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WestConnex M4-M5 Rozelle Interchange – 260-262 Victoria Road, Rozelle Archival Recording and Salvage Report

Prepared for John Holland CPB Joint Venture

March 2021—Final

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1. Introduction

1.1 Project description

Extent Heritage Pty Ltd (Extent Heritage) has been commissioned by John Holland CPB Joint Venture (JHCPB JV) to prepare a Photographic Archival Recording and Salvage Report for 260-262 Victoria Road, Rozelle. The purpose of the report is to photographically record the current state of the site prior to its demolition, and to prepare a catalogue of historic building fabric for the purposes of salvage prior to the demolition of the building. This report serves as a permanent record of the place prior to that work being undertaken.

This report was prepared to fulfil the requirements of the revised environmental management measures (REMM) for Non-Aboriginal Heritage (NAH); REMM NAH03 and REMM NAH09 which state:

REMM NAH03

Photographic archival recording will be undertaken of:

- *Infrastructure associated with the White Bay Power Station site that could be affected by the project.*
- *Whites Creek Stormwater Channel (in the area to be impacted)*
- *Stormwater Canal off Lilyfield Road*
- *'Cadden Le Messurier' at 84 Lilyfield Road*
- *Former Hotel at 78 Lilyfield Road*
- *Victoria Road overbridge*
- *Each house at 260–266 Victoria Road*
- *Each house at 248-250 Victoria Road*

This will be undertaken in accordance with the NSW Heritage Office guidelines Photographic Recording of Heritage Items Using Film or Digital Capture (2006).

The photographic archival recording will occur prior to any works that have the potential to impact upon the items and will include the identification of appropriate stakeholders to receive copies of the documentation.

REMM NAH09

A Heritage Salvage Strategy will be prepared to identify the salvage potential of the fabric and features from heritage items and potential heritage items that will be demolished to facilitate the Project. This could include timber joinery, fireplaces, stained glass, stairs, decorative tiles, bricks, steel truss structures, windows, etc. The strategy will also identify options and a process for dissemination of salvaged items to owners, community groups and interested parties.

These reports have been reviewed, finalised, printed, and published for archival storage in relevant repositories.

1.2 Approach and methodology

The methodology used in the preparation of this Photographic Archival Recording and Salvage Report is in accordance with the principles and definitions as set out in *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013 (Burra Charter)* (Australia ICOMOS 2013) and the latest version of the NSW Heritage Branch's *Photographic Archival Recording Guidelines*.

Photographic Archival Recording

REMM NAH03 requires the archival recording of these structures to comply with two NSW government guideline documents: *How to Prepare Archival Records of Heritage Items* (1998) and *Photographic Recording of Heritage Items Using Film or Digital Capture* (2006).

The Photographic Recording Guideline does not specify whether measured technical drawings are required in addition to photographic archival recording. In this instance, to best meet the project requirements within the required timeframe, survey drawings have been provided by JHCPB JV of each of the buildings (dated 19th July 2019), which are used to identify heritage fabric and mark-up photographic directions. Where information about elevations is required within the reports, a marked-up photograph has been provided.

Salvage

REMM NAH09 requires that a Heritage Salvage Strategy be prepared. This was undertaken as part of the archival fieldwork and report and outlines what material should be salvaged and how this should occur. This also includes a section on sympathetic reuse options for this heritage fabric, either within the WestConnex project or within the wider community. As noted above, the JHG survey drawings were utilised to identify historic fabric for salvage.

1.3 Limitations

The surrounding site, the building and the interior of the subject property were inspected and photographed by Lucy Irwin, Ben Calvert and Gabrielle Harrington on the 26th and 27th June 2019. The inspection was undertaken as a visual study only.

The historical overview provides sufficient historical background to provide an understanding of the place in order to assess the significance and provide relevant recommendations, however, it is not intended as an exhaustive history of the site.

It is understood that there are some limitations for accessing heritage fabric located on the exterior of the buildings, particularly for roof elements above the first floor. In the case where heritage fabric is unable to be accessed for exceptional reasons such as a road closure or safety risks such as working at heights and active power lines, it is accepted that these items will not form part of the salvage collection. Items related to this limitation were taken into consideration

during the salvage assessment and, due to the above limitations, were omitted from the salvage strategy.

In the instance where decorative heritage fabric such as ceiling roses, corbelled mouldings and cornices are not successfully salvaged in a good condition (i.e. broken during salvage and unable to be repaired), it is understood that these salvaged items can be disposed.

1.4 Authorship

The following staff members at Extent Heritage have prepared this Archival Recording and Salvage Report:

Name	Position
Lucy Irwin	Heritage Advisor
Gabrielle Harrington	Research Assistant

The report was reviewed by Corinne Softley (Senior Heritage Advisor).

1.5 Ownership

The site is owned by John Holland CPB Joint Venture (JHCPB JV).

2. Site

2.5 Location

The subject property is located at 260-262 Victoria Road and is known as:

- 260 Victoria Road: Lot 2, DP 666618; and
- 262 Victoria Road: Lot 2, DP 202468

260-262 Victoria Road is located on the southern side of Victoria Road and is bounded by Byrnes Street to the west and Clubb Street to the east. 260 Victoria Road sits on the corner of Club Street and Victoria Road. The property lies to the east of the Iron Cove Bridge and King George Park. Rozelle is located between the suburbs of Lilyfield to the east and Balmain to the west and is crossed by Victoria Road.



Figure 1. Map indicating location of 260-262 Victoria Road, Rozelle (Source Dept. of Lands SIX viewer, 28 June 2019).



Figure 2. Aerial view with 260-262 Victoria Road, Rozelle outlined in red (Source Dept. of Lands SIX viewer, 28 June 2019).

2.6 Heritage Status

The dwellings are not listed on any statutory or non-statutory heritage registers.

Register/Listing	Item Listed (Y/N)	Item Name	Item Number
Statutory Register			
World Heritage List	No		
National Heritage List	No		
Commonwealth Heritage List	No		
State Heritage Register (SHR)	No		
S170 Heritage and Conservation Register	No		
Local Environmental Plan	No		
Sydney <i>Regional Environmental Plan</i> No. 26 – City West	No		
Non-Statutory Register			
Register of the National Trust (NSW)	No		
Register of Significant Buildings in NSW (Australian Institute of Architects)	No		

3.2.1 Heritage items in the vicinity

There is one heritage conservation area in the vicinity of 260 and 262 Victoria Road, Rozelle. This is represented in the heritage map below, reproduced from the Leichardt Local Environmental Plan (LEP) 2013.

- Iron Cove Heritage Conservation Area (No. C6 Leichardt LEP 2013)



Figure 3. Map showing location of Iron Cove Heritage Conservation Area (red hatching) in relation to the subject site (red outline). (Leichardt LEP 2013, Heritage Map).

3. Historic context

4.1 Rozelle

The suburb of Rozelle was originally known as both 'Balmain West' and 'Balmain South,' with the first recorded use of the name Rozelle the naming of the southernmost inlet of Johnsons Bay in 1875, when it was given the name 'Rozelle Bay'. The naming of the suburb is attributed to the Postmaster General of 1892, who named the suburb's planned new post office after the nearby Bay (Williams, 2010).

Prior to 1860, Rozelle was sparsely populated by Europeans. From 1860 to 1882 however, a rapid period of land subdivision, speculation and sales in the area surged and the peninsular population grew from 8,000 to 16,928 (Williams, 2010). This period of growth is largely attributed to the selling of the original 500-acre land grant, granted to William Balmain by Governor John Hunter in c.1800. Balmain transferred his land to John Borthwick Gilchrist in 1801, a short time after his original land grant. William Balmain's heirs contested this transfer, however in 1858 the judicial bench of the British House of Lords authorised the trustees of John Borthwick Gilchrist, who had passed away in 1841, to sell peninsular land that was still in their possession (Williams, 2010).

These large parcels of land were purchased by several people, including Alfred Handcock. Handcock, who migrated to Sydney in the late 1850s and who purchased local land parcels from 1867 to 1880 used the advertising slogan 'Homes for the People' to sell these parcels until 1907. The target market for these tracts of land were working men, to whom he sold approximately 1,600 plots at a £4 deposit and 21 quarterly instalments of £2 (Williams, 2010).

By 1865, Dr George Robinson Elliott, in company with his brothers, Frederick and James, had acquired a site on the Iron Cove foreshore where they established Australia's first factory for chemicals, pharmaceuticals, and later glassworks. In 1892, William Lever acquired land adjacent to White Bay. Here in 1897 Lever Brothers Limited established a factory that extracted oil from copra cultivated on the firm's coconut plantations in the Solomon Islands, which was then shipped to Liverpool in England. The plant began manufacturing glycerine and Sunlight Soap (Williams, 2010).

The Balmain Power Station at Iron Cove, which commenced generation in 1909, was followed by the White Bay Power Station, which became fully operational in 1917. By 1922, construction of the Glebe Island Grain Silos and railway sidings had reached completion, and Rozelle's eastern foreshore was the node of Australia's coal and timber industry (Williams, 2010).

4.2 260-262 Victoria Road

The two cottages at 260 and 262 Victoria Road, Rozelle lie on part of 500 acres of land granted to William Balmain by Governor John Hunter in 1800. In plans and drawings, streets within Rozelle have changed names over the years. Victoria Road was originally known as Weston Road, and Clubb Street was previously known as Cove Street.

The two subject cottages appear to have been constructed in c.1910 as a two of a set of four cottages between Byrnes and Clubb Street. They were most likely worker's cottages, constructed alongside the commencement of the Balmain Power Station at Iron Cove. 260 Weston Road first appears within the Sands Directory in 1911 and was occupied by a John Smith and was then occupied by a John A. Anderson from 1914 to 1917. 262 Weston Road is first listed as occupied in the Sands Directory in 1918 by a Joseph Lewis.

It appears these residences changed hands regularly and remained a private residence. Both cottages are presently unoccupied and are scheduled to be demolished in 2019.



Figure 4. Aerial Photograph, 1943 with 260-262 Victoria Road outlined in red (Source: LPI Six).



Figure 5. c.1876-1926 Balmain sale plan with subject site indicated in red; note modern Clubb Street is labelled Cove Street and Victoria Road as Weston Street (State Library of NSW Z/SP/R17/21)

4. Physical description

4.5 Exterior

4.2.1 260 Victoria Road

The dwelling at 260 Victoria Road is an altered Federation style single storey workers cottage.

The roof is hipped with a projecting gable to the front. The gable has a timber barge board with a timber finial sitting, framing a rough-cast rendered section of the exterior wall. Inset within the base of the wall are terracotta wall vents. The roof sheeting consists of a dark grey Colourbond and contains a rendered chimney stack with terracotta chimney pots. A bullnose verandah is supported by decorative timber brackets framing the front entrance.

The front façade has three single-hung windows with sandstone sills and rendered decorative skirts, as well as one six-panel timber front door. Original windows would likely have been double-hung sash windows with small-coloured glass panes, however, the windows at 260 Victoria Road have been replaced with a modern alternative.

