

12th September 2018

Director Key Sites Assessments
Planning Services
Department of Planning and Environment
GPO Box 39
Sydney NSW 2001

Dear Sir/Madam

Submission in response to proposed Pitt Street North Over Station Development (SSD 18_8875)

This Heritage Submission has been prepared in conjunction with a submission by Navon Solutions on behalf of the NSW Masonic Club, 169-173 Castlereagh Street, Sydney, to the Department of Planning and Environment in response to the proposed Pitt Street North Over Station Development (OSD).



Figure 1: NSW Masonic Club, Castlereagh Street elevation. 2018.



Figure 2: NSW Masonic Club, Castlereagh Street elevation. Circa 1930

This letter outlines the Heritage Significance of the NSW Masonic Club and the potential heritage impact of the proposal on the Club. The NSW Masonic Club is located within the City of Sydney. The principal planning controls for the site are the *Sydney Local Environmental Plan 2012 (SLEP2012)* and the *Sydney Development Control Plan (SDCP 2012)*. The site is listed as a heritage item by Schedule 5, Part 1 of the *SLEP 2012*. Refer Figure 3.

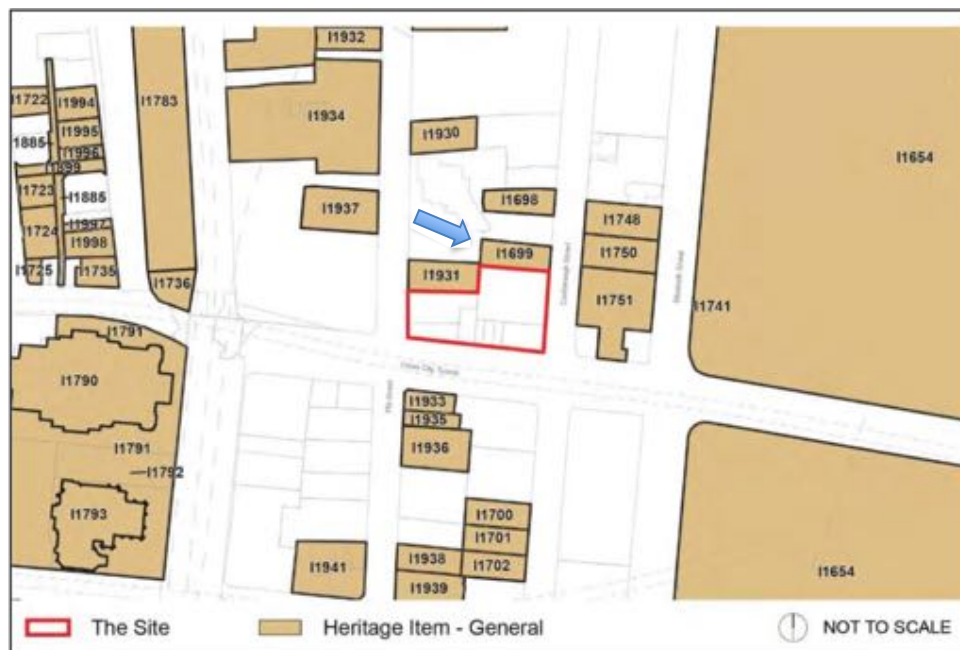


Figure 3: Heritage Map City of Sydney LEP 2012. NSW Masonic Club indicated by blue arrow.

The NSW Masonic Club was built from 1925 to 1927. Opened on this day, 12th September 1927. The Architect was Claude Williams Chambers. It was used exclusively as a club for Masons until 1984 when the accommodation floors were repurposed as hotel rooms. It is a twelve storey building, situated on the western side of Castlereagh Street, incorporating the NSW Masonic Club and the Castlereagh Boutique Hotel.

The NSW Masonic Club has high heritage significance. It is historically significant due to its association with the Masonic movement, the Architect was the founding member of the Queensland Institute of Architects and it is one of only two surviving purpose-built clubs from the interwar period. The interiors in particular the Grand Dining Room, illustrated in Figure 4 are of high aesthetic significance as is the fine stonework of the external façade that provides a strong contribution to the Castlereagh Streetscape.

The NSW State Heritage Inventory Database provides the following Statement of Significance for the site:¹

The Masonic Club is significant as a fine example of the Inter-war Commercial Palazzo style. It is a twelve storey sandstone building, symmetrical in its massing with three distinct sections that are fundamentally classical in composition. Designed and built by the Masonic Lodge in 1925, it is socially and historically significant for its continued associations with this nationally influential social organisation. Its skillfully designed sandstone façade is an important contributor to the streetscape and reflects an important period of urban growth during the 1920s. Its interiors are both aesthetically and historically significant. The double volume main Dining Room is a fine example of a classically derived interior pertaining to the Gentleman's Club and features large recessed arched windows and a plaster ceiling with a deep, elaborate cornice incorporating classical dentils. The conversion of the upper levels to hotel type rooms reflects a growing need in the city during the later decades of the twentieth century.

