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THE ASIA PACIFIC



WestConnex M4-M5 Rozelle Interchange – 248-250 Victoria Road, Rozelle Archival Recording and Salvage Report

Prepared for John Holland CPB Joint Venture

March 2021—Final

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1. Introduction

1.1 Project Description

Extent Heritage Pty Ltd (Extent Heritage) has been commissioned by John Holland CPB Joint Venture (JHCPB JV) to prepare a Photographic Archival Recording and Salvage Report for 248-250 Victoria Road, Rozelle. The purpose of this report is to photographically record the site and to prepare a catalogue of historic building fabric for the purposes of salvage prior to the demolition of the building. This report serves as a permanent record of the place prior to that work being undertaken.

This report was prepared to fulfil the requirements of the revised environmental management measures (REMM) for Non-Aboriginal Heritage (NAH); REMM NAH03 and REMM NAH09 which state:

REMM NAH03

Photographic archival recording will be undertaken of:

- *Infrastructure associated with the White Bay Power Station site that could be affected by the project;*
- *Whites Creek Stormwater Channel (in the area to be impacted);*
- *Stormwater Canal off Lilyfield Road;*
- *'Cadden Le Messurier' at 84 Lilyfield Road;*
- *Former Hotel at 78 Lilyfield Road;*
- *Victoria Road overbridge;*
- *Each house at 260–266 Victoria Road;*
- *Each house at 248-250 Victoria Road.*

This will be undertaken in accordance with the NSW Heritage Office guidelines Photographic Recording of Heritage Items Using Film or Digital Capture (2006).

The photographic archival recording will occur prior to any works that have the potential to impact upon the items and will include the identification of appropriate stakeholders to receive copies of the documentation.

REMM NAH09

A Heritage Salvage Strategy will be prepared to identify the salvage potential of the fabric and features from heritage items and potential heritage items that will be demolished to facilitate the Project. This could include timber joinery, fireplaces, stained glass, stairs, decorative tiles, bricks, steel truss structures, windows, etc. The strategy will also identify options and a process for dissemination of salvaged items to owners, community groups and interested parties.

These reports have been reviewed, finalised, printed, and published for archival storage in relevant repositories.

1.2 Approach and Methodology

The methodology used in the preparation of this Photographic Archival Recording and Salvage Report is in accordance with the principles and definitions as set out in *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013 (Burra Charter)* (Australia ICOMOS 2013) and the latest version of the NSW Heritage Branch's *Photographic Archival Recording Guidelines*.

Photographic Archival Recording

REMM NAH03 requires the archival recording of these structures to comply with two NSW government guideline documents: *How to Prepare Archival Records of Heritage Items* (1998) and *Photographic Recording of Heritage Items Using Film or Digital Capture* (2006).

The Photographic Recording Guideline does not specify whether measured technical drawings are required in addition to photographic archival recording. In this instance, to best meet the project requirements within the required timeframe, survey drawings have been provided by JHCPB JV of each of the buildings (dated 19th July 2019), which are used to identify heritage fabric and mark-up photographic directions. Where information about elevations is required within the reports, a marked-up photograph has been provided.

Salvage

REMM NAH09 requires that a Heritage Salvage Strategy be prepared. This was undertaken as part of the archival fieldwork and report and outlines what material should be salvaged and how this should occur. This also includes a section on sympathetic reuse options for this heritage fabric, either within the WestConnex project or within the wider community. As noted above, the JHG survey drawings were utilised to identify historic fabric for salvage.

1.3 Limitations

The surrounding site, the building and the interior of the subject property were inspected and photographed by Lucy Irwin, Ben Calvert and Gabrielle Harrington on the 27th June 2019. The inspection was undertaken as a visual study only.

The historical overview provides sufficient historical background to provide an understanding of the place in order to assess the significance and provide relevant recommendations, however, it is not intended as an exhaustive history of the site.

The balconies at 248 Victoria Road were deemed unsafe to access throughout the course of the inspection. In accordance with WestConnex safety policies, no access was gained to the balconies as part of the inspection. Photographs were limited to what was visible from the exterior of the building.

It is understood that there are some limitations for accessing heritage fabric located on the exterior of the buildings, particularly for roof elements above the first floor. In the case where heritage fabric is unable to be accessed for exceptional reasons such as a road closure or safety risks such as working at heights and active power lines, it is accepted that these items will not form part of the salvage collection. Items related to this limitation were taken into consideration during the salvage assessment and, due to the above limitations, were omitted from the salvage strategy.

In the instance where decorative heritage fabric such as ceiling roses, corbelled mouldings and cornices are not successfully salvaged in a good condition (i.e. broken during salvage and unable to be repaired), it is understood that these salvaged items can be disposed.

1.4 Authorship

The following staff members at Extent Heritage have prepared this Archival Recording and Salvage Report:

Name	Position
Lucy Irwin	Heritage Advisor
Gabrielle Harrington	Research Assistant

The report was reviewed by Ruth Berendt (Senior Heritage Advisor) and Corinne Softley (Senior Heritage Advisor).

1.5 Ownership

The site is owned by John Holland CPB Joint Venture (JHCPB JV).

2. Site

2.1 Location

The subject property is located at 248-250 Victoria Road and is known as Lots 1 and 2, Deposited Plan (DP) 230611. 248-250 Victoria Road is located on the southern side of Victoria Road and is bounded by Clubb Street to the west and Toelle Street to the east. The property lies to the east of the Iron Cove Bridge. Rozelle is located between the suburbs of Lilyfield to the east and Balmain to the west and is crossed by Victoria Road.



Figure 1. Map indicating location of 248-250 Victoria Road, Rozelle (Source Dept. of Lands SIX viewer, 28 June 2019).

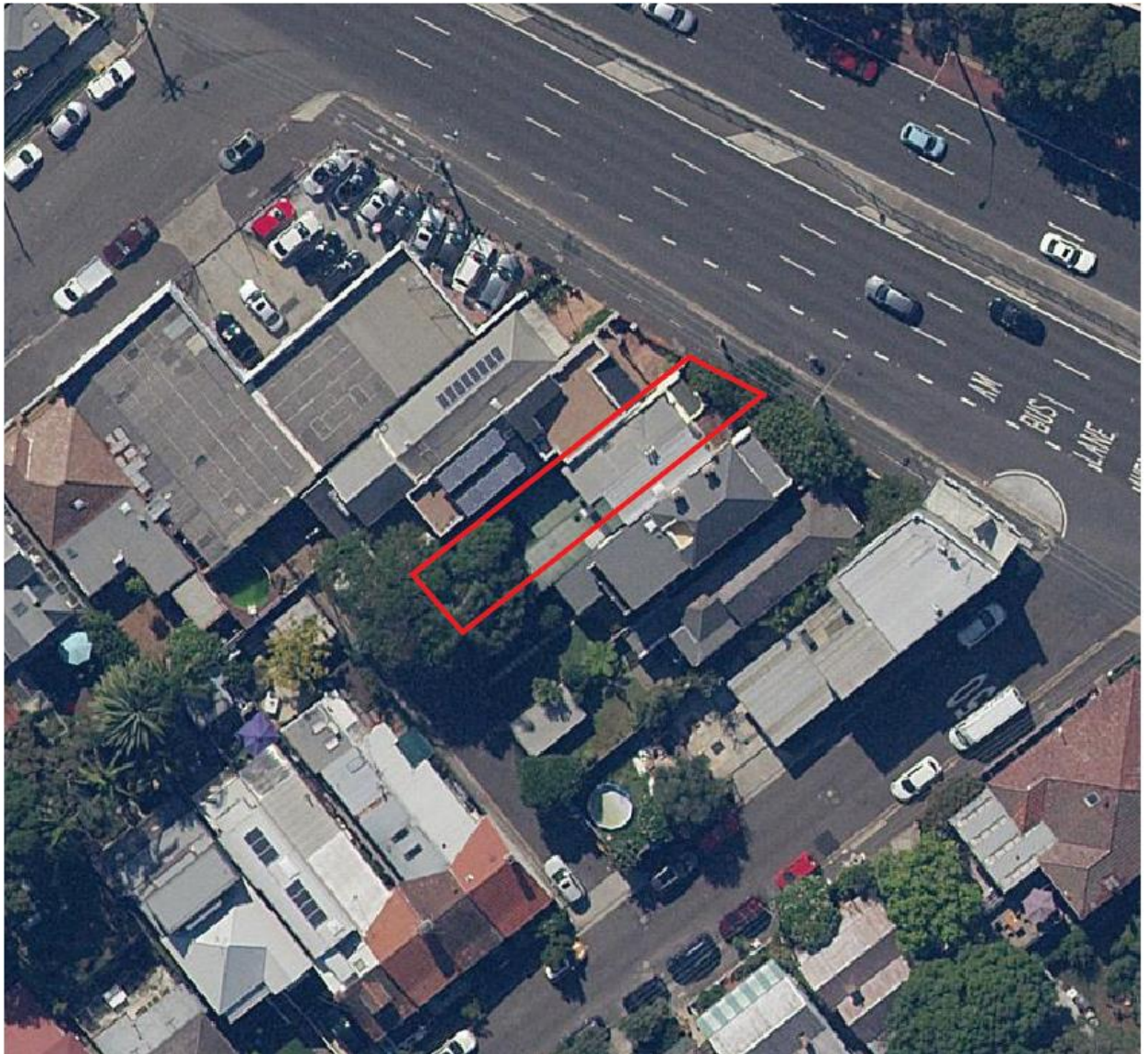


Figure 2. Aerial view with 248-250 Victoria Road, Rozelle outlined in red (Source Dept. of Lands SIX viewer, 28 June 2019).

2.2 Heritage Status

248-250 Victoria Road are not listed on any statutory or non-statutory heritage registers.

Register/Listing	Item Listed (Y/N)	Item Name	Item Number
Statutory Register			
World Heritage List	N		
National Heritage List	N		
Commonwealth Heritage List	N		
State Heritage Register (SHR)	N		
S170 Heritage and Conservation Register	N		
Local Environmental Plan	N		
Sydney <i>Regional Environmental Plan</i> No. 26 – City West	N		
Non-Statutory Register			
Register of the National Trust (NSW)	N		
Register of Significant Buildings in NSW (Australian Institute of Architects)	N		

2.2.1 Heritage Items in the Vicinity

There is one Heritage Conservation Area in the vicinity of 248- 250 Victoria Road, Rozelle. This is represented in the heritage map below, reproduced from the Leichardt Local Environmental Plan (LEP) 2013.

- Iron Cove Heritage Conservation Area (No. C6 Leichardt LEP 2013)



Figure 3. Map showing location of Iron Cove Heritage Conservation Area (red hatching) in relation to the subject site (red outline). (Leichhardt LEP 2013, Heritage Map)

3. Historic Context

2.3 Rozelle

The suburb of Rozelle was originally known as both 'Balmain West' and 'Balmain South,' with the first recorded use of the name Rozelle being the naming of the southernmost inlet of Johnsons Bay, in 1875, when it was given the name 'Rozelle Bay'. The naming of the suburb is attributed to the Postmaster General of 1892, who named the suburb's planned new post office after the nearby Bay (Williams, 2010).

Prior to 1860, Rozelle was sparsely populated by Europeans. From 1860 to 1882, however, a rapid period of land subdivision, speculation and sales in the area surged and the peninsular population grew from 8,000 to 16,928 (Williams, 2010). This period of growth is largely attributed to the selling of the original 500-acre land grant, granted to William Balmain by Governor John Hunter in c.1800. Balmain transferred his land to John Borthwick Gilchrist in 1801, a short time after his original land grant. William Balmain's heirs contested this transfer, however, in 1858, the judicial bench of the British House of Lords authorised the trustees of John Borthwick Gilchrist, who had passed away in 1841, to sell peninsular land that was still in their possession (Williams, 2010).

These large parcels of land were purchased by several people, including Alfred Handcock. Handcock, who migrated to Sydney in the late 1850s and who purchased local land parcels from 1867 to 1880, used the advertising slogan 'Homes for the People' to sell these parcels until 1907. The target market for these tracts of land were working men, to whom he sold approximately 1,600 plots at a £4 deposit and 21 quarterly instalments of £2 (Williams, 2010).

By 1865, Dr George Robinson Elliott, in company with his brothers, Frederick and James, had acquired a site on the Iron Cove foreshore where they established Australia's first factory for chemicals, pharmaceuticals and later glassworks. In 1892, William Lever acquired land adjacent to White Bay. Here, in 1897, Lever Brothers Limited established a factory that extracted oil from copra cultivated on the firm's coconut plantations in the Solomon Islands, which was then shipped to Liverpool in England. The plant began manufacturing glycerine and Sunlight Soap (Williams, 2010).

The Balmain Power Station at Iron Cove, which commenced generation in 1909, was followed by the White Bay Power Station, which became fully operational in 1917. By 1922, construction of the Glebe Island Grain Silos and railway sidings had reached completion and Rozelle's eastern foreshore was the node of Australia's coal and timber industry (Williams, 2010).

2.4 248-250 Victoria Road

The semi-detached terraces at 248-250 Victoria Road, Rozelle, lie on part of 500 acres of land granted to William Balmain by Governor John Hunter in 1800. In plans and drawings, streets within Rozelle have changed names over the years. Victoria Road was originally known as Weston Road and Clubb Street was previously known as Cove Street.

The subject properties first appear within the Sands Directory in 1906 and were most likely worker's terraces, constructed alongside the commencement of the Balmain Power Station at Iron Cove. A John Holloway is recorded to have lived in 248 Weston Road from 1906 until 1931. 250 Weston Road was occupied by a Michael Erwin in 1910 and then Hannah Erwin until 1916. From thence, it from appears to have changed hands regularly throughout the Sands. Both terraces are presently unoccupied and are scheduled to be demolished in 2019.