The rear of 260 Victoria Road has been heavily altered and consists of both a timber deck and concrete floor. A second, modern two-storey dwelling including a garage and 'granny flat' has been installed to the rear the historic dwelling. Between this garage and the primary dwelling, a Colourbond fence has been installed running parallel to Clubb Street.

The dwelling is bound by a modern rendered brick fence enclosing a set of brick steps which lead to the front door. Entry to the front is gained by a modern timber door on the south-eastern elevation. 260 Victoria Road is separated from 262 Victoria road by a cream coloured rendered brick party wall. It is assumed 260 Victoria Road sits directly on sandstone bedrock.

4.2.2 262 Victoria Road

The dwelling at 262 Victoria Road is an altered Federation style single storey workers cottage.

The roof is hipped with a projecting gable to the front. The gable has a timber barge board, framing a rough-cast rendered section of the exterior wall. Evidence of a finial was identified within the inspection; however, this had been removed and could not be located. Inset within the base of the wall are terracotta wall vents. The roof sheeting consists of red galvanised iron and contains two rendered chimney stack with terracotta chimney pots. A bullnose verandah is supported by decorative timber brackets framing the front entrance.

The front façade has of three single-hung windows with sandstone sills and rendered decorative skirts, as well as one six-panel timber front door. Original windows would likely have been double-hung sash windows with small-coloured glass panes, however, the windows at 262 Victoria Road have been replaced with a modern alternative. The front of the dwelling has timber detail work surrounding the front windows, with a decorative panel consisting of nine glazed tiles running between the modern windows.

The rear of 262 Victoria Road has been heavily altered and consists of timber decking with a small garden enclosed by sandstone blocks. The garden primarily consists of introduced species, including palms.

The dwelling is bound by a modern timber paling fence enclosing a set of brick steps leading to the front door. A cream coloured rendered brick party wall separates 262 Victoria Road from 260 and 264 Victoria Road, and it is assumed that 262 Victoria Road sits directly on sandstone bedrock.

4.6 Interior

4.2.3 260 Victoria Road

The dwelling at 260 Victoria Road retains its front layout, with significant alterations to the rear of the dwelling. The interior floor plan includes of a long hallway with three offset rooms, opening onto a kitchen and living area. The first offset room retains its pressed metal ceiling, which has been painted. The rooms retain their skirting boards and cornices, with modern additions including replacement of several doors and windows with modern alternatives, and the installation of modern light fittings. A hallway arch with twin moulded faces is located between the second and third offset rooms. A small portion of historic timber floorboards is present at the front of the dwelling.

The lounge room has been heavily altered. Specifically, a modern staircase has been installed on the eastern wall of the room which leads to a modified attic space. This attic has been converted to three interconnected rooms, with re-clad walls and carpet flooring.

Additions have been made to the rear of the house, including the installation of an open-plan kitchen and verandah area and construction of a bathroom. These rear additions comprise modern fabric only.

4.2.4 262 Victoria Road

The dwelling at 262 Victoria Road retains its front layout, with significant alterations to the rear of the dwelling. The interior floor plan consists of a long hallway with three offset rooms, opening onto a kitchen and living area. The rooms retain their original skirting boards, ceiling roses and cornices with rose-detailing, with modern additions including replacement of several doors with modern alternatives and the installation of modern light fittings. Throughout, the offset rooms fireplaces have been removed, however the fireplace tiles have been retained. An ensuite bathroom has been connected to the second offset bedroom, resulting in the removal of a portion of wall. A bathroom has been installed off the hallway as well, with a pull-down timber ladder to gain access to the attic. A hallway arch with twin moulded faces is located between the second and third offset rooms.

The rear of the dwelling has been heavily altered to form an open plan kitchen and dining area. These rear additions comprise modern elements and fabric only, with the exception of skirting boards and cornices which appear to have been re-used from other areas of the dwelling.

5. Archival Recording

5.5 Photographic recording sheets

Site Name.	Date
Photographer:	Ben Calvert and Gabrielle Harrington
Date:	26 and 27 June 2019
Camera:	Canon EOS 5D and 7D
Lens:	16-35mm, 24-105mm
Comments:	Photographs taken in mid-morning light. Fine conditions, some cloud cover.

6.1.1 260 Victoria Road

Image Name.	Direction	Details	Thumbnail
001_260_VIC_RD_2019	S	View to façade and north- western elevation of 260 Victoria Road.	
002_260_VIC_RD_2019	S	View to façade of 260 Victoria Road.	
003_260_VIC_RD_2019	SW	View to rendered brick wall surrounding 260 Victoria Road.	
004_260_VIC_RD_2019	W	View to 260 Victoria Road.	

Image Name.	Direction	Details	Thumbnail
005_260_VIC_RD_2019	W	View of north-eastern and south-eastern elevations.	
006_260_VIC_RD_2019	S	Overview of south-eastern elevation.	
007_260_VIC_RD_2019	N	Overview of south-eastern elevation.	
008_260_VIC_RD_2019	W	View of south-eastern elevation.	
009_260_VIC_RD_2019	N	View of south-eastern elevation.	
010_260_VIC_RD_2019	-	View to chimney of south-eastern elevation.	

Image Name.	Direction	Details	Thumbnail
011_260_VIC_RD_2019	W	View to window on south-eastern elevation.	
012_260_VIC_RD_2019	NW	View to side entrance.	
013_260_VIC_RD_2019	W	View to façade.	
014_260_VIC_RD_2019	W	Overview of front-facing gable.	

Image Name.	Direction	Details	Thumbnail
015_260_VIC_RD_2019	E	View to side entrance.	
016_260_VIC_RD_2019	S	View to window at front entrance.	
017_260_VIC_RD_2019	SW	View to front entrance.	

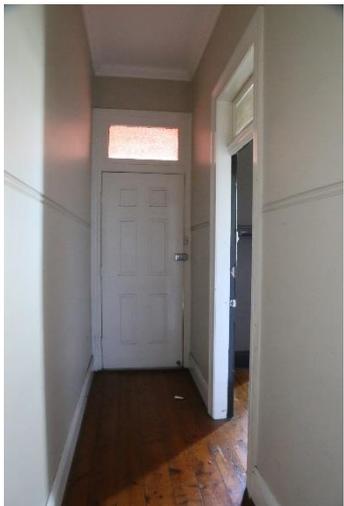
Image Name.	Direction	Details	Thumbnail
018_260_VIC_RD_2019	W	View of brick inset detail at front entrance.	
019_260_VIC_RD_2019	SW	Overview of main hallway from front entrance.	
020_260_VIC_RD_2019	NE	View of front entrance from main hallway.	

Image Name.	Direction	Details	Thumbnail
021_260_VIC_RD_2019	NW	Overview of Bedroom 1.	
022_260_VIC_RD_2019	SE	View of Bedroom 1.	
023_260_VIC_RD_2019	S	View of Bedroom 1.	

Image Name.	Direction	Details	Thumbnail
024_260_VIC_RD_2019	S	View to fireplace in Bedroom 1.	
025_260_VIC_RD_2019	SW	View of Bedroom 1.	
026_260_VIC_RD_2019	S	View to fireplace in Bedroom 1.	
027_260_VIC_RD_2019	S	Detail of fireplace in Bedroom 1.	

Image Name.	Direction	Details	Thumbnail
028_260_VIC_RD_2019	-	View to ceiling of Bedroom 1.	
029_260_VIC_RD_2019	SW	View of main hallway towards Living room.	
030_260_VIC_RD_2019	-	Detail of decorative moulding on south-eastern side of main hallway.	
031_260_VIC_RD_2019	-	Detail of decorative moulding on north-western side of main hallway.	
032_260_VIC_RD_2019	-	Detail of floorboards in main hallway.	

Image Name.	Direction	Details	Thumbnail
033_260_VIC_RD_2019	NE	View of main hallway towards front entrance.	
034_260_VIC_RD_2019	S	Overview of Bedroom 2.	
035_260_VIC_RD_2019	W	Overview of Bedroom 2.	
036_260_VIC_RD_2019	N	Overview of Bedroom 2.	
037_260_VIC_RD_2019	E	Overview of Bedroom 2.	

Image Name.	Direction	Details	Thumbnail
038_260_VIC_RD_2019	E	View of fireplace and surrounds in Bedroom 2.	
039_260_VIC_RD_2019	E	Detail of fireplace and surrounds in Bedroom 2.	
040_260_VIC_RD_2019	E	View of Bedroom 3.	

Image Name.	Direction	Details	Thumbnail
041_260_VIC_RD_2019	E	View of Bedroom 3.	
042_260_VIC_RD_2019	S	View of Bedroom 3.	
043_260_VIC_RD_2019	SW	View of Bedroom 3.	

Image Name.	Direction	Details	Thumbnail
044_260_VIC_RD_2019	-	Overview of floorboards and skirting in Bedroom 3.	
045_260_VIC_RD_2019	SE	View of Bedroom 3.	
046_260_VIC_RD_2019	-	View to ceiling in Bedroom 3.	
047_260_VIC_RD_2019	NW	View towards main hallway from Bedroom 3.	

Image Name.	Direction	Details	Thumbnail
048_260_VIC_RD_2019	SW	View towards Living room.	
049_260_VIC_RD_2019	S	Overview of Living room.	
050_260_VIC_RD_2019	E	Overview of staircase in Living room.	
051_260_VIC_RD_2019	N	View of Living room.	

Image Name.	Direction	Details	Thumbnail
052_260_VIC_RD_2019	NE	View of staircase to Attic from Living room.	
053_260_VIC_RD_2019	SW	View of fireplace and surrounds in Living room.	
054_260_VIC_RD_2019	W	View of Living room towards kitchen.	
055_260_VIC_RD_2019	S	Overview of kitchen.	

Image Name.	Direction	Details	Thumbnail
056_260_VIC_RD_2019	NE	Overview of kitchen.	
057_260_VIC_RD_2019	W	View of kitchen towards rear yard.	
058_260_VIC_RD_2019	W	View towards bathroom from kitchen.	
059_260_VIC_RD_2019	SW	Overview of bathroom.	

Image Name.	Direction	Details	Thumbnail
060_260_VIC_RD_2019	NE	View of bathroom.	
061_260_VIC_RD_2019	W	Overview of rear yard towards rear extension.	
062_260_VIC_RD_2019	N	View of rear yard.	
063_260_VIC_RD_2019	NE	View of rear verandah.	
064_260_VIC_RD_2019	NW	View of rear yard showing rear extension to property.	

Image Name.	Direction	Details	Thumbnail
065_260_VIC_RD_2019	NW	View towards laundry from rear yard.	
066_260_VIC_RD_2019	SW	Overview of laundry.	
067_260_VIC_RD_2019	NE	View of laundry.	
068_260_VIC_RD_2019	SW	Overview of rear extension.	