Figure 2 represents an early Castlereagh Street view of the NSW Masonic Club and adjacent buildings. The photograph indicates that the height of the buildings either side of the club allowed natural light into the Grand Dining Room from both sides however provision was made for buildings to be built on either side to equivalent height. These two buildings would have mirrored the indentation on the Masonic Club Building to provide a light well that served both buildings.

¹ Office of Environment and Heritage, Community Building “Masonic Club”, Including Interior.

The building south of the club was demolished around 1970 and the Stockland building was constructed in its place. The Stockland building did not provide any plan indentation to mirror the club's floor plan or adhere to the existing height of the demolished building. The new building was higher than the club and built hard to its southern boundary.

The Angus and Son building on the northern boundary of the Club was demolished around 2013. The replacement building followed the scale and mass of the previous Angus and Son building. The natural light to the Grand Dining Room was preserved on this elevation.

Figure 4 below is a view of the Grand Dining Room before demolition of the Stockland Building. The image looking east toward Castlereagh Street shows the Dining Room with natural light through the northern windows and no light to the south where the Stockland building was located.



Figure 4: NSW Masonic Club, Grand Dining Room 2018. Photo NSW Masonic Club archives. This photo was taken before the demolition of the Stockland building as indicated by the lack of light coming through the windows on this side of the building. Northern light has been retained to the Dining Room. Although the 'Angus and Son' building was demolished it was replaced with a building of a similar scale so the natural light to the Dining Room was retained.

The Proposal - Concept State Significant Development Application - The Pitt Street North Metro Station and OSD

The Pitt Street North Metro station and OSD forms part of the NSW Government's Sydney Metro project. It is the amalgamation of 10 lots with a site area of 3,150m² and is located immediately south of the NSW Masonic Club with frontages to Castlereagh, Park and Pitt Streets.

The Concept Development Application presents *Planning Envelope Drawings* and *Indicative Scheme Drawings* documented by Architectus. Both sets are reviewed below.



Figure 5: NSW Masonic Club, southern elevation, with Pitt Street North (OSD) hoarding in the foreground. 2018. Note the row of circular highlights with bay windows below indicating the location of the Grand Dining Room.

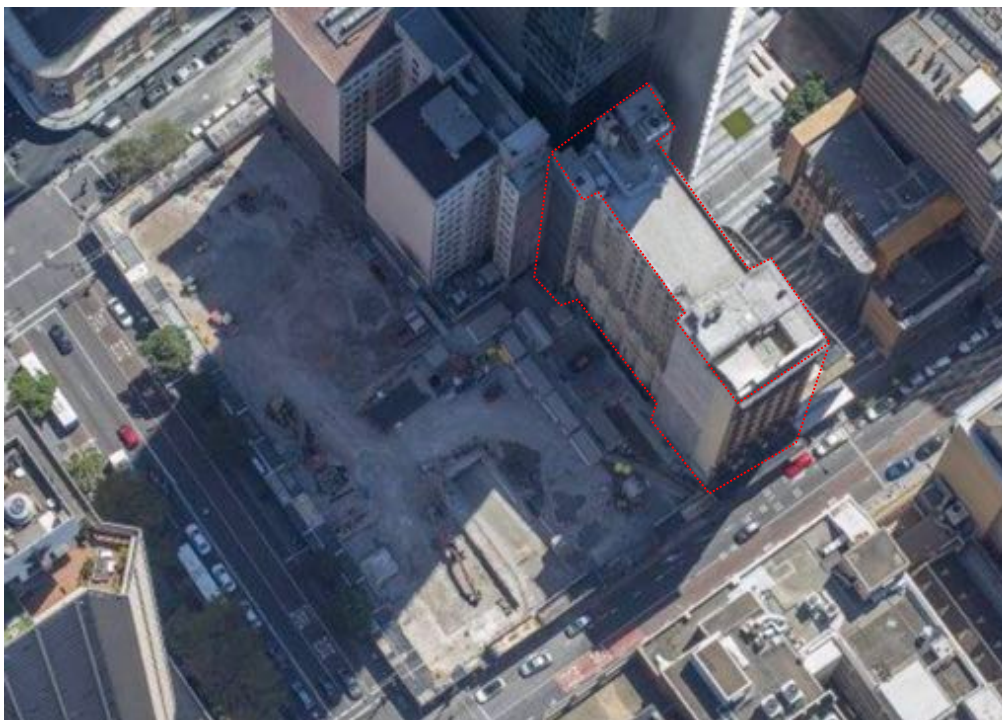


Figure 6: Aerial photograph showing Pitt Street North Metro Station and OSD and NSW Masonic Club. 2018.

