.19 | TW |
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 E: info@blightrayner.com.au

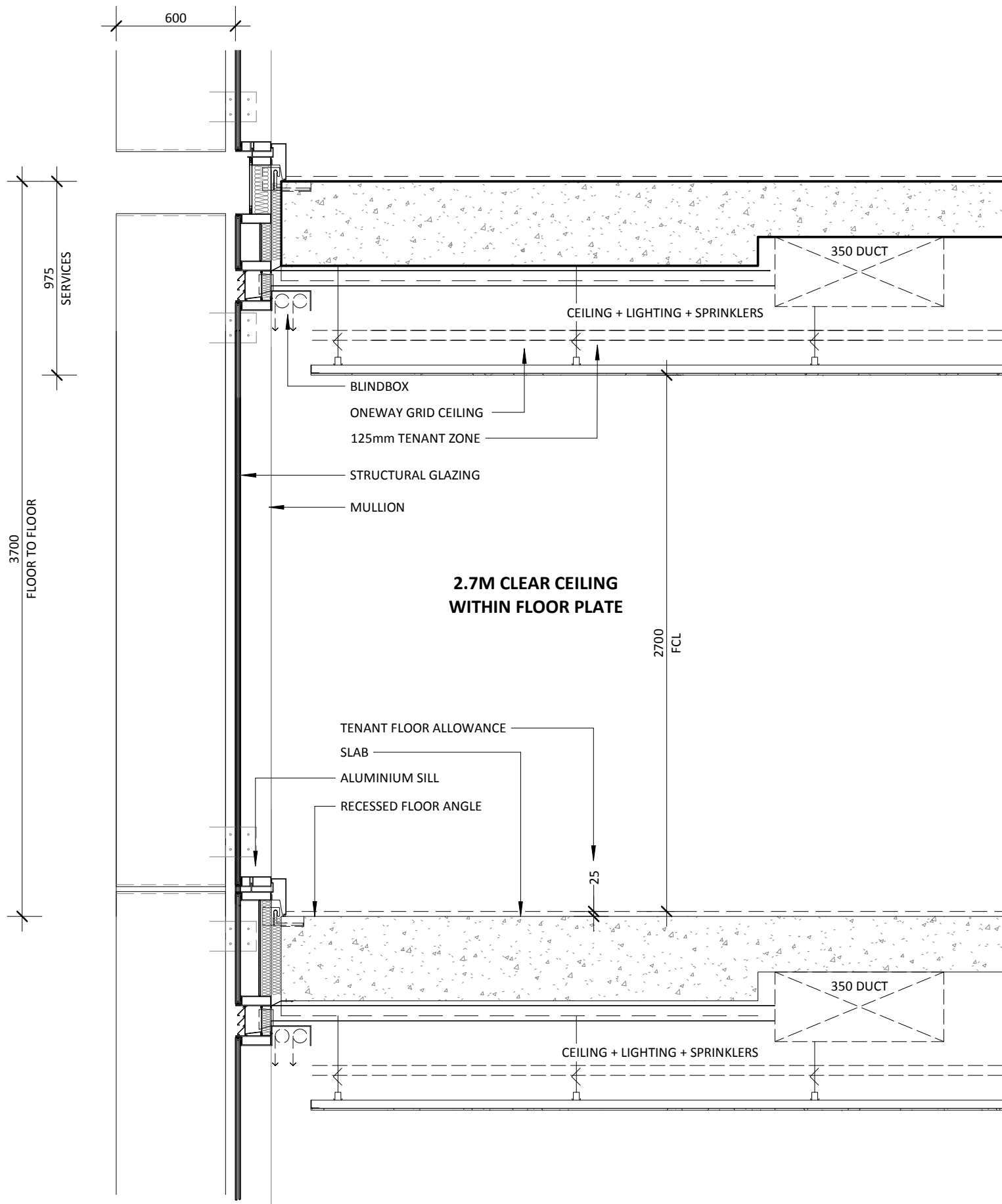
Project Name
Hassall Street
 Project Address
2-6 Hassall Street Parramatta NSW 2150

Sheet Name
FACADE SECTION - NORTH FACADE
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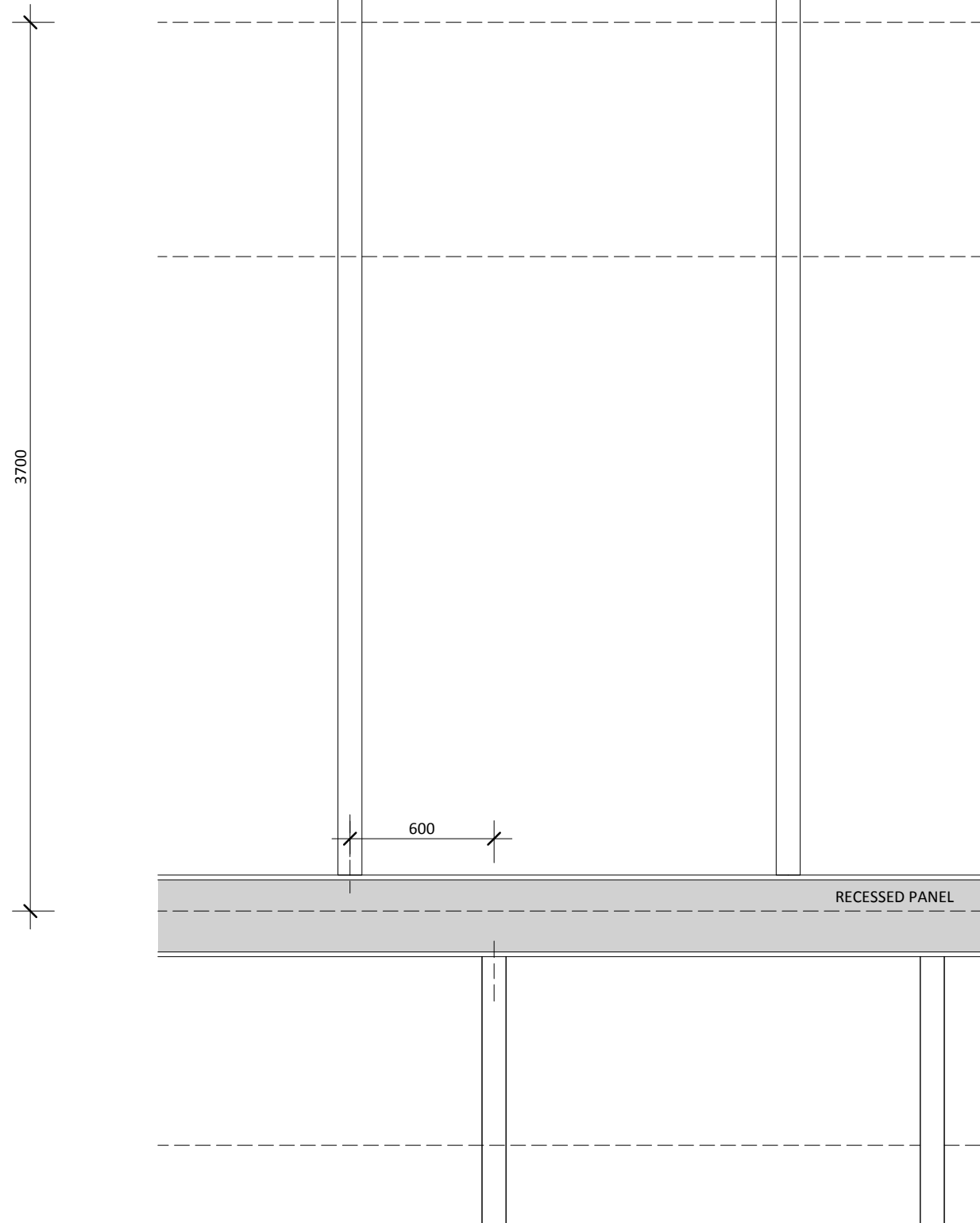
Project No.
18032
 Drawing No.
52.01
 Revision
K

Date
31.07.19
 Drawn by
BRT
 Checked by
Checker

SCALE @A3
1 : 25
 0 200 600



1 FLOOR TO FLOOR - WEST FACADE
1 : 25



2 FACADE - TYPICAL WEST ELEVATION
1 : 25

| Rev | Description | Consultant | Date | Issued by |
|-----|-----------------------|------------|----------|-----------|
| H | Draft SSDA Drawings | BRT | 22.03.19 | MSK |
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Project Address
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Sheet Name
FACADE SECTION - WEST FACADE

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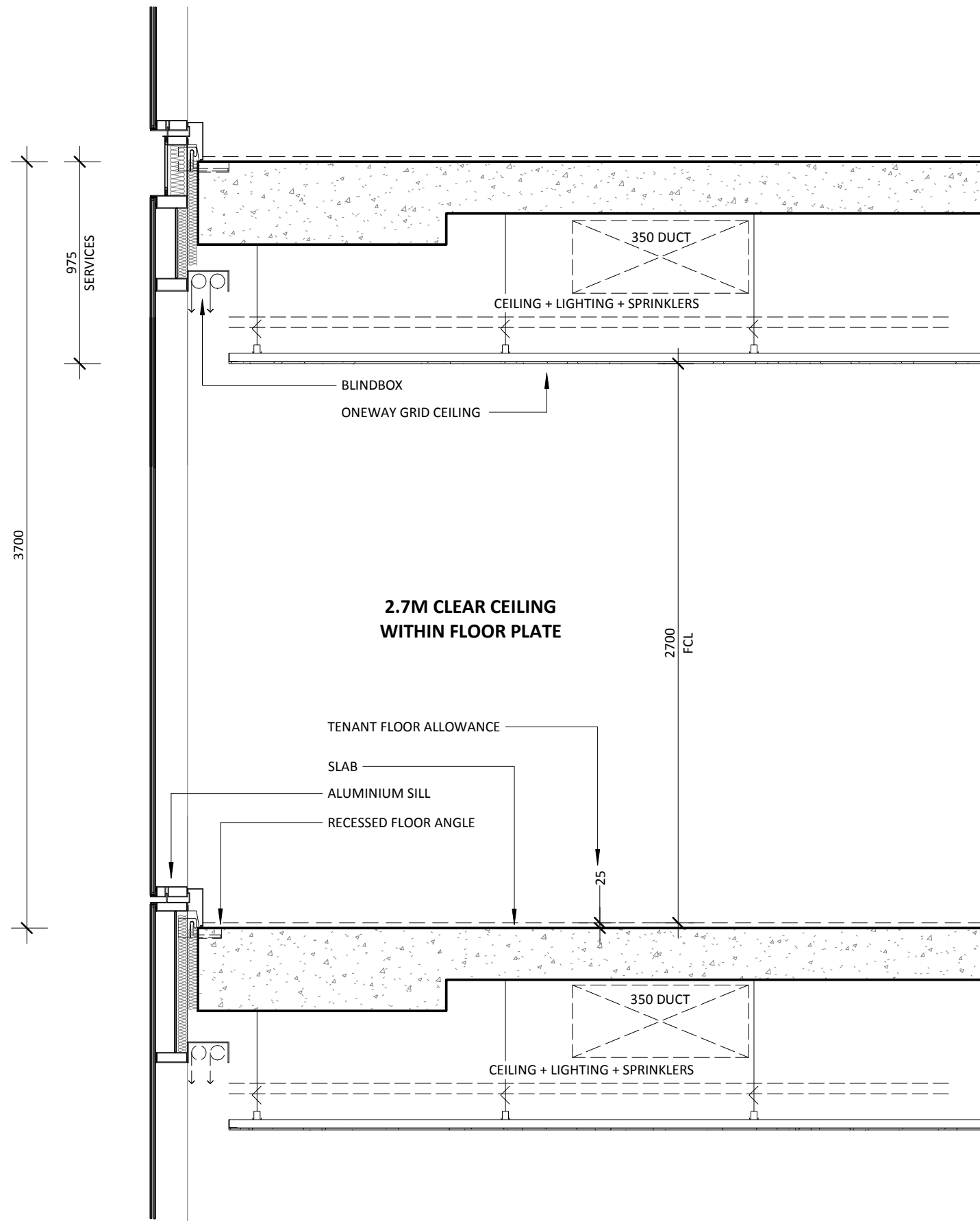
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18032
Drawing No.
52.02
Revision
K

Date
31.07.19
Drawn by
BRT
Checked by
Checker

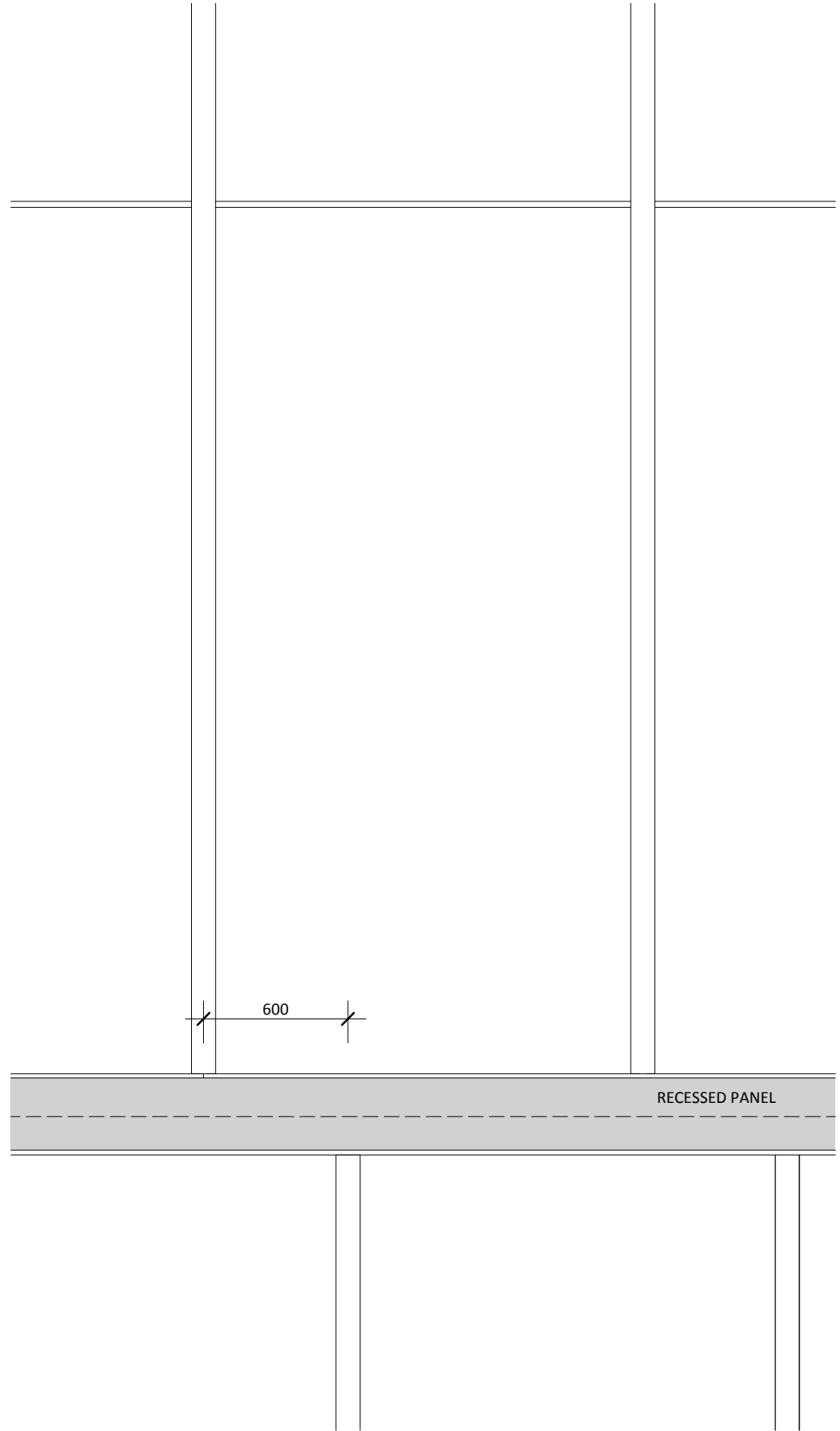
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1 FLOOR TO FLOOR - SOUTH FACADE
1 : 25



2 FACADE - TYPICAL SOUTH ELEVATION
1 : 25

| Rev | Description | Consultant | Date | Issued by |
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| H | Draft SSDA Drawings | BRT | 22.03.19 | MSK |
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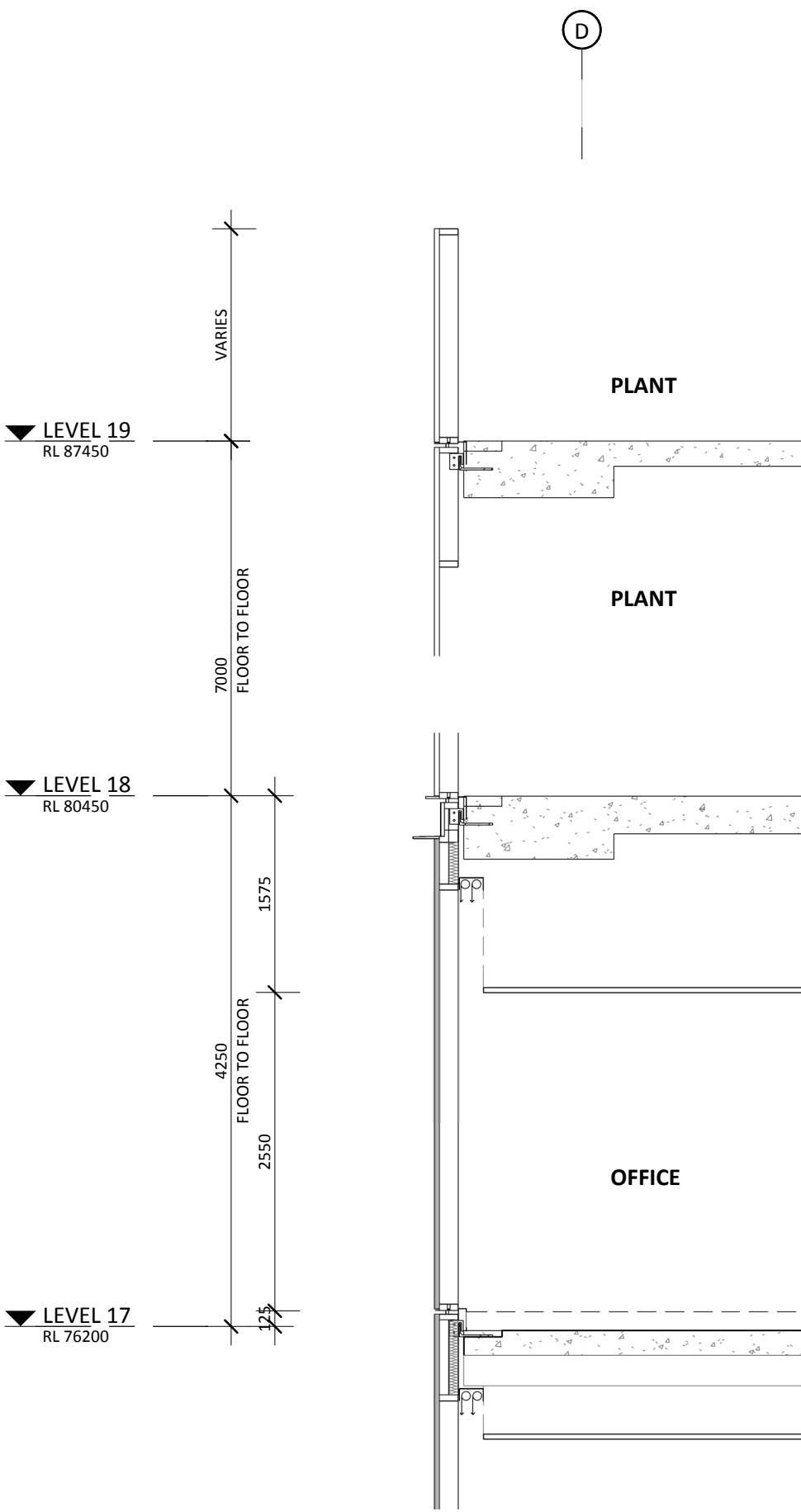
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FACADE SECTION - SOUTH FACADE

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Project No.
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Drawing No.
52.03
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1 : 25
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|-----|-----------------------|------------|----------|-----------|
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| I | SSDA Submission | BRT | 08.04.19 | TW |
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Project Name

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Sheet Name

FACADE SECTION - PLANT

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Project No.