Figure 4. Aerial photograph, 1943, showing 248-250 Victoria Road outlined in red (Source: Six LPI)

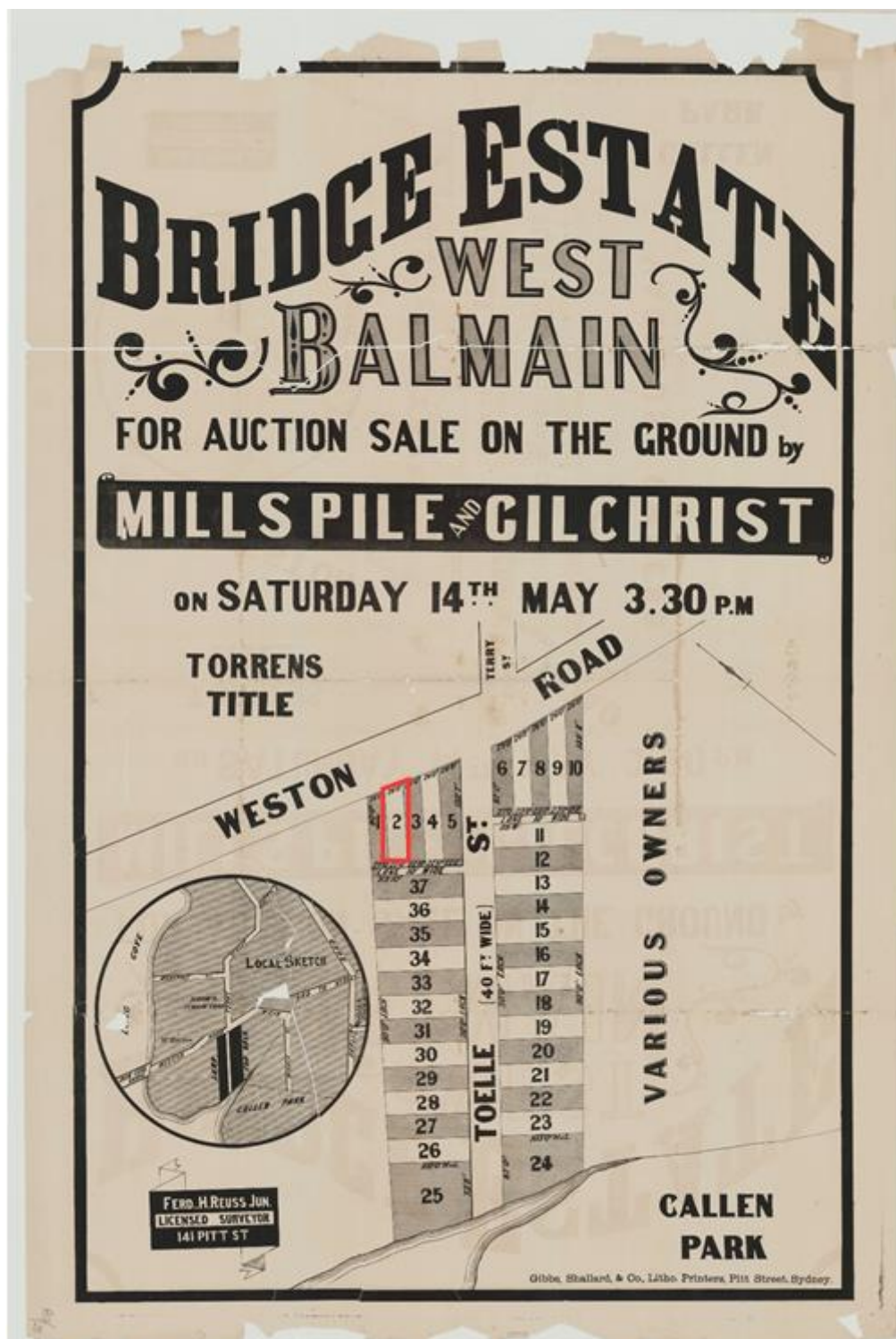


Figure 5. c.1876-1926 Bridge Estate West Balmain sale plan with subject site indicated in red; note modern Victoria Road is labelled Weston Road (State Library of NSW Z/SP/R17/25)

4. Physical Description

4.1 Exterior

The dwellings at 248 and 250 Victoria Road form a set of matching Federation style two-storey terrace houses with Italianate influences. The buildings are constructed of brick with a rendered finish, with 248 demarcated from 250 by a projecting party wall. There is a corbelled parapet with vase urn on each opposing side of the dwellings and central decorative pediment. Each building has a bullnose verandah roof, constructed of corrugated iron or steel. The timber balconies on both properties feature timber fretwork and detailing and a filigree balustrade. The ground level exterior of both dwellings features a four-panelled timber door with slate threshold stone and double-hung eight panelled window with four clear panes and four red panes. The second story balcony exterior has a four-panelled French door. Each ground floor entry consists of two sets of tessellated tiles on the front walkway and porch and a wrought iron front boundary fence and gate.

4.1.1 248 Victoria Road

The rear exterior of 248 Victoria Road has been subject to several alterations and additions. The rear wall is comprised entirely of a modern set of French doors and glass panelling leading to a timber verandah. This verandah is enclosed to the south-eastern and north-western sides by a lattice wall and at the south-western end by a lower timber lattice wall. A hard-plastic roof set upon timber beams has been installed over the timber verandah. A set of timber stairs leads to a small backyard, currently occupied by a mature avocado tree and leaf litter. A metal roller door has been installed at the rear wall of the garden, presumably to provide access to the rear laneway.

4.1.2 250 Victoria Road

The rear exterior of 250 Victoria Road has been subject to several alterations and additions. The rear wall is constructed of brick with a rendered finish and opens on to a terracotta tiled verandah. The rear door of the dwelling has been replaced with a modern glass-paned sliding door, with timber joinery surrounding the door and adjacent window painted a dark green to match the front exterior of the dwelling. A hard-plastic roof set upon timber beams has been installed over the terracotta tiled verandah, with timber beams enclosing and providing a small fence to delineate this verandah from the rest of the exterior. Two sandstone steps provide access to the rest of the exterior of 248 Victoria Road, which comprises a paved surface with pre-fabricated corrugated iron shed and mature tree species at the rear, bounded within a garden set with sandstone blocks.

4.2 Interior

4.2.1 248 Victoria Road

The interior of 248 Victoria Road retains its original layout in the front two rooms, with significant alterations to the rear of the dwelling. The interior floor plan is typical of a terrace dwelling, with a front area two rooms deep and narrowing to a single-room wing at the rear. The second interior room contains a timber staircase and balustrade, leading to two bedrooms on the second level, each with a balcony. Additions within the dwelling include replacement of several doors and the installation of modern lighting (though the original plaster ceiling roses have been retained).

The rear of the dwelling has been altered, including the bathroom and kitchen, which have been internally stripped and replaced with modern elements. The second-storey bedrooms appear to retain a moderate amount of historic fabric, including French doors and door hardware, however, modern built-in wardrobes have been installed within both rooms.

4.2.2 250 Victoria Road

The interior of 250 Victoria Road retains its original layout in the front two rooms, with significant alterations to the rear of the dwelling. The interior floor plan is typical of a terrace dwelling, with a front area two rooms deep that narrow to a single-room wing at the rear. The second interior room contains a timber staircase and balustrade, leading to two bedrooms on the second level, each with a balcony. Additions within the dwelling include replacement of several doors and the installation of modern lighting (though the original plaster ceiling roses have been retained).

The rear of the dwelling has been moderately altered; the kitchen has had modern installations but still retains a moderate amount of historic fabric. The rear bathroom has been internally stripped and replaced with modern elements. The second-storey bedrooms appear to retain a moderate amount of historic fabric, including French doors and door hardware, however, modern built-in wardrobes have been installed within both rooms.

5. Archival Recording

5.1 Photographic Recording Sheets

Site Name.	Date
Photographer:	Ben Calvert and Gabrielle Harrington
Date:	27 June 2019
Camera:	Canon EOS 5D and 7D
Lens:	16-35mm, 24-105mm
Comments:	Photographs taken in mid-morning light. Fine conditions, some cloud cover.

5.1.1 248 Victoria Road

Image Name.	Direction	Details	Thumbnail
001_248_VIC_RD_2019	W	View to façade of 248 Victoria Road.	
002_248_VIC_RD_2019	W	View of landscape and corrugated iron fence.	

Image Name.	Direction	Details	Thumbnail
003_248_VIC_RD_2019	SW	View to entrance.	
004_248_VIC_RD_2019	SE	Overview of 248 Victoria Road as it attaches to 250 Victoria Road.	
005_248_VIC_RD_2019	SE	View to façade.	

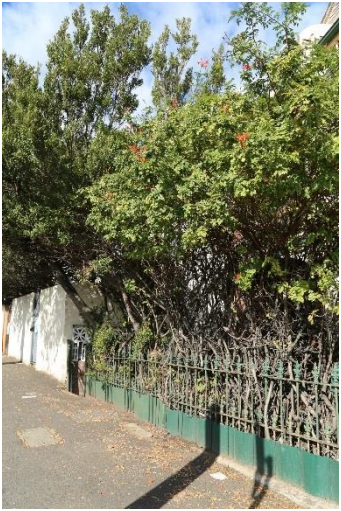



Image Name.	Direction	Details	Thumbnail
006_248_VIC_RD_2019	SE	View of landscaping and corrugated iron fence surrounding façade.	
007_248_VIC_RD_2019	S	View of corrugated iron fence.	
008_248_VIC_RD_2019	S	View of 248 Victoria Road.	
009_248_VIC_RD_2019	S	View of corrugated iron fence and decorative concrete and brick wall.	


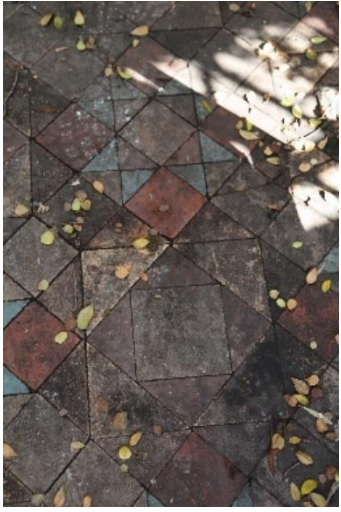


Image Name.	Direction	Details	Thumbnail
010_248_VIC_RD_2019	S	Overview of entrance path with multicoloured decorative tiling.	
011_248_VIC_RD_2019	-	Detail of path tiles.	
012_248_VIC_RD_2019	E	Detail of decorative concrete wall with floral and geometric detail.	
013_248_VIC_RD_2019	-	View to front balcony on first floor.	

Image Name.	Direction	Details	Thumbnail
014_248_VIC_RD_2019	SW	View to entrance of 248 Victoria Road.	
015_248_VIC_RD_2019	W	View to front double sash windows with glazed sidelights.	
016_248_VIC_RD_2019	NW	Brickwork detail at front entrance.	

Image Name.	Direction	Details	Thumbnail
017_248_VIC_RD_2019	NW	Detail of multi-coloured path tiles along front entrance.	
018_248_VIC_RD_2019	NE	View towards street from front door.	
019_248_VIC_RD_2019	SW	Overview of Living Room.	
020_248_VIC_RD_2019	SW	View of timber-panel door with glazed lights in Living Room.	
021_248_VIC_RD_2019	S	View of Living Room.	



Image Name.	Direction	Details	Thumbnail
022_248_VIC_RD_2019	W	View of fireplace in Living Room.	
023_248_VIC_RD_2019	W	Detail of fireplace in Living Room.	
024_248_VIC_RD_2019	N	View of front entrance from Living Room.	
025_248_VIC_RD_2019	NE	Detail of front door lock.	
026_248_VIC_RD_2019	-	View to wall vents in Living Room.	

Image Name.	Direction	Details	Thumbnail
027_248_VIC_RD_2019	-	Detail of wall vent.	
028_248_VIC_RD_2019	-	View to ceiling in Living Room.	
029_248_VIC_RD_2019	-	Detail of ceiling rose in Living Room.	
030_248_VIC_RD_2019	SW	Overview of Dining Room.	
031_248_VIC_RD_2019	S	View of Dining Room.	

Image Name.	Direction	Details	Thumbnail
032_248_VIC_RD_2019	NE	Overview of Dining Room.	
033_248_VIC_RD_2019	N	Overview of Dining Room.	
034_248_VIC_RD_2019	N	Detail of fireplace in Dining Room.	
035_248_VIC_RD_2019	E	View towards staircase in Dining Room.	

Image Name.	Direction	Details	Thumbnail
036_248_VIC_RD_2019	E	Staircase in Dining Room.	
037_248_VIC_RD_2019	-	Detail of ceiling rose in Dining Room.	
038_248_VIC_RD_2019	-	Detail of ceiling rose in Dining Room.	
039_248_VIC_RD_2019	-	Detail of ceiling pull cord switch.	
040_248_VIC_RD_2019	SW	View from Dining Room into hallway.	

Image Name.	Direction	Details	Thumbnail
041_248_VIC_RD_2019	SW	View of hallway towards Kitchen.	
042_248_VIC_RD_2019	NE	View of hallway towards Dining Room.	
043_248_VIC_RD_2019	NE	Overview of Bathroom.	
044_248_VIC_RD_2019	E	View of Bathroom.	

Image Name.	Direction	Details	Thumbnail
045_248_VIC_RD_2019	S	View of Bathroom.	
046_248_VIC_RD_2019	-	View to ceiling skylights in Bathroom.	
047_248_VIC_RD_2019	S	View to Kitchen.	
048_248_VIC_RD_2019	SW	Overview of Kitchen.	
049_248_VIC_RD_2019	SW	Detail of panel glass wall with awning windows and door leading to rear yard.	
050_248_VIC_RD_2019	N	View of kitchen towards hallway.	
051_248_VIC_RD_2019	E	Overview of hallway and Kitchen.	