Planning Envelope Drawings

The Concept *Planning Envelope Drawings* of the application are contained within Appendix F, Built Form and Urban Design of the Application. The design incorporates a 45metre high podium built to all site boundaries. It will include the Metro Station, a hotel, commercial and residential uses. Above the podium is a 120m high tower with a 6 m setback to Castlereagh, Park and Pitts Streets. The *Planning Envelope Drawings* do not indicate any setback to the NSW Masonic Club at podium or tower levels, the drawings represent the maximum buildable volume. Figure 7 illustrates the podium levels of the *Planning Envelope Drawings*.

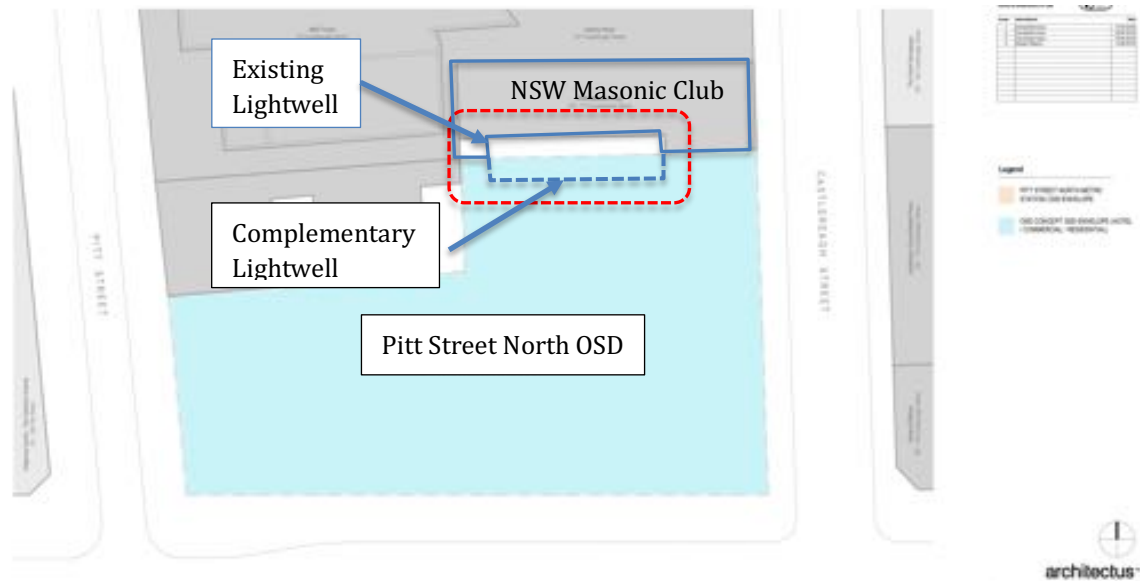


Figure 7: Planning Envelope Drawing - Podium Levels- Pitt St. North OSD. NSW Masonic Club outlined in blue. Pitt Street North OSD Concept Application. Appendix F-Built Form and Urban Design Report. Architectus 2018.

Indicative Scheme Drawings

The *Indicative Scheme Drawings* are located in Appendix F, Built Form and Urban Design of the application. These plans provide further detail of the proposal, as shown in Figures 8-12. The drawings indicate an approximate 5 metre setback from Level 5 to the top of the podium at Level 12 to the southern boundary of the club. This setback will enable natural light to the hotel rooms of the club on the southern elevation.

The north south section within the drawing set illustrates the proposed podium from ground level to level 5 as built hard to the Club’s southern boundary. Figure 8 indicates the location where this section occurs. The section does not describe the setback that also occurs along this boundary of the Club due to the indented floor plan.

The floor plans of the Club are best illustrated in Figures 13 and 14. The indent in plan along the north and south boundaries create setbacks to both sides. The application does not include a section that describes this condition, which is the primary sectional condition.

When a building plan was indented in this way, the plan was mirrored on the adjoining lot. When the previous building to the southern boundary of the club was demolished it was replaced by a building which was built hard to the southern boundary and taller than the Club. Figure 2 illustrates the building on the site before the Stockland building. The construction of this building denied reasonable natural light to the building, particularly to the Grand Dining Room as shown in Figure 4.