Image Name.	Direction	Details	Thumbnail
069_260_VIC_RD_2019	NE	View to rear verandah.	
070_260_VIC_RD_2019	NW	View of rear extension to property.	
071_260_VIC_RD_2019	SW	View of entrance to rear extension.	

Image Name.	Direction	Details	Thumbnail
072_260_VIC_RD_2019	W	View of staircase in rear extension.	
073_260_VIC_RD_2019	S	View of garage in rear extension.	
074_260_VIC_RD_2019	W	Overview of garage in rear extension.	
075_260_VIC_RD_2019	E	View to Bathroom 2 from garage.	

Image Name.	Direction	Details	Thumbnail
076_260_VIC_RD_2019	NW	Overview of Bathroom 2.	
077_260_VIC_RD_2019	E	View of Bathroom 2.	
078_260_VIC_RD_2019	NW	View of staircase from ground floor in rear extension.	

Image Name.	Direction	Details	Thumbnail
079_260_VIC_RD_2019	NW	View of staircase from Bedroom 6 in rear extension.	
080_260_VIC_RD_2019	W	Overview of Bedroom 6 on first floor of rear extension.	
081_260_VIC_RD_2019	S	View of Bedroom 6 in rear extension.	
082_260_VIC_RD_2019	S	View of Bedroom 6 in rear extension.	
083_260_VIC_RD_2019	E	View of Bedroom 6 in rear extension.	

Image Name.	Direction	Details	Thumbnail
084_260_VIC_RD_2019	NW	View to stairs from Attic.	
085_260_VIC_RD_2019	-	View to stairs from Attic.	
086_260_VIC_RD_2019	NE	View from Bedroom 5 towards Storage Room in Attic.	

Image Name.	Direction	Details	Thumbnail
087_260_VIC_RD_2019	SE	Overview of Storage Room.	 A photograph showing an overview of a storage room in an attic. The room has a dark carpet, white walls, and a skylight. A doorway is visible on the right side.
088_260_VIC_RD_2019	SW	Overview of Bedroom 4 in Attic.	 A photograph showing an overview of Bedroom 4 in the attic. The room has a dark carpet, white walls, and a skylight. A doorway is visible in the background.
089_260_VIC_RD_2019	NE	View of Bedroom 4.	 A photograph showing a view of Bedroom 4 in the attic. The room has a dark carpet, white walls, and a skylight. A doorway is visible in the background.
090_260_VIC_RD_2019	W	Overview of Bedroom 5 in Attic.	 A photograph showing an overview of Bedroom 5 in the attic. The room has a dark carpet, white walls, and a skylight. A doorway is visible in the background.
091_260_VIC_RD_2019	NE	View of Bedroom 5 in Attic.	 A photograph showing a view of Bedroom 5 in the attic. The room has a dark carpet, white walls, and a skylight. A red door is visible in the background.

Image Name.	Direction	Details	Thumbnail
092_260_VIC_RD_2019	N	View from Bedroom 4 towards 262 Victoria Road.	

6.1.2 262 Victoria Road

Image Name.	Direction	Details	Thumbnail
001_262_VIC_RD_2019	W	Overview of façade of 262 Victoria Road.	
002_262_VIC_RD_2019	SW	View to façade of 262 Victoria Road.	
003_262_VIC_RD_2019	SE	View of façade and south-eastern elevation of 262 Victoria Road.	
004_262_VIC_RD_2019	SE	View to streetscape landscaping in front of 262 Victoria Road.	

Image Name.	Direction	Details	Thumbnail
005_262_VIC_RD_2019	NE	View to side passage of 262 Victoria Road.	
006_262_VIC_RD_2019	E	Overview of front facing gable of 262 Victoria Road.	
007_262_VIC_RD_2019	E	View to front entrance.	

Image Name.	Direction	Details	Thumbnail
008_262_VIC_RD_2019	-	View to front gable.	
009_262_VIC_RD_2019	SE	View towards 260 Victoria Road as it adjoins 262 Victoria Road.	
010_262_VIC_RD_2019	SW	Overview of side passage on north-western side.	
011_262_VIC_RD_2019	-	View to timber brackets supporting front verandah awning	

Image Name.	Direction	Details	Thumbnail
012_262_VIC_RD_2019	-	View to transom light and awning at front entrance.	
013_262_VIC_RD_2019	W	View to front entrance.	
014_262_VIC_RD_2019	S	View to window at front entrance.	

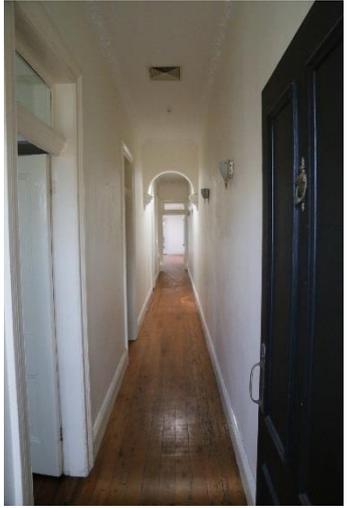
Image Name.	Direction	Details	Thumbnail
015_262_VIC_RD_2019	E	View of window and corbelled sill at front entrance.	
016_262_VIC_RD_2019	SW	View to front entrance.	
017_262_VIC_RD_2019	SW	Overview of hallway.	

Image Name.	Direction	Details	Thumbnail
018_262_VIC_RD_2019	E	Overview of Bedroom 1.	
019_262_VIC_RD_2019	SE	View of Bedroom 1.	
020_262_VIC_RD_2019	S	View of Bedroom 1.	

Image Name.	Direction	Details	Thumbnail
021_262_VIC_RD_2019	NW	View of Bedroom 1.	
022_262_VIC_RD_2019	W	View of Bedroom 1 towards hallway.	
023_262_VIC_RD_2019	SW	View of Bedroom 1 towards remains of a former fireplace tiles.	

Image Name.	Direction	Details	Thumbnail
024_262_VIC_RD_2019	-	Overview of ceiling in Bedroom 1.	
025_262_VIC_RD_2019	SE	View of picture rail and decorative wall vent in Bedroom 1.	
026_262_VIC_RD_2019	SE	Detail of wall vents in Bedroom 1.	
027_262_VIC_RD_2019	SW	View of hallway towards kitchen.	

Image Name.	Direction	Details	Thumbnail
028_262_VIC_RD_2019	E	Overview of Bedroom 2.	
029_262_VIC_RD_2019	S	View of Bedroom 2.	
030_262_VIC_RD_2019	S	View of Bedroom 2 towards ensuite bathroom.	

Image Name.	Direction	Details	Thumbnail
031_262_VIC_RD_2019	W	View of Bedroom 2 towards ensuite bathroom.	
032_262_VIC_RD_2019	NW	View of timber panelled door in Bedroom 2.	
033_262_VIC_RD_2019	N	View of Bedroom 2.	

Image Name.	Direction	Details	Thumbnail
034_262_VIC_RD_2019	E	View to remains of a former fireplace in Bedroom 2.	
035_262_VIC_RD_2019	-	Detail of fireplace tiles.	
036_262_VIC_RD_2019	-	View to ceiling rose in Bedroom 2.	
037_262_VIC_RD_2019	-	Detail of ceiling cornice in Bedroom 2.	
038_262_VIC_RD_2019	W	View to bathroom ensuite in Bedroom 2.	

Image Name.	Direction	Details	Thumbnail
039_262_VIC_RD_2019	S	View to bathroom ensuite.	
040_262_VIC_RD_2019	-	View of ceiling in bathroom ensuite.	
041_262_VIC_RD_2019	W	View of decorative mouldings.	

Image Name.	Direction	Details	Thumbnail
042_262_VIC_RD_2019	S	View to decorative mouldings.	
043_262_VIC_RD_2019	SE	Overview of bathroom and ladder leading to attic.	
044_262_VIC_RD_2019	E	View to bathroom.	

Image Name.	Direction	Details	Thumbnail
045_262_VIC_RD_2019	SE	Overview of bathroom.	
046_262_VIC_RD_2019	N	View of bathroom towards hallway.	
047_262_VIC_RD_2019	NE	View of bathroom.	

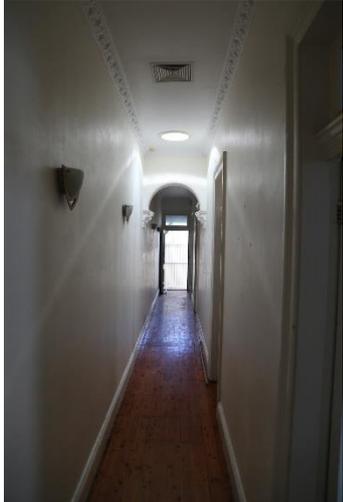
Image Name.	Direction	Details	Thumbnail
048_262_VIC_RD_2019	SW	View of hallway towards kitchen.	
049_262_VIC_RD_2019	NE	View of hallway towards front entrance.	
050_262_VIC_RD_2019	E	Overview of Bedroom 3.	

Image Name.	Direction	Details	Thumbnail
051_262_VIC_RD_2019	N	View of Bedroom 3 towards hallway.	
052_262_VIC_RD_2019	N	View of Bedroom 3.	
053_262_VIC_RD_2019	-	Detail of ceiling cornice in Bedroom 3.	

Image Name.	Direction	Details	Thumbnail
054_262_VIC_RD_2019	S	Overview of kitchen.	
055_262_VIC_RD_2019	S	View of kitchen towards dining room.	
056_262_VIC_RD_2019	SW	Overview of kitchen.	

Image Name.	Direction	Details	Thumbnail
057_262_VIC_RD_2019	SE	View from kitchen towards dining room.	
058_262_VIC_RD_2019	E	Overview of dining room from kitchen.	
059_262_VIC_RD_2019	E	Overview of kitchen.	

Image Name.	Direction	Details	Thumbnail
060_262_VIC_RD_2019	NE	Overview of kitchen.	
061_262_VIC_RD_2019	NE	View of dining room.	
062_262_VIC_RD_2019	N	View of dining room.	

Image Name.	Direction	Details	Thumbnail
063_262_VIC_RD_2019	NE	View of dining room.	
064_262_VIC_RD_2019	E	Overview of dining room.	
065_262_VIC_RD_2019	S	View of landscaping in rear yard.	

Image Name.	Direction	Details	Thumbnail
066_262_VIC_RD_2019	SE	View of landscaping and timber decking in rear yard.	
067_262_VIC_RD_2019	E	Overview of rear yard.	
068_262_VIC_RD_2019	-	Detail of timber decking in rear yard.	

Image Name.	Direction	Details	Thumbnail
069_262_VIC_RD_2019	NE	View of rear yard towards exterior of Room 4.	
070_262_VIC_RD_2019	N	Overview of rear yard.	
071_262_VIC_RD_2019	N	View of rear yard.	

Image Name.	Direction	Details	Thumbnail
072_262_VIC_RD_2019	W	Overview of laundry.	
073_262_VIC_RD_2019	N	View of laundry.	