Image Name.	Direction	Details	Thumbnail
052_248_VIC_RD_2019	NE	View to ceiling	
053_248_VIC_RD_2019	-	Detail of ceiling rose.	
054_248_VIC_RD_2019	SE	View of timber lattice wall on rear verandah.	
055_248_VIC_RD_2019	NW	View of timber lattice wall on rear verandah.	






Image Name.	Direction	Details	Thumbnail
056_248_VIC_RD_2019	-	View to skillion roof over rear verandah.	
057_248_VIC_RD_2019	NE	View to rear verandah.	
058_248_VIC_RD_2019	NE	View of rear verandah and skillion roof of 250 Victoria Road.	
059_248_VIC_RD_2019	R	View of rear yard.	
060_248_VIC_RD_2019	W	View to garage door.	




Image Name.	Direction	Details	Thumbnail
061_248_VIC_RD_2019	W	View from verandah into rear yard.	
062_248_VIC_RD_2019	SW	View to double sash windows on ground floor from staircase.	
063_248_VIC_RD_2019	SW	Overview of timber staircase from first floor.	

Image Name.	Direction	Details	Thumbnail
064_248_VIC_RD_2019	SW	Detail of timber staircase.	
065_248_VIC_RD_2019	SW	Detail of decorative timber wall detail above staircase.	
066_248_VIC_RD_2019	N	View from staircase into Bedroom 1.	

Image Name.	Direction	Details	Thumbnail
067_248_VIC_RD_2019	N	Overview of Bedroom 1 on first floor.	
068_248_VIC_RD_2019	W	View of Bedroom 1.	
069_248_VIC_RD_2019	W	View of dismantled fireplace.	
070_248_VIC_RD_2019	W	Detail of cast iron fireplace.	

Image Name.	Direction	Details	Thumbnail
071_248_VIC_RD_2019	S	View of Bedroom 1 towards staircase.	
072_248_VIC_RD_2019	E	Overview of Bedroom 1.	
073_248_VIC_RD_2019	NE	View of French doors opening to balcony in Bedroom 1.	
074_248_VIC_RD_2019	SW	View of timber panel door in Bedroom 1 towards staircase.	



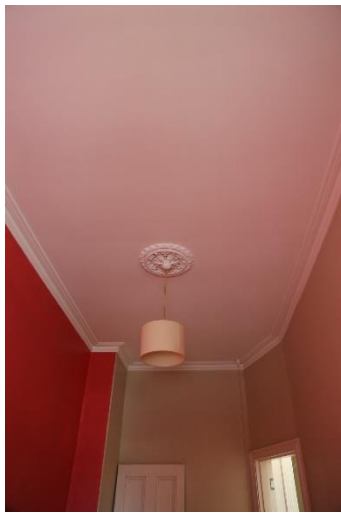

Image Name.	Direction	Details	Thumbnail
075_248_VIC_RD_2019	-	View to ceiling in Bedroom 1.	
076_248_VIC_RD_2019	-	Detail of ceiling rose in Bedroom 1.	
077_248_VIC_RD_2019	W	View to Bedroom 2 from top of staircase.	
078_248_VIC_RD_2019	W	Overview of Bedroom 2.	
079_248_VIC_RD_2019	S	View of Bedroom 2.	

Image Name.	Direction	Details	Thumbnail
080_248_VIC_RD_2019	NE	Overview of Bedroom 2.	
081_248_VIC_RD_2019	SE	View of built-in wardrobe in Bedroom 2.	
082_248_VIC_RD_2019	SW	Detail of French doors in Bedroom 2.	

Image Name.	Direction	Details	Thumbnail
083_248_VIC_RD_2019	NE	View to ceiling in Bedroom 2.	
084_248_VIC_RD_2019	-	Detail of ceiling rose in Bedroom 2.	

5.1.2 250 Victoria Road


Image Name.	Direction	Details	Thumbnail
001_250_VIC_RD_2019	W	View to 250 Victoria Road.	




Image Name.	Direction	Details	Thumbnail
002_250_VIC_RD_2019	S	View of façade and northern elevation of 250 Victoria Road.	
003_250_VIC_RD_2019	S	View of 250 Victoria Road.	
004_250_VIC_RD_2019	S	View of northern elevation.	

Image Name.	Direction	Details	Thumbnail
005_250_VIC_RD_2019	S	View of northern elevation.	
006_250_VIC_RD_2019	SW	View of front entrance to 250 Victoria Road.	
007_250_VIC_RD_2019	S	View to corrugated iron fence.	

Image Name.	Direction	Details	Thumbnail
008_250_VIC_RD_2019	SE	Brickwork detail at front entrance.	
009_250_VIC_RD_2019	S	View to front double sash windows with glazed sidelights.	
010_250_VIC_RD_2019	E	Landscaping and sandstone blocks at front entrance.	

Image Name.	Direction	Details	Thumbnail
011_250_VIC_RD_2019	SW	View to front entrance door.	 A photograph of the front entrance door, which is a dark green metal door with a decorative arched design. The door is set within a white stone archway. The number '250' is visible on the wall to the left of the door.
012_250_VIC_RD_2019	NW	View of front entrance.	 A photograph showing the front entrance from a north-west perspective. The white stone archway and the dark green door are visible. The number '250' is on the wall to the left. A white wall and some foliage are visible in the background.
013_250_VIC_RD_2019	-	View to timber verandah beam.	 A photograph looking up at the timber verandah beam. The beam is dark wood and runs horizontally across the frame. Below it, the white stone archway and the dark green door are visible.

Image Name.	Direction	Details	Thumbnail
014_250_VIC_RD_2019	-	View to tessellated-tile path.	
015_250_VIC_RD_2019	SW	View to Room 1 on ground floor.	
016_250_VIC_RD_2019	SW	View to timber mantelpiece detached from fireplace.	

Image Name.	Direction	Details	Thumbnail
017_250_VIC_RD_2019	SW	Detail of timber engraving on fireplace mantle.	
018_250_VIC_RD_2019	S	View of disassembled fireplace.	
019_250_VIC_RD_2019	S	View to Living Room.	
020_250_VIC_RD_2019	-	Detail of decorative tiling around fireplace.	

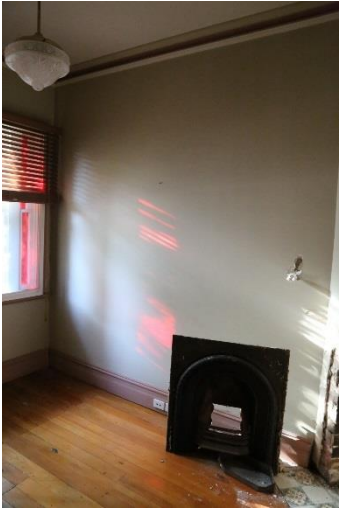

Image Name.	Direction	Details	Thumbnail
021_250_VIC_RD_2019	E	View of cast iron fireplace.	
022_250_VIC_RD_2019	E	Overview of Living Room.	
023_250_VIC_RD_2019	SE	View to Living Room.	

Image Name.	Direction	Details	Thumbnail
024_250_VIC_RD_2019	NE	View to front entrance from Living Room.	
025_250_VIC_RD_2019	-	Overview of ceiling in Living Room.	
026_250_VIC_RD_2019	-	Detail of ceiling rose in Living Room.	
027_250_VIC_RD_2019	S	Overview of Dining Room.	

Image Name.	Direction	Details	Thumbnail
028_250_VIC_RD_2019	SE	View of Dining Room.	
029_250_VIC_RD_2019	SW	View to underside of staircase in Dining Room.	
030_250_VIC_RD_2019	SW	View towards kitchen from Dining Room.	





Image Name.	Direction	Details	Thumbnail
031_250_VIC_RD_2019	E	View to fireplace in Dining Room.	
032_250_VIC_RD_2019	E	View to fireplace and surrounds.	
033_250_VIC_RD_2019	E	Detail of cast iron fireplace.	
034_250_VIC_RD_2019	N	View of Dining Room.	

Image Name.	Direction	Details	Thumbnail
035_250_VIC_RD_2019	NW	View of Dining Room.	
036_250_VIC_RD_2019	W	View to timber staircase in Dining Room.	
037_250_VIC_RD_2019	W	Overview of Dining Room.	

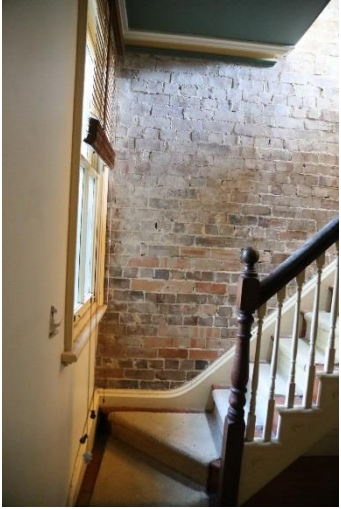
Image Name.	Direction	Details	Thumbnail
038_250_VIC_RD_2019	NE	View of Dining Room.	 A photograph of a dining room with white walls, a dark green ceiling, and a wooden floor. A fireplace is visible on the right wall, and a doorway is on the left.
039_250_VIC_RD_2019	N	View to timber staircase in Dining Room.	 A photograph of a timber staircase with a dark wooden handrail and white balusters, set against a brick wall.
040_250_VIC_RD_2019	NW	View to foot of staircase.	 A photograph of the foot of a timber staircase with a dark wooden handrail and white balusters, set against a brick wall.






Image Name.	Direction	Details	Thumbnail
041_250_VIC_RD_2019	NW	Detail of timberwork on staircase.	
042_250_VIC_RD_2019	SE	View to timber floorboards and skirting in Dining Room.	
043_250_VIC_RD_2019	-	Overview of ceiling in Dining Room.	
044_250_VIC_RD_2019	-	Ceiling rose in Dining Room.	
045_250_VIC_RD_2019	SW	Overview of Kitchen.	

Image Name.	Direction	Details	Thumbnail
046_250_VIC_RD_2019	W	View of Kitchen.	 A photograph showing a view of a kitchen from the west. The room features a wooden ceiling, stone walls, and a wooden countertop with a sink. A doorway is visible in the background.
047_250_VIC_RD_2019	NW	View of Kitchen.	 A photograph showing a view of a kitchen from the northwest. The room features a wooden countertop with a sink, a stone wall, and a window.
048_250_VIC_RD_2019	SW	View to fireplace in Kitchen.	 A photograph showing a view to a fireplace in the kitchen from the southwest. The fireplace is built into a stone wall, and a doorway is visible in the background.

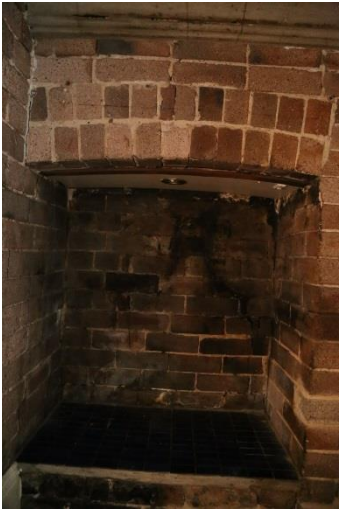


Image Name.	Direction	Details	Thumbnail
049_250_VIC_RD_2019	SW	Detail of brick fireplace in Kitchen.	
050_250_VIC_RD_2019	NE	View towards room 2 from Kitchen.	
051_250_VIC_RD_2019	E	View to exposed brick wall in Kitchen.	




Image Name.	Direction	Details	Thumbnail
052_250_VIC_RD_2019	NW	View of Kitchen.	
053_250_VIC_RD_2019	N	Overview of Kitchen.	
054_250_VIC_RD_2019	W	View to larder in Kitchen.	

Image Name.	Direction	Details	Thumbnail
055_250_VIC_RD_2019	NW	View of Bathroom on ground floor.	
056_250_VIC_RD_2019	W	View to bath in Bathroom.	
057_250_VIC_RD_2019	W	View towards rear yard from Bathroom.	

Image Name.	Direction	Details	Thumbnail
058_250_VIC_RD_2019	S	View of Bathroom.	
059_250_VIC_RD_2019	E	Bathroom with sink and timber cabinet.	
060_250_VIC_RD_2019	E	Overview of Bathroom.	

Image Name.	Direction	Details	Thumbnail
061_250_VIC_RD_2019	N	View towards Kitchen from Bathroom.	
062_250_VIC_RD_2019	W	View to rear hall on ground floor.	
063_250_VIC_RD_2019	S	View from bathroom towards rear yard.	





Image Name.	Direction	Details	Thumbnail
064_250_VIC_RD_2019	SE	View to toilet from rear hall.	
065_250_VIC_RD_2019	SE	Detail of light switches.	
066_250_VIC_RD_2019	SE	View of light switches outside toilet.	
067_250_VIC_RD_2019	E	Detail of light switches.	

Image Name.	Direction	Details	Thumbnail
068_250_VIC_RD_2019	NE	View of glass sliding doors on rear verandah.	
069_250_VIC_RD_2019	E	Overview of rear verandah.	
070_250_VIC_RD_2019	SE	View of rear verandah wall.	





Image Name.	Direction	Details	Thumbnail
071_250_VIC_RD_2019	S	View to rear yard from verandah.	
072_250_VIC_RD_2019	S	View of shed in rear yard.	
073_250_VIC_RD_2019	NE	View towards rear of house from yard.	
074_250_VIC_RD_2019	E	Overview of rear yard.	