The construction of the Pitt Street North OSD is an opportunity to reinstate the historical pattern of development that occurred on Castlereagh Street. The Grand Dining Room is a highly significant room. A building constructed with nil setback to the southern boundary will reduce light into the Dining Room and maintain the adverse impact on the significance of the room first imposed by the Stockland Building. This is an opportunity to reinstate the original level of natural light to the Grand Dining room through the provision of an equivalent setback on the Pitt Street North OSD site.

The interiors of The NSW Masonic Club are described in the State Heritage inventory sheet as being:

both aesthetically and historically significant. The double volume main dining Room is a fine example of a classically derived interior pertaining to the Gentleman’s Club and features large recessed arched windows and a plaster ceiling with a deep, elaborate cornice incorporating classical dentils.

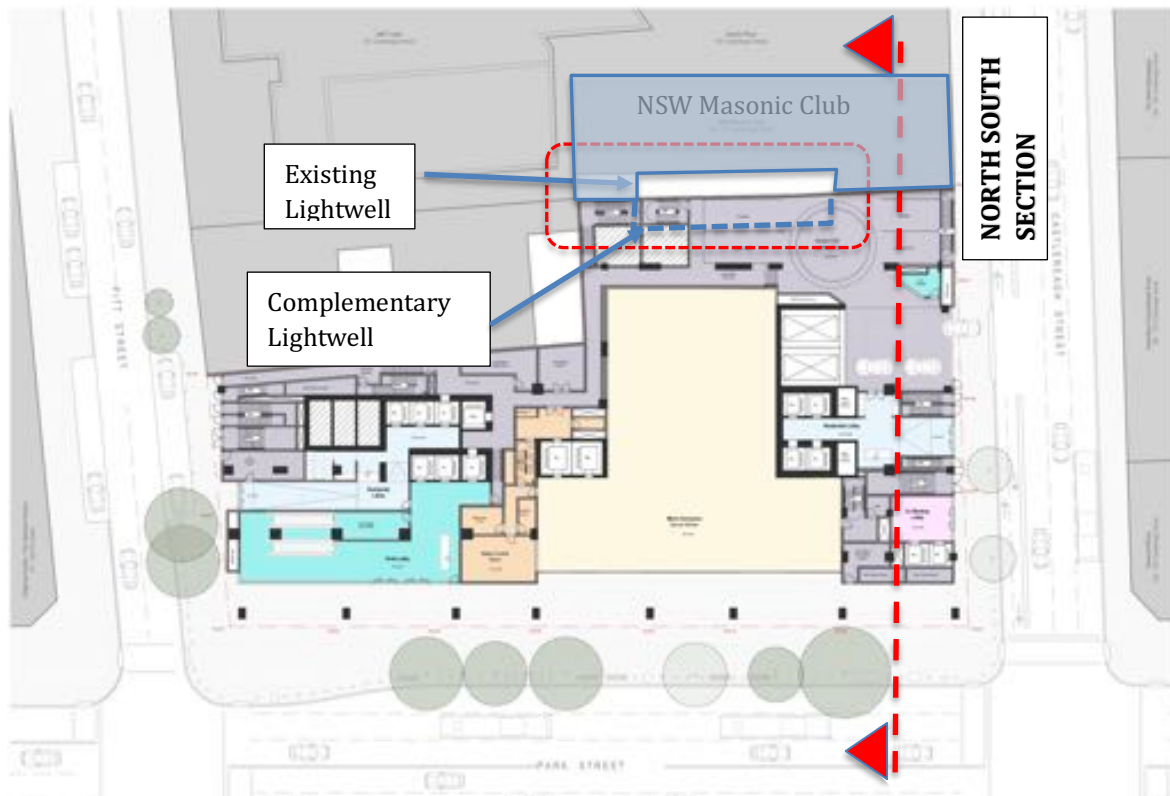


Figure 8: Indicative Scheme Drawings – Level 1 plan- Pitt St. North OSD. NSW Masonic Club indicated with blue outline. *Pitt Street North OSD Concept Application. Appendix F-Built Form and Urban Design Report. Architectus. 2018.*