18032

Drawing No.

52.04

Revision

K

Date

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Checker

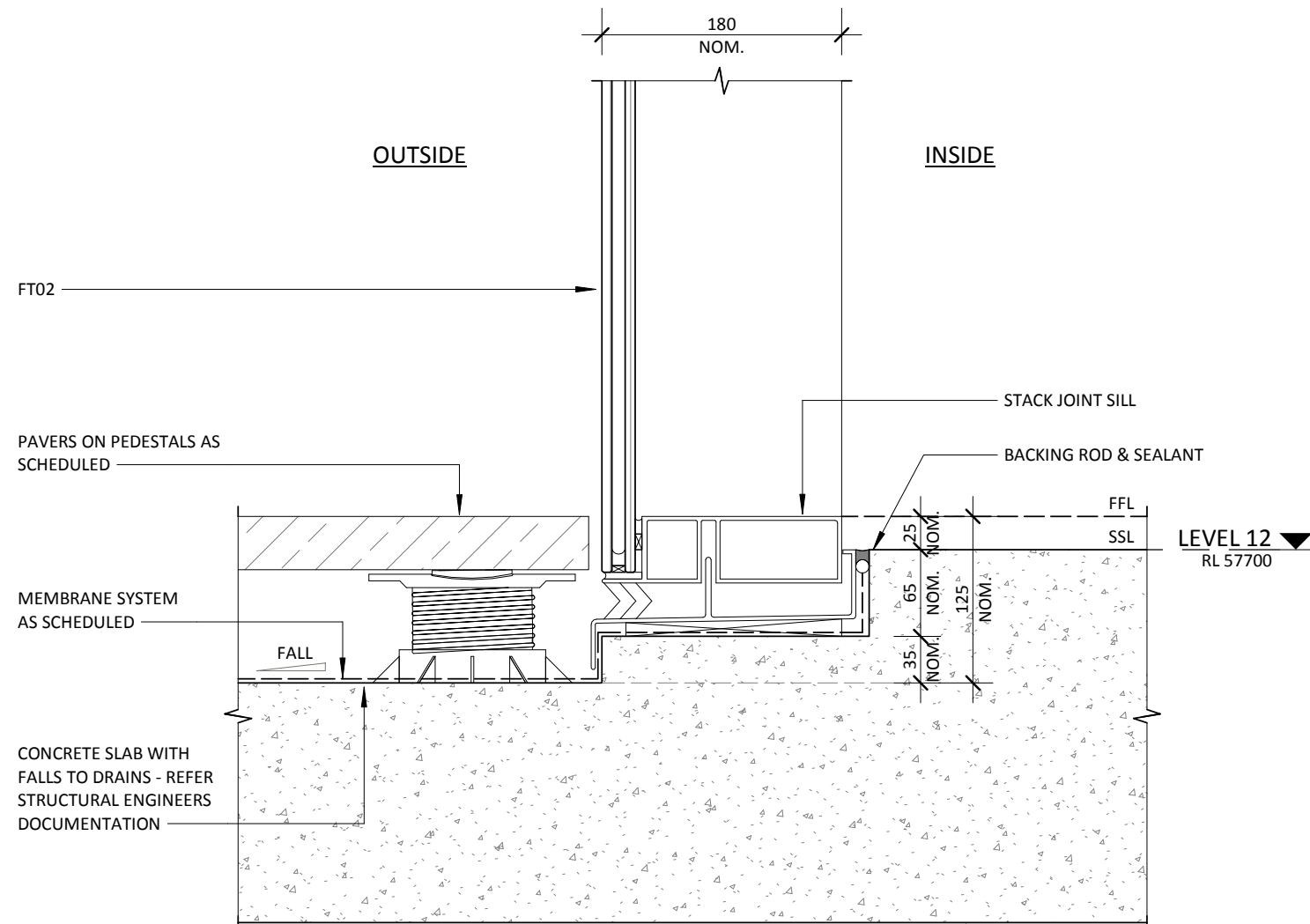
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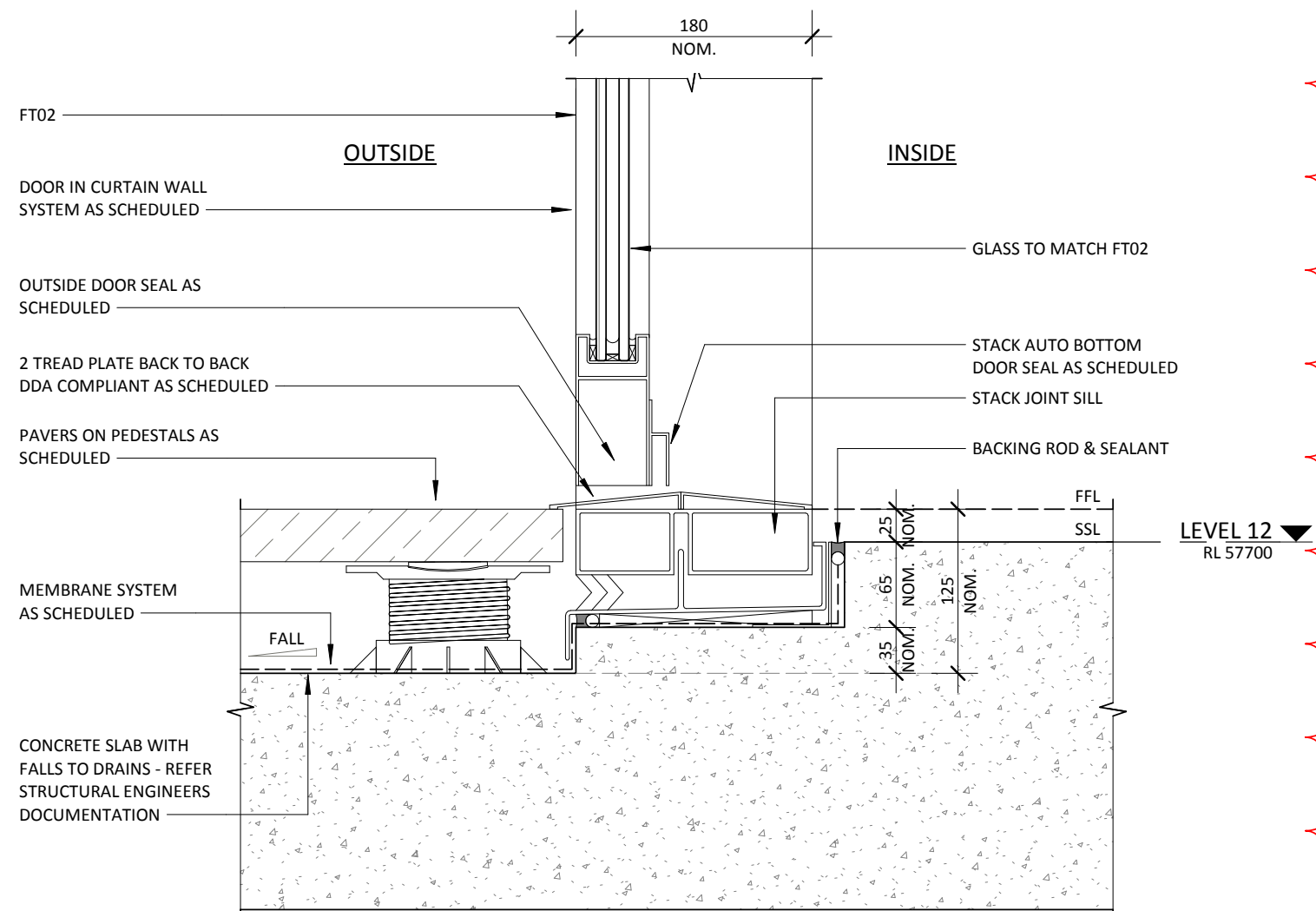
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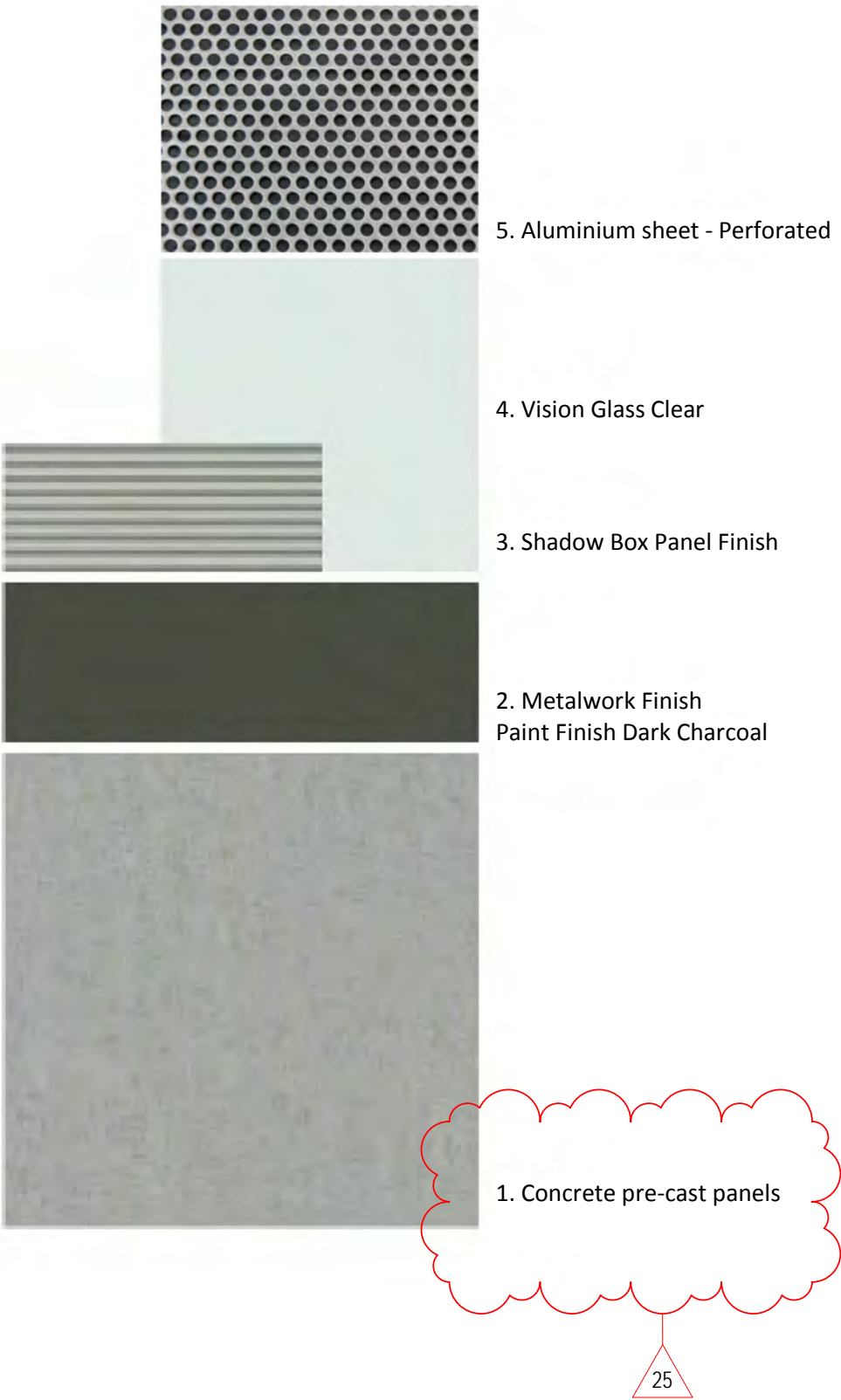
2 LEVEL 12 - TERRACE GLAZING SILL
10.09 1 : 5



1 LEVEL 12 - TERRACE DOOR SILL
X52.04 1 : 5

| Rev | Description | Consultant | Date | Issued by |
|-----|-----------------------|------------|----------|-----------|
| A | Draft RTS | BRT | 17.07.19 | MD |
| B | Issue for Jury Review | BRT | 31.07.19 | MD |

4.5 Materiality



| Rev | Description | Consultant | Date | Issued by |
|-----|-----------------------|------------|----------|-----------|
| H | Draft SSDA Drawings | BRT | 22.03.19 | MSK |
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| J | Draft RTS | BRT | 17.07.19 | MD |
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Project Name

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Project Address

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Sheet Name

EXTERNAL FINISHES SCHEDULE

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Project No.

18032

Drawing No.

60.01

Revision

K

Date

31.07.19

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MP

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1

3



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| SCHEDULE OF CHANGES | | | |
|--------------------------------|-----------|--|---|
| LEVEL/ DRAWING NO. | CLOUD NO. | CHANGE DESCRIPTION | CORRESPONDING EU RESPONSE SCHEDULE NO. |
| BASEMENT/ 10.00 | 1 | <ul style="list-style-type: none">WSU space reconfigureredAmphitheater steps reorientatedShuttle lift added | - |
| | 2 | <ul style="list-style-type: none">Parking Schedule Updated | - |
| GROUND FLOOR/ 10.01 | 3 | <ul style="list-style-type: none">Note added to refer to Landscape drawings for shoreline strategy | CoP 2c |
| | 4 | <ul style="list-style-type: none">Bike parking racks relocatedExisting light pole added | CoP 2d, 2f |
| | 5 | <ul style="list-style-type: none">Note added for expansion joint to property line | CoP 2h |
| | 6 | <ul style="list-style-type: none">Finishes tag added to columns and paving for luminous contrast | CoP 3e |
| | 7 | <ul style="list-style-type: none">Retail RLs and Plaza RLs added to achieve flush threshold to retail entriesDimension added to Retail entry doorsDimension added for latch side clearance to DDA bathroomRationalised retail building form | CoP 3a, 3b, 3c |
| | | | CoP 3a, 3b, 3c |
| | 8 | <ul style="list-style-type: none">Revised Lancer Barracks steps for future proofing through site linkOutline of through site link ramp added with notes refering to Landscape drawings | CoP 2a |
| | 9 | <ul style="list-style-type: none">Amphitheater steps reorientatedShuttle lift added | - |
| | 10 | <ul style="list-style-type: none">Sloped lift lobby rationalisedSteps and platform lift added | - |
| LEVEL 01/ 10.02 | 12 | <ul style="list-style-type: none">Planter to retail roof revised to suit rationalised retail building form | - |
| | | | |
| LEVEL 10/ 10.07 | 13 | <ul style="list-style-type: none">Terrace door dimension addedThreshold detail tag added | CoP 4a, 4b |
| LEVEL 12/ 10.09 | 14 | <ul style="list-style-type: none">Terrace door dimension addedThreshold detail tag added | CoP 4a, 4b |
| LEVEL 19/ 10.12 ROOF/ 10.13 | 15 | <ul style="list-style-type: none">Rationalised cooling tower enclosure | - |
| RCP LEVEL 12 / 11.03 | 16 | <ul style="list-style-type: none">Ceiling Legend added to clarify ceiling and soffit finishes | - |

| LEVEL/ DRAWING NO. | CLOUD NO. | CHANGE DESCRIPTION | CORRESPONDING EU RESPONSE SCHEDULE NO. |
|--|-----------|---|---|
| SECTION A/ 20.00 SECTION B/ 20.01 NORTH ELEVATION/ 30.00 EAST ELEVATION/ 30.01 SOUTH ELEVATION/ 30.02 WEST ELEVATION/ 30.03 | 17 | <ul style="list-style-type: none">Lift over-run height adjusted | - |
| | 18 | <ul style="list-style-type: none">Floor to floor height adjusted to allow flush threshold access to L12 terrace | CoP 4a |
| | 19 | <ul style="list-style-type: none">Façade finishes schedule updated | - |
| | 20 | <ul style="list-style-type: none">Building height rationalised | - |
| | 21 | <ul style="list-style-type: none">Proposed height of cooling tower enclosure | - |
| | 22 | <ul style="list-style-type: none">Core finishes changed from off-form concrete to precast concrete panels | - |
| TYPICAL TERRACE DOOR DETAILS / 52.05 | 23 | <ul style="list-style-type: none">Horizontal louvre for general exhaust added | - |
| | 24 | <ul style="list-style-type: none">Threshold details added | CoP 4a |
| EXTERNAL FINISHES SCHEDULE/ 60.01 | 25 | <ul style="list-style-type: none">See Cloud No. 22 | - |

| Rev | Description | Consultant | Date | Issued by |
|-----|-----------------------|------------|----------|-----------|
| A | Issue for Jury Review | BRT | 31.07.19 | MD |