Image Name.	Direction	Details	Thumbnail
075_250_VIC_RD_2019	SW	Detail of stone blocks and tiles in rear yard.	
076_250_VIC_RD_2019	NE	View of sandstone steps leading to rear verandah.	
077_250_VIC_RD_2019	SW	View of double-sash window from staircase.	
078_250_VIC_RD_2019	NE	Overview of Bedroom 1 on first floor.	


Image Name.	Direction	Details	Thumbnail
079_250_VIC_RD_2019	E	View of Bedroom 1.	
080_250_VIC_RD_2019	S	Overview of Bedroom 1.	
081_250_VIC_RD_2019	SW	View to staircase from Bedroom 1.	

Image Name.	Direction	Details	Thumbnail
082_250_VIC_RD_2019	S	View of fireplace and detached mantle in Bedroom 1.	
083_250_VIC_RD_2019	-	Overview of ceiling in Bedroom 1.	
084_250_VIC_RD_2019	-	Detail of ceiling rose and fan in Bedroom 1.	
085_250_VIC_RD_2019	W	View of wardrobe and French doors in Bedroom 1.	

Image Name.	Direction	Details	Thumbnail
086_250_VIC_RD_2019	SW	View of French doors in Bedroom 1.	
087_250_VIC_RD_2019	SE	View of balcony adjoining Bedroom 1.	
088_250_VIC_RD_2019	-	Detail of bullnose verandah roof on balcony adjoining Bedroom 1.	






Image Name.	Direction	Details	Thumbnail
089_250_VIC_RD_2019	NW	Brickwork detail on balcony adjoining Bedroom 1.	
090_250_VIC_RD_2019	-	Detail of filigree balustrade on balcony.	
091_250_VIC_RD_2019	-	View to timber floorboards and filigree balustrade on balcony.	
092_250_VIC_RD_2019	S	Overview of Bedroom 2 on first floor.	

Image Name.	Direction	Details	Thumbnail
093_250_VIC_RD_2019	SW	View of Bedroom 2 towards balcony.	
094_250_VIC_RD_2019	NE	View of Bedroom 2.	
095_250_VIC_RD_2019	W	View from Bedroom 2 towards balcony.	

Image Name.	Direction	Details	Thumbnail
096_250_VIC_RD_2019	-	View to ceiling in Bedroom 2.	
097_250_VIC_RD_2019	-	Detail of ceiling rose.	
098_250_VIC_RD_2019	SE	View of balcony in Bedroom 2.	
099_250_VIC_RD_2019	-	View to skillion verandah roof on balcony adjoining Bedroom 2.	

Image Name.	Direction	Details	Thumbnail
100_250_VIC_RD_2019	NW	View of balcony adjoining Bedroom 2.	
101_250_VIC_RD_2019	-	View to timber floorboards on balcony.	
102_250_VIC_RD_2019	S	View southward from balcony.	
103_250_VIC_RD_2019	SW	View towards rear yard from balcony.	
104_250_VIC_RD_2019	W	View towards rear of 252 Victoria Road from balcony.	

Image Name.	Direction	Details	Thumbnail
105_250_VIC_RD_2019	SW	View of Colorbond roof on 250 Victoria Road.	

5.1.3 Views and Settings: 248-250 Victoria Road

Image Name.	Direction	Details	Thumbnail
001_248-250_VIC_RD_2019	S	View of front and northern elevations of 250 Victoria Road	
002_248-250_VIC_RD_2019	-	View of timber joinery on balconies of 248 -250 Victoria Road	
003_248-250_VIC_RD_2019	-	View to parapet vase urn on 250 Victoria Road.	
004_248-250_VIC_RD_2019	NW	View westwards from Victoria Road showing sandstone kerbing.	

Image Name.	Direction	Details	Thumbnail
005_248-250_VIC_RD_2019	N	View of Victoria Road from western corner of Toelle street.	
006_248-250_VIC_RD_2019	SW	View to subject property from Victoria Road median strip.	
007_248-250_VIC_RD_2019	NW	View towards the Iron Cove Bridge.	
008_248-250_VIC_RD_2019	SW	View to subject property from Victoria Road median strip.	
009_248-250_VIC_RD_2019	SW	View to chimney and surrounds on subject property.	
010_248-250_VIC_RD_2019	SW	Setting of subject property.	
011_248-250_VIC_RD_2019	SW	View to subject property.	

Image Name.	Direction	Details	Thumbnail
012_248-250_VIC_RD_2019	SW	View to chimney and surrounds.	
013_248-250_VIC_RD_2019	S	View to subject buildings and Toelle Street.	
014_248-250_VIC_RD_2019	S	Built environment surrounding subject site.	
015_248-250_VIC_RD_2019	S	View to 248-250 Victoria Road.	
016_248-250_VIC_RD_2019	S	Built environment surrounding subject site.	
017_248-250_VIC_RD_2019	S	View towards subject site.	
018_248-250_VIC_RD_2019	S	View towards subject site.	

Image Name.	Direction	Details	Thumbnail
019_248-250_VIC_RD_2019	S	View towards subject properties.	
020_248-250_VIC_RD_2019	S	View towards north-western elevation of subject properties.	
021_248-250_VIC_RD_2019	S	View towards subject site from Iron Cove Bridge.	
022_248-250_VIC_RD_2019	S	Overview of Victoria Road.	
023_248-250_VIC_RD_2019	W	Overview of Iron Cove Bridge.	
024_248-250_VIC_RD_2019	W	Corner of Toelle street and Victoria Road.	
025_248-250_VIC_RD_2019	W	Commercial building on corner of Toelle Street and Victoria Road.	

Image Name.	Direction	Details	Thumbnail
026_248-250_VIC_RD_2019	SW	Overview of Toelle Street.	
027_248-250_VIC_RD_2019	SW	Built environment and landscaping near subject site.	
028_248-250_VIC_RD_2019	SE	Built environment around subject buildings in Rozelle.	
029_248-250_VIC_RD_2019	E	Built environment around subject buildings in Rozelle.	
030_248-250_VIC_RD_2019	SE	View of Toelle Street showing built environment.	
031_248-250_VIC_RD_2019	NW	View of rear street entrance to subject properties.	
032_248-250_VIC_RD_2019	SE	View of rear street entrance to subject properties.	







Image Name.	Direction	Details	Thumbnail
033_248- 250_VIC_RD_2019	E	View of rear entrances to subject properties.	
034_248- 250_VIC_RD_2019	NE	Rear entrance to 250 Victoria Road.	
035_248- 250_VIC_RD_2019	NE	View to landscape at rear of 250 Victoria Road.	
036_248- 250_VIC_RD_2019	NE	Rear entrance to 248 Victoria Road.	
037_248- 250_VIC_RD_2019	NE	View to landscape at rear of 248 Victoria Road.	

Image Name.	Direction	Details	Thumbnail
038_248-250_VIC_RD_2019	NE	View to rear of 248-250 Victoria Road.	
039_248-250_VIC_RD_2019	NE	Detail of rear verandah and balcony of 248 Victoria Road.	

5.2 Photographic Proof Sheets

5.2.1 248 Victoria Road

248 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



001_248_VIC_RD_2019 f/6.3 ISO 100 1/100 s
2019/06/27 13:09:34



002_248_VIC_RD_2019 f/7.1 ISO 100 1/100 s
2019/06/27 13:09:49



003_248_VIC_RD_2019 f/5.6 ISO 100 1/60 s
2019/06/27 13:10:01



004_248_VIC_RD_2019 f/11 ISO 100 1/250 s
2019/06/27 13:10:42



005_248_VIC_RD_2019 f/10 ISO 100 1/200 s
2019/06/27 13:10:49



006_248_VIC_RD_2019 f/8 ISO 100 1/125 s
2019/06/27 13:11:01



007_248_VIC_RD_2019 f/7.1 ISO 100 1/125 s
2019/06/27 13:11:17



008_248_VIC_RD_2019 f/5.6 ISO 100 1/60 s
2019/06/27 13:11:34



009_248_VIC_RD_2019 f/7.1 ISO 100 1/100 s
2019/06/27 13:12:22



010_248_VIC_RD_2019 f/5 ISO 100 1/50 s
2019/06/27 13:12:36



011_248_VIC_RD_2019 f/4 ISO 125 1/40 s
2019/06/27 13:13:17



012_248_VIC_RD_2019 f/7.1 ISO 100 1/100 s
2019/06/27 13:13:31

248 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



013_248_VIC_RD_2019 f/8 ISO 100 1/125 s
2019/06/27 13:13:49



014_248_VIC_RD_2019 f/5 ISO 100 1/50 s
2019/06/27 13:13:57



015_248_VIC_RD_2019 f/4.5 ISO 100 1/40 s
2019/06/27 13:14:22



016_248_VIC_RD_2019 f/4.5 ISO 100 1/50 s
2019/06/27 13:14:32



017_248_VIC_RD_2019 f/5 ISO 100 1/50 s
2019/06/27 13:14:42



018_248_VIC_RD_2019 f/5.6 ISO 100 1/60 s
2019/06/27 13:15:42



019_248_VIC_RD_2019 f/8 ISO 10000 1/60 s
2019/06/27 13:19:47



020_248_VIC_RD_2019 f/8 ISO 10000 1/40 s
2019/06/27 13:19:55



021_248_VIC_RD_2019 f/8 ISO 10000 1/50 s
2019/06/27 13:19:24



022_248_VIC_RD_2019 f/4 ISO 2500 1/40 s
2019/06/27 13:17:07



023_248_VIC_RD_2019 f/4 ISO 3200 1/30 s
2019/06/27 13:17:25



024_248_VIC_RD_2019 f/8 ISO 10000 1/180 s
2019/06/27 13:18:45

248 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



025_248_VIC_RD_2019 f/8 ISO 10000 1/100 s
2019/06/27 14:05:52



026_248_VIC_RD_2019 f/8 ISO 10000 1/180 s
2019/06/27 14:05:37



027_248_VIC_RD_2019 f/8 ISO 10000 1/180 s
2019/06/27 14:05:28



028_248_VIC_RD_2019 f/8 ISO 10000 1/50 s
2019/06/27 13:27:12



029_248_VIC_RD_2019 f/8 ISO 10000 1/50 s
2019/06/27 13:27:22



030_248_VIC_RD_2019 f/8 ISO 10000 1/15 s
2019/06/27 13:21:47



031_248_VIC_RD_2019 f/8 ISO 10000 1/20 s
2019/06/27 13:22:35



032_248_VIC_RD_2019 f/8 ISO 10000 1/8 s
2019/06/27 13:23:27



033_248_VIC_RD_2019 f/8 ISO 10000 1/6 s
2019/06/27 13:23:42



034_248_VIC_RD_2019 f/8 ISO 10000 1/2 s
2019/06/27 13:24:08



035_248_VIC_RD_2019 f/8 ISO 10000 1/5 s
2019/06/27 13:25:05



036_248_VIC_RD_2019 f/8 ISO 10000 1/4 s
2019/06/27 13:24:41

248 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



037_248_VIC_RD_2019 f/8 ISO 10000 1/8 s
2019/06/27 13:28:12



038_248_VIC_RD_2019 f/8 ISO 10000 1/10 s
2019/06/27 13:28:24



039_248_VIC_RD_2019 f/8 ISO 10000 1/8 s
2019/06/27 13:29:10



040_248_VIC_RD_2019 f/8 ISO 10000 1/100 s
2019/06/27 13:30:02



041_248_VIC_RD_2019 f/8 ISO 10000 1/180 s
2019/06/27 13:30:12



042_248_VIC_RD_2019 f/8 ISO 10000 1/80 s
2019/06/27 13:30:26



043_248_VIC_RD_2019 f/8 ISO 10000 1/125 s
2019/06/27 13:30:56



044_248_VIC_RD_2019 f/8 ISO 10000 1/125 s
2019/06/27 13:31:26



045_248_VIC_RD_2019 f/8 ISO 10000 1/180 s
2019/06/27 13:31:10



046_248_VIC_RD_2019 f/8 ISO 10000 1/180 s
2019/06/27 13:31:44



047_248_VIC_RD_2019 f/8 ISO 10000 1/125 s
2019/06/27 13:34:45



048_248_VIC_RD_2019 f/5.6 ISO 400 1/60 s
2019/06/27 13:39:45

248 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



049_248_VIC_RD_2019 f/9 ISO 400 1/180 s
2019/06/27 13:40:20



050_248_VIC_RD_2019 f/8 ISO 10000 1/200 s
2019/06/27 13:35:48



051_248_VIC_RD_2019 f/4 ISO 1250 1/60 s
2019/06/27 13:38:32



052_248_VIC_RD_2019 f/4 ISO 800 1/60 s
2019/06/27 13:39:03



053_248_VIC_RD_2019 f/4 ISO 800 1/80 s
2019/06/27 13:39:21



054_248_VIC_RD_2019 f/4 ISO 200 1/30 s
2019/06/27 13:41:29



055_248_VIC_RD_2019 f/4 ISO 100 1/30 s
2019/06/27 13:42:11



056_248_VIC_RD_2019 f/5.6 ISO 100 1/60 s
2019/06/27 13:42:49



057_248_VIC_RD_2019 f/4 ISO 200 1/30 s
2019/06/27 13:43:04



058_248_VIC_RD_2019 f/4 ISO 160 1/40 s
2019/06/27 13:43:13



059_248_VIC_RD_2019 f/4 ISO 200 1/30 s
2019/06/27 13:45:23



060_248_VIC_RD_2019 f/4 ISO 160 1/30 s
2019/06/27 13:43:44

248 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



061_248_VIC_RD_2019 f/4 ISO 250 1/30 s
2019/06/27 13:44:09



062_248_VIC_RD_2019 f/8 ISO 10000 1/40 s
2019/06/27 13:48:23



063_248_VIC_RD_2019 f/8 ISO 10000 1/100 s
2019/06/27 13:49:05



064_248_VIC_RD_2019 f/8 ISO 10000 1/30 s
2019/06/27 13:49:19



065_248_VIC_RD_2019 f/4 ISO 800 1/50 s
2019/06/27 13:51:59



066_248_VIC_RD_2019 f/5.6 ISO 400 1/60 s
2019/06/27 13:52:34



067_248_VIC_RD_2019 f/5.6 ISO 400 1/60 s
2019/06/27 13:52:47



068_248_VIC_RD_2019 f/4 ISO 1250 1/80 s
2019/06/27 13:56:24



069_248_VIC_RD_2019 f/4 ISO 1600 1/60 s
2019/06/27 13:57:17



070_248_VIC_RD_2019 f/4 ISO 400 1/60 s
2019/06/27 13:53:49



071_248_VIC_RD_2019 f/4 ISO 640 1/80 s
2019/06/27 13:56:32



072_248_VIC_RD_2019 f/5.6 ISO 400 1/100 s
2019/06/27 13:54:33

248 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



073_248_VIC_RD_2019 f/6.3 ISO 400 1/180 s
2019/06/27 13:54:43



074_248_VIC_RD_2019 f/4 ISO 640 1/60 s
2019/06/27 13:57:38



075_248_VIC_RD_2019 f/4 ISO 400 1/60 s
2019/06/27 13:54:53



076_248_VIC_RD_2019 f/4 ISO 400 1/60 s
2019/06/27 13:55:08



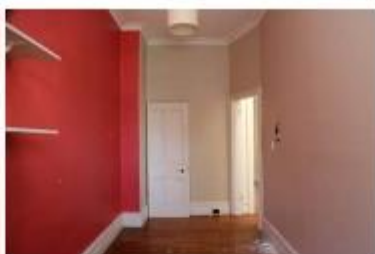
077_248_VIC_RD_2019 f/4 ISO 1000 1/80 s
2019/06/27 13:57:58