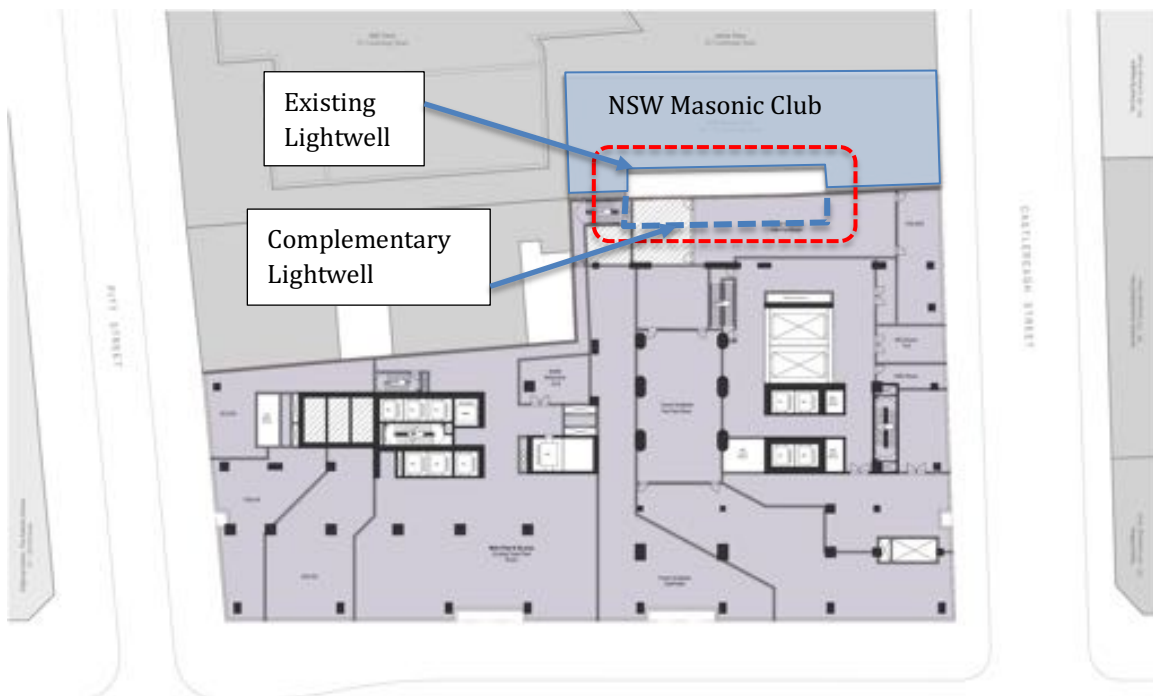


Figure 9: Indicative Scheme Drawings – Level 4 plan- Pitt St. North OSD. NSW Masonic Club indicated with blue outline. *Pitt Street North OSD Concept Application. Appendix F-Built Form and Urban Design Report. Architectus. 2018.*