6.1.3 Views and settings

Image Name.	Direction	Details	Thumbnail
001_260-262_VIC_RD_2019	W	Overview of subject properties from median strip on Victoria Road.	
002_260-262_VIC_RD_2019	W	View of subject properties from median strip on Victoria Road.	

Image Name.	Direction	Details	Thumbnail
003_260-262_VIC_RD_2019	W	View of subject properties from median strip on Victoria Road.	
004_260-262_VIC_RD_2019	NW	View towards the Iron Cove Bridge and north side of Victoria Road.	
005_260-262_VIC_RD_2019	W	View to subject properties from median strip on Victoria Road.	
006_260-262_VIC_RD_2019	S	View towards subject properties and Clubb Street.	
007_260-262_VIC_RD_2019	SW	View of subject properties.	
008_260-262_VIC_RD_2019	S	Overview of subject properties.	
009_260-262_VIC_RD_2019	SW	Overview of subject properties and the Iron Cove Bridge.	

Image Name.	Direction	Details	Thumbnail
010_260-262_VIC_RD_2019	S	View of 260 Victoria Road.	
011_260-262_VIC_RD_2019	S	View of 260 and 262 Victoria Road.	
012_260-262_VIC_RD_2019	S	View of 262 Victoria Road.	
013_260-262_VIC_RD_2019	S	View of 264 Victoria Road.	
014_260-262_VIC_RD_2019	S	View of 266 Victoria Road.	
015_260-262_VIC_RD_2019	S	Overview of setting of subject properties.	
016_260-262_VIC_RD_2019	S	View towards subject properties.	

Image Name.	Direction	Details	Thumbnail
017_260-262_VIC_RD_2019	S	View towards subject properties.	
018_260-262_VIC_RD_2019	SE	View of 260 Victoria Road.	
019_260-262_VIC_RD_2019	SE	View of 262 Victoria Road	
020_260-262_VIC_RD_2019	SE	View of 264 Victoria Road.	
021_260-262_VIC_RD_2019	SE	View of 266 Victoria Road.	
022_260-262_VIC_RD_2019	SE	View towards north-western elevation of subject properties.	
023_260-262_VIC_RD_2019	SE	View towards subject properties from Iron Cove Bridge.	

Image Name.	Direction	Details	Thumbnail
024_260-262_VIC_RD_2019	S	Overview of Victoria Road towards Constellation Playground.	
025_260-262_VIC_RD_2019	W	Overview of Iron Cove Bridge.	
026_260-262_VIC_RD_2019	SE	View of Victoria Road.	
027_260-262_VIC_RD_2019	SE	View of Victoria Road towards subject properties.	
028_260-262_VIC_RD_2019	S	Overview of Victoria Road.	
029_260-262_VIC_RD_2019	SW	Overview of Iron Cove Bridge.	
030_260-262_VIC_RD_2019	W	Overview of Iron Cove Bridge.	

Image Name.	Direction	Details	Thumbnail
031_260-262_VIC_RD_2019	W	View of 260 Victoria Road as it addresses the corner of Clubb Street and Victoria Road.	
032_260-262_VIC_RD_2019	W	Overview of 260 Victoria Road.	
033_260-262_VIC_RD_2019	SW	Overview of Clubb Street from Victoria Road.	
034_260-262_VIC_RD_2019	W	View of 260 Victoria Road from corner of Clubb Street and Victoria Road.	
035_260-262_VIC_RD_2019	N	View of 260 Victoria Road from Clubb Street.	

Image Name.	Direction	Details	Thumbnail
036_260-262_VIC_RD_2019	N	Overview of 260 Victoria Road from Clubb Street.	
037_260-262_VIC_RD_2019	NW	View of extension of 260 Victoria Road from Club Street.	
038_260-262_VIC_RD_2019	S	View of 260 Victoria Road from Victoria Road.	

Image Name.	Direction	Details	Thumbnail
039_260-262_VIC_RD_2019	S	View of 262 Victoria Road from Victoria Road.	
040_260-262_VIC_RD_2019	S	View of 264 Victoria Road from Victoria Road.	
041_260-262_VIC_RD_2019	S	View of 266 Victoria Road from Victoria Road.	

Image Name.	Direction	Details	Thumbnail
042_260-262_VIC_RD_2019	SE	Overview of Victoria Road from Byrnes Street.	
043_260-262_VIC_RD_2019	E	Built environment around subject properties in Byrnes Street.	
044_260-262_VIC_RD_2019	SE	Built environment around subject properties in Byrnes Street.	
045_260-262_VIC_RD_2019	NE	View towards landscaping of subject properties from Byrnes street.	
046_260-262_VIC_RD_2019	NW	Overview of Clubb Street.	

Image Name.	Direction	Details	Thumbnail
047_260-262_VIC_RD_2019	NE	Overview of Clubb Street and Manning Street.	
048_260-262_VIC_RD_2019	N	Overview of built environment in Clubb Street.	
049_260-262_VIC_RD_2019	NE	Overview of built environment in Clubb Street.	
050_260-262_VIC_RD_2019	E	Overview of built environment in Clubb Street.	
051_260-262_VIC_RD_2019	NE	Overview of built environment in Clubb Street.	