078_248_VIC_RD_2019 f/4 ISO 1600 1/60 s
2019/06/27 13:58:06



079_248_VIC_RD_2019 f/4 ISO 800 1/80 s
2019/06/27 13:59:06



080_248_VIC_RD_2019 f/4 ISO 1600 1/60 s
2019/06/27 13:59:25



081_248_VIC_RD_2019 f/4 ISO 1600 1/60 s
2019/06/27 13:59:38



082_248_VIC_RD_2019 f/4 ISO 1600 1/80 s
2019/06/27 14:00:12



083_248_VIC_RD_2019 f/4 ISO 1600 1/60 s
2019/06/27 14:00:49



084_248_VIC_RD_2019 f/4 ISO 1600 1/60 s
2019/06/27 14:01:01

5.2.2 250 Victoria Road

250 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



001_250_VIC_RD_2019 f/4.5 ISO 100 1/40 s
2019/06/27 10:23:38



002_250_VIC_RD_2019 f/7.1 ISO 100 1/100 s
2019/06/27 10:24:05



003_250_VIC_RD_2019 f/7.1 ISO 100 1/100 s
2019/06/27 10:24:09



004_250_VIC_RD_2019 f/8 ISO 100 1/125 s
2019/06/27 10:24:23



005_250_VIC_RD_2019 f/8 ISO 100 1/125 s
2019/06/27 10:24:28



006_250_VIC_RD_2019 f/7.1 ISO 100 1/100 s
2019/06/27 10:24:40



007_250_VIC_RD_2019 f/4.5 ISO 100 1/40 s
2019/06/27 10:24:50



008_250_VIC_RD_2019 f/4 ISO 100 1/40 s
2019/06/27 10:25:02



009_250_VIC_RD_2019 f/10 ISO 16000 1/800 s
2019/06/27 10:25:43



010_250_VIC_RD_2019 f/4 ISO 320 1/30 s
2019/06/27 10:26:17



011_250_VIC_RD_2019 f/10 ISO 16000 1/320 s
2019/06/27 10:27:25



012_250_VIC_RD_2019 f/10 ISO 16000 1/640 s
2019/06/27 10:27:56

250 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



013_250_VIC_RD_2019 f/10 ISO 16000 1/160 s
2019/06/27 10:28:00



014_250_VIC_RD_2019 f/10 ISO 16000 1/800 s
2019/06/27 10:28:07



015_250_VIC_RD_2019 f/8 ISO 12800 1/25 s
2019/06/27 11:52:42



016_250_VIC_RD_2019 f/8 ISO 12800 1/30 s
2019/06/27 11:54:16



017_250_VIC_RD_2019 f/10 ISO 16000 1/60 s
2019/06/27 10:32:56



018_250_VIC_RD_2019 f/8 ISO 12800 1/60 s
2019/06/27 11:54:25



019_250_VIC_RD_2019 f/8 ISO 12800 1/80 s
2019/06/27 11:52:53



020_250_VIC_RD_2019 f/4 ISO 1250 1/60 s
2019/06/27 11:55:42



021_250_VIC_RD_2019 f/10 ISO 16000 1/8 s
2019/06/27 10:33:25



022_250_VIC_RD_2019 f/10 ISO 16000 1/30 s
2019/06/27 10:43:31



023_250_VIC_RD_2019 f/8 ISO 12800 1/180 s
2019/06/27 11:53:09



024_250_VIC_RD_2019 f/10 ISO 16000 1/15 s
2019/06/27 10:43:25

250 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



025_250_VIC_RD_2019 f/8 ISO 12800 1/100 s
2019/06/27 11:53:32



026_250_VIC_RD_2019 f/8 ISO 12800 1/80 s
2019/06/27 11:54:03



027_250_VIC_RD_2019 f/4 ISO 12800 1/40 s
2019/06/27 11:57:38



028_250_VIC_RD_2019 f/4.5 ISO 12800 1/40 s
2019/06/27 11:58:03



029_250_VIC_RD_2019 f/4 ISO 12800 1/40 s
2019/06/27 11:57:30



030_250_VIC_RD_2019 f/4 ISO 12800 1/40 s
2019/06/27 12:03:54



031_250_VIC_RD_2019 f/4.5 ISO 12800 1/40 s
2019/06/27 11:58:38



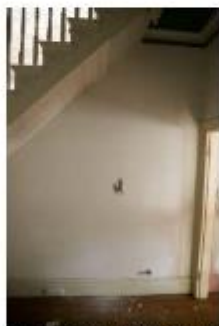
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2019/06/27 11:59:28



033_250_VIC_RD_2019 f/4 ISO 12800 1/40 s
2019/06/27 12:00:48



034_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 10:56:48



035_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 10:56:52



036_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 10:56:55

250 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



037_250_VIC_RD_2019 f/7.1 ISO 16000 1/40 s
2019/06/27 10:57:00



038_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 10:57:24



039_250_VIC_RD_2019 f/4.5 ISO 16000 1/40 s
2019/06/27 10:57:32



040_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 10:57:39



041_250_VIC_RD_2019 f/9 ISO 16000 1/4 s
2019/06/27 10:58:42



042_250_VIC_RD_2019 f/8 ISO 12800 1/8 s
2019/06/27 12:02:00



043_250_VIC_RD_2019 f/4 ISO 12800 1/40 s
2019/06/27 12:02:30



044_250_VIC_RD_2019 f/4 ISO 12800 1/40 s
2019/06/27 12:03:38



045_250_VIC_RD_2019 f/4 ISO 12800 1/40 s
2019/06/27 12:05:34



046_250_VIC_RD_2019 f/4.5 ISO 12800 1/40 s
2019/06/27 12:05:41



047_250_VIC_RD_2019 f/4 ISO 12800 1/40 s
2019/06/27 12:06:30



048_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 12:08:10

250 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



049_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 12:08:47



050_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 12:10:48



051_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 12:10:52



052_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 12:11:07



053_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 12:11:10



054_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 12:11:41



055_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 12:12:22



056_250_VIC_RD_2019 f/5.6 ISO 16000 1/40 s
2019/06/27 12:12:26



057_250_VIC_RD_2019 f/11 ISO 16000 1/40 s
2019/06/27 12:12:38



058_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 12:13:09



059_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 12:13:38



060_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 12:13:48

250 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



061_250_VIC_RD_2019 f/4 ISO 16000 1/40 s
2019/06/27 12:13:58



062_250_VIC_RD_2019 f/6.3 ISO 16000 1/40 s
2019/06/27 12:14:40



063_250_VIC_RD_2019 f/5.6 ISO 16000 1/40 s
2019/06/27 12:15:01



064_250_VIC_RD_2019 f/5.6 ISO 16000 1/40 s
2019/06/27 12:16:10



065_250_VIC_RD_2019 f/5 ISO 16000 1/40 s
2019/06/27 12:16:40



066_250_VIC_RD_2019 f/5 ISO 16000 1/40 s
2019/06/27 12:16:58



067_250_VIC_RD_2019 f/5.6 ISO 16000 1/40 s
2019/06/27 12:17:28



068_250_VIC_RD_2019 f/8 ISO 16000 1/125 s
2019/06/27 12:19:14



069_250_VIC_RD_2019 f/8 ISO 16000 1/200 s
2019/06/27 12:19:17



070_250_VIC_RD_2019 f/8 ISO 16000 1/320 s
2019/06/27 12:19:23



071_250_VIC_RD_2019 f/4.5 ISO 200 1/30 s
2019/06/27 12:20:09



072_250_VIC_RD_2019 f/4 ISO 160 1/30 s
2019/06/27 12:20:20

250 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



073_250_VIC_RD_2019 f/4 ISO 160 1/30 s
2019/06/27 12:20:52



074_250_VIC_RD_2019 f/4.5 ISO 320 1/30 s
2019/06/27 12:21:02



075_250_VIC_RD_2019 f/4 ISO 320 1/30 s
2019/06/27 12:21:30



076_250_VIC_RD_2019 f/4 ISO 1000 1/30 s
2019/06/27 12:21:38



077_250_VIC_RD_2019 f/4 ISO 1600 1/60 s
2019/06/27 12:25:47



078_250_VIC_RD_2019 f/4 ISO 100 1/30 s
2019/06/27 12:26:48



079_250_VIC_RD_2019 f/4 ISO 100 1/30 s
2019/06/27 12:26:53



080_250_VIC_RD_2019 f/4.5 ISO 320 1/30 s
2019/06/27 12:27:11



081_250_VIC_RD_2019 f/4 ISO 320 1/30 s
2019/06/27 12:27:17



082_250_VIC_RD_2019 f/4 ISO 200 1/30 s
2019/06/27 12:27:27



083_250_VIC_RD_2019 f/4 ISO 400 1/30 s
2019/06/27 12:27:35



084_250_VIC_RD_2019 f/4 ISO 400 1/40 s
2019/06/27 12:27:45

250 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



085_250_VIC_RD_2019 f/4.5 ISO 160 1/30 s
2019/06/27 12:28:14



086_250_VIC_RD_2019 f/4 ISO 100 1/40 s
2019/06/27 12:28:38



087_250_VIC_RD_2019 f/7.1 ISO 100 1/125 s
2019/06/27 12:29:38



088_250_VIC_RD_2019 f/8 ISO 10000 1/800 s
2019/06/27 12:30:04



089_250_VIC_RD_2019 f/8 ISO 10000 1/4000 s
2019/06/27 12:30:21



090_250_VIC_RD_2019 f/8 ISO 10000 1/2000 s
2019/06/27 12:30:48



091_250_VIC_RD_2019 f/8 ISO 10000 1/4000 s
2019/06/27 12:30:52



092_250_VIC_RD_2019 f/8 ISO 10000 1/100 s
2019/06/27 12:33:12



093_250_VIC_RD_2019 f/4 ISO 100 1/40 s
2019/06/27 12:33:33



094_250_VIC_RD_2019 f/4 ISO 800 1/30 s
2019/06/27 12:33:54



095_250_VIC_RD_2019 f/4 ISO 100 1/60 s
2019/06/27 12:34:19



096_250_VIC_RD_2019 f/4 ISO 640 1/30 s
2019/06/27 12:34:36

250 Victoria Road Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



097_250_VIC_RD_2019 f/4 ISO 800 1/40 s
2019/06/27 12:35:06



098_250_VIC_RD_2019 f/8 ISO 10000 1/2000 s
2019/06/27 12:36:31



099_250_VIC_RD_2019 f/5.6 ISO 100 1/60 s
2019/06/27 12:35:59



100_250_VIC_RD_2019 f/8 ISO 10000 1/4000 s
2019/06/27 12:36:44



101_250_VIC_RD_2019 f/8 ISO 10000 1/1250 s
2019/06/27 12:36:54



102_250_VIC_RD_2019 f/9 ISO 100 1/160 s
2019/06/27 12:37:13



103_250_VIC_RD_2019 f/5.6 ISO 100 1/60 s
2019/06/27 12:37:22



104_250_VIC_RD_2019 f/7.1 ISO 100 1/125 s
2019/06/27 12:37:26



105_250_VIC_RD_2019 f/6.3 ISO 100 1/100 s
2019/06/27 12:37:37

5.2.3 Views and settings: 248-250 Victoria Road

Views and Settings: 248-250 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