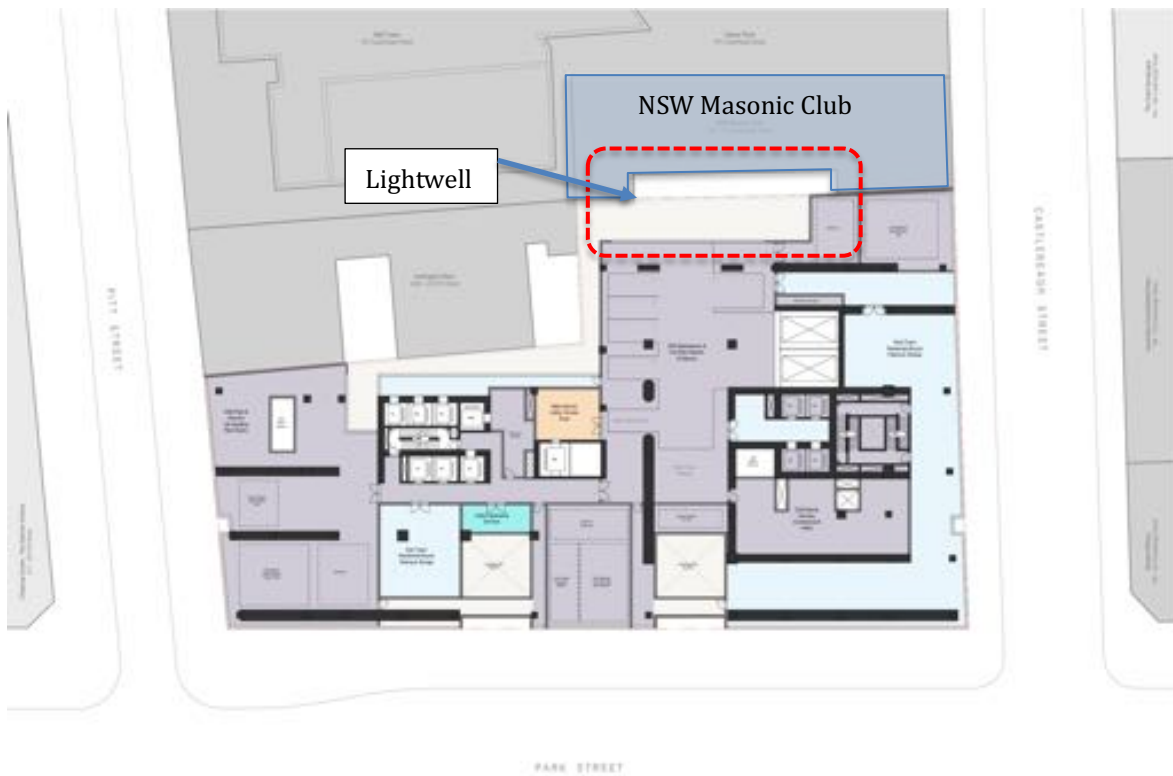


Figure 10: Indicative Scheme Drawings – Level 5 plan- Pitt St. North OSD. NSW Masonic Club indicated with blue outline. **Pitt Street North OSD Concept Application. Appendix F-Built Form and Urban Design Report. Architectus. 2018.**

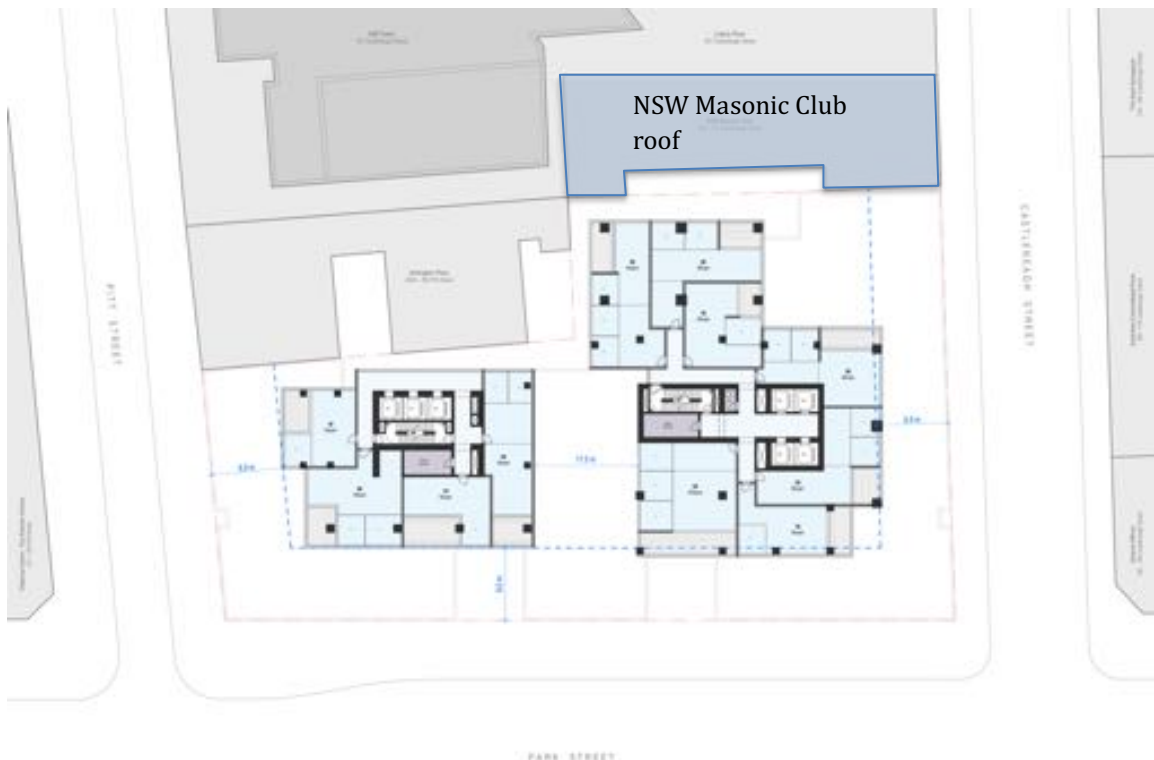


Figure 11: Indicative Scheme Drawings – Tower Level 13-19 plan- Pitt St. North OSD. NSW Masonic Club indicated with blue outline. **Pitt Street North OSD Concept Application. Appendix F-Built Form and Urban Design Report. Architectus. 2018.**