5.6 Photographic proof sheets

6.2.1 260 Victoria Road

260 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



001_260_VIC_RD_2019 f/11 ISO 100
1/250 s 2019/06/26 16:21:02

002_260_VIC_RD_2019 f/10 ISO 100
1/200 s 2019/06/26 16:21:33

003_260_VIC_RD_2019 f/10 ISO 100
1/200 s 2019/06/26 16:21:43

004_260_VIC_RD_2019 f/10 ISO 100
1/200 s 2019/06/26 16:22:20



005_260_VIC_RD_2019 f/9 ISO 100
1/160 s 2019/06/26 16:22:32

006_260_VIC_RD_2019 f/9 ISO 100
1/160 s 2019/06/26 16:22:47

007_260_VIC_RD_2019 f/8 ISO 100
1/160 s 2019/06/26 16:23:26

008_260_VIC_RD_2019 f/8 ISO 100
1/125 s 2019/06/26 16:23:20



009_260_VIC_RD_2019 f/8 ISO 100
1/125 s 2019/06/26 16:24:14

010_260_VIC_RD_2019 f/9 ISO 100
1/200 s 2019/06/26 16:25:03

011_260_VIC_RD_2019 f/7.1 ISO 100
1/125 s 2019/06/26 16:25:11

012_260_VIC_RD_2019 f/9 ISO 100
1/160 s 2019/06/26 16:26:13



013_260_VIC_RD_2019 f/7.1 ISO 100
1/100 s 2019/06/26 16:26:26

014_260_VIC_RD_2019 f/8 ISO 100
1/125 s 2019/06/26 16:26:37

015_260_VIC_RD_2019 f/11 ISO 100
1/250 s 2019/06/26 16:27:58

016_260_VIC_RD_2019 f/4 ISO 100
1/30 s 2019/06/27 16:30:46

1 of 6

260 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



017_260_VIC_RD_2019 f/4 ISO 250
1/30 s 2019/06/27 16:31:00



018_260_VIC_RD_2019 f/4 ISO 100
1/50 s 2019/06/27 16:31:12



019_260_VIC_RD_2019 f/4 ISO 800
1/30 s 2019/06/27 16:31:21



020_260_VIC_RD_2019 f/9 ISO
16000 1/15 s 2019/06/28 16:31:25



021_260_VIC_RD_2019 f/9 ISO
16000 1/40 s 2019/06/26 16:33:13



022_260_VIC_RD_2019 f/4.5 ISO
1250 1/60 s 2019/06/27 16:31:35



023_260_VIC_RD_2019 f/4.5 ISO
1600 1/60 s 2019/06/27 16:31:38



024_260_VIC_RD_2019 f/4 ISO 1600
1/60 s 2019/06/27 16:31:39



025_260_VIC_RD_2019 f/4 ISO 1000
1/60 s 2019/06/27 16:31:42



026_260_VIC_RD_2019 f/9 ISO
16000 1/40 s 2019/06/26 16:31:51



027_260_VIC_RD_2019 f/4 ISO 4000
1/30 s 2019/06/26 16:33:33



028_260_VIC_RD_2019 f/9 ISO
16000 1/100 s 2019/06/26 16:32:57



029_260_VIC_RD_2019 f/9 ISO
16000 1/20 s 2019/06/26 16:35:22



030_260_VIC_RD_2019 f/9 ISO
16000 1/15 s 2019/06/26 16:35:34



031_260_VIC_RD_2019 f/9 ISO
16000 1/8 s 2019/06/26 16:35:43



032_260_VIC_RD_2019 f/9 ISO
16000 1/10 s 2019/06/26 16:36:28

260 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



033_260_VIC_RD_2019 f/9 ISO 16000 1/25 s 2019/06/28 16:36:43



034_260_VIC_RD_2019 f/9 ISO 16000 1/30 s 2019/06/28 16:37:14



035_260_VIC_RD_2019 f/9 ISO 16000 1/50 s 2019/06/28 16:37:33



036_260_VIC_RD_2019 f/9 ISO 16000 1/40 s 2019/06/28 16:37:41



037_260_VIC_RD_2019 f/9 ISO 16000 1/50 s 2019/06/28 16:38:11



038_260_VIC_RD_2019 f/9 ISO 16000 1/6 s 2019/06/28 16:38:30



039_260_VIC_RD_2019 f/9 ISO 16000 1/2 s 2019/06/28 16:40:31



040_260_VIC_RD_2019 f/4 ISO 1600 1/60 s 2019/06/27 16:32:52



041_260_VIC_RD_2019 f/4 ISO 1600 1/60 s 2019/06/27 16:32:53



042_260_VIC_RD_2019 f/4 ISO 1600 1/60 s 2019/06/27 16:33:09



043_260_VIC_RD_2019 f/4 ISO 1600 1/60 s 2019/06/27 16:33:13



044_260_VIC_RD_2019 f/4 ISO 1600 1/60 s 2019/06/27 16:33:20



045_260_VIC_RD_2019 f/4 ISO 1600 1/60 s 2019/06/27 16:32:56



046_260_VIC_RD_2019 f/4 ISO 1600 1/60 s 2019/06/27 16:33:22



047_260_VIC_RD_2019 f/9 ISO 16000 1/40 s 2019/06/28 16:43:32



048_260_VIC_RD_2019 f/9 ISO 16000 1/15 s 2019/06/28 16:45:15

260 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



049_260_VIC_RD_2019 f/9 ISO
16000 1/4 s 2019/06/26 16:45:27



050_260_VIC_RD_2019 f/9 ISO
16000 1/6 s 2019/06/26 16:46:06



051_260_VIC_RD_2019 f/9 ISO
16000 1/10 s 2019/06/26 16:46:17



052_260_VIC_RD_2019 f/9 ISO
16000 0.6 s 2019/06/26 16:46:40



053_260_VIC_RD_2019 f/9 ISO
16000 0.6 s 2019/06/26 16:47:00



054_260_VIC_RD_2019 f/9 ISO
16000 1/15 s 2019/06/26 16:47:23



055_260_VIC_RD_2019 f/9 ISO
16000 1/160 s 2019/06/26 16:48:01



056_260_VIC_RD_2019 f/10 ISO
16000 1/100 s 2019/06/26 16:49:22



057_260_VIC_RD_2019 f/10 ISO
16000 1/125 s 2019/06/26 16:49:39



058_260_VIC_RD_2019 f/10 ISO
16000 1/60 s 2019/06/26 16:50:22



059_260_VIC_RD_2019 f/10 ISO
16000 1/10 s 2019/06/26 16:50:37



060_260_VIC_RD_2019 f/10 ISO
16000 1/20 s 2019/06/26 16:51:19



061_260_VIC_RD_2019 f/4.5 ISO
100 1/50 s 2019/06/26 16:54:47



062_260_VIC_RD_2019 f/4 ISO 125
1/40 s 2019/06/26 16:55:57



063_260_VIC_RD_2019 f/4 ISO 100
1/30 s 2019/06/26 16:56:07



064_260_VIC_RD_2019 f/5.6 ISO
100 1/60 s 2019/06/26 16:56:18

260 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



065_260_VIC_RD_2019 f/4.5 ISO 100 1/50 s 2019/06/26 16:56:26



066_260_VIC_RD_2019 f/4 ISO 1600 1/30 s 2019/06/26 16:56:52



067_260_VIC_RD_2019 f/4 ISO 400 1/30 s 2019/06/26 16:56:44



068_260_VIC_RD_2019 f/6.3 ISO 100 1/80 s 2019/06/26 16:57:07



069_260_VIC_RD_2019 f/4 ISO 125 1/40 s 2019/06/26 16:57:24



070_260_VIC_RD_2019 f/4.5 ISO 100 1/40 s 2019/06/26 16:57:31



071_260_VIC_RD_2019 f/4.5 ISO 100 1/50 s 2019/06/26 16:57:50



072_260_VIC_RD_2019 f/4.5 ISO 100 1/40 s 2019/06/26 16:58:04



073_260_VIC_RD_2019 f/10 ISO 16000 1/4 s 2019/06/26 16:58:34



074_260_VIC_RD_2019 f/10 ISO 16000 1/8 s 2019/06/26 16:58:45



075_260_VIC_RD_2019 f/10 ISO 16000 1/5 s 2019/06/26 16:59:05



076_260_VIC_RD_2019 f/10 ISO 16000 0.4 s 2019/06/26 17:00:36



077_260_VIC_RD_2019 f/10 ISO 16000 0.4 s 2019/06/26 17:00:52



078_260_VIC_RD_2019 f/10 ISO 16000 1/100 s 2019/06/26 17:01:22



079_260_VIC_RD_2019 f/4 ISO 640 1/40 s 2019/06/26 17:04:13



080_260_VIC_RD_2019 f/4 ISO 400 1/30 s 2019/06/26 17:02:06

260 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Gabrielle Harrington



081_260_VIC_RD_2019 f/4 ISO 320
1/40 s 2019/06/26 17:02:15



082_260_VIC_RD_2019 f/4 ISO 400
1/30 s 2019/06/26 17:02:20



083_260_VIC_RD_2019 f/4 ISO 320
1/30 s 2019/06/26 17:03:41



084_260_VIC_RD_2019 f/10 ISO
16000 1/20 s 2019/06/26 17:08:57



085_260_VIC_RD_2019 f/10 ISO
16000 1/8 s 2019/06/26 17:09:05



086_260_VIC_RD_2019 f/10 ISO
16000 1/20 s 2019/06/26 17:09:58



087_260_VIC_RD_2019 f/10 ISO
16000 1/4 s 2019/06/26 17:10:20



088_260_VIC_RD_2019 f/10 ISO
16000 1/200 s 2019/06/26 17:10:38



089_260_VIC_RD_2019 f/10 ISO
16000 1/8 s 2019/06/26 17:11:46



090_260_VIC_RD_2019 f/10 ISO
16000 1/20 s 2019/06/26 17:12:46



091_260_VIC_RD_2019 f/10 ISO
16000 1/30 s 2019/06/26 17:13:24



092_260_VIC_RD_2019 f/8 ISO 100
1/125 s 2019/06/26 17:14:23

6.2.2 262 Victoria Road

262 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



001_262_VIC_RD_2019 #10 ISO 100
1/250 s 2019/06/26 15:26:57

002_262_VIC_RD_2019 #10 ISO 100
1/250 s 2019/06/26 15:27:11

003_262_VIC_RD_2019 #11 ISO 100
1/250 s 2019/06/26 15:27:28

004_262_VIC_RD_2019 #9 ISO 100
1/250 s 2019/06/26 15:27:47



005_262_VIC_RD_2019 #9 ISO 100
1/200 s 2019/06/26 15:29:24



006_262_VIC_RD_2019 #9 ISO 100
1/160 s 2019/06/26 15:29:32



007_262_VIC_RD_2019 #8 ISO 100
1/125 s 2019/06/26 15:29:39



008_262_VIC_RD_2019 #9 ISO 100
1/200 s 2019/06/26 15:29:45



009_262_VIC_RD_2019 #13 ISO 100
1/320 s 2019/06/26 15:30:14



010_262_VIC_RD_2019 #9 ISO
16000 1/2500 s 2019/06/26 15:31:08



011_262_VIC_RD_2019 #5 ISO 100
1/50 s 2019/06/26 15:31:48



012_262_VIC_RD_2019 #4.5 ISO
160 1/30 s 2019/06/26 15:31:58



013_262_VIC_RD_2019 #4 ISO 100
1/30 s 2019/06/26 15:32:17



014_262_VIC_RD_2019 #7.1 ISO
100 1/100 s 2019/06/26 15:32:39



015_262_VIC_RD_2019 #9 ISO
16000 1/3200 s 2019/06/26 15:33:14



016_262_VIC_RD_2019 #9 ISO
16000 1/500 s 2019/06/26 15:33:52

262 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



017_262_VIC_RD_2019 f/9 ISO
16000 1/250 s 2019/06/26 15:34:14



018_262_VIC_RD_2019 f/9 ISO
16000 1/400 s 2019/06/26 15:35:48



019_262_VIC_RD_2019 f/9 ISO
16000 1/320 s 2019/06/26 15:35:56



020_262_VIC_RD_2019 f/9 ISO
16000 1/200 s 2019/06/26 15:36:01



021_262_VIC_RD_2019 f/9 ISO
16000 1/320 s 2019/06/26 15:36:23



022_262_VIC_RD_2019 f/9 ISO
16000 1/160 s 2019/06/26 15:36:27



023_262_VIC_RD_2019 f/9 ISO
16000 1/160 s 2019/06/26 15:36:33



024_262_VIC_RD_2019 f/9 ISO
16000 1/160 s 2019/06/26 15:36:41



025_262_VIC_RD_2019 f/9 ISO
16000 1/250 s 2019/06/26 15:37:15



026_262_VIC_RD_2019 f/9 ISO
16000 1/250 s 2019/06/26 15:37:50



027_262_VIC_RD_2019 f/9 ISO
16000 1/320 s 2019/06/26 15:38:56



028_262_VIC_RD_2019 f/9 ISO
16000 1/50 s 2019/06/26 15:39:25



029_262_VIC_RD_2019 f/9 ISO
16000 1/125 s 2019/06/26 15:39:29



030_262_VIC_RD_2019 f/9 ISO
16000 1/80 s 2019/06/26 15:39:34



031_262_VIC_RD_2019 f/9 ISO
16000 1/80 s 2019/06/26 15:40:01



032_262_VIC_RD_2019 f/9 ISO
16000 1/125 s 2019/06/26 15:40:09

262 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



033_262_VIC_RD_2019_f9_ISO
16000 1/100 s 2019/06/26 15:40:12



034_262_VIC_RD_2019_f9_ISO
16000 1/20 s 2019/06/26 15:40:25



035_262_VIC_RD_2019_f9_ISO
16000 1/50 s 2019/06/26 15:40:36



036_262_VIC_RD_2019_f9_ISO
16000 1/80 s 2019/06/26 15:41:12



037_262_VIC_RD_2019_f9_ISO
16000 1/80 s 2019/06/26 15:41:30



038_262_VIC_RD_2019_f9_ISO
16000 1/60 s 2019/06/26 15:42:15



039_262_VIC_RD_2019_f9_ISO
16000 1/40 s 2019/06/26 15:42:23



040_262_VIC_RD_2019_f9_ISO
16000 1/50 s 2019/06/26 15:42:37



041_262_VIC_RD_2019_f9_ISO
16000 1/800 s 2019/06/26 15:43:58



042_262_VIC_RD_2019_f9_ISO
16000 1/640 s 2019/06/26 15:44:03



043_262_VIC_RD_2019_f9_ISO
12800 1/250 s 2019/06/26 15:44:41



044_262_VIC_RD_2019_f9_ISO
12800 1/500 s 2019/06/26 15:44:55



045_262_VIC_RD_2019_f9_ISO
12800 1/400 s 2019/06/26 15:48:18



046_262_VIC_RD_2019_f9_ISO
16000 1/400 s 2019/06/26 15:47:05



047_262_VIC_RD_2019_f9_ISO
16000 1/50 s 2019/06/26 15:47:56



048_262_VIC_RD_2019_f9_ISO
16000 1/250 s 2019/06/26 15:48:28

262 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



049_262_VIC_RD_2019 f/4.5 ISO 320 1/30 s 2019/06/26 15:52:39



050_262_VIC_RD_2019 f/10 ISO 16000 1/125 s 2019/06/26 15:49:11



051_262_VIC_RD_2019 f/10 ISO 16000 1/160 s 2019/06/26 15:49:50



052_262_VIC_RD_2019 f/9 ISO 16000 1/200 s 2019/06/26 15:50:04



053_262_VIC_RD_2019 f/9 ISO 16000 1/125 s 2019/06/26 15:50:52



054_262_VIC_RD_2019 f/9 ISO 16000 1/320 s 2019/06/26 15:51:20



055_262_VIC_RD_2019 f/9 ISO 16000 1/320 s 2019/06/26 15:51:24



056_262_VIC_RD_2019 f/9 ISO 16000 1/400 s 2019/06/26 15:51:28



057_262_VIC_RD_2019 f/4 ISO 200 1/30 s 2019/06/26 15:54:07



058_262_VIC_RD_2019 f/4 ISO 200 1/30 s 2019/06/26 15:54:09



059_262_VIC_RD_2019 f/4 ISO 200 1/30 s 2019/06/26 15:54:11



060_262_VIC_RD_2019 f/4 ISO 400 1/30 s 2019/06/26 15:54:14



061_262_VIC_RD_2019 f/4.5 ISO 200 1/30 s 2019/06/26 15:54:37



062_262_VIC_RD_2019 f/4 ISO 250 1/30 s 2019/06/26 15:54:39



063_262_VIC_RD_2019 f/4 ISO 320 1/30 s 2019/06/26 15:54:58



064_262_VIC_RD_2019 f/4.5 ISO 320 1/30 s 2019/06/26 15:55:03

262 Victoria Road, Rozelle - Extent Heritage 2019
 Photographer: Ben Calvert



065_262_VIC_RD_2019 f/4 ISO 100
 1/30 s 2019/06/26 15:57:46



066_262_VIC_RD_2019 f/4.5 ISO 100
 1/50 s 2019/06/26 15:57:48



067_262_VIC_RD_2019 f/4 ISO 100
 1/40 s 2019/06/26 15:57:59



068_262_VIC_RD_2019 f/4 ISO 250
 1/30 s 2019/06/26 15:58:28



069_262_VIC_RD_2019 f/8 ISO 12800
 1/4000 s 2019/06/26 15:59:31



070_262_VIC_RD_2019 f/5 ISO 100
 1/50 s 2019/06/26 15:58:58



071_262_VIC_RD_2019 f/8 ISO 12800
 1/3200 s 2019/06/26 15:59:20



072_262_VIC_RD_2019 f/8 ISO 12800
 1/200 s 2019/06/26 16:00:47



073_262_VIC_RD_2019 f/8 ISO 12800
 1/320 s 2019/06/26 16:01:09

6.2.3 Views and Settings

Views and Settings 260-262 Victoria Road, Rozelle - Extent Heritage 2019 Photographer: Ben Calvert