001_248-250_VIC_RD_2019 f/10 ISO 100 1/200 s
2019/06/27 16:14:31



002_248-250_VIC_RD_2019 f/5.6 ISO 100 1/250 s
2019/06/27 16:14:47



003_248-250_VIC_RD_2019 f/8 ISO 100 1/400 s
2019/06/27 16:14:36



004_248-250_VIC_RD_2019 f/9 ISO 100 1/160 s
2019/06/27 15:43:23



005_248-250_VIC_RD_2019 f/9 ISO 100 1/160 s
2019/06/27 15:43:29



006_248-250_VIC_RD_2019 f/10 ISO 100 1/200 s
2019/06/27 15:47:09



007_248-250_VIC_RD_2019 f/10 ISO 100 1/250 s
2019/06/27 15:47:16



008_248-250_VIC_RD_2019 f/8 ISO 100 1/250 s
2019/06/27 15:47:32



009_248-250_VIC_RD_2019 f/8 ISO 100 1/400 s
2019/06/27 15:47:34



010_248-250_VIC_RD_2019 f/8 ISO 100 1/250 s
2019/06/27 15:47:51



011_248-250_VIC_RD_2019 f/6.3 ISO 100 1/160 s
2019/06/27 15:48:11



012_248-250_VIC_RD_2019 f/7.1 ISO 100 1/400 s
2019/06/27 15:48:20

Views and Settings: 248-250 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



013_248-250_VIC_RD_2019 f/9 ISO 100 1/160 s
2019/06/27 15:50:22



014_248-250_VIC_RD_2019 f/9 ISO 100 1/160 s
2019/06/27 15:50:39



015_248-250_VIC_RD_2019 f/8 ISO 100 1/200 s
2019/06/27 15:51:08



016_248-250_VIC_RD_2019 f/10 ISO 100 1/250 s
2019/06/27 15:51:31



017_248-250_VIC_RD_2019 f/11 ISO 100 1/250 s
2019/06/27 15:52:14



018_248-250_VIC_RD_2019 f/10 ISO 100 1/320 s
2019/06/27 15:52:20



019_248-250_VIC_RD_2019 f/10 ISO 100 1/200 s
2019/06/27 15:55:58



020_248-250_VIC_RD_2019 f/9 ISO 100 1/400 s
2019/06/27 15:56:00



021_248-250_VIC_RD_2019 f/9 ISO 100 1/200 s
2019/06/27 15:57:57



022_248-250_VIC_RD_2019 f/10 ISO 100 1/250 s
2019/06/27 15:58:01



023_248-250_VIC_RD_2019 f/10 ISO 100 1/200 s
2019/06/27 15:58:11



024_248-250_VIC_RD_2019 f/8 ISO 100 1/125 s
2019/06/27 16:05:47

Views and Settings: 248-250 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



025_248-250_VIC_RD_2019 f7.1 ISO 100 1/100 s
2019/06/27 16:05:50



026_248-250_VIC_RD_2019 f7.1 ISO 100 1/100 s
2019/06/27 16:06:12



027_248-250_VIC_RD_2019 f9 ISO 100 1/160 s
2019/06/27 16:06:48



028_248-250_VIC_RD_2019 f10 ISO 100 1/200 s
2019/06/27 16:07:20



029_248-250_VIC_RD_2019 f8 ISO 100 1/125 s
2019/06/27 16:07:22



030_248-250_VIC_RD_2019 f8 ISO 100 1/125 s
2019/06/27 16:07:27



031_248-250_VIC_RD_2019 f7.1 ISO 100 1/100 s
2019/06/27 16:07:40



032_248-250_VIC_RD_2019 f8 ISO 100 1/125 s
2019/06/27 16:08:11



033_248-250_VIC_RD_2019 f6.3 ISO 100 1/100 s
2019/06/27 16:08:28



034_248-250_VIC_RD_2019 f5.6 ISO 100 1/80 s
2019/06/27 16:09:17



035_248-250_VIC_RD_2019 f5.6 ISO 100 1/60 s
2019/06/27 16:09:19



036_248-250_VIC_RD_2019 f6.3 ISO 100 1/80 s
2019/06/27 16:09:35

Views and Settings: 248-250 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



037_248-250_VIC_RD_2019 f/5 ISO 100 1/50 s
2019/06/27 16:09:38



038_248-250_VIC_RD_2019 f/5.6 ISO 100 1/60 s
2019/06/27 16:09:55



039_248-250_VIC_RD_2019 f/6.3 ISO 100 1/320 s
2019/06/27 16:10:17

5.3 Photograph Direction Plans

5.3.1 248 Victoria Road

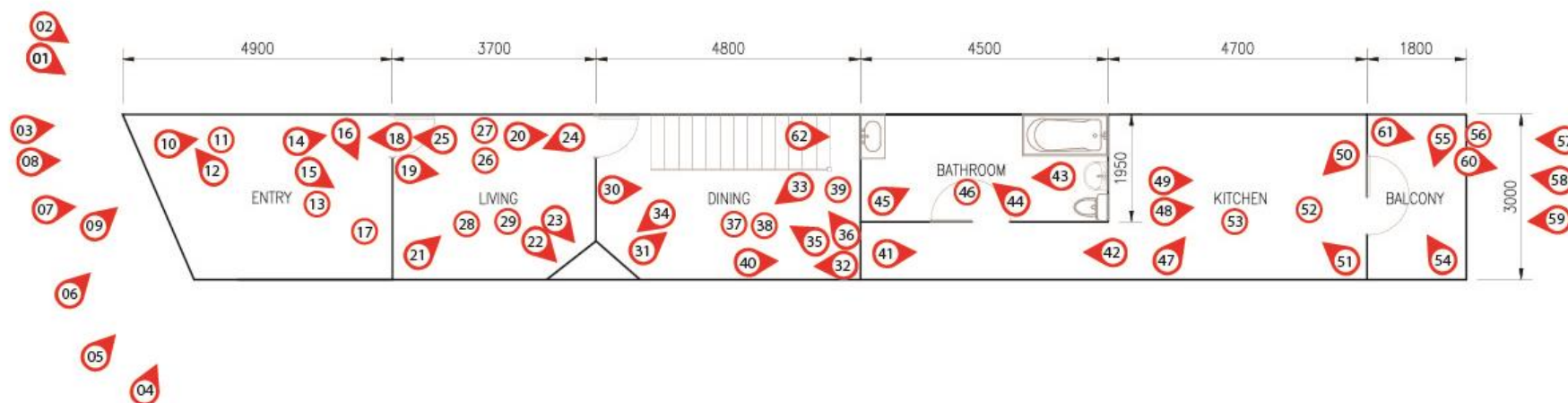
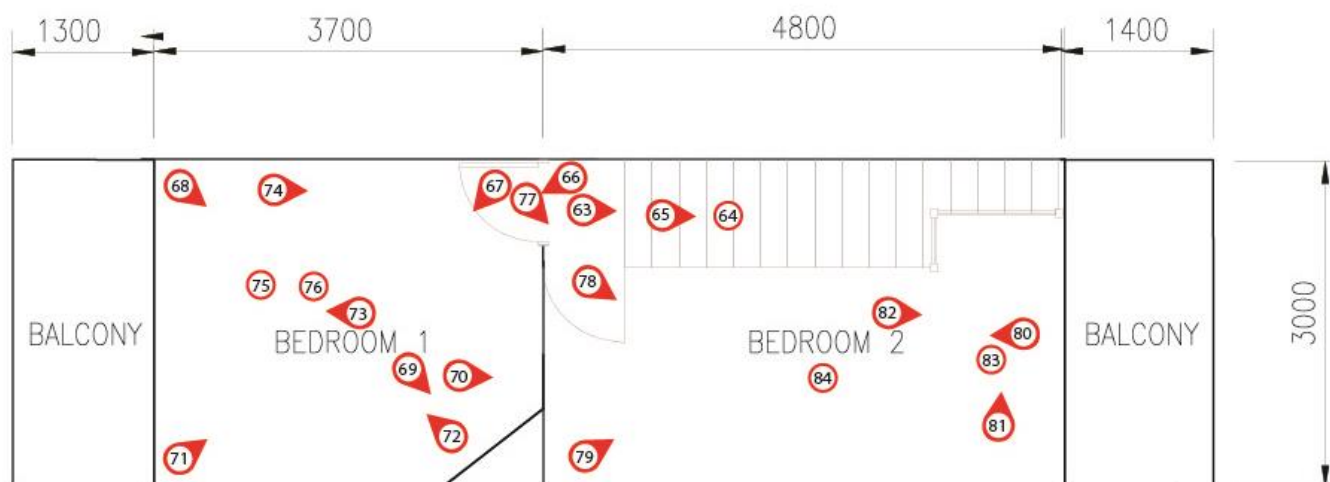


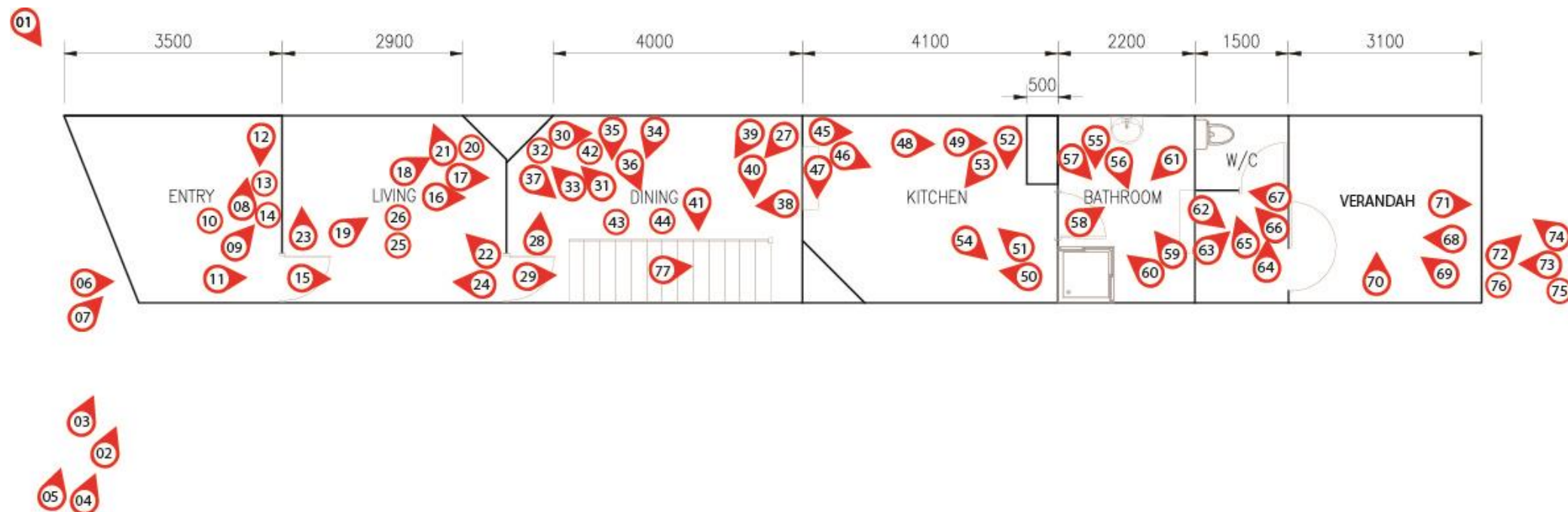
Figure 6. Direction Plan of Ground Floor of 248 Victoria Road.



FIRST FLOOR, 248 VICTORIA ROAD, ROZELLE

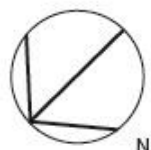
Figure 7. Direction Plan of First Floor of 248 Victoria Road (Note: Balconies were deemed unsafe to access throughout the course of the inspection and so were only photographed from outside).

5.3.2 250 Victoria Road



GROUND FLOOR, 250 VICTORIA ROAD, ROZELLE

Figure 8. Direction Plan of Ground Floor of 250 Victoria Road.



Key:
 Direction
 No direction

FIRST FLOOR, 250 VICTORIA ROAD, ROZELLE

Type: Direction Plan
 Date: July 2019
 Scale: Not to scale
 Source: John Holland
 DWG No. RIC-TEK-SKT-GN00-0004

Figure 9. Direction Plan of First Floor of 250 Victoria Road.

5.3.3 Views and Settings: 248-250 Victoria Road



Figure 10. Direction Plan of Views and Settings to 248-250 Victoria Road.

6. Salvage Report

6.1 Overview

The following section outlines an inventory of existing historic building fabric within 248-250 Victoria Road, Rozelle. While the buildings retain a significant amount of early fabric, their intactness varies across the two dwellings.

A table of existing fabric has been provided below as well as floor plans to assist with the identification of historic building fabric during works. Within each section, a table of existing fabric has been provided which references an indicative floor plan of the site. Where possible, photos of particular elements have been provided for clarity. This material should form part of a catalogue of heritage fabric, to be made available to the public for reuse.

As 248 and 250 share a front exterior, the building fabric catalogue is separated into the following categories:

- Exterior of both 248 and 250 Victoria Road;
- Interior of 248 Victoria Road; and
- Interior of 250 Victoria Road.

As outlined in the limitations for this report, the balcony at 248 Victoria Road was deemed unsafe to access. Photographs of salvageable material were taken from the interior of the building looking out over the balcony and the exterior ground floor looking up to the balcony only.






It is understood that there are some limitations for accessing heritage fabric located on the exterior of the buildings, particularly for roof elements above the first floor. In the case where heritage fabric is unable to be accessed for exceptional reasons such as a road closure or safety risks such as working at heights and active power lines, it is accepted that these items will not form part of the salvage collection. Items related to this limitation were taken into consideration during the salvage assessment and, due to the above limitations, were omitted from the salvage strategy.

In the instance where decorative heritage fabric such as ceiling roses, corbelled mouldings and cornices are not successfully salvaged in a good condition (i.e. broken during salvage and unable to be repaired), it is understood that these salvaged items can be disposed.