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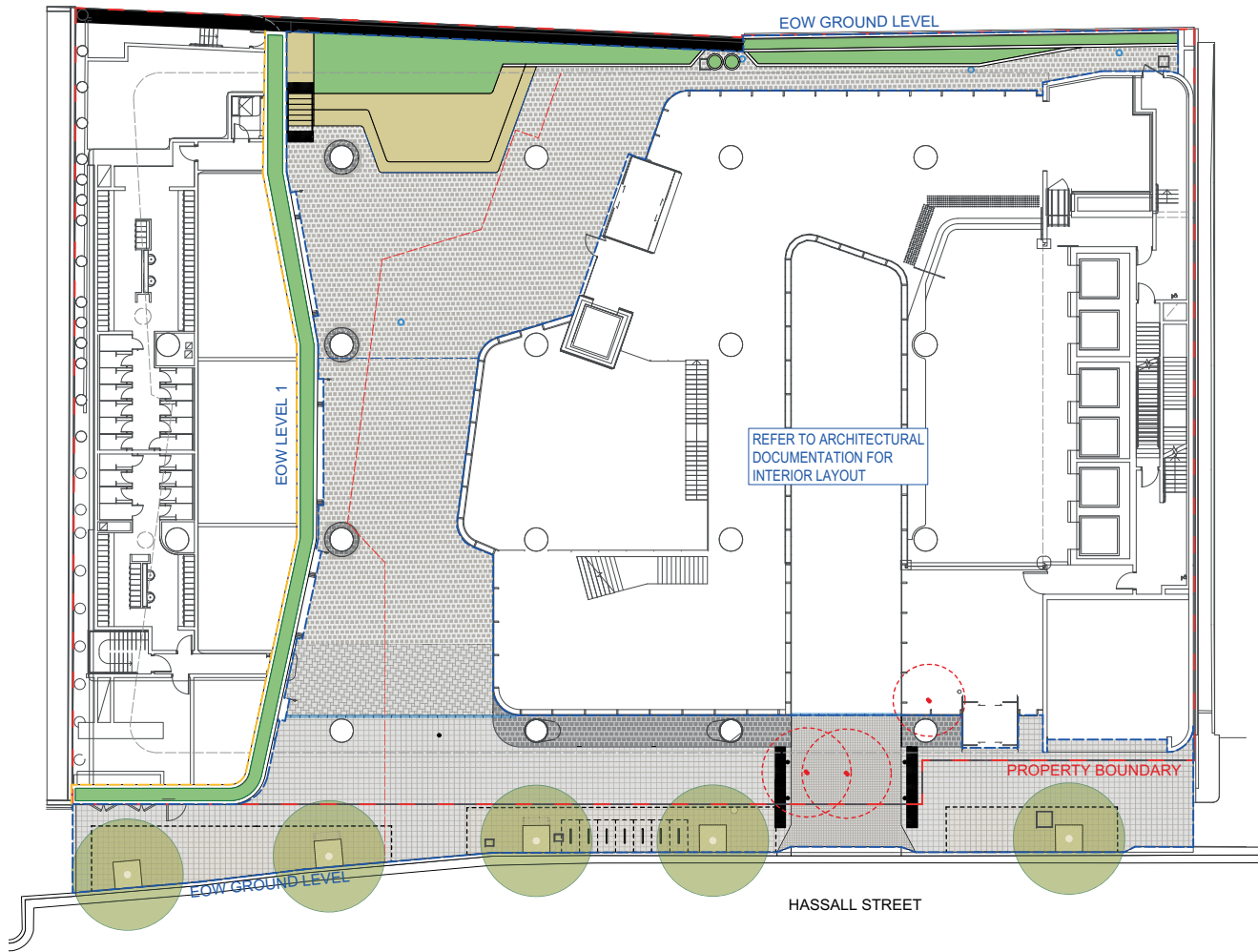
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SCHEDULE OF CHANGES
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| | | |
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| Project No. 18032 Drawing No. 90.00 Revision A | Date 31.07.19 Drawn by MD Checked by YC | 1 : 100 |
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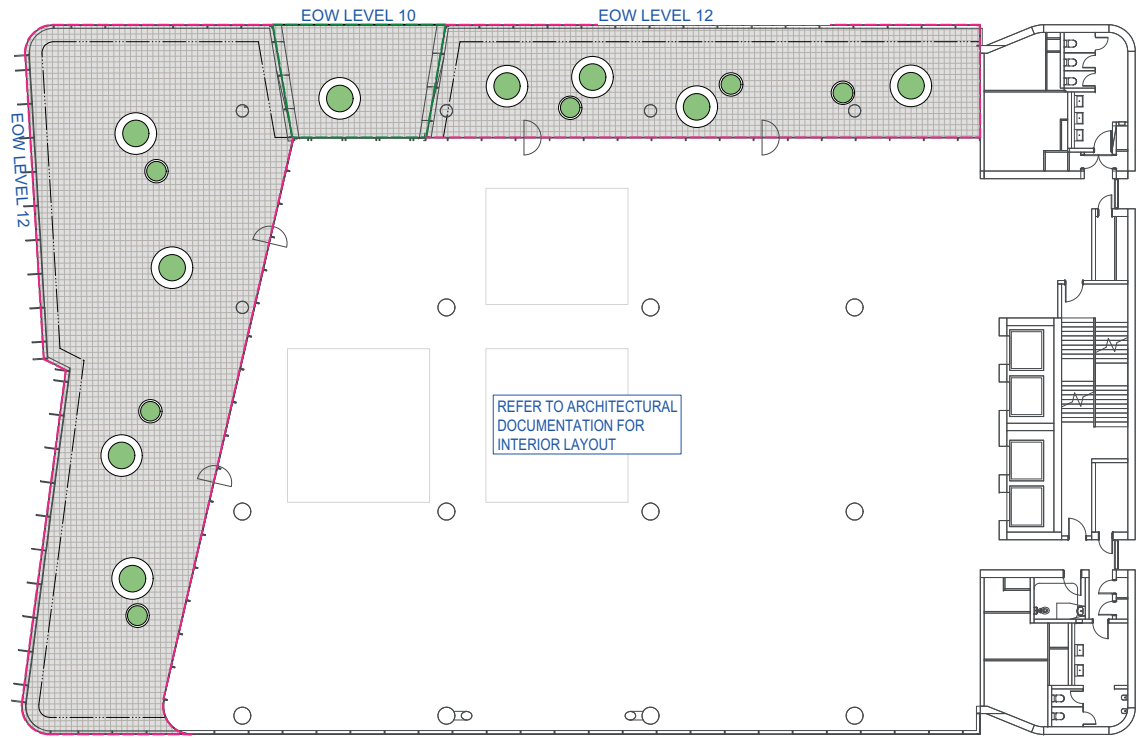
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APPENDIX: RtS LANDSCAPE DRAWINGS

| DOCUMENT LIST | |
|----------------|---|
| DRAWING NUMBER | DRAWING TITLE |
| 6HS-ASP-L01.01 | COVER SHEET & GENERAL ARRANGEMENT PLANS |
| 6HS-ASP-L01.02 | LEGEND |
| 6HS-ASP-L01.03 | REFERENCE PLANS |
| 6HS-ASP-L01.04 | GROUND LEVEL PLANS |
| 6HS-ASP-L01.05 | GROUND LEVEL PLANS |
| 6HS-ASP-L01.06 | UPPER LEVELS PLANS |
| 6HS-ASP-L01.07 | DETAILS |
| 6HS-ASP-L01.08 | DETAILS |
| 6HS-ASP-L01.09 | DETAILS |



1 GROUND LEVEL GENERAL ARRANGEMENT PLAN
1:200



2 LEVEL 10 & 12 GENERAL ARRANGEMENT PLAN
1:200

WARNING

DIAL BEFORE YOU DIG
Services shown on this drawing are approximate only. The exact location is to be confirmed on site by contractor prior to commencement of work.

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These drawings shall be read in conjunction with any Engineers, Architects or other consultant information (not limited to drawings, legends, schedules, specifications). Check all dimensions and site conditions prior to commencement of any work or procurement or fabrication of any services, materials, fittings or equipment.

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NOTES / KEY PLAN

DATE REV AMENDMENTS

| | | |
|---------|---|--|
| 5/17/19 | A | ISSUED FOR CONSULTANTS REVIEW - DRAFT TENDER |
| 5/27/19 | B | ISSUED FOR 100% TENDER |
| 6/6/19 | C | ISSUED FOR 100% TENDER - UPDATED |
| 30/7/19 | D | ISSUED FOR 100% TENDER |

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www.aspect-studios.com
sydney@aspect-studios.com
ABN 11 120 219 551

PROJECT
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2B - 6 Hassall Street Parramatta, NSW 2150

CLIENT

Charter Hall

WESTERN SYDNEY UNIVERSITY

S19003

NORTH

SCALE A1 | SCALE A3

1:200 1:400

0 5 10 15M

Do not scale - use dimensions & callouts on drawings & schedules. Refer discrepancies to Landscape Architect for clarification.

STATUS

Project Phase

FOR TENDER

NOT FOR CONSTRUCTION

DRAWN

GH

CHECKED

HBJ/NB

DRAWING NO.

6HS-ASP-L01.01

D

REVISION

X0000005_PRODUCTION/01_Phase/01_CAD/Package Files

LEGEND

GENERAL

- EXTENT OF WORK BOUNDARY | GROUND FLOOR LEVEL
- EXTENT OF WORK BOUNDARY | LEVEL 1
- EXTENT OF WORK BOUNDARY | LEVEL 10
- EXTENT OF WORK BOUNDARY | LEVEL 12
- PROPERTY BOUNDARY (BY ARCHITECT)

MATERIALS & FINISHES - PAVEMENTS

REFER TO CIVIL ENGINEER'S DOCUMENTATION FOR ALL SUB BASE DETAILS

- PV1 PAVING TYPE 1 | CoP PAVER ON SLAB
REFER TO LANDSCAPE SELECTIONS SCHEDULE
REFER TO CIVIL ENGINEER'S DOCUMENTATION FOR ALL SUB BASE DETAILS
- PV2 PAVING TYPE 2 | CoP PAVER ON SLAB
REFER TO LANDSCAPE SELECTIONS SCHEDULE
REFER TO CIVIL ENGINEER'S DOCUMENTATION FOR ALL SUB BASE DETAILS
- PV3 PAVING TYPE 3 | GRANITE STONE ON SLAB
REFER TO ARCHITECT'S DOCUMENTATION
REFER TO CIVIL ENGINEER'S DOCUMENTATION FOR ALL SUB BASE DETAILS
- PV4 PAVING TYPE 4 | COBBLESTONE ON SLAB
REFER TO ARCHITECT'S DOCUMENTATION

FURNITURE & FIXTURES

REFER TO CIVIL ENGINEER'S DOCUMENTATION FOR ALL SUB BASE DETAILS

- EX.LP EXISTING LIGHT POLE RETAINED
REFER TO ELECTRICAL ENGINEER
- TI TACTILE INDICATORS
REFER TO LANDSCAPE SELECTIONS SCHEDULE
- TG1 TREE GRATE TYPE 1 | CoP TREE GRATE
REFER TO LANDSCAPE SELECTIONS SCHEDULE
- BR CoP BIKE RACKS
REFER TO LANDSCAPE SELECTIONS SCHEDULE
- BO1 CoP BOLLARDS | FIXED
REFER TO LANDSCAPE SELECTIONS SCHEDULE
- BO2 CoP BOLLARDS | REMOVABLE
REFER TO LANDSCAPE SELECTIONS SCHEDULE
- BE CoP SEAT
REFER TO LANDSCAPE SELECTIONS SCHEDULE
- PL REMOVABLE PLANTER
REFER TO LANDSCAPE SELECTIONS SCHEDULE
- HR HANDRAILS
REFER TO LANDSCAPE SELECTIONS SCHEDULE
- TD TIMBER DECK
REFER TO LANDSCAPE SELECTIONS SCHEDULE

WALLS & EDGES

REFER TO CIVIL ENGINEER'S DOCUMENTATION FOR ALL SUB BASE DETAILS

- W1 WALL TYPE 1 | INSITU CONCRETE WALL
REFER TO LANDSCAPE SELECTIONS SCHEDULE
- ST STAIR TO TIMBER DECK

MATERIALS & FINISHES - SOFTWORKS

- SW1 SOFTWORKS 1 | MASS PLANTING
- EXISTING TREE TO BE REMOVED
- PROPOSED SCREEN PLANTING
- PROPOSED STREET TREE PLANTING
- SS STRUCTURAL SOIL TO STREET TREE PLANTING
REFER TO LANDSCAPE SPECIFICATION

LEVELS & GRADING

REFER TO CIVIL ENGINEER'S DOCUMENTATION FOR DETAILS

- PROPOSED LANDSCAPE LEVEL
- PROPOSED TOP OF WALL LEVEL
- PROPOSED BOTTOM OF WALL LEVEL
- PROPOSED TOP OF STAIR LEVEL
- PROPOSED BOTTOM OF STAIR LEVEL
- EXISTING LEVEL
REFER TO ENGINEER'S DRAWINGS - TO BE CONFIRMED ON SITE
- PROPOSED TOP OF DECK LEVEL
- PROPOSED BOTTOM OF DECK LEVEL
- FINISHED FLOOR LEVEL
REFER TO ARCHITECT'S DRAWINGS
- PROPOSED GRADE
REFER TO ENGINEER'S DRAWINGS - TO BE CONFIRMED ON SITE
- INDICATIVE EXTENT OF EGRESS PATH
REFER TO ENGINEER'S DRAWINGS

CIVIL & EXISTING SERVICES

REFER TO CIVIL ENGINEER'S DOCUMENTATION FOR DETAILS

- PROPOSED STRIP DRAIN | GROUND FLOOR
REFER TO ENGINEER'S DOCUMENTATION FOR DETAILS
- PROPOSED RAINWATER OUTLETS | GROUND FLOOR
REFER TO ENGINEER'S DOCUMENTATION FOR DETAILS
- EXISTING PIT COVER
REFER TO ENGINEER'S DOCUMENTATION FOR DETAILS
- EXISTING SIGN POST
REFER TO ENGINEER'S DOCUMENTATION FOR DETAILS
- EXPANSION JOINT
REFER TO ENGINEER'S DOCUMENTATION FOR DETAILS

WARNING

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NOTES / KEY PLAN

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| 5/27/19 | B | ISSUED FOR 100% TENDER |
| 6/6/19 | C | ISSUED FOR 100% TENDER - UPDATED |
| 30/7/19 | D | ISSUED FOR 100% TENDER |

CONSULTANTS

| | |
|--|---|
| ARCHITECTS 2 Foveaux St Sunny Hill, NSW 2010 T 02 9319 3744 | ENGINEERS L11151 Castlereagh St Sydney, NSW 2000 T 02 8246 3200 |
| ARCHITECTS L2381 Creek St Brisbane, QLD 4000 T 07 3955 6500 | ENGINEERS 455 Victoria Ave Cherrywood, NSW 2067 T 02 9415 4100 |
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CLIENT

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WESTERN SYDNEY UNIVERSITY

S19003

NORTH

STATUS

Project Phase
FOR TENDER

NOT FOR CONSTRUCTION

SCALE A1 | SCALE A3
VARIES AS SHOWN

Do not scale - use dimensions & callouts on drawings & schedules. Refer discrepancies to Landscape Architect for clarification.

DRAWN GH
CHECKED HBJ/NB

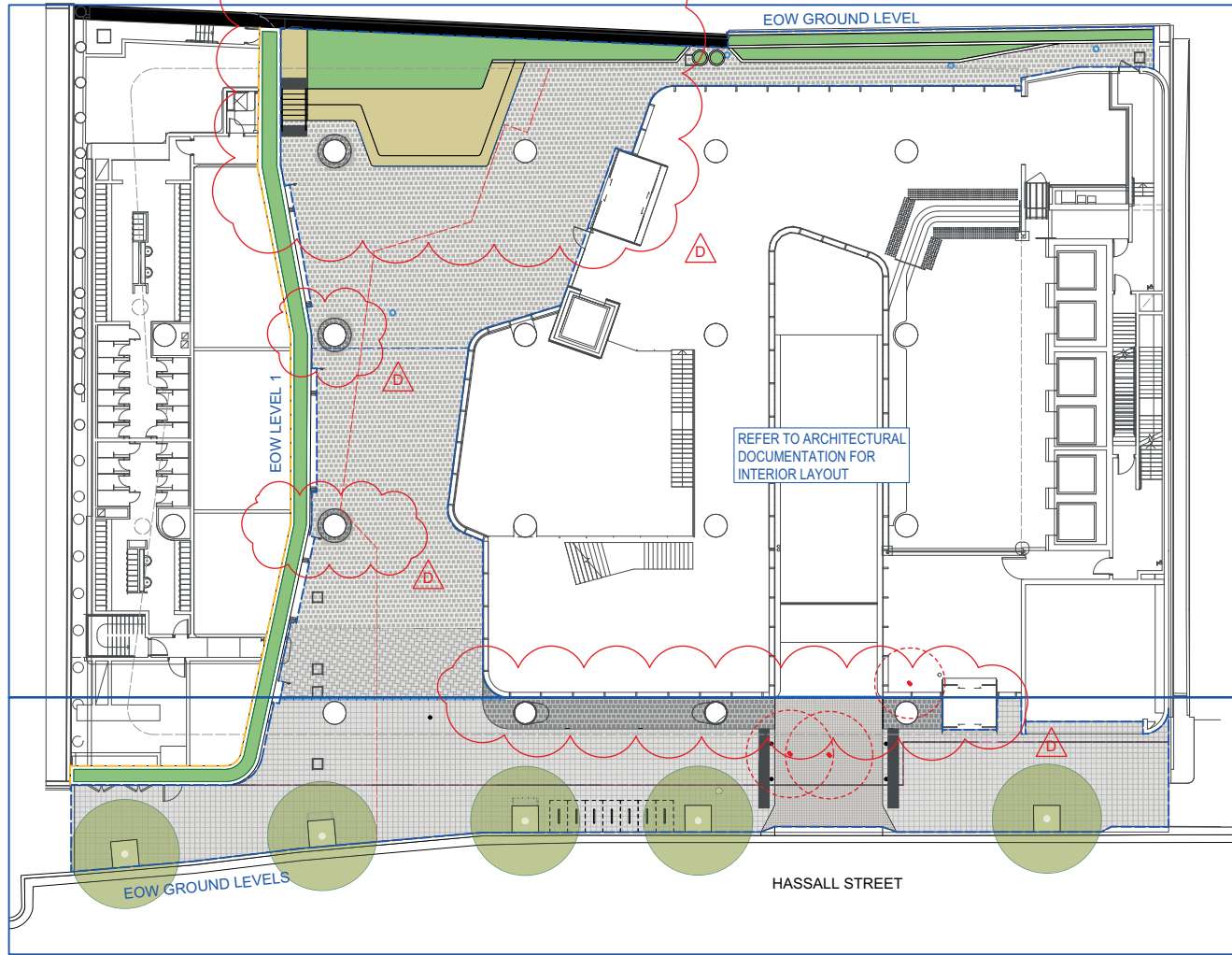
DRAWING
LEGEND

DRAWING NO.