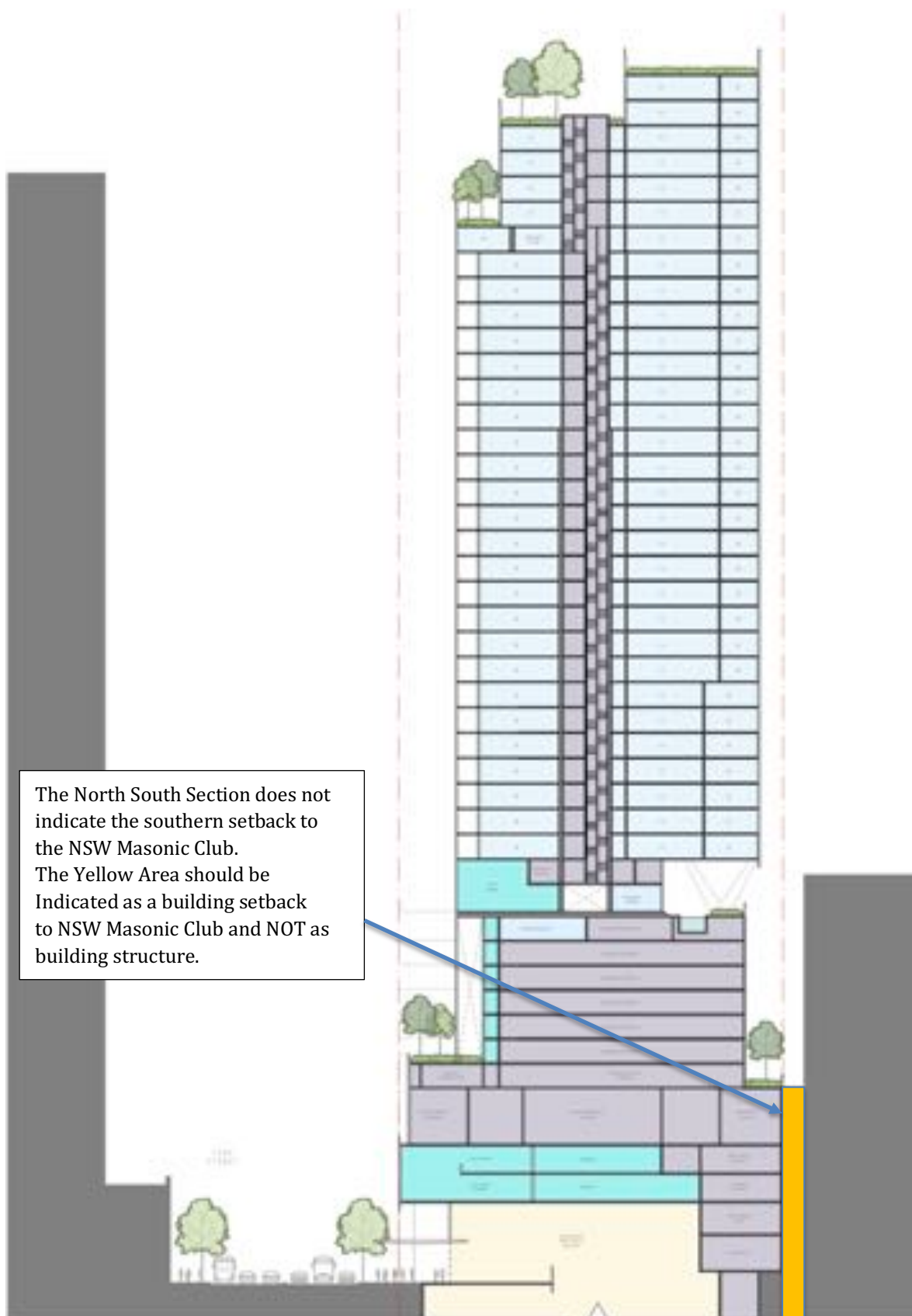


Figure 12: Indicative Scheme Drawings – North South Section- Pitt St. North OSD. NSW Masonic Club indicated with blue outline. Pitt Street North OSD Concept Application. Appendix F-Built Form and Urban Design Report. Architectus 2018.