6.2 Building Fabric Catalogue



6.2.1 External, 248-250 Victoria Road

Ref #	Feature	Quantity	Thumbnail
1	Tiles	4 sets, if viable	

Ref #	Feature	Quantity	Thumbnail
2	Windows- external joinery	2 sets	 
3	Balcony- joinery and timber detailing	4 sets	  





Ref #	Feature	Quantity	Thumbnail
4	Filigree balustrade	2 sets in front 1 set at rear	  
5	Fencing and gates	1 full set	 



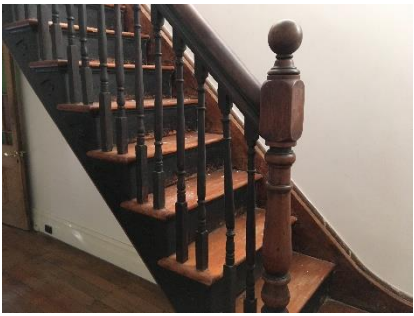

Ref #	Feature	Quantity	Thumbnail
6	Threshold stones	6 sections	
7	Sandstone blocks	Unclear, salvage all if viable	

Ref #	Feature	Quantity	Thumbnail
			
8	Bullnose verandah <i>* Not salvageable due to accessibility.</i>	0	N/A
9	Parapet vase urn <i>* Not salvageable due to accessibility.</i>	0	N/A
10	Corbelled mouldings <i>* Only corbelled mouldings on the ground floor to be salvaged due to accessibility.</i>	3	

6.2.2 Internal, 248 Victoria Road

Ref #	Feature	Quantity	Thumbnail
1	Windows	2	 
2	Window hardware – finger hooks	4 (2 sets of 2)	 



Ref #	Feature	Quantity	Thumbnail
3	<p>Door joinery – panel timber door</p> <p><i>*Salvage door and joinery as set.</i></p>	2	 
4	<p>Door joinery – French door</p> <p><i>*Salvage door and joinery as set.</i></p>	4	
5	<p>Door joinery - hardware</p>	3	

Ref #	Feature	Quantity	Thumbnail
			
6	Door light and frame	3	
7	Stairs – timber stairs <i>* Not able to be salvaged in 248 Victoria Road due to access requirements.</i>	0	N/A
8	Stairs – balustrade <i>* In the case that the balustrade cannot be salvaged as a whole, each element should be numbered and the set stored together.</i>	1	 



Ref #	Feature	Quantity	Thumbnail
9	Wall vents	6	 
10	Ceiling rose – pressed plaster	5, if viable	  

Ref #	Feature	Quantity	Thumbnail
11	Walls - skirting board	6 rooms	
12	Fireplace	3	
13	Fireplace mantle	3	

Ref #	Feature	Quantity	Thumbnail
			
14	Fireplace tiles	3 sets, each with a distinct pattern, if viable	  
15	Light pull and switch	1 set	


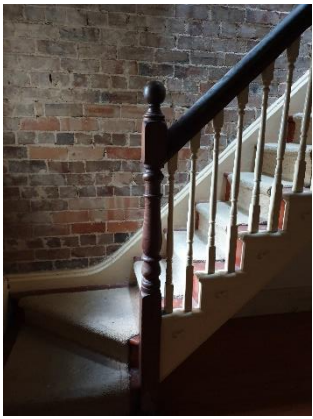


Ref #	Feature	Quantity	Thumbnail
16	Walls - picture rail	1 room	
17	Walls - cornice	6 rooms, if viable	

6.2.3 Internal, 250 Victoria Road

Ref #	Feature	Quantity	Thumbnail
1	Windows	3	
2	Window hardware – finger hooks	6	


Ref #	Feature	Quantity	Thumbnail
3	Door joinery- panel timber door <i>*Salvage door and joinery as set.</i>	7	 
4	Door joinery- French Door <i>*Salvage door and joinery as set.</i>	3	


Ref #	Feature	Quantity	Thumbnail
			
5	Door joinery – hardware	4	 
6	Door light and frame	3	

Ref #	Feature	Quantity	Thumbnail
			
7	Stairs- timber stairs <i>*Not able to be salvaged in 248 Victoria Road due to access requirements.</i>	0	N/A
8	Stairs – balustrade <i>* In the case that the balustrade cannot be salvaged as a whole, each element should be numbered and the set stored together.</i>	1	 
9	Wall vents	4	

Ref #	Feature	Quantity	Thumbnail
			
10	Ceiling rose – pressed plaster.	4, if viable	  
11	Walls- skirting boards	5 rooms	

Ref #	Feature	Quantity	Thumbnail
12	Fireplace	3	 
13	Fireplace- mantle	3	 
14	Fireplace tiles	3 distinct sets, if viable	

Ref #	Feature	Quantity	Thumbnail
			
15	Light pull and switch	5	

Ref #	Feature	Quantity	Thumbnail
16	Cornices	4 rooms, if viable	

6.3 Salvage Plans

Key:

- 1 Tiles
- 2 Windows-external joinery
- 3 Balcony-joinery and timber detail
- 4 Filigree balustrade
- 5 Fencing and gates
- 6 Threshold stone
- 7 Sandstone blocks
- 8 Bullnose verandah
- 9 Parapet vase urn
- 10 Corbelled mouldings



Figure 11. Salvage plan for Exterior of 248 and 250 Victoria Road.

6.3.1 248 Victoria Road

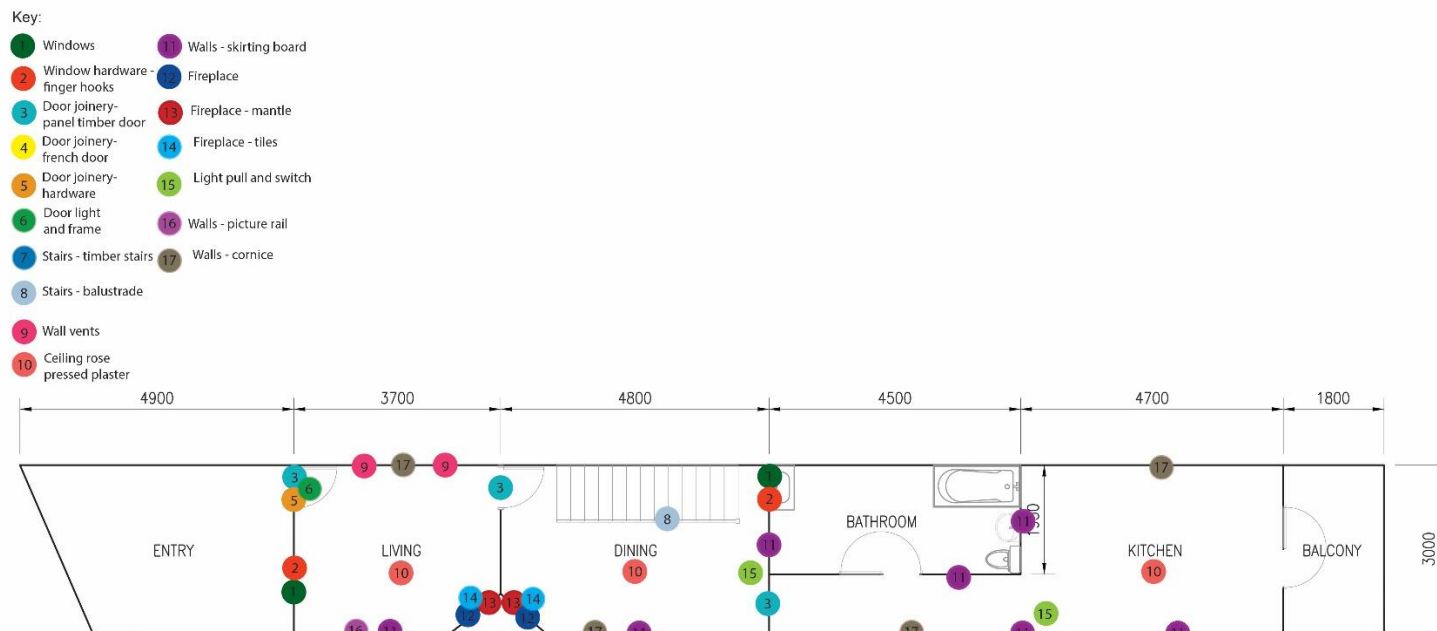


Figure 12. Salvage Plan of Ground Floor of 248 Victoria Road.

Key:

- | | |
|------------------------------------|---------------------------|
| 1 Windows | 11 Walls - skirting board |
| 2 Window hardware - finger hooks | 12 Fireplace |
| 3 Door joinery - panel timber door | 13 Fireplace - mantle |
| 4 Door joinery - french door | 14 Fireplace - tiles |
| 5 Door joinery - hardware | 15 Light pull and switch |
| 6 Door light and frame | 16 Walls - picture rail |
| 7 Stairs - timber stairs | 17 Walls - cornice |
| 8 Stairs - balustrade | |
| 9 Wall vents | |
| 10 Ceiling rose pressed plaster | |

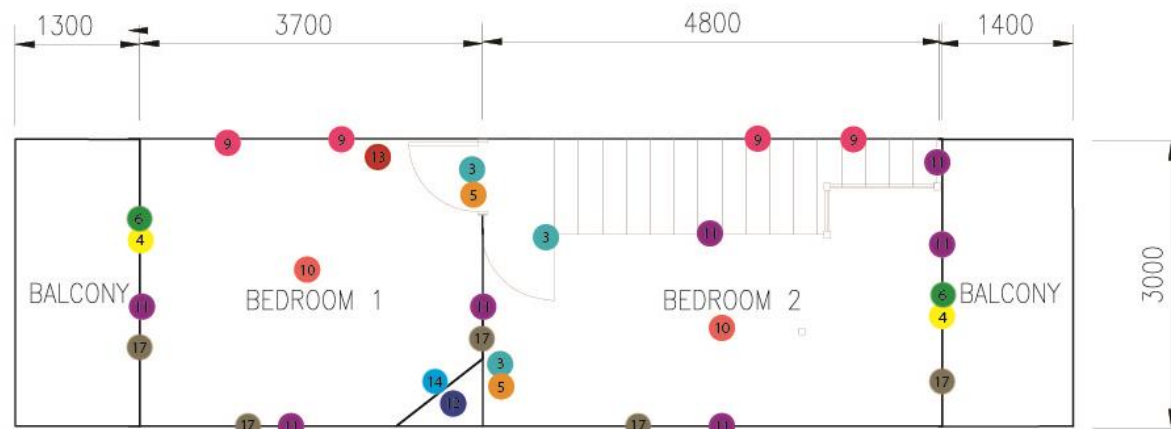
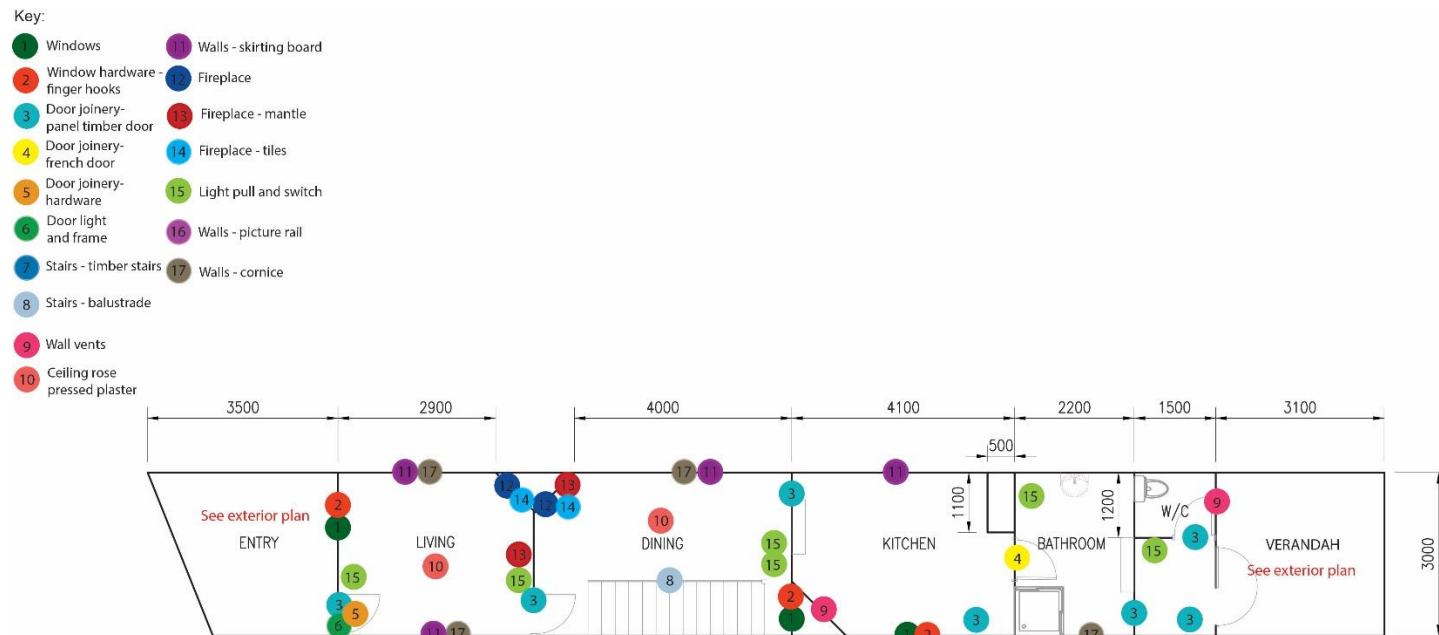


Figure 13. Salvage Plan of First Floor of 248 Victoria Road.