6HS-ASP-L01.02 D

REVISION

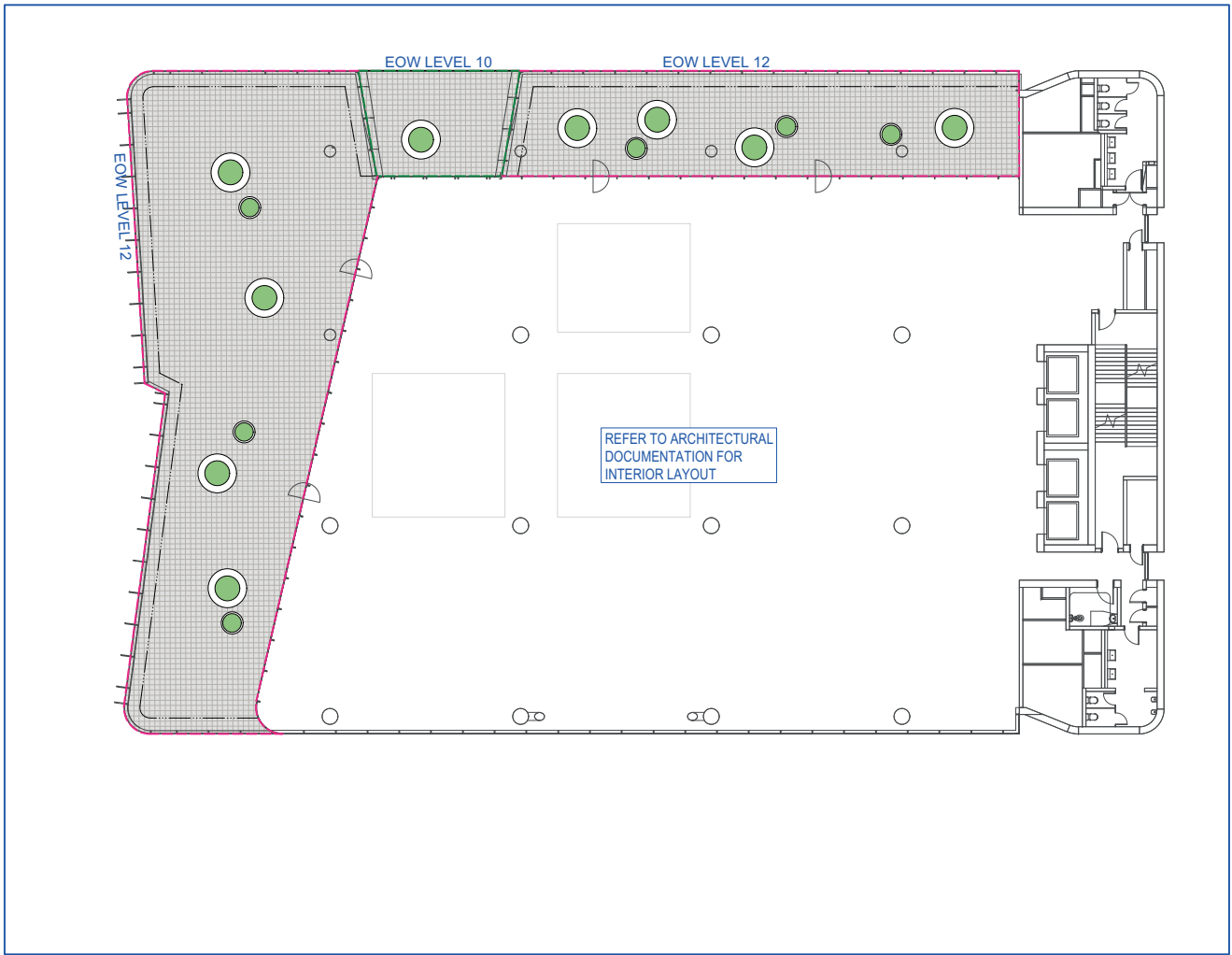
REFER TO 6HS-ASP-L01.05 FOR
GROUND FLOOR & LEVEL 1 PLANS



REFER TO 6HS-ASP-L01.04
FOR PUBLIC DOMAIN PLANS

1 GROUND LEVEL REFERENCE PLAN
1:200

REFER TO 6HS-ASP-L01.06 FOR
LEVEL 10 & 12 PLANS



2 LEVEL 10 & 12 REFERENCE PLAN
1:200

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| 30/7/19 | D | ISSUED FOR 100% TENDER |

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STATUS
Project Phase
FOR TENDER
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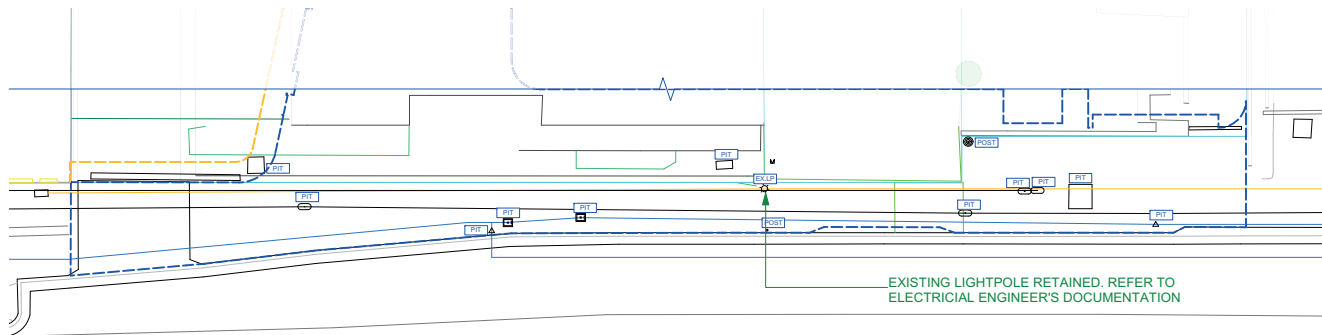
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Do not scale - use dimensions & callouts on drawings & schedules. Refer discrepancies to Landscape Architect for clarification.

DRAWING
REFERENCE PLAN

DRAWING NO.
6HS-ASP-L01.03 D

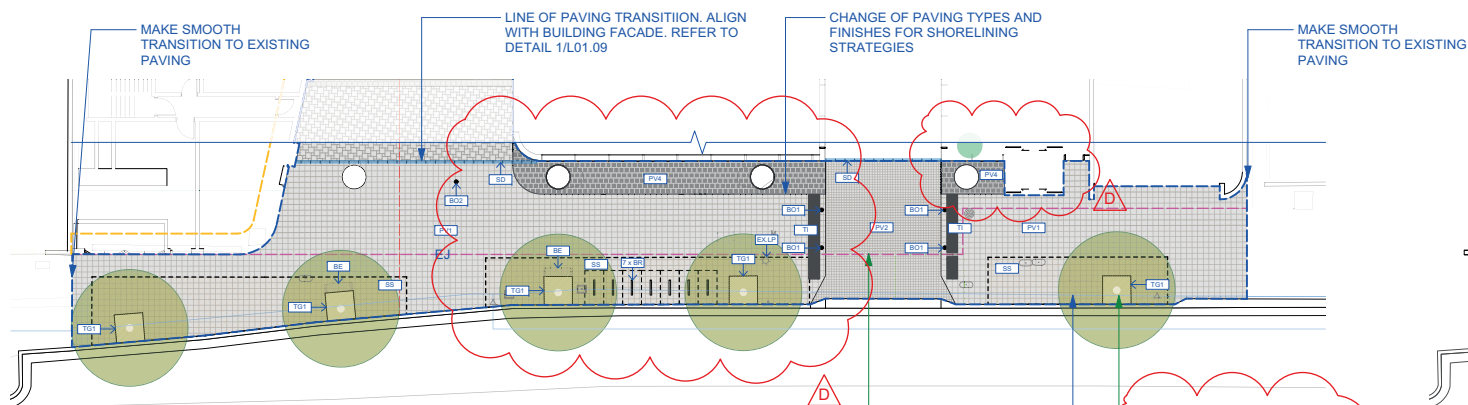
REVISION

X0000005_PRODUCTION01_Phase01_CADPackage Files

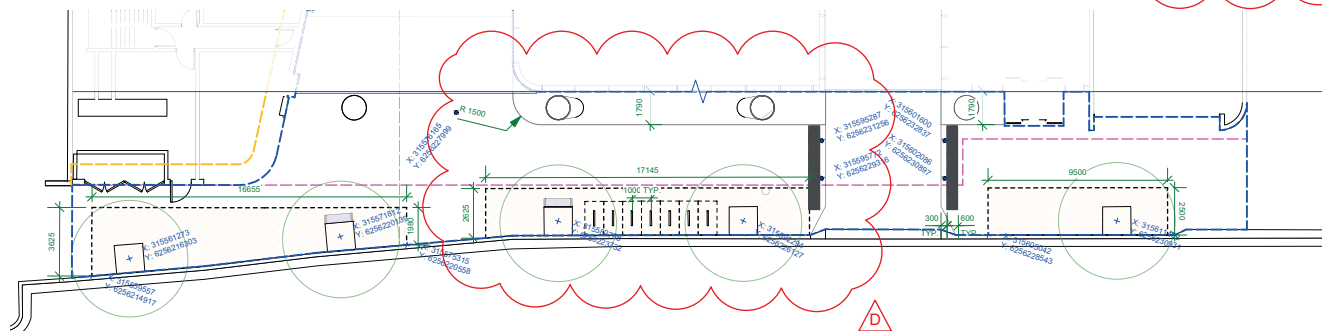


1 SERVICES PLAN - PD HASSALL STREET
1:200

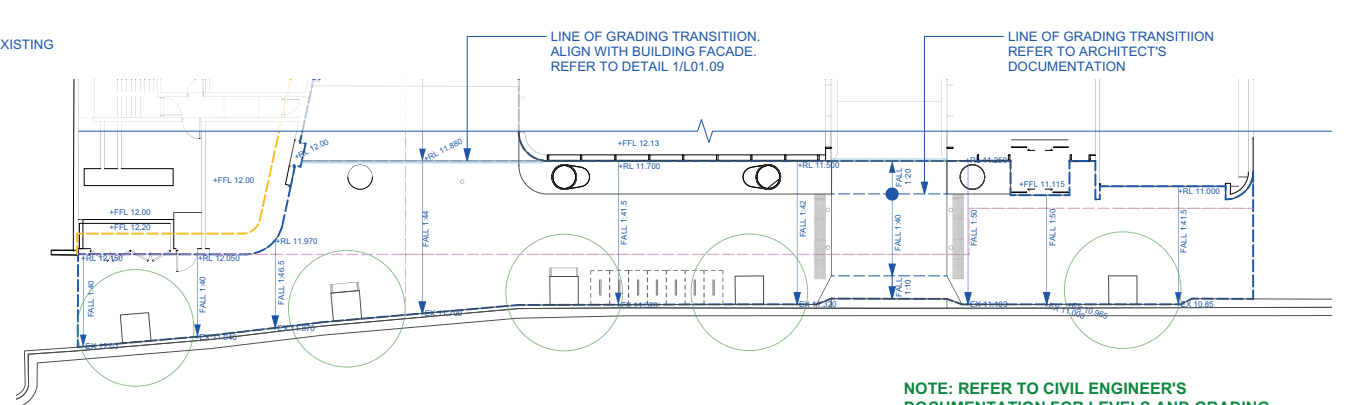
NOTE: ALL SERVICES AND PITS LOCATION TO BE
CONFIRMED ON SITE. REFER TO DOCUMENTATION BY
OTHERS.



2 MATERIALS & FINISHES AND FURNITURE PLAN - PD HASSALL STREET
1:200

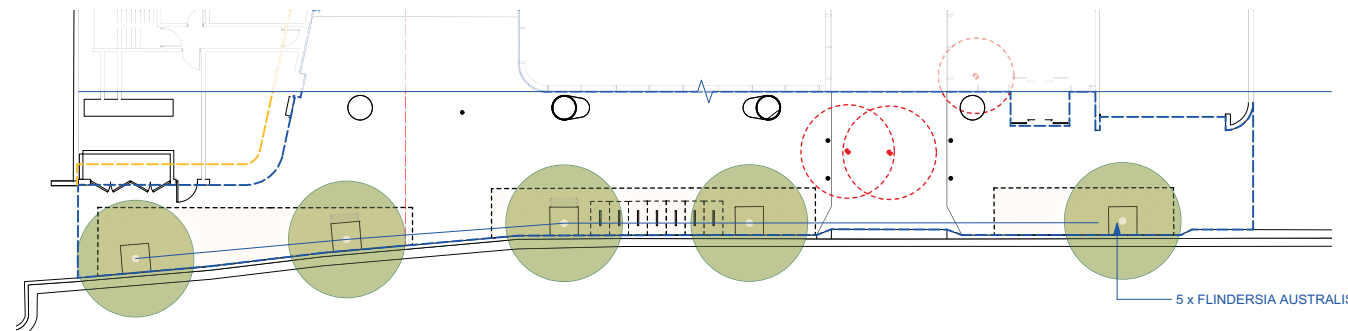


4 SETOUT PLAN - PD HASSALL STREET
1:200



3 GRADING PLAN - PD HASSALL STREET
1:200

NOTE: REFER TO CIVIL ENGINEER'S
DOCUMENTATION FOR LEVELS AND GRADING
DETAILS



5 PLANTING PLAN - PD HASSALL STREET
1:200

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CONSULTANTS

| | |
|---|---|
| ARCHITECTS Tzannes 2 Foveaux St Sunny Hill, NSW 2010 T 02 9319 3744 | ENGINEERS L17151 Castlereagh St Sydney, NSW 2000 T 02 8246 3200 |
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| PROJECT MANAGER SOLUTIONS CONSULTING L17151 Main Place Sydney, NSW 2000 T 0412 925 650 | CERTIFIER L17151 Main St Sydney, NSW 2000 T 02 9293 6555 |

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S19003

NORTH

SCALE A1 | SCALE A3
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STATUS
Project Phase
FOR TENDER

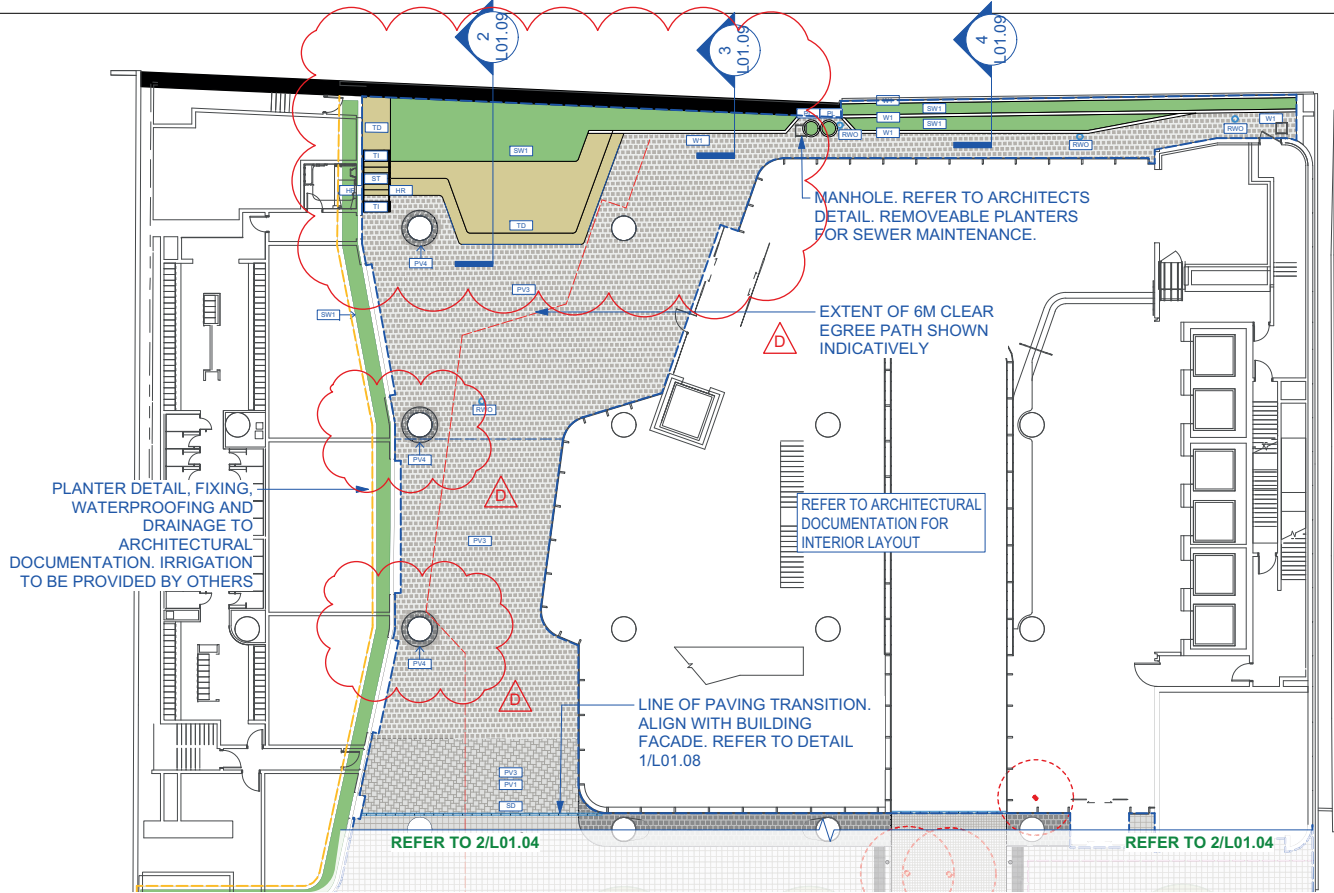
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PLANS
Hassall Street Public Domain