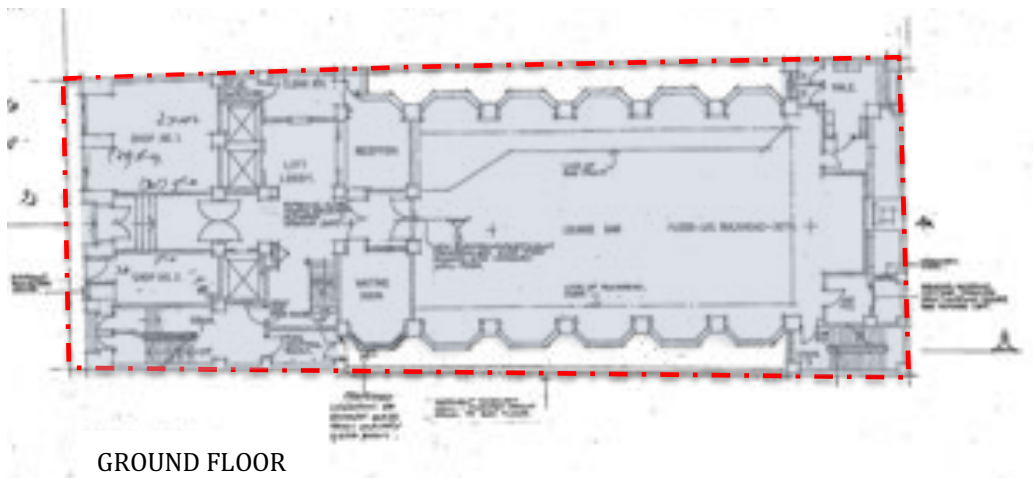


Figure 13: NSW Masonic Club, Basement and Ground Floor Plans. This clearly shows the location of the light well. Conservation Management Plan (CMP), NSW Masonic Club, Orwell and Peter Phillips Architects, October 2004.

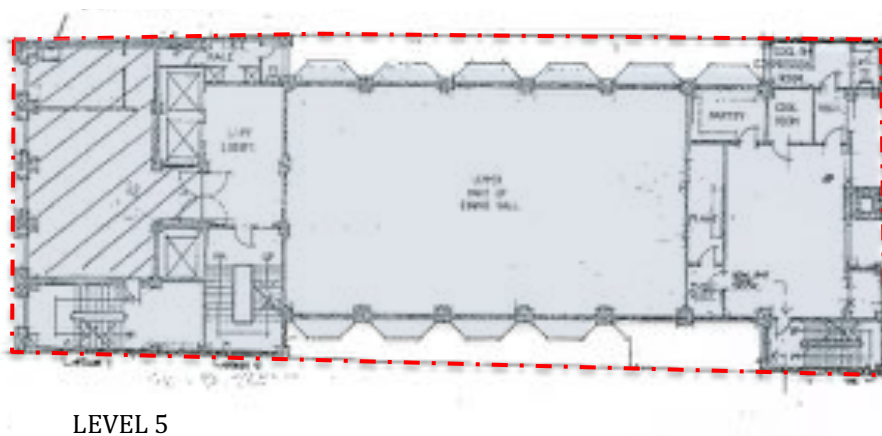


Figure 14: NSW Masonic Club, Fifth Floor Plans. Conservation Management Plan (CMP), NSW Masonic Club, Orwell and Peter Phillips Architects, October 2004.

Construction Methodology

Approval for the Pitt Street North Metro Station and OSD should also include a construction methodology to protect the heritage significance of the NSW Masonic Club. This should include an Excavation Methodology, Vibration Monitoring Report, Dilapidation Report and Acoustic Report.

Conclusion

The *Indicative Scheme Drawings* presented in Appendix F: Urban Design and Built Form of the application presents inaccurate setback information between the proposal and the NSW Masonic Club's southern boundary between ground and level 6. The north south section in the application indicates the Club has a zero setback at these levels. The Club's floor plans show there is an approximate setback of 1.6-2.2m. The proposed podium design should respond to the high significance of the NSW Masonic Club and provide an equal setback, that is a 2.2m setback over these levels to act as a mirror to the setback of the Masonic Club Building.

Setbacks to the proposed podium on the Club's southern boundary will enable reasonable solar access to the Grand Dining Room and thus reinstate the significance given to it by dual aspect solar access, significance that was removed with the construction of the Stockland building.

Please do not hesitate to contact me on 02 8076 5317 if you have any questions.

Yours faithfully,



James Phillips | Director

APPENDIX A - photographs



*NSW Masonic Club, Castlereagh Street Elevation.
Circa 1930. Photo NSW Masonic Club archives.*



Main bar 1920s. Photo NSW Masonic Club archives.



NSW Masonic Club Services night 1940. Photo NSW Masonic Club archives.



Ground floor bar 1930. Photo NSW Masonic Club archives.



Ground floor bar circa 1930. Photo NSW Masonic Club archives.



Grand Dining Room. Photo NSW Masonic Club 2018.



Grand Dining Room. Photo NSW Masonic Club 2018.



Ground Floor Bar. 2018. Photo NSW Masonic Club 2018.



Stairwell. Photo NSW Masonic Club 2018.