001_260-262_VIC_RD_2019 f/8 ISO 100 1/250 s 2019/06/27 15:47:32



002_260-262_VIC_RD_2019 f/8 ISO 100 1/400 s 2019/06/27 15:47:43



003_260-262_VIC_RD_2019 f/8 ISO 100 1/250 s 2019/06/27 15:47:51



004_260-262_VIC_RD_2019 f/9 ISO 100 1/160 s 2019/06/27 15:47:24



005_260-262_VIC_RD_2019 f/8 ISO 100 1/320 s 2019/06/27 15:48:31



006_260-262_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:52:08



007_260-262_VIC_RD_2019 f/9 ISO 100 1/200 s 2019/06/27 15:52:27



008_260-262_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:52:33



009_260-262_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:52:38



010_260-262_VIC_RD_2019 f/6 ISO 100 1/400 s 2019/06/27 15:53:28



011_260-262_VIC_RD_2019 f/9 ISO 100 1/200 s 2019/06/27 15:53:45



012_260-262_VIC_RD_2019 f/8 ISO 100 1/250 s 2019/06/27 15:54:01



013_260-262_VIC_RD_2019 f/7.1 ISO 100 1/250 s 2019/06/27 15:54:12



014_260-262_VIC_RD_2019 f/7.1 ISO 100 1/200 s 2019/06/27 15:54:28



015_260-262_VIC_RD_2019 f/9 ISO 100 1/200 s 2019/06/27 15:54:33



016_260-262_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:54:44

Views and Settings 260-262 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



017_260-262_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:54:48 018_260-262_VIC_RD_2019 f/8 ISO 100 1/500 s 2019/06/27 15:55:00 019_260-262_VIC_RD_2019 f/8 ISO 100 1/400 s 2019/06/27 15:54:58 020_260-262_VIC_RD_2019 f/7.1 ISO 100 1/400 s 2019/06/27 15:54:55



021_260-262_VIC_RD_2019 f/7.1 ISO 100 1/320 s 2019/06/27 15:54:52 022_260-262_VIC_RD_2019 f/10 ISO 100 1/250 s 2019/06/27 15:56:48 023_260-262_VIC_RD_2019 f/9 ISO 100 1/160 s 2019/06/27 15:56:55 024_260-262_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:57:01



025_260-262_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:57:09 026_260-262_VIC_RD_2019 f/9 ISO 100 1/200 s 2019/06/27 15:57:57 027_260-262_VIC_RD_2019 f/10 ISO 100 1/250 s 2019/06/27 15:58:01 028_260-262_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:58:04



029_260-262_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:58:07 030_260-262_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 15:58:11 031_260-262_VIC_RD_2019 f/9 ISO 100 1/160 s 2019/06/27 16:16:07 032_260-262_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/27 16:16:09

Views and Settings 260-262 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



033_260-262_VIC_RD_2019 f/8 ISO 100 1/160 s 2019/06/27 16:16:11



034_260-262_VIC_RD_2019 f/9 ISO 100 1/160 s 2019/06/27 16:16:33



035_260-262_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/27 16:17:50



036_260-262_VIC_RD_2019 f/8 ISO 100 1/125 s 2019/06/27 16:17:33



037_260-262_VIC_RD_2019 f/7.1 ISO 100 1/125 s 2019/06/27 16:18:00



038_260-262_VIC_RD_2019 f/11 ISO 100 1/250 s 2019/06/27 16:18:51



039_260-262_VIC_RD_2019 f/11 ISO 100 1/250 s 2019/06/27 16:19:08



040_260-262_VIC_RD_2019 f/10 ISO 100 1/250 s 2019/06/27 16:19:19



041_260-262_VIC_RD_2019 f/10 ISO 100 1/250 s 2019/06/27 16:19:44



042_260-262_VIC_RD_2019 f/10 ISO 100 1/200 s 2019/06/27 16:20:29



043_260-262_VIC_RD_2019 f/9 ISO 100 1/160 s 2019/06/27 16:21:41



044_260-262_VIC_RD_2019 f/11 ISO 100 1/250 s 2019/06/27 16:21:46



045_260-262_VIC_RD_2019 f/9 ISO 100 1/160 s 2019/06/27 16:22:17



046_260-262_VIC_RD_2019 f/6.3 ISO 100 1/80 s 2019/06/27 16:25:39



047_260-262_VIC_RD_2019 f/7.1 ISO 100 1/100 s 2019/06/27 16:25:47



048_260-262_VIC_RD_2019 f/5.6 ISO 100 1/80 s 2019/06/27 16:26:08

Views and Settings 260-262 Victoria Road, Rozelle - Extent Heritage 2019
Photographer: Ben Calvert



049_260-262_VIC_RD_2019 f7.1 ISO 100 1/100 ± 2019/06/27 16:26:33 050_260-262_VIC_RD_2019 f7.1 ISO 100 1/100 ± 2019/06/27 16:26:35 051_260-262_VIC_RD_2019 f7.1 ISO 100 1/100 ± 2019/06/27 16:27:01

5.7 Photograph direction plans

6.2.4 260 Victoria Road

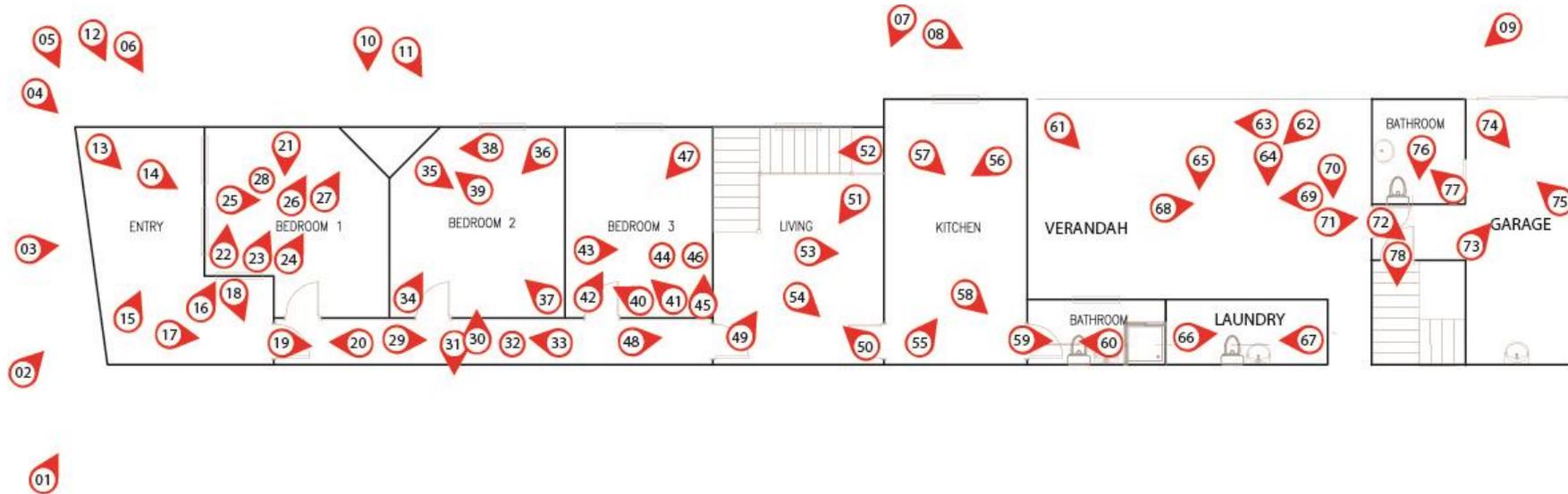
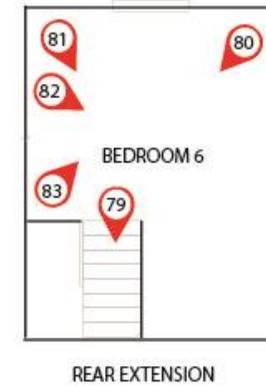
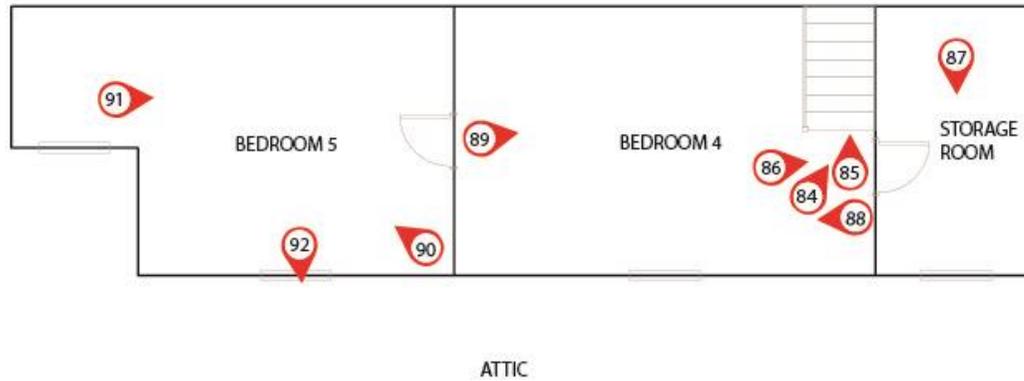


Figure 6. Direction Plan of Ground Floor of 260 Victoria Road, Rozelle.



Key:
 Direction
 No direction

ATTIC & FIRST FLOOR OF REAR EXTENSION, 260 VICTORIA ROAD, ROZELLE

Type: Direction Plan
 Date: July 2019
 Scale: Not to scale
 Source: John Holland
 DWG No. RIC-TEK-SKT-GN00-0034a

Figure 7. Direction Plan of First Floor of 262 Victoria Road, Rozelle.