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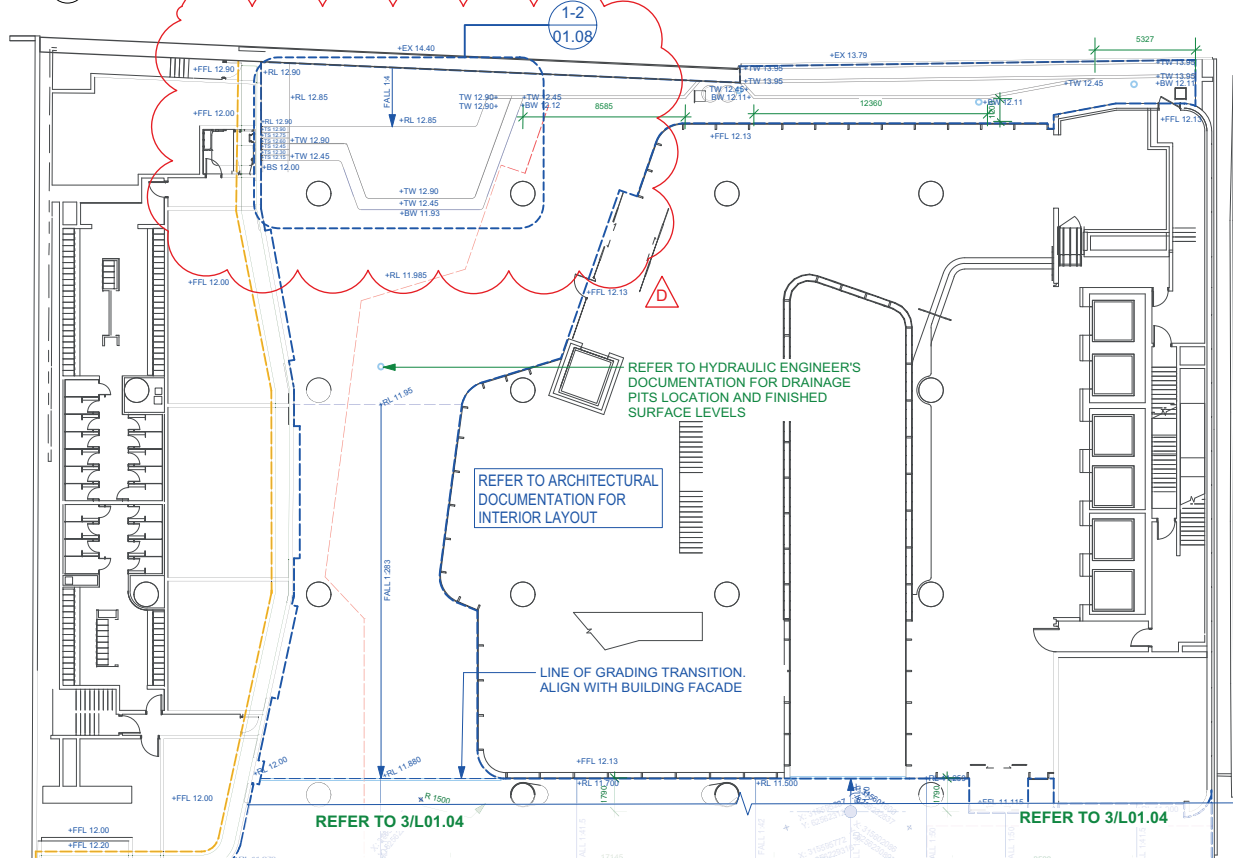
REVISION

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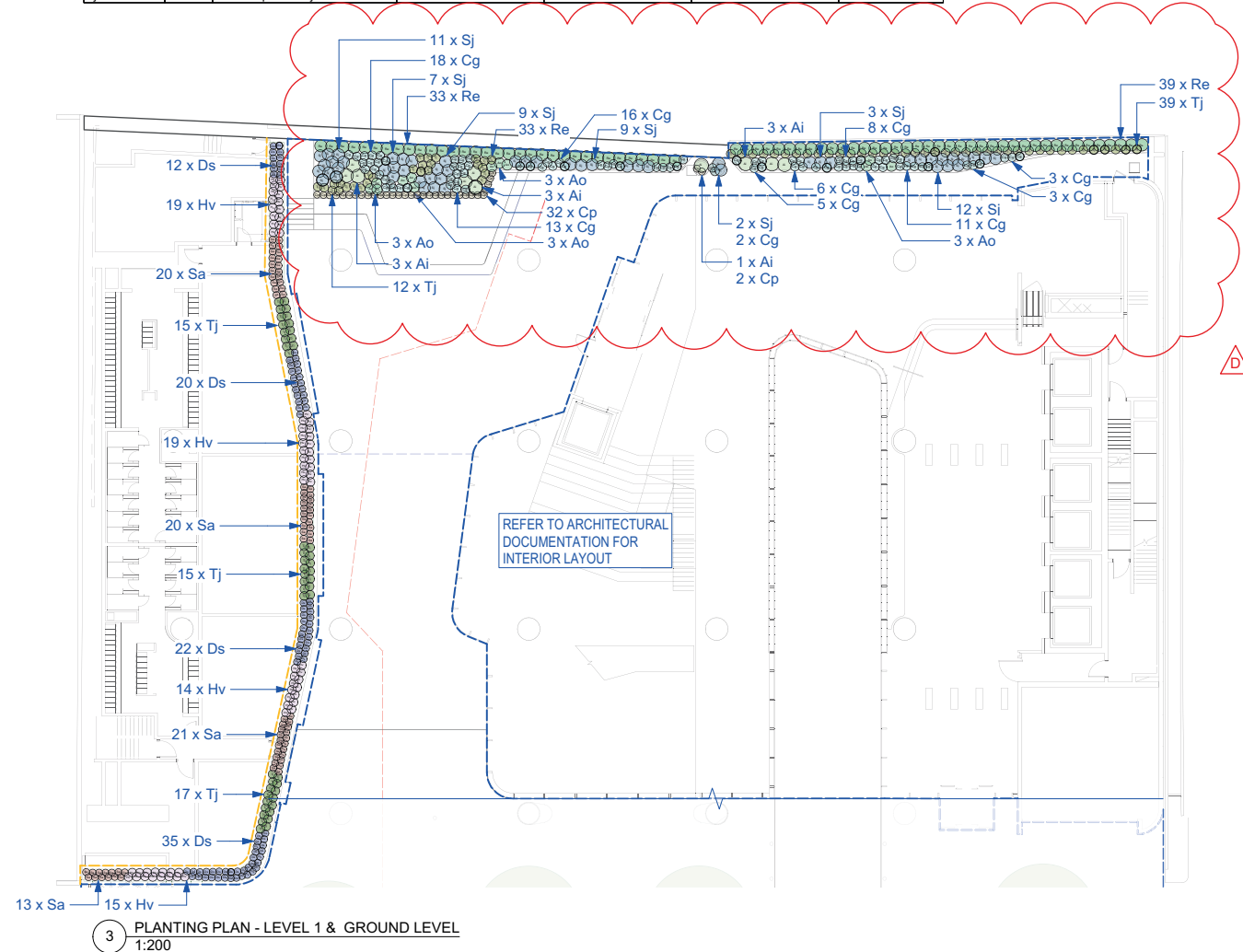


| Plant List | | | | | | |
|---------------------------|-----|-------------------------|------------------------|---------------|----------------|--------------|
| ID | QTY | BOTANICAL NAME | COMMON NAME | EXOTIC/NATIVE | SCHEDULED SIZE | SPACING (MM) |
| TREES | | | | | | |
| Fa | 5 | Flindersia australis | Australian Teak | Native | 400L | As Shown |
| GROUND FLOOR PLAZA | | | | | | |
| Ai | 10 | Alcantarea imperialis | Silver Plum Bromeliad | Exotic | 300ML | 800 |
| Ao | 12 | Alcantarea odorata | Fragrant Alcantarea | Exotic | 200ML | 500 |
| Cg | 85 | Carpobrotus glaucescens | Pig Face | Native | 200ML | 300 |
| Cp | 34 | Convolvulus pluricaulis | Shankhapushpi | Exotic | 200ML | 300 |
| Sj | 52 | Strelitzia juncea | Rush-leaved Strelitzia | Exotic | 200ML | 300 |
| Re | 72 | Rhapis excels | Lady Palm | Exotic | 300ML | 600 |
| Tj | 66 | Trachelium jasminioides | Star Jasmine | Exotic | 200ML | 500 |
| RETAIL GREEN ROOF | | | | | | |
| Ds | 89 | Dicentra 'Silver Falls' | Silver Falls | Exotic | 200ML | 400 |
| Hv | 64 | Hardenbergia violacea | Native Sarsparella | Native | 150ML | 500 |
| Sa | 74 | Scaevola aemula | Fan Flower | Native | 200ML | 400 |
| Tj | 47 | Trachelium jasminioides | Star Jasmine | Exotic | 200ML | 500 |

1 GENERAL ARRANGEMENT AND FURNITURE - GROUND LEVEL
1:200



2 SETOUT + GRADING & LEVELS - GROUND LEVEL
1:200



3 PLANTING PLAN - LEVEL 1 & GROUND LEVEL
1:200

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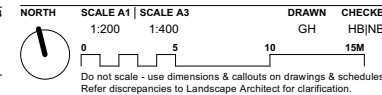
CONSULTANTS

| | | | | |
|--|---|---|--|---|
| ARCHITECTS Tzannes 2 Foveaux St Sydney, NSW 2010 T 02 9319 3744 | ARCHITECTS BlightRayner 12401 Creek St Brisbane, QLD 4000 T 07 3855 6500 | ENGINEERS L17151 Castlereagh St Sydney, NSW 2000 T 02 8246 3000 | ENGINEERS 485 Victoria Ave Cherrywood, NSW 2087 T 02 9415 4100 | CERTIFIER L171456 Kent St Sydney, NSW 2000 T 02 9283 6555 |
|--|---|---|--|---|

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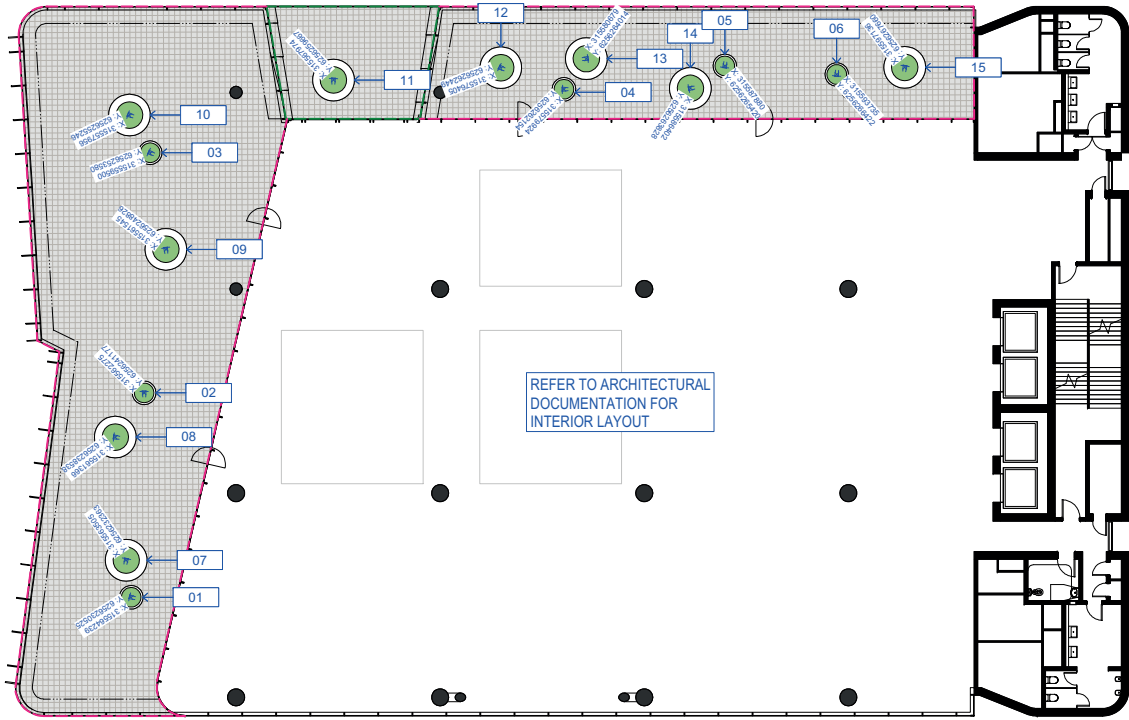
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Charter Hall
WESTERN SYDNEY UNIVERSITY



STATUS
Project Phase
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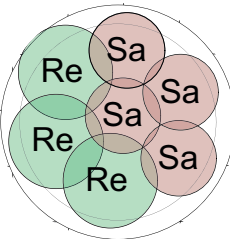
DRAWING
PLANS
Ground Level & Level 1

DRAWING NO.
6HS-ASP-L01.05 D
REVISION

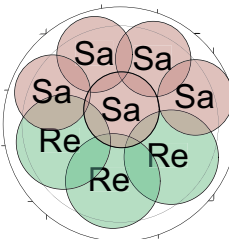


| Plant List | | | | | | |
|-----------------------------|-----|------------------------------------|--------------------|---------------|--------------------|---------|
| ID | QTY | BOTANICAL NAME | COMMON NAME | EXOTIC/NATIVE | SCHEDULED SIZE (L) | SPACING |
| LEVEL 10 & LEVEL 12 TERRACE | | | | | | |
| Ca | 34 | Chrysocephalum apiculatum | Yellow Buttons | Native | 5 | 400 |
| Hv | 12 | Hardenbergia violacea | Native Sarsparella | Native | 5 | 500 |
| Re | 38 | Russelia equisetiformis | Coral Plant | Exotic | 25 | 500 |
| Sg | 16 | Salvia guarantica 'Black and Blue' | Anise Scented Sage | Exotic | 25 | 600 |
| St | 46 | Sansevieria trifasciata | Snake Plant | Exotic | 25 | 400 |
| Sa | 17 | Scaevola aemula | Fan Flower | Exotic | 25 | 400 |

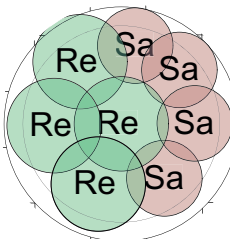
1 SETOUT & PLANTING PLAN - LEVEL 10 & 12
1:200