6.3.2 250 Victoria Road



GROUND FLOOR, 250 VICTORIA ROAD, ROZELLE

Type: Salvage Key
Date: July 2019
Scale: Not to scale
Source: John Holland
DWG No. RIC-TEK-SKT-GN00-0034

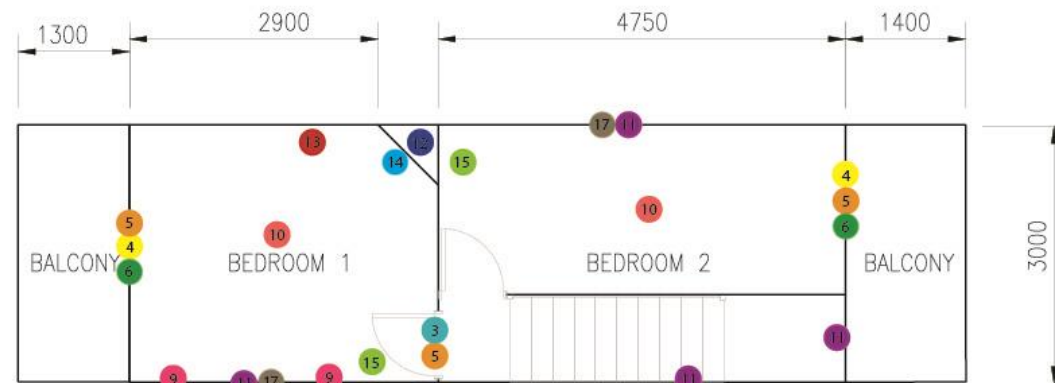
Figure 14. Salvage Plan of Ground Floor of 250 Victoria Road.

EXTENT

HERITAGE ADVISORS
TO AUSTRALIA AND
THE ASIA PACIFIC

Key:

- | | |
|------------------------------------|---------------------------|
| 1 Windows | 11 Walls - skirting board |
| 2 Window hardware - finger hooks | 12 Fireplace |
| 3 Door joinery - panel timber door | 13 Fireplace - mantle |
| 4 Door joinery - french door | 14 Fireplace - tiles |
| 5 Door joinery - hardware | 15 Light pull and switch |
| 6 Door light and frame | 16 Walls - picture rail |
| 7 Stairs - timber stairs | 17 Walls - cornice |
| 8 Stairs - balustrade | |
| 9 Wall vents | |
| 10 Ceiling rose pressed plaster | |



FIRST FLOOR, 250 VICTORIA ROAD, ROZELLE

Type: Salvage Key
Date: July 2019
Scale: Not to scale
Source: John Holland
DWG No. RIC-TEK-SKT-GN00-0004

Figure 15. Salvage Plan of First Floor of 250 Victoria Road.

7. Salvage Strategy

7.1 Re-use of Salvaged Material

The below section has been prepared in fulfillment of REMM NAH 09 which states:

A Heritage Salvage Strategy will be prepared to identify the salvage potential of the fabric and features from heritage items and potential heritage items that will be demolished to facilitate the Project. This could include timber joinery, fireplaces, stained glass, stairs, decorative tiles, bricks, steel truss structures, windows, etc. The strategy will also identify options and a process for dissemination of salvaged items to owners, community groups and interested parties.

Specifically, this section includes the following items:

- Identification of options and processes for dissemination of salvaged items to owners, community groups and interested parties; and
- Provision of sympathetic reuse options for heritage fabric, either within the WestConnex project or the wider community.

There are numerous benefits with respect to disseminating salvaged items to owners, community groups and interested parties, including:

- **Environmental** - Impacts associated with utilising reclaimed heritage building fabric is less than that of producing new building materials. This helps to retain the fabrics 'embodied energy', that is, the energy consumed by all the processes associated with the production of a building or particular building fabric (CSIRO 1997).
- **Social** - Maintaining built fabric of architectural and historical value within the Rozelle and/or Inner West area helps to preserve the heritage character of these locations. Communities benefit from the protection of fabric, including the preservation of this fabric for future generations (Australian Government Department of Environment and Heritage 2004, p.4).
- **Economic** – There are economic benefits from the salvage of heritage building fabric, including a reduced cost for owners of other listed heritage properties when given the opportunity to re-use salvaged items.

7.1.1 Salvage Options

The building fabric catalogue (Section 6.2) provides a list of items considered to be salvageable. Post-salvage, there are several organisations that may be contacted to understand their interest in taking the elements for restoration and repair of similar buildings and/or for distribution to landowners. These can be found in the below table.

Where possible, salvaged building fabric should first be considered for re-use within the project area and then offered to members of the local community prior to other interested parties (i.e. organisations dealing in the sale of salvaged material) being contacted.

Organisation	Contact	Comments
Balmain Association Inc	Email: Contactable through a form on their website located at the below link Website: https://balmainassociation.org.au/contact/	<ul style="list-style-type: none"> Covers Balmain, Birchgrove and Rozelle. Formed to preserve the best of the suburb's history, architecture and natural beauty. Aims to 'maintain all features having natural, architectural and or historical value of the area and keep a permanent collection of historical interest'.
Inner West Council	Phone: (02) 9392 5000 Email: council@innerwest.nsw.gov.au Website: https://www.innerwest.nsw.gov.au	<ul style="list-style-type: none"> Local Council for the Local Government Area (LGA) covering the suburb of Rozelle. Could be contacted to help facilitate communication between owners of locally listed properties within the Rozelle area and JHCPB JV.
Inner West Council Community History and Heritage Team	Email: history@innerwest.nsw.gov.au . Website: https://www.innerwest.nsw.gov.au/explore/libraries/community-history/contact-the-community-heritage-and-history-team	<ul style="list-style-type: none"> As above, the Inner West Council Community History and Heritage Team may be able to provide more heritage-specific LGA information and contacts for locally listed properties.
Historic Houses Association of Australia	Phone: (02) 9252 5554 Email: enquiries@hha.net.au Website: https://www.hha.net.au/	<ul style="list-style-type: none"> A registered charity and volunteer organisation that supports owners and promotes public interest in historic houses and properties throughout Australia.
Chippendale Restorations	Phone: (02) 9810 6066 Email: mail@chippendalerestorations.com.au Website: chippendalerestorations.com.au	<ul style="list-style-type: none"> Located in Rozelle. Specialises in antique recovery and restoration of interior and exterior fittings.
Heritage Building Centre	Phone: 02 9567 1322 Email: sales@heritagebuilding.com.au Website: https://www.heritagebuilding.com.au/	<ul style="list-style-type: none"> Specialises in the sale of material from 1850 to 1950. Stocks second hand, reproduction and recycled building materials.

7.1.2 Options for Re-use of Fabric

In addition to the dissemination of salvaged items to owners, community groups and interested parties, additional options include the sympathetic re-use of historic fabric within the project area for interpretation.

Utilising salvaged fabric from historic heritage buildings is an increasingly popular method of interpretation for community sites. Re-use of historic fabric in this way conveys a sense of dignity and respect for the historic character of places within the local community and can help support in creating a 'sense of place'.

Interpretive elements may include:



- Original building fabric installed as-is, with accompanying signage providing contextual information about the fabric,
- Original building fabric re-used for functional purposes such as seating or retaining walls, or
- Original building fabric elements utilised as part of public community art projects.



The below table identifies elements from the building fabric catalogue in Section 6.2 that may be re-used for interpretation and examples of how similar re-use opportunities have been undertaken in other areas.



A Heritage Interpretation Strategy is being prepared for the Rozelle Interchange project (*WestConnex Stage 3 Rozelle Interchange Interpretation Strategy*, in preparation by Extent Heritage). The Interpretation Strategy should be developed in coordination with this Salvage Strategy. A catalogue of salvaged building fabric should be included within the Interpretation Strategy to ensure that interpretation options are adequately addressed. It is recommended that re-use of building fabric for heritage interpretation be limited to the Rozelle and wider Inner West area.

As the subject site will be demolished as part of the new Rozelle Interchange, the salvaged fabric will need to be moved to a new location, such as a park or community facility. It should be carefully removed without damage and stored in appropriate weather tight conditions prior to reuse.

Fabric	Potential re-use	Example
Sandstone blocks and/or footings (#7)	Seating	 <p>Figure 16. Sandstone blocks used as bench seating (Source: Outdoor Design Source).</p>
	Retaining walls	 <p>Figure 17. Sandstone blocks used as a retaining wall (Source: Brisbane Sandstone).</p>

Fabric	Potential re-use	Example
	Interpretive paving or wall stones	 <p>Figure 18. Sandstone blocks used as an interpretive wall (Source: Central Maitland Interpretation Plan 2014:35).</p>  <p>Figure 19. Sandstone blocks repurposed as interpretive paving (Source: Central Maitland Interpretation Plan 2014:25).</p>

Fabric	Potential re-use	Example
<p>Tiles (both exterior and fireplace) (#1-exterior and #14-interior)</p>	<p>Public art</p>	 <p>Figure 20. Community tile mosaic (Source: Carrie Reichardt)</p>  <p>Figure 21. Community tile mosaic (Source: Carrie Reichardt)</p>

Fabric	Potential re-use	Example
Fencing, gates and filigree balustrades (Exterior #4 and #5)	Garden fencing	 <p data-bbox="1305 818 2051 879">Figure 22. Cast iron garden fencing (Source: Heritage Cast Iron USA).</p>
Threshold stones (Exterior #6)	Interpretive paving or wall stones	 <p data-bbox="1305 1246 2051 1307">Figure 23. Example of black slate paving that could then be laser cut or etched (Source: Ardosia Slate).</p>

7.2 Salvage Recommendations

7.2.1 Prior to Work

- Contractors should be briefed about the Heritage Condition of Consent regarding the requirement to salvage materials. The elements that have been identified for salvage, and how these materials should be managed, as outlined below, should be listed in a catalogue of materials for salvage and should be kept on site for reference at all times.

7.2.2 During Work

Hazardous Materials

- At the discretion of JHCBPJV, salvage items that contain hazardous material such as lead paint should be correctly labelled, with the particular hazardous material identified, and appropriately contained.
- At the discretion of JHCBPJV, where hazardous materials are identified that create a critical health and safety issue in relation to salvage or reuse, such as asbestos, these should be appropriately disposed of.

Removal of Material

- All fabric should be removed carefully to ensure its condition is not compromised.
- Extra care should be taken in the removal and storage of the fireplaces and associated fireplace tiles and tessellated tiles identified in this report to ensure that the condition of the fabric is not compromised or items damaged.
- Extra care should be taken in the removal of window and door elements. Windows/doors and associated components (finger hooks, architraves, etc) and hardware (locks, handles, stays, etc) should be removed as one piece, or labelled as part of a group/assemblage. All grouped elements should be kept together.
- Any non-decorative ceiling plaster (not including mouldings, cornices, ceiling roses, etc.) does not require salvage. This should be documented in photographs and a record of it provided to the Heritage Advisor.
- The material associated with the staircase (stairs, balusters, balustrade, newell posts, and panelled timber around based of stairs) should be kept intact or in the case that it separates, should be labelled and stored together.
- A Heritage Advisor should be notified if other potential original (and salvageable) building fabric, which has not been identified in the salvage report, is identified during salvage or demolition works. A photograph should be emailed to the Heritage Advisor for assessment of its salvage potential prior to disposal.

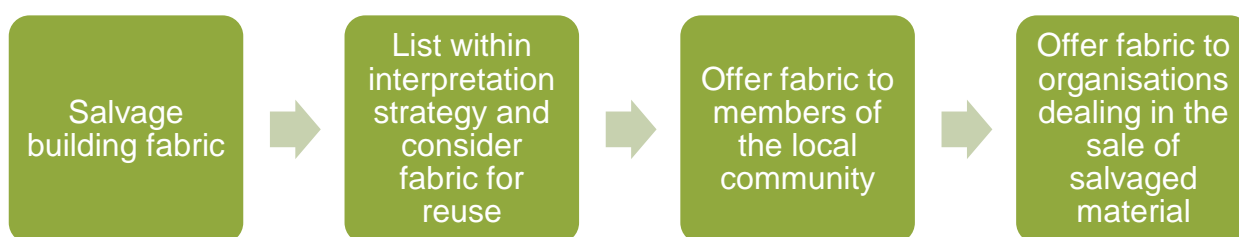
- If any additional sandstone blocks are found to be present, either in building courses or foundation stones, where they are in good condition, i.e. Ashlar blocks, these should be salvaged.
- If highly significant material will need to be physically impacted i.e. cut or damaged, in order to be salvaged, seek the advice of a Heritage Advisor on the most appropriate methodology to minimise the impact.

7.2.3 Storage

- All salvaged fabric should be stored in a dry, secure place after removal.
- All items should be clearly labelled for storage with building, room, and element number as identified in this report (as applicable). It should also be labelled with the date of removal, and date of storage.
- Any material that is wet or mouldy should not be stored in a sealed wrapping. Only store completely dry materials as mould spores can transfer to other materials.
- Do not store any materials that appears to have evidence of pest infestation (such as borer holes, termite frass, etc). These should be disposed of unless they are highly significant. Highly significant material suffering insect infestation should be treated prior to storage.
- The condition of the material should be inspected for mould, insect activity or other damage every three months and appropriate action taken as required.

7.2.4 Reuse of Salvaged Material

- The recommendations outlined in Section 7.1 of this report are presented in the figure below should be adhered to.
- A list of salvaged fabric should be included within the Heritage Interpretation Strategy (Extent Heritage, in prep) to ensure any interpretive elements are appropriate and comply with this strategy.



8. References

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Australian Government Department of Environment and Heritage. 2004. *Adaptive Reuse: Preserving our past, building our future*. In partnership with The Royal Australian Institute of Architects and Year of the Built Environment 2004.

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Sands Directory. 1977-1930, accessed 5 June 2019,
<https://www.cityofsydney.nsw.gov.au/learn/search-our-collections/sands-directory/1930-1933>

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Appendix A. Survey Drawings

Measured survey drawings have been provided by JHCPB JV for 248 and 250 Victoria Road, Rozelle.