6.2.5 262 Victoria Road



Key:
 Direction
 No direction

GROUND FLOOR,
262 VICTORIA ROAD, ROZELLE

Type: Direction Plan
 Date: July 2019
 Scale: Not to scale
 Source: John Holland
 DWG No. RIC-TEK-SKT-GN00-0034a

Figure 8. Direction Plan of Ground Floor of 262 Victoria Road, Rozelle.

6.2.6 Views and Settings



Key:
 Direction
 No direction

VIEWS AND SETTINGS, 260-262 VICTORIA ROAD, ROZELLE

Type: Direction Plan
 Date: 16 July 2019
 Scale: Not to scale
 Source: Six LPI

Figure 9. Direction Plan of Views and Settings to 260-262 Victoria Road, Rozelle.

6. Salvage Report

6.5 Overview

The following section outlines an inventory of existing historic building fabric within 260-262 Victoria Road, Rozelle. While the buildings retain a significant amount of early fabric, their intactness varies across the two dwellings.

A table of existing fabric has been provided below as well as floor plans to assist with the identification of historic building fabric during works. Where possible, photos of particular elements have been provided for clarity. This material should form part of a catalogue of heritage fabric, to be made available to the public for reuse.

The building fabric catalogue is separated into the following categories:

- 260 Victoria Road
 - External
 - Internal
- 262 Victoria Road
 - External
 - Internal

It is understood that there are some limitations for accessing heritage fabric located on the exterior of the buildings, particularly for roof elements above the first floor. In the case where heritage fabric is unable to be accessed for exceptional reasons such as a road closure or safety risks such as working at heights and active power lines, it is accepted that these items will not form part of the salvage collection. Items related to this limitation were taken into consideration during the salvage assessment and, due to the above limitations, were omitted from the salvage strategy.

In the instance where decorative heritage fabric such as ceiling roses, corbelled mouldings and cornices are not successfully salvaged in a good condition (i.e. broken during salvage and unable to be repaired), it is understood that these salvaged items can be disposed.

6.6 Building Fabric Catalogue

7.2.1 External, 260 Victoria Road

Ref #	Feature	Quantity	Thumbnail
1	Floor tiles <i>* Not present.</i>	0	N/A
2	Windows – external joinery <i>* Has been removed at 260 Victoria Road</i>	0	N/A
3	Balcony – joinery and timber detail <i>* Not present.</i>	0	N/A
4	Filigree balustrade <i>* Not present.</i>	0	N/A
5	Fencing and gates <i>* All fencing and gates at 260 Victoria Road is of modern construction.</i>	0	N/A
6	Threshold stones <i>* Not present.</i>	0	N/A
7	Sandstone blocks or bedrock <i>* Visible from 262 Victoria Road. Check for sandstone footings which could be salvaged if present. Salvage will not be viable if it is bedrock.</i>	1 area, salvage all if viable	
8	Bullnose verandah <i>* 260 Victoria Road has a modern bullnose verandah.</i>	0	N/A
9	Parapet vase urn	0	N/A

Ref #	Feature	Quantity	Thumbnail
	* <i>Not present.</i>		
10	Corbelled mouldings * <i>Not present.</i>	0	N/A
11	Wall vents	4	
12	Finial * <i>Finial unable to be salvaged due to accessibility.</i>	0	N/A
13	Chimney cowl * <i>Not able to be salvaged due to accessibility.</i>	0	N/A
14	Sandstone window sills * <i>Not present.</i>	0	N/A
15	Window skirts * <i>Not present.</i>	0	N/A
16	Decorative Tiles * <i>Not present.</i>	0	N/A
17	Sandstone garden edging * <i>Not present.</i>	0	N/A
18	Galvanized iron roof * <i>Not present.</i>	0	N/A
19	Timber Brackets * <i>Not present.</i>	0	N/A

7.2.2 Internal, 260 Victoria Road

Ref #	Feature	Quantity	Thumbnail
1	Windows * <i>260 Victoria Road does not have original windows. All windows have been replaced with</i>	0	N/A

Ref #	Feature	Quantity	Thumbnail
	<i>aluminium frames and modern glass panes.</i>		
2	Window hardware – finger hooks <i>* 260 Victoria Road does not have original windows. All windows have been replaced with aluminium frames and modern glass panes.</i>	0	N/A
3	Door joinery – panel timber door <i>* Salvage door and joinery as set.</i>	5	 
4	Door joinery – French door <i>* 260 Victoria Road does not have any original French doors.</i>	0	N/A
5	Door joinery – hardware <i>* 260 Victoria road does not have original door hardware.</i>	0	N/A

Ref #	Feature	Quantity	Thumbnail
6	Door light and frame <i>* Salvage as a set.</i>	5	
7	Stairs – timber stairs <i>* The stairs in 260 Victoria Road are modern.</i>	0	N/A
8	Stairs – balustrade <i>* The stairs in 260 Victoria Road are modern.</i>	0	N/A
9	Wall vents	5	
10	Ceiling rose	1, if viable	

Ref #	Feature	Quantity	Thumbnail
11	Walls - skirting board	4 rooms	
12	Fireplace	3	
13	Fireplace – mantle <i>* The fireplace mantle within the front room of 260 Victoria Road is in poor condition and is not considered to be salvageable.</i>	3 total 2 salvageable	DAMAGED – DO NOT SALVAGE 
			SALVAGE 
			SALVAGE

Ref #	Feature	Quantity	Thumbnail
			
14	<p>Fireplace – tiles</p> <p><i>* The fireplace in bedroom 2 has historic tiles. Bedroom 1 and Living have been replaced with modern tiles, but historic tiles may be present beneath.</i></p>	<p>1 set visible</p> <p>Potentially 3 sets, if viable</p>	<p>SALVAGE</p>  <p>CHECK BENEATH</p>  <p>CHECK BENEATH</p> 
15	Light pull and switch	0	N/A

Ref #	Feature	Quantity	Thumbnail
	* <i>Not present.</i>		
16	Walls – picture rail * <i>The picture rail in 260 Victoria Road is an inset wall detail and is not salvageable</i>	0	<p>NOT SALVAGEABLE</p> 
17	Walls – cornice * <i>The cornice in 260 Victoria Road Bedroom 1 may be salvageable, but all other rooms are of a newer construction.</i>	1 room, if viable	
18	Floor – timber boards * <i>There is a small section of boards at the front of the house, distinguishable as being thicker planks than the rest of the flooring.</i>	1 section	
19	Pressed metal ceiling	1	
20	Mouldings * <i>Salvage mouldings as set.</i>	2, if viable	

Ref #	Feature	Quantity	Thumbnail
			

7.2.3 External, 262 Victoria Road

Ref #	Feature	Quantity	Thumbnail
1	Floor Tiles <i>* Not present.</i>	0	N/A
2	Windows- external joinery <i>*Not present.</i>	0	N/A
3	Balcony- joinery and timber detail <i>* Not present.</i>	0	N/A
4	Filigree balustrade <i>* Not present.</i>	0	N/A
5	Fencing and gates <i>* Not present.</i>	0	N/A
6	Threshold stone <i>* Not present.</i>	0	N/A
7	Sandstone blocks <i>* Check for sandstone footings which could be salvaged if present. Salvage will not be viable if it is bedrock.</i>	0	N/A
8	Bullnose verandah <i>* Bullnose verandah unable to be salvaged at due to accessibility.</i>	0	N/A
9	Parapet vase urn <i>*Not present.</i>	0	N/A

Ref #	Feature	Quantity	Thumbnail
10	Corbelled mouldings <i>*Not present.</i>	0	N/A
11	Wall vents	5	
12	Finial <i>*finial removed from 262 Victoria Road.</i>	0	N/A
13	Chimney cowl <i>*Chimney cowls unable to be salvaged due to accessibility.</i>	0	N/A
14	Sandstone window sills	7	

Ref #	Feature	Quantity	Thumbnail
15	Window skirts	3	
16	Decorative tiles	1 set, if viable	
17	Sandstone garden edging	1 set, throughout garden	
18	Galvanized iron roof <i>* Galvanized iron roof unable to be salvaged due to accessibility.</i>	1 set, throughout roofscape	
19	Timber Brackets	1 set, including 2 brackets and one connecting member	

7.2.4 Internal, 262 Victoria Road

Ref #	Feature	Quantity	Thumbnail
1	Windows <i>* 262 Victoria Road has salvageable window frames only. Windows themselves are modern construction and are not salvageable.</i>	7	
2	Window hardware – finger hooks <i>* 262 Victoria Road does not have finger hooks.</i>	0	N/A
3	Door joinery – panel timber door <i>* Salvage door and joinery as set.</i>	6 frames 5 doors	
4	Door joinery – French door <i>* 262 Victoria Road does not have any original French doors.</i>	0	N/A
5	Door joinery – hardware <i>* 262 Victoria Road does not have any original hardware</i>	0	N/A
6	Door light and frame	6	
7	Stairs – timber stairs <i>* Not present.</i>	0	N/A
8	Stairs – balustrade	0	N/A

Ref #	Feature	Quantity	Thumbnail
	* Not present.		
9	Wall vents	5	
10	Ceiling rose	3, if viable	 
11	Skirting board	5 rooms	
12	Fireplace <i>* The fireplaces at 262 Victoria Road appear to have been removed. If they are found behind the wall then they should be salvaged.</i>	0	N/A
13	Fireplace – mantle <i>* Not present.</i>	0	N/A

Ref #	Feature	Quantity	Thumbnail
14	<p>Fireplace – tiles</p> <p><i>* Bedroom 2 has historic tiles. Bedroom 1 has been replaced with modern tiles, but historic tiles may be present beneath.</i></p>	<p>1 set visible</p> <p>Potentially 2 sets, if viable</p>	<p>SALVAGE</p>  <p>CHECK BENEATH</p> 
15	<p>Light pull and switch</p> <p><i>* Not present.</i></p>	0	N/A
16	<p>Walls - picture rail</p>	1 room	
17	<p>Decorative cornice</p> <p><i>* If viable – this may be plaster and therefore extremely delicate.</i></p>	6 rooms, if viable	
18	<p>Floor – timber boards</p>	0	N/A

Ref #	Feature	Quantity	Thumbnail
	* 262 Victoria Road does not have any original timber boards.		
19	Pressed metal ceiling * Not present.	0	N/A
20	Mouldings * Salvage mouldings as a set.	2, if viable	

6.7 Salvage Plans

7.2.5 260 Victoria Road

Key:

- | | |
|-------------------------------------|----------------------------|
| 1 Floor tiles | 11 Wall vents |
| 2 Windows-external joinery | 12 Finial |
| 3 Balcony-joinery and timber detail | 13 Chimney cowl |
| 4 Filigree balustrade | 14 Sandstone window sills |
| 5 Fencing and gates | 15 Window skirts |
| 6 Threshold stone | 16 Decorative tiles |
| 7 Sandstone blocks | 17 Sandstone garden edging |
| 8 Bullnose verandah | 18 Galvanized iron roof |
| 9 Parapet vase urn | 19 Timber Brackets |
| 10 Corbelled mouldings | |