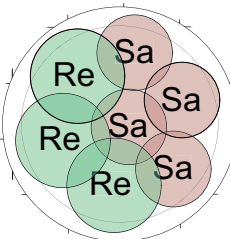
2 DETAIL PLANTING PLAN 1
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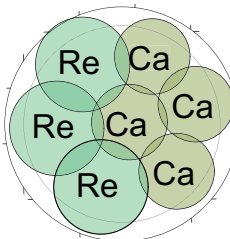
3 DETAIL PLANTING PLAN 2
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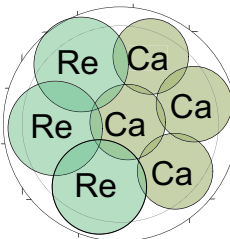
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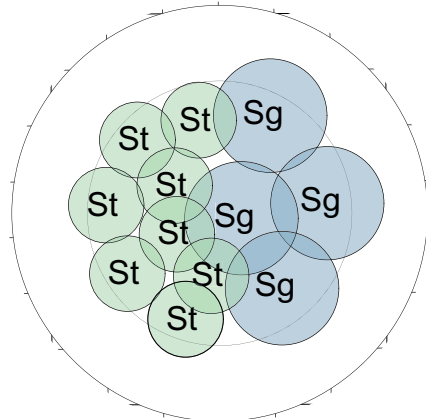
5 DETAIL PLANTING PLAN 4
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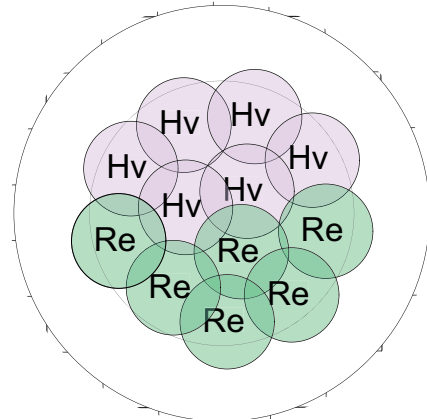
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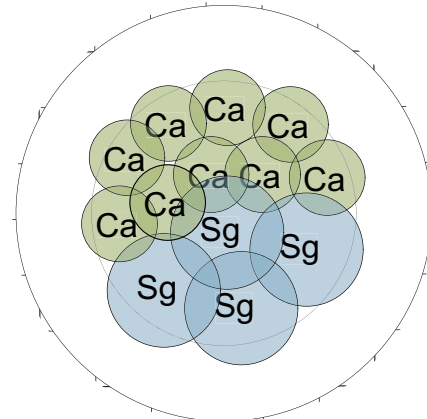
7 DETAIL PLANTING PLAN 6
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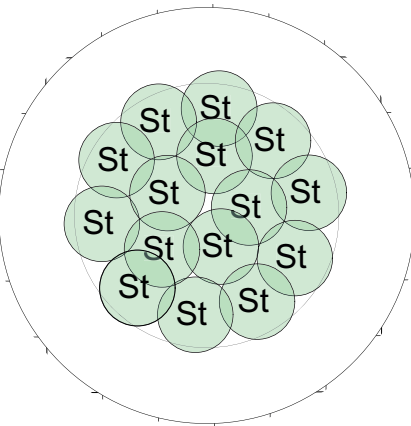
8 DETAIL PLANTING PLAN 7
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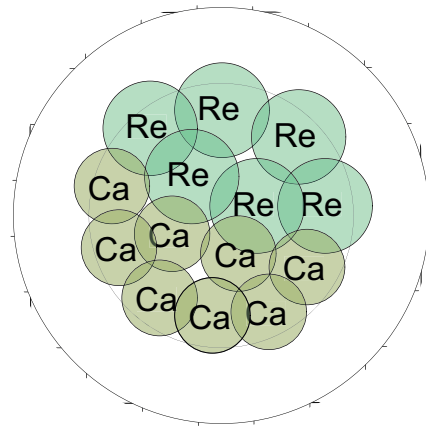
9 DETAIL PLANTING PLAN 8
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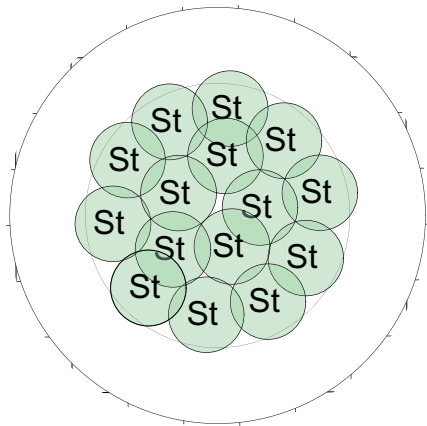
10 DETAIL PLANTING PLAN 9
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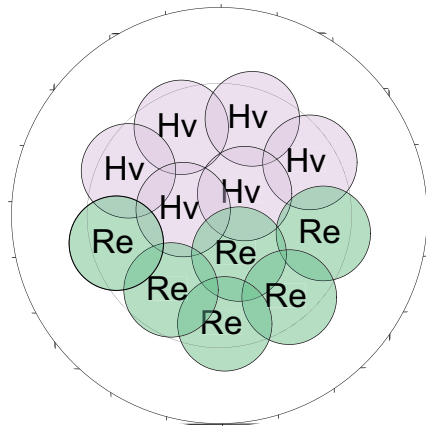
11 DETAIL PLANTING PLAN 10
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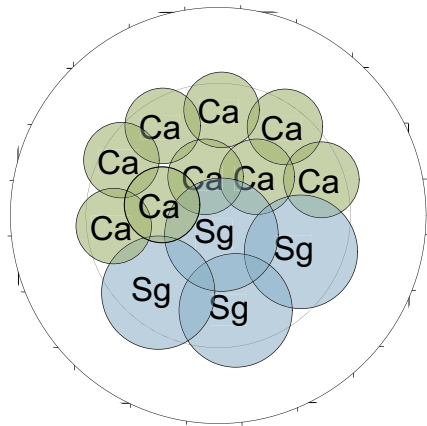
12 DETAIL PLANTING PLAN 11
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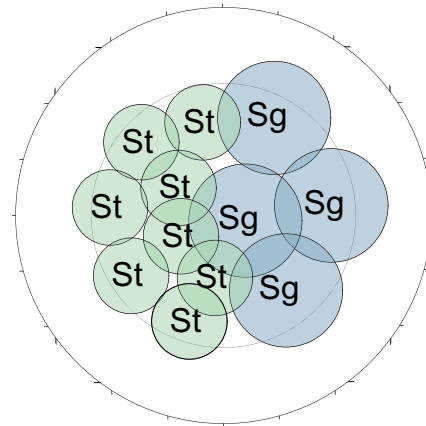
13 DETAIL PLANTING PLAN 12
1:20



14 DETAIL PLANTING PLAN 13
1:20



15 DETAIL PLANTING PLAN 14
1:20



18 DETAIL PLANTING PLAN 15
1:20

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S19003

NORTH

SCALE A1 | SCALE A3

1:200 1:400

0 5 10 15M

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DRAWN GH

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STATUS

Project Phase

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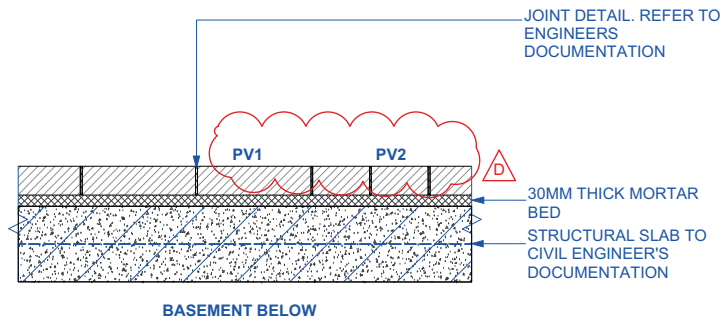
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DRAWING
SETOUT AND PLANTING
Level 10 & 12

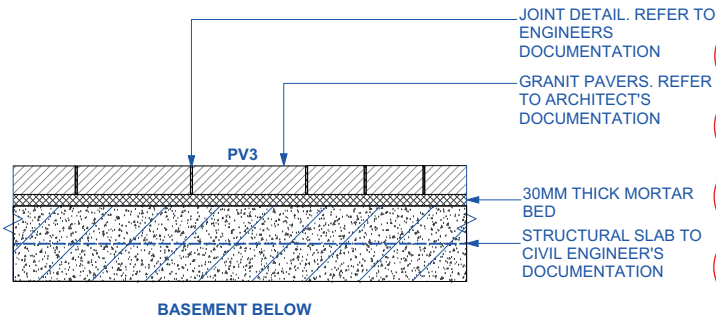
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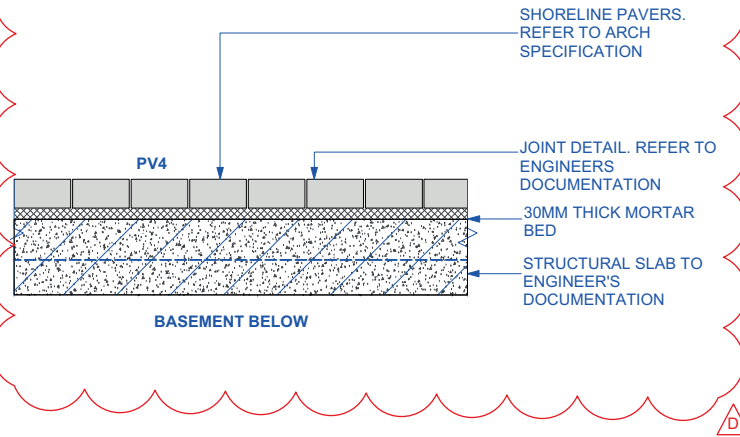
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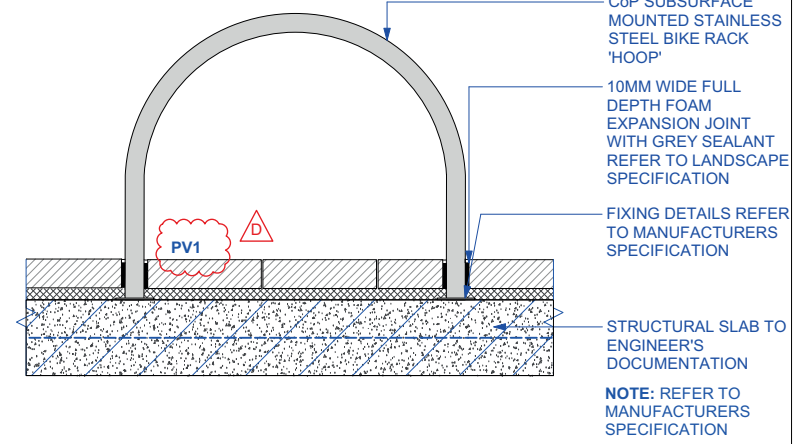
1 PAVING TYPE 1&2 | CoP PD CONCRETE UNIT PAVER - ON SLAB SECTION
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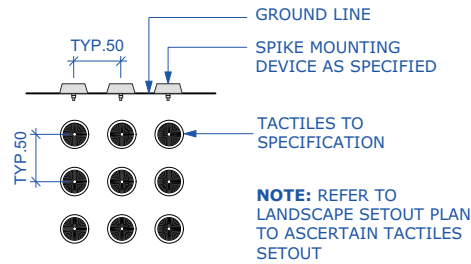
2 PAVING TYPE 3 | PLAZA GRANITE UNIT PAVER - ON SLAB SECTION
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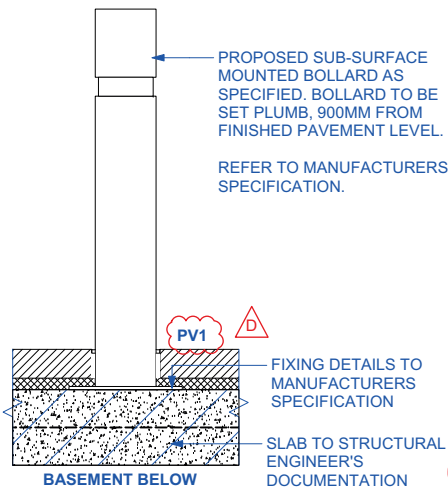
3 PAVING TYPE 4 | COBBLE STONE - SHORELINE SECTION
1:10



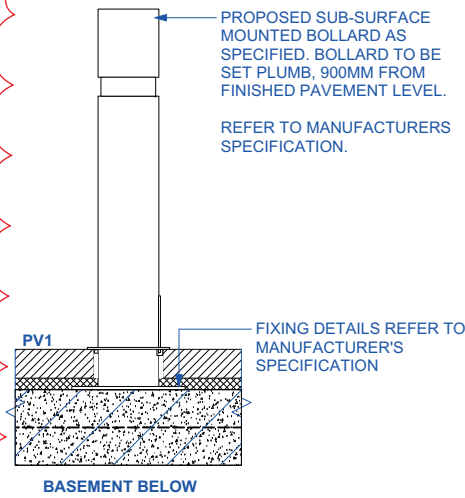
4 BR | CoP BIKE HOOP SECTION
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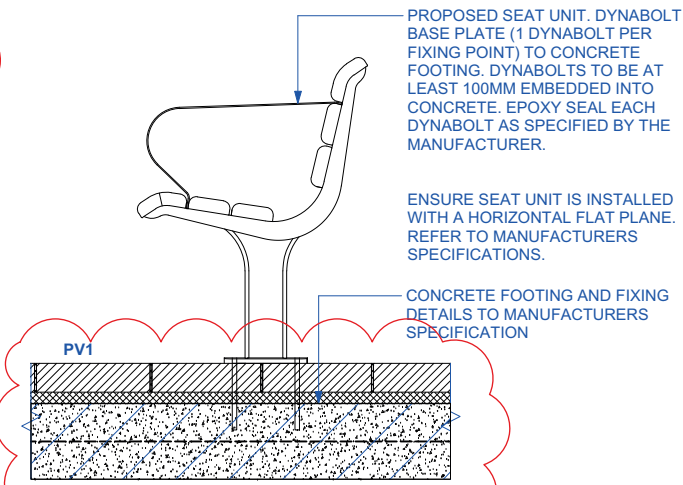
5 GROUND SURFACE TACTILE INDICATORS PLAN/SECTION
1:4



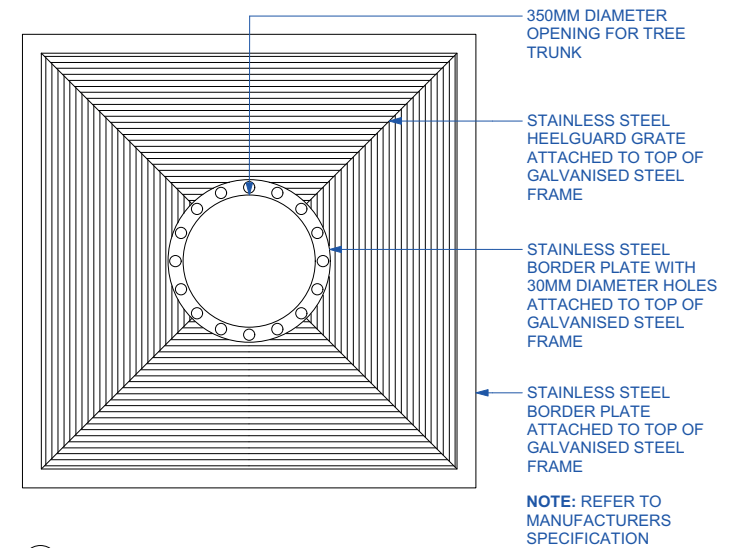
6 BO1 | FIXED CoP BOLLARD SECTION
1:10



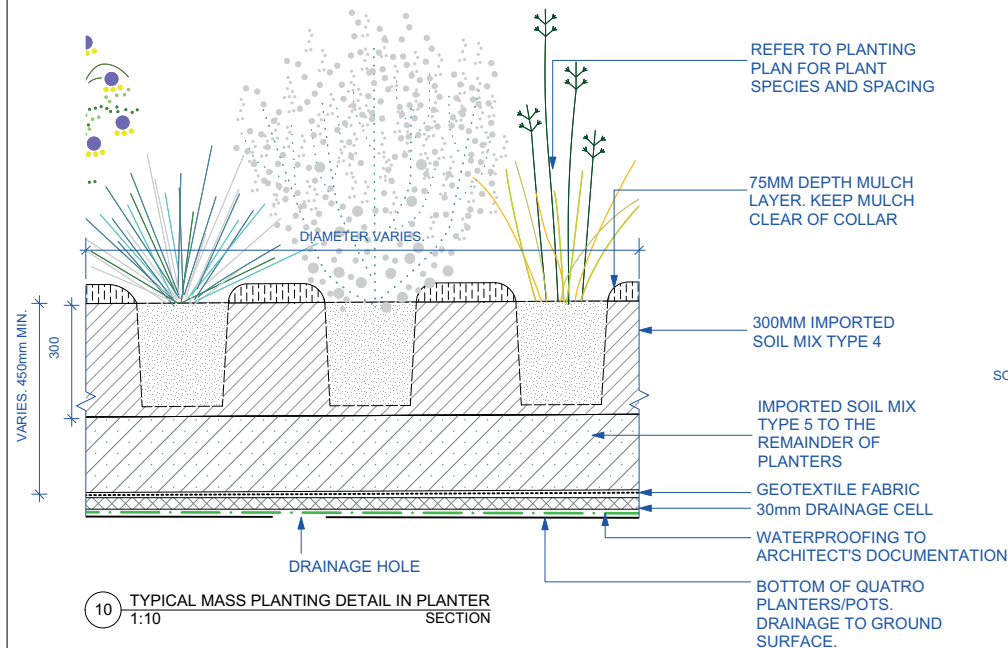
7 BO2 | REMOVABLE CoP BOLLARD SECTION
1:10



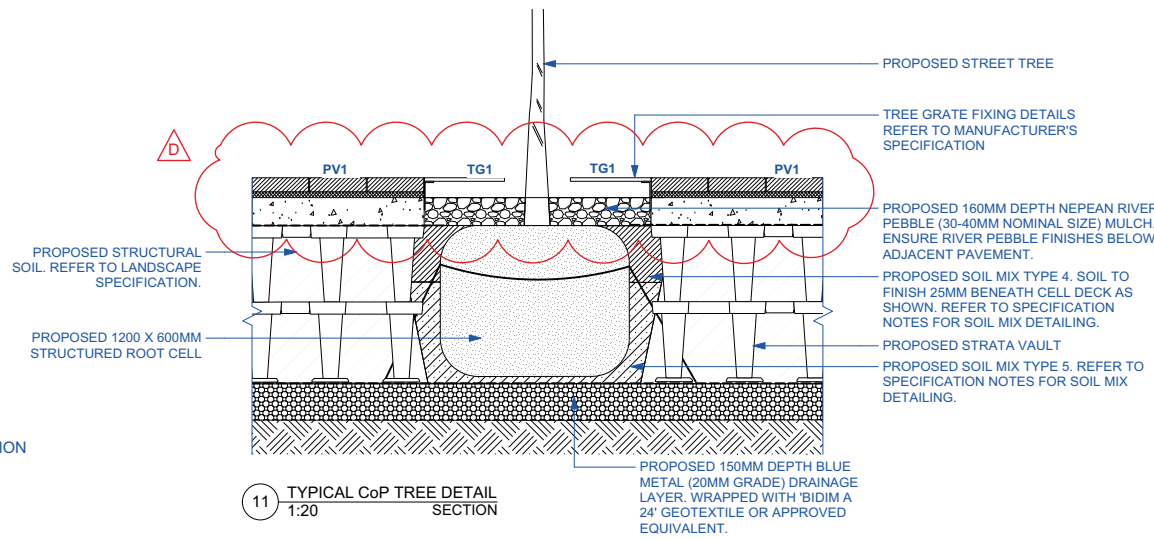
8 BE | CoP SEAT SECTION
1:10



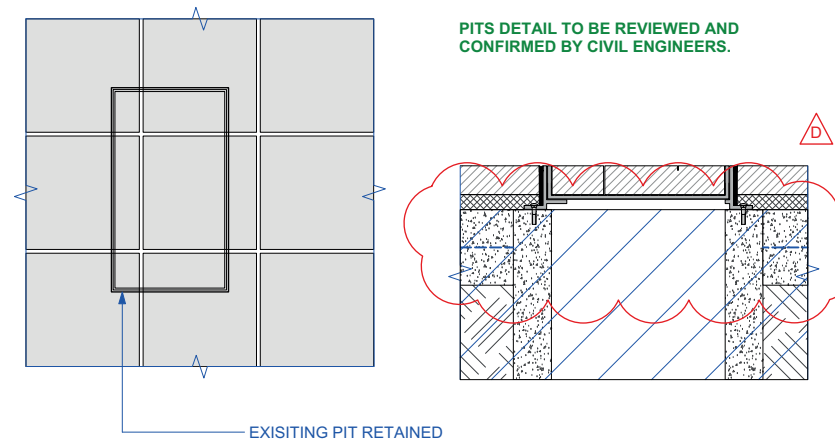
9 TG1 | CoP TREE GRATE PLAN
1:10



10 TYPICAL MASS PLANTING DETAIL IN PLANTER SECTION
1:10



11 TYPICAL CoP TREE DETAIL SECTION
1:20



12 TYPICAL PIT COVER WITH PAVER DETAIL PLAN & SECTION
1:10

WARNING

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NOTES / KEY PLAN

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NEW PAVING TO FINISH FLUSH WHERE INTERFACE TO EXISTING

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| 5/17/19 | A | ISSUED FOR CONSULTANTS REVIEW - DRAFT TENDER |
| 5/27/19 | B | ISSUED FOR 100% TENDER |
| 6/6/19 | C | ISSUED FOR 100% TENDER - UPDATED |
| 30/7/19 | D | ISSUED FOR 100% TENDER |

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CLIENT

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WESTERN SYDNEY UNIVERSITY

S19003

NORTH



SCALE A1 | SCALE A3
VARIES AS SHOWN

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STATUS
Project Phase
FOR TENDER

NOT FOR CONSTRUCTION

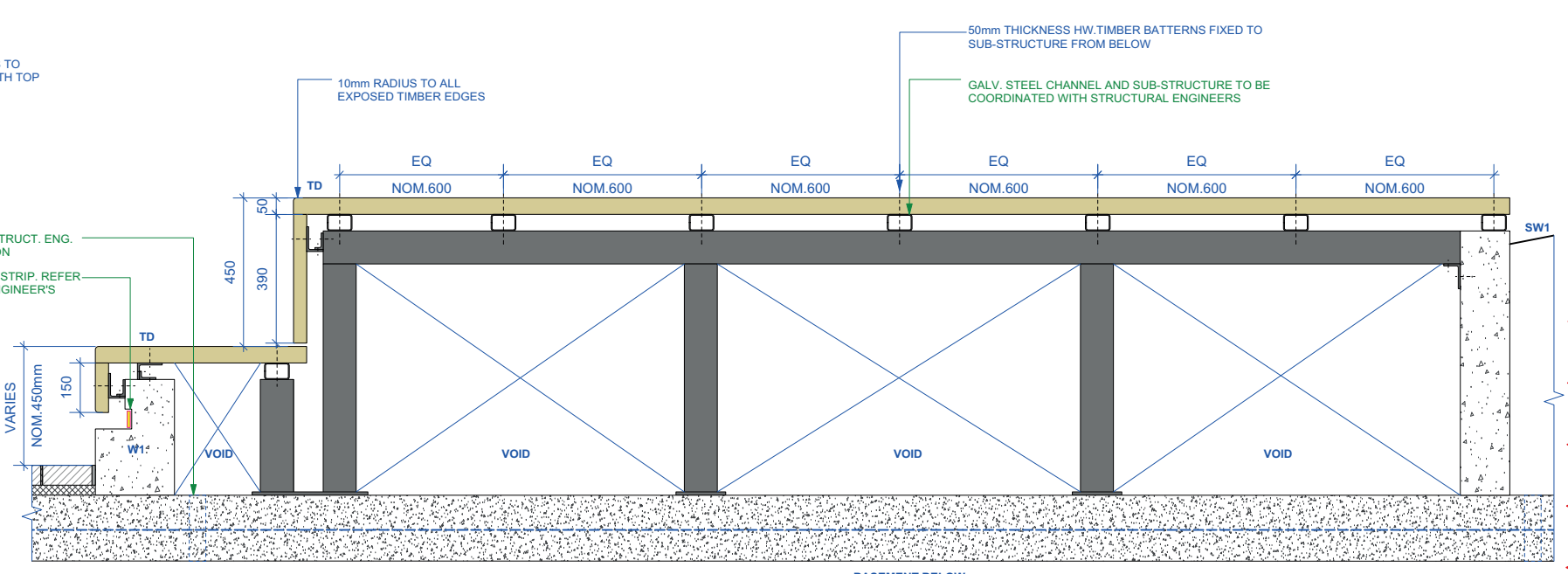
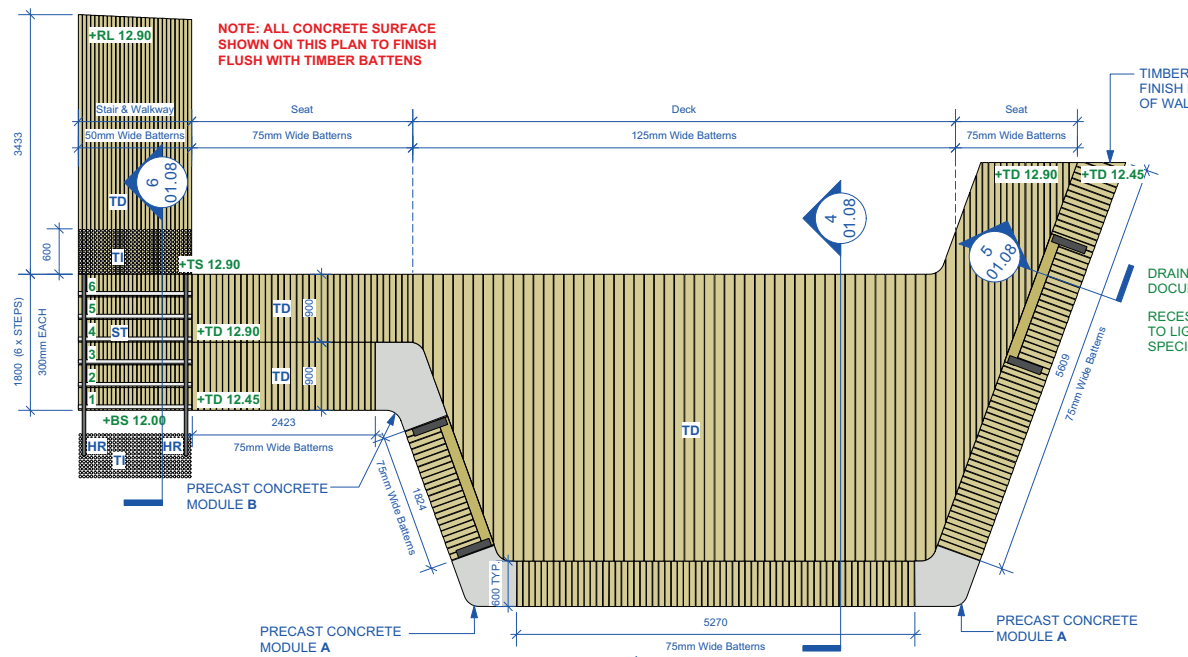
DRAWN
GH

CHECKED
HJ/NB

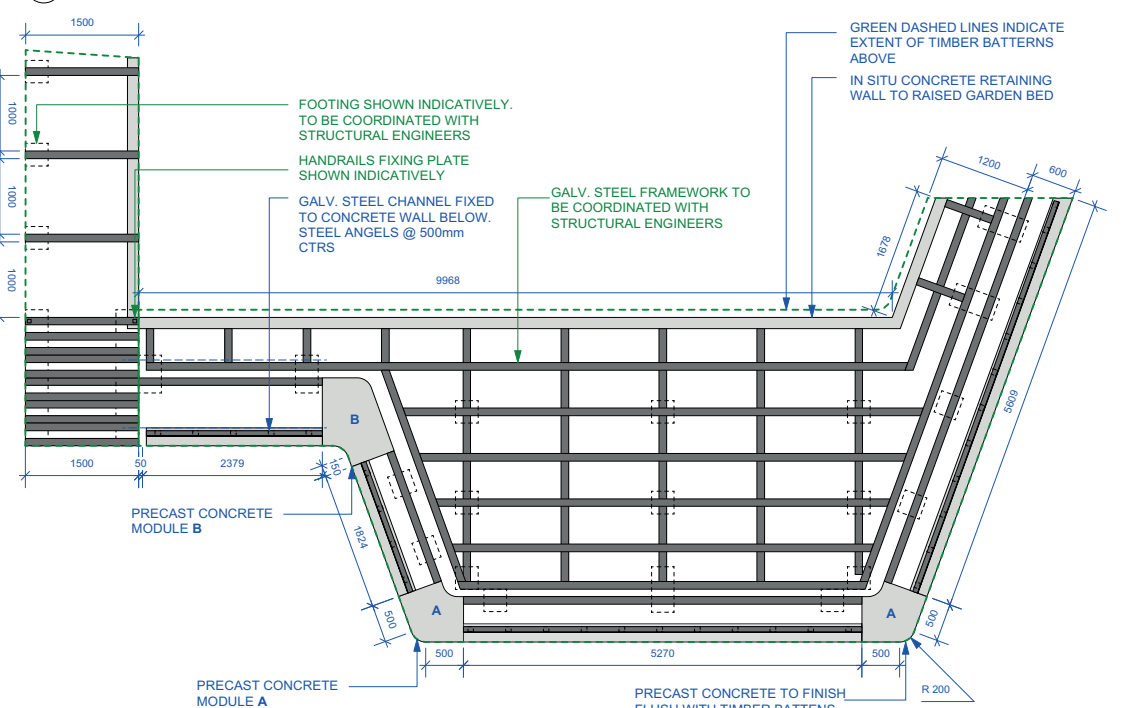
DRAWING
DETAILS
Hassall Street Public Domain

DRAWING NO.
6HS-ASP-L01.07 D

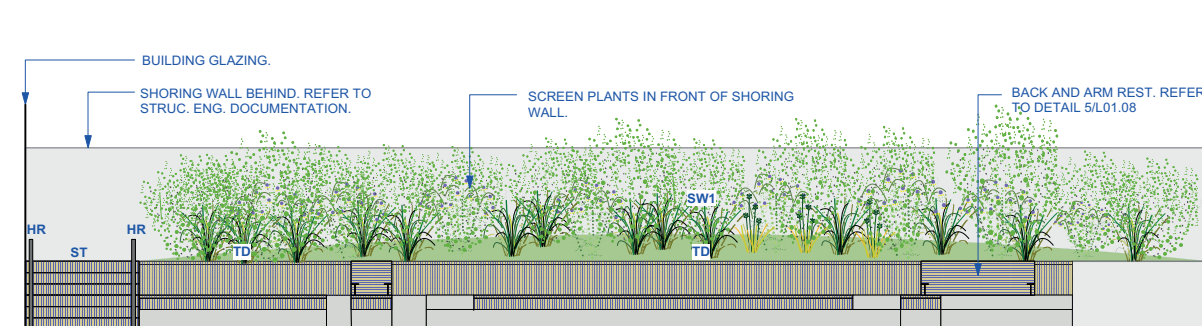
REVISION



1 TIMBER DECK | TIMBER BATTEN LAYOUT PLAN
1:50

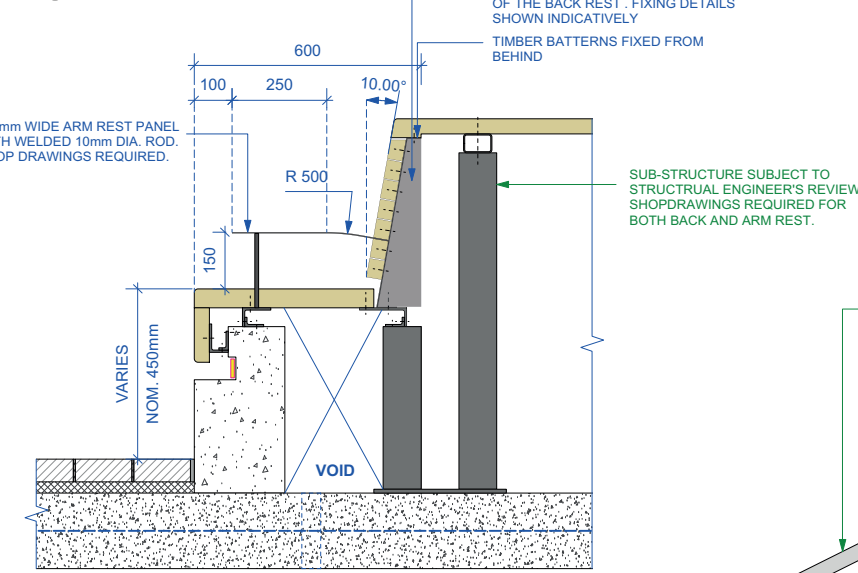


2 TIMBER DECK | SUB-STRUCTURE PLAN
1:50



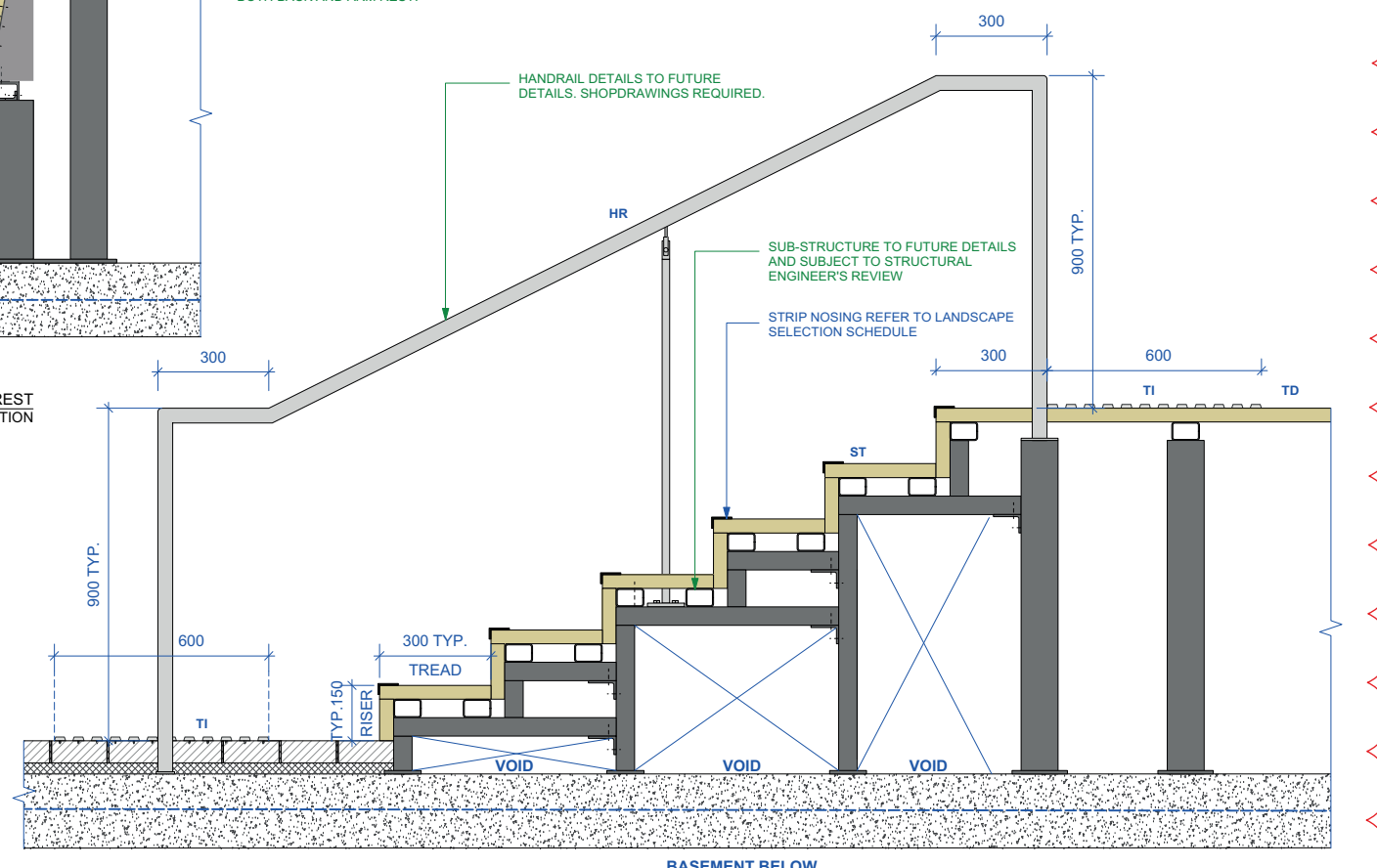
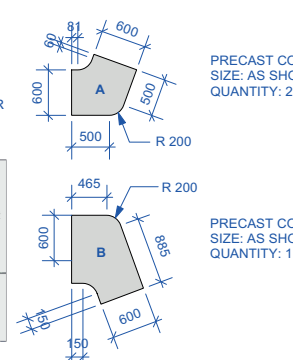
3 TIMBER DECK | FRONT SIDE ELEVATION
1:50