View from 262 Victoria Road



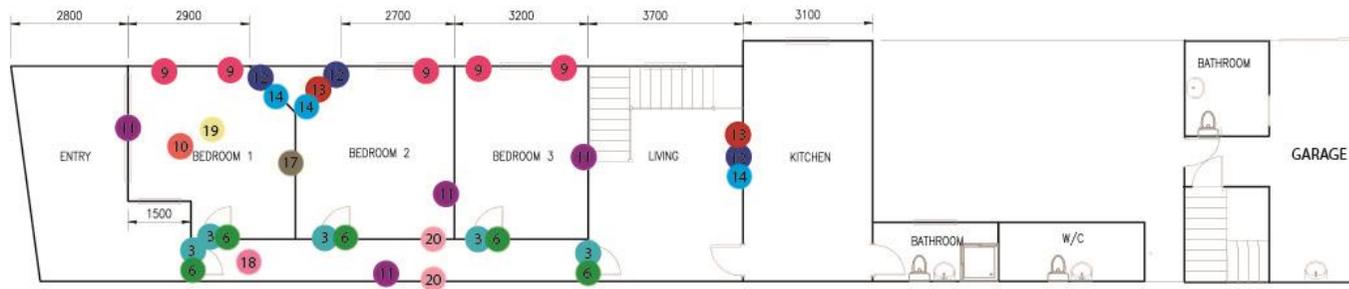
Figure 10. Salvage plan for exterior of 260 Victoria Road, Rozelle.

EXTENT

HERITAGE ADVISORS
TO AUSTRALIA AND
THE ASIA PACIFIC

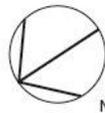
Key:

- | | |
|------------------------------------|---------------------------|
| 1 Windows | 11 Walls - skirting board |
| 2 Window hardware - finger hooks | 12 Fireplace |
| 3 Door joinery - panel timber door | 13 Fireplace - mantle |
| 4 Door joinery - french door | 14 Fireplace - tiles |
| 5 Door joinery - hardware | 15 Light pull and switch |
| 6 Door light and frame | 16 Walls - picture rail |
| 7 Stairs - timber stairs | 17 Walls - cornice |
| 8 Stairs - balustrade | 18 Floor - timber boards |
| 9 Wall vents | 19 Pressed metal ceiling |
| 10 Ceiling rose | 20 Moulding |



EXTENT

HERITAGE ADVISORS
TO AUSTRALIA AND
THE ASIA PACIFIC



GROUND FLOOR, 260 VICTORIA ROAD, ROZELLE

Type: Salvage Key
Date: July 2019
Scale: Not to scale
Source: John Holland
DWG No. RIC-TEK-SKT-GND-0084a

Figure 11. Salvage plan for interior Ground Floor of 260 Victoria Road, Rozelle. Note that the Attic and Rear Extension of 260 Victoria Road do not have any salvageable material.

7.2.6 262 Victoria Road

Key:

- 1 Floor tiles
- 2 Windows-external joinery
- 3 Balcony-joinery and timber detail
- 4 Filigree balustrade
- 5 Fencing and gates
- 6 Threshold stone
- 7 Sandstone blocks
- 8 Bullnose verandah
- 9 Parapet vase urn
- 10 Corbelled mouldings
- 11 Wall vents
- 12 Finial
- 13 Chimney cowl
- 14 Sandstone window sills
- 15 Window skirts
- 16 Decorative tiles
- 17 Sandstone garden edging
- 18 Galvanized iron roof
- 19 Timber Brackets



REAR

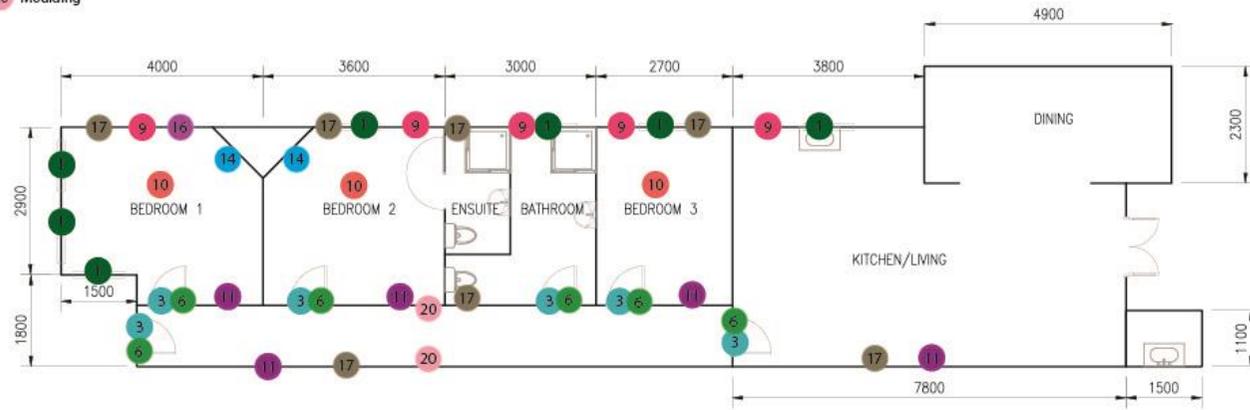
Figure 12. Salvage plan for exterior of 262 Victoria Road, Rozelle.

EXTENT

HERITAGE ADVISORS
TO AUSTRALIA AND
THE ASIA PACIFIC

Key:

- 1 Windows
- 2 Window hardware - finger hooks
- 3 Door joinery - panel timber door
- 4 Door joinery - french door
- 5 Door joinery - hardware
- 6 Door light and frame
- 7 Stairs - timber stairs
- 8 Stairs - balustrade
- 9 Wall vents
- 10 Ceiling rose
- 11 Walls - skirting board
- 12 Fireplace
- 13 Fireplace - mantle
- 14 Fireplace - tiles
- 15 Light pull and switch
- 16 Walls - picture rail
- 17 Walls - cornice
- 18 Floor - timber boards
- 19 Pressed metal ceiling
- 20 Moulding



EXTENT

HERITAGE ADVISORS
TO AUSTRALIA AND
THE ASIA PACIFIC



GROUND FLOOR, 262 VICTORIA ROAD, ROZELLE

Type: Salvage Key
Date: July 2019
Scale: Not to scale
Source: John Holland
DWG No. RIC-TEK-SKT-GN00-0034a

Figure 13. Salvage plan for interior Ground Floor of 262 Victoria Road, Rozelle.

8. Salvage Strategy

8.1 Re-use of salvaged material

The below section has been prepared in fulfillment of REMM NAH 09 which states:

A Heritage Salvage Strategy will be prepared to identify the salvage potential of the fabric and features from heritage items and potential heritage items that will be demolished to facilitate the Project. This could include timber joinery, fireplaces, stained glass, stairs, decorative tiles, bricks, steel truss structures, windows, etc. The strategy will also identify options and a process for dissemination of salvaged items to owners, community groups and interested parties.

Specifically, this section includes the following items:

- Identification of options and processes for dissemination of salvaged items to owners, community groups and interested parties; and
- Provision of sympathetic reuse options for heritage fabric, either within the WestConnex project or within the wider community.

There are numerous benefits with respect to disseminating salvaged items to owners, community groups and interested parties, including:

- **Environmental** - Impacts associated with utilising reclaimed heritage building fabric is less than that of producing new building materials. This helps to retain the fabrics 'embodied energy', that is, the energy consumed by all the processes associated with the production of a building or particular building fabric (CSIRO 1997).
- **Social** - Maintaining built fabric of architectural and historical value within the Rozelle and/or Inner West area helps to preserve the heritage character of these locations. Communities benefit from the protection of fabric, including the preservation of this fabric for future generations (Australian Government Department of Environment and Heritage 2004:4).
- **Economic** – There are economic benefits from the salvage of heritage building fabric, including a reduced cost for owners of other listed heritage properties when given the opportunity to re-use salvaged items.

8.1.1 Salvage options

The building fabric catalogue (Section 6.2) provides a list of items considered to be salvageable. Post-salvage, there are several organisations that may be contacted to understand their interest in taking the elements for restoration and repair of similar buildings and/or for distribution to landowners. These can be found in the below table.

Where possible, salvaged building fabric should first be considered for re-use within the project area and then offered to members of the local community prior to other interested parties (i.e. organisations dealing in the sale of salvaged material) being contacted.

Organisation	Contact	Comments
Balmain Association Inc	Email: Contactable through a form on their website located at the below link Website: https://balmainassociation.org.au/contact/	<ul style="list-style-type: none"> Covers Balmain, Birchgrove and Rozelle. Formed to preserve the best of the suburb's history, architecture and natural beauty. Aims to 'maintain all features having natural, architectural and or historical value of the area and keep a permanent collection of historical interest'.
Inner West Council	Phone: (02) 9392 5000 Email: council@innerwest.nsw.gov.au Website: https://www.innerwest.nsw.gov.au	<ul style="list-style-type: none"> Local Council for the Local Government Area (LGA) covering the suburb of Rozelle. Could be contacted to help facilitate communication between owners of locally listed properties within the Rozelle area and JHCPB JV.
Inner West Council Community History and Heritage Team	Email: history@innerwest.nsw.gov.au . Website: https://www.innerwest.nsw.gov.au/explore/libraries/community-history/contact-the-community-heritage-and-history-team	<ul style="list-style-type: none"> As above, the Inner West Council Community History and Heritage Team may be able to provide more heritage-specific LGA information and contacts for locally listed properties.
Historic Houses Association of Australia	Phone: (02) 9252 5554 Email: enquiries@hha.net.au Website: https://www.hha.net.au/	<ul style="list-style-type: none"> A registered charity and volunteer organisation that supports owners and promotes public interest in historic houses and properties throughout Australia.
Chippendale Restorations	Phone: (02) 9810 6066 Email: mail@chippendalerestorations.com.au Website: chippendalerestorations.com.au	<ul style="list-style-type: none"> Located in Rozelle. Specialises in antique recovery and restoration of interior and exterior fittings.
Heritage Building Centre	Phone: 02 9567 1322 Email: sales@heritagebuilding.com.au Website: https://www.heritagebuilding.com.au/	<ul style="list-style-type: none"> Specialises in the sale of material from 1850 to 1950. Stocks second hand, reproduction and recycled building materials.

8.1.2 Options for re-use of fabric

In addition to the dissemination of salvaged items to owners, community groups and interested parties, additional options include the sympathetic re-use of built heritage fabric within the project area for future heritage interpretation.

Utilising salvaged fabric from heritage buildings is an increasingly popular method of heritage interpretation for community sites. Re-use of heritage fabric in this way conveys a sense