4 TIMBER DECK TYPICAL SECTION
1:10



5 TIMBER DECK | BACK REST AND ARM REST TYPICAL SECTION
1:10

PRECAST CONCRETE TYPICAL DETAILS
NOTE: ALL PRECAST UNITS ARE SET 450mm HIGH ABOVE GROUND LEVEL REFER TO FUTURE DETAILS



6 TIMBER DECK | STAIR AND DECK TYPICAL SECTION
1:10

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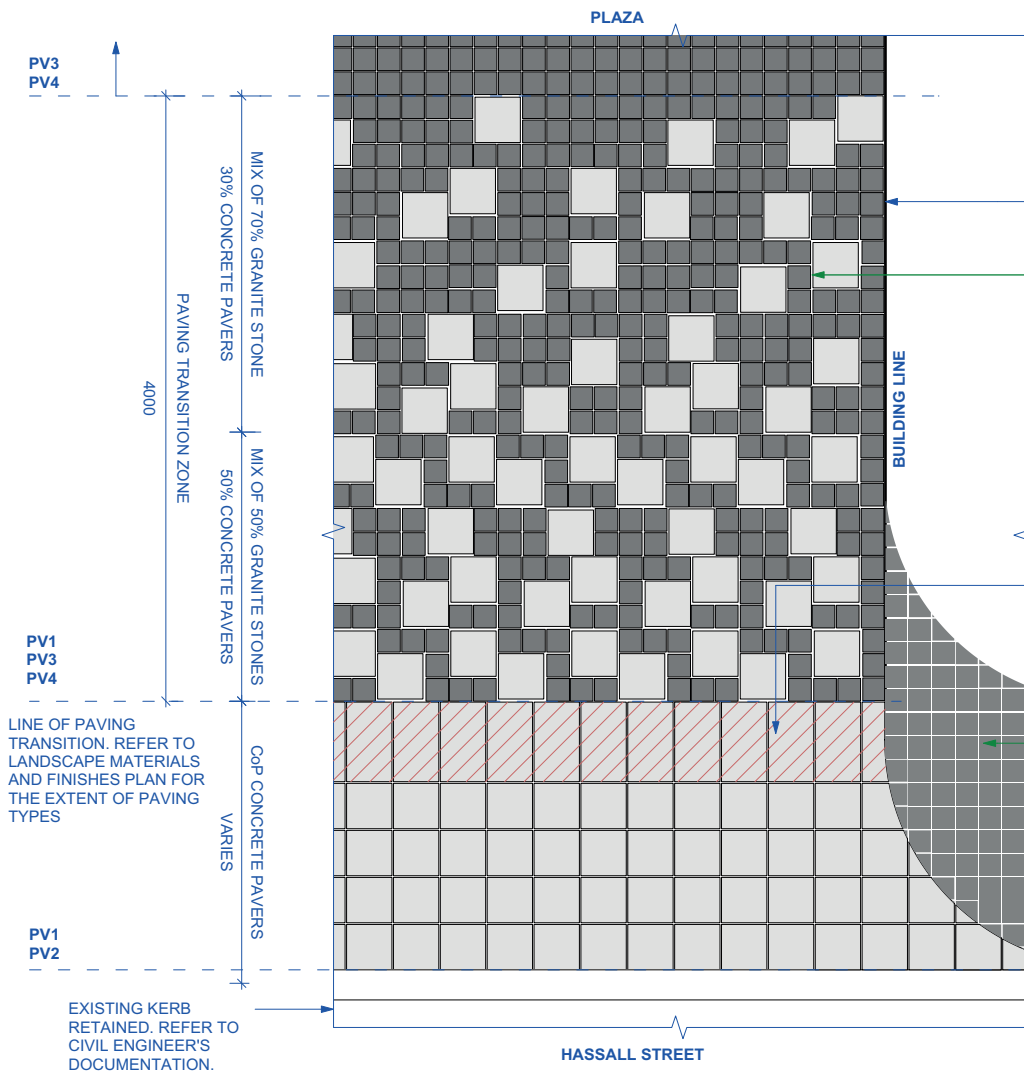
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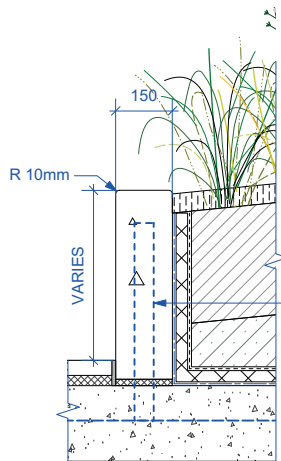
STATUS
Project Phase
FOR TENDER
NOT FOR CONSTRUCTION

DRAWN
GH
CHECKED
HJB/NB
DRAWING
DETAILS
Ground Level

DRAWING NO.
6HS-ASP-L01.08
REVISION
D



1 TYPICAL PAVING LAYOUT AND INTERFACE
1:25
PLAN



5 WALL TYPE 1 | INSITU CONCRETE WALL
1:10
SECTION

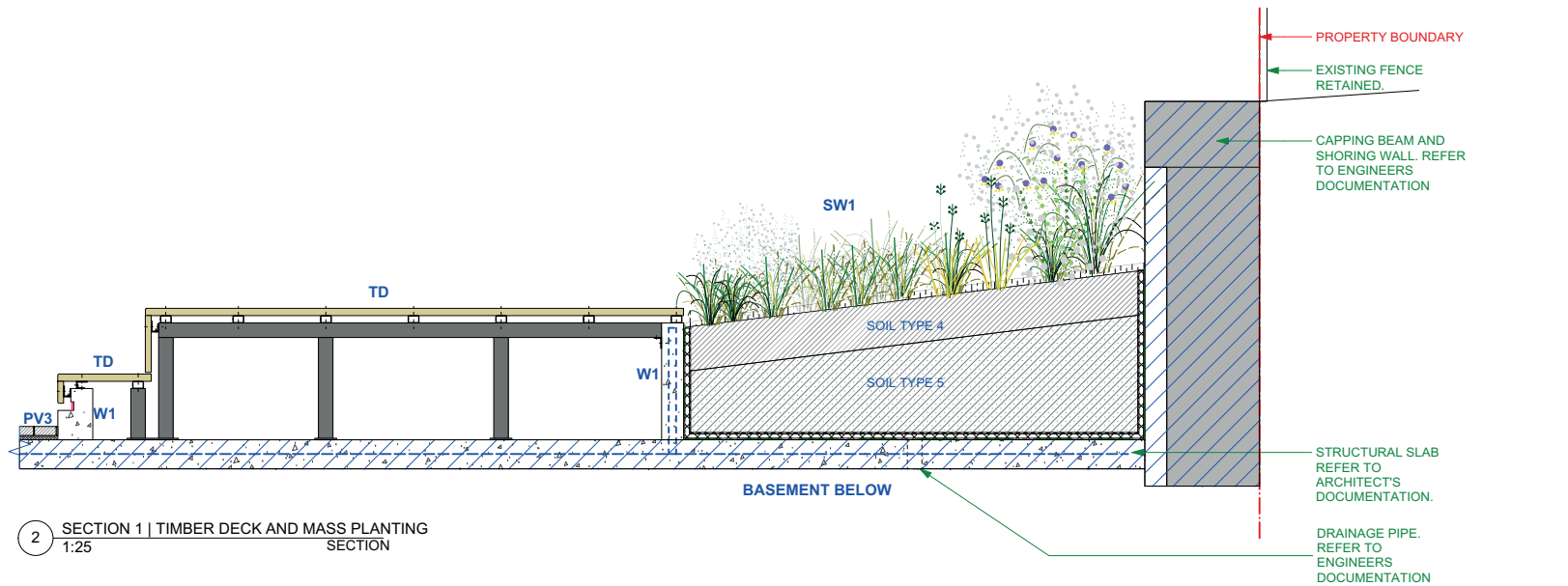
CUT GRANITE PAVERS
NEATLY AT INTERFACE.

NOTE: TRANSITION PAVING PATTERNS
TO FUTURE DETAILS. FOR PAVING
DETAILS REFER TO ARCHITECTURE
DOCUMENTATION.

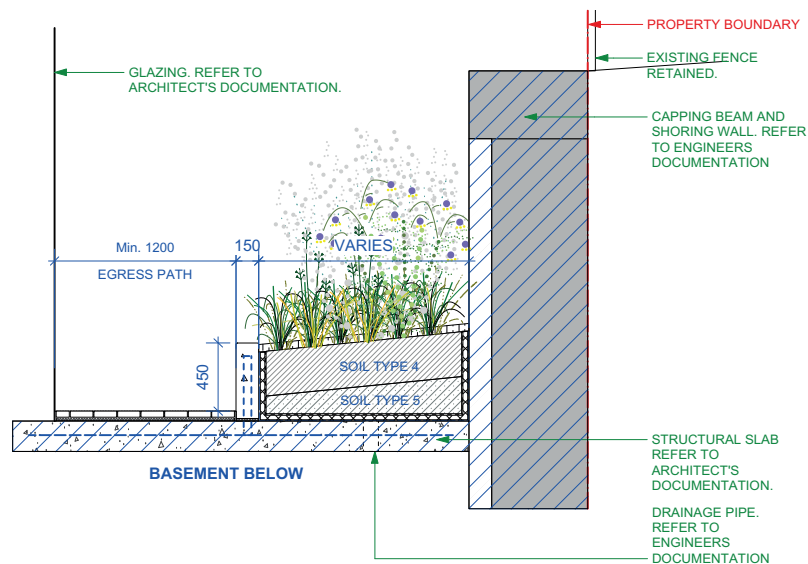
USE 600x300 UNIT
PAVERS AT INTERFACE

USE 90x90 COBBLE
STONE PAVERS AT
BUILDING LINE. CUT
PAVERS NEATLY.
FINISHES AND COLOURS
REFER TO ARCHITECT'S
SPECIFICATION.

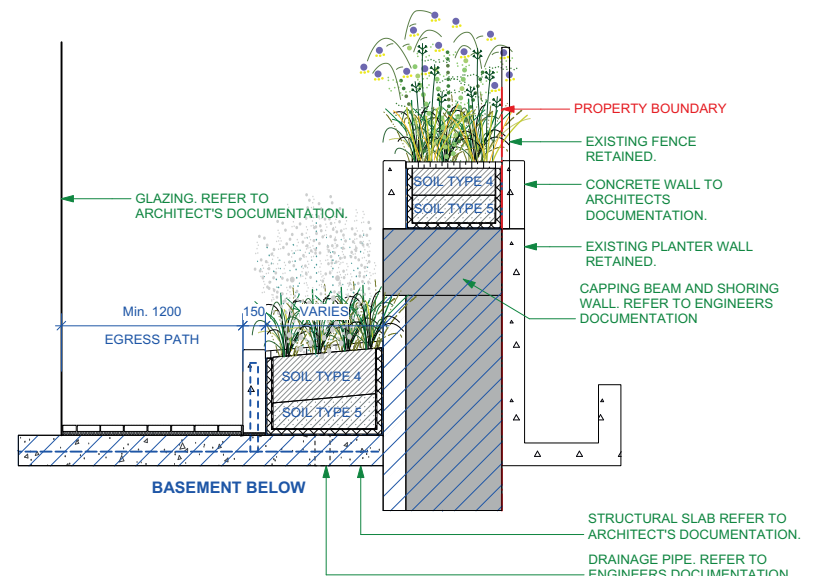
LAYING 300x300mm
PAVERS FROM BACK OF
KERB TOWARDS
BUILDING LINE AND
MINIMISE CUTTING OF
PAVERS



2 SECTION 1 | TIMBER DECK AND MASS PLANTING
1:25
SECTION



3 SECTION 2 | PLANTER TO SHORING WALL
1:25
SECTION



4 SECTION 3 | PLANTER ABOVE SHORING WALL
1:25
SECTION

CLASS 2 INSITU CONCRETE WALL REFER TO LANDSCAPE
SPECIFICATION. 10mm PENCIL ROUND TO ALL EXPOSED
CORNERS AND JOINTS.

REINFORCEMENT AND FIXING TO SLAB REFER TO
ENGINEER'S DOCUMENTATION.

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30/7/19 A ISSUED FOR 100% TENDER

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DRAWING
DETAILS
Ground Level

DRAWING NO.

6HS-ASP-L01.09 A

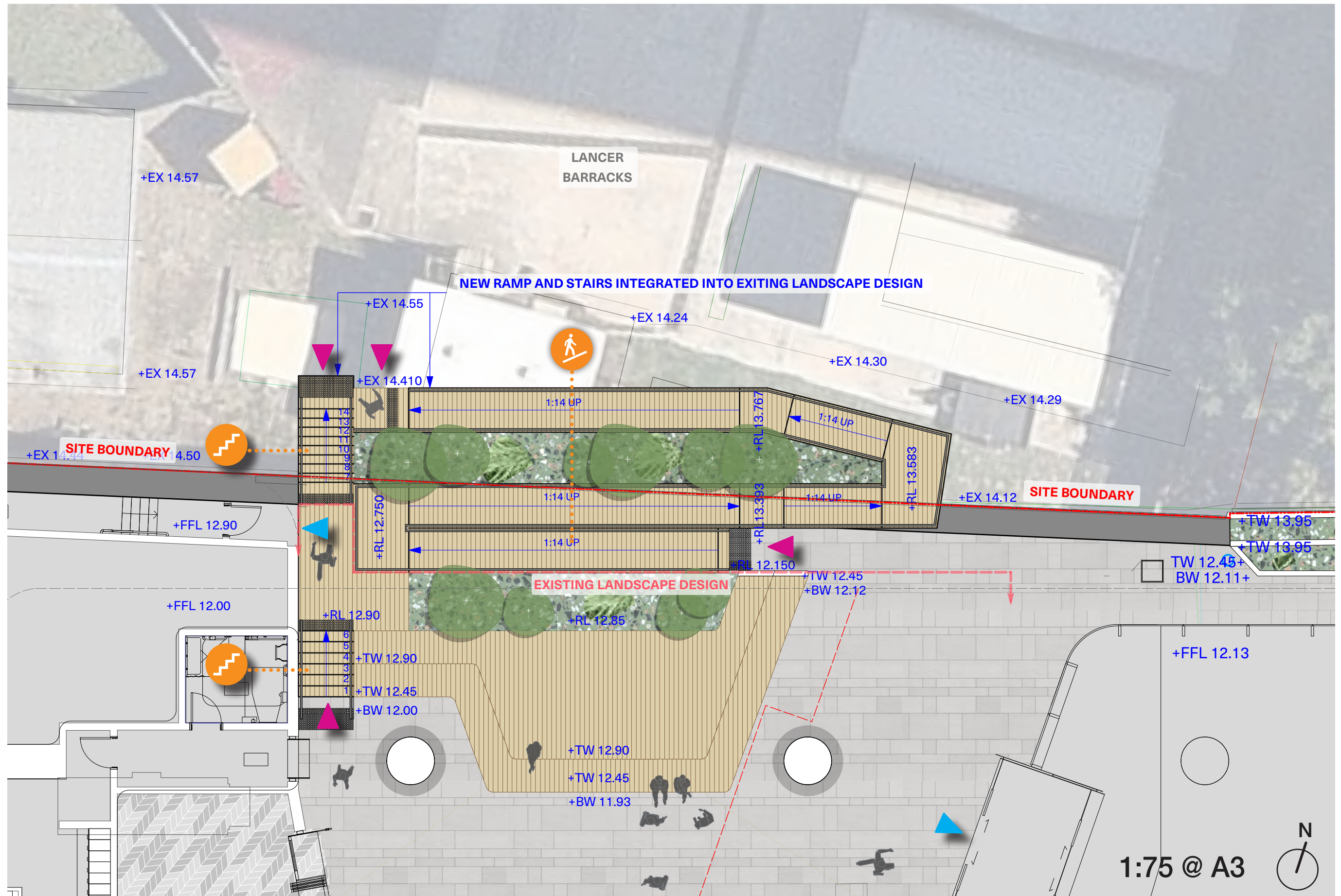
REVISION

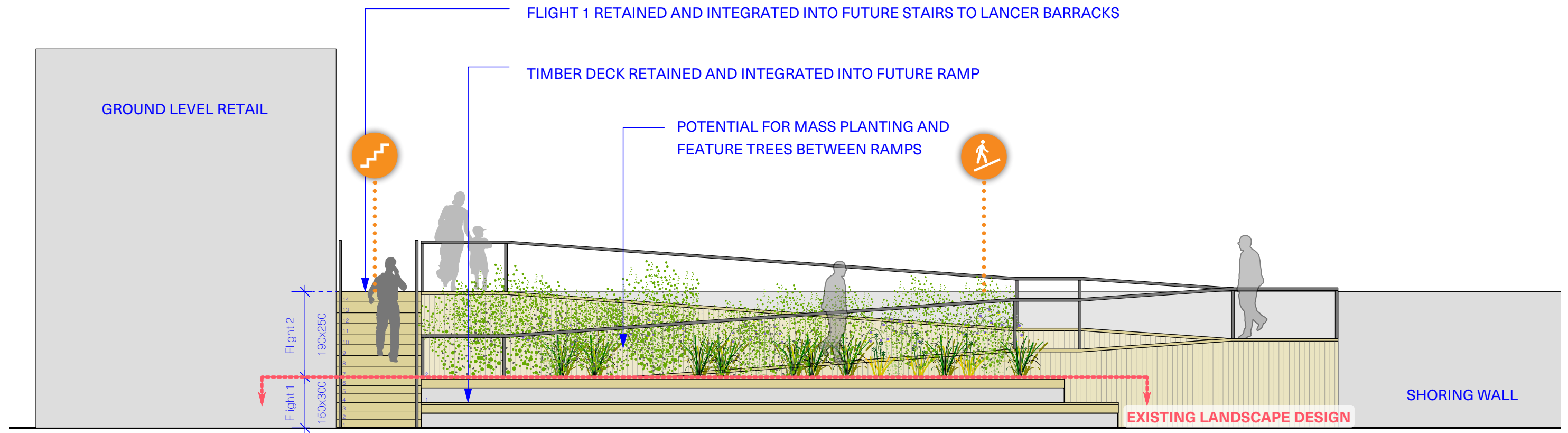
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Hassall St, Parramatta

Through Site Link Option

| | |
|-------------|----------------------|
| STATUS | FOR INFORMATION ONLY |
| DATE | 30.07.2019 |
| PREPARED BY | HB /JT |
| APPROVED BY | NB |



**Note:**

1. Handrails, balustrades, stair nosing, kick rails and tactile indicators required according to AS1428.1.

2. Purple line indicates the extent of existing landscape design retained for future connection.

3. Sketch shown for information only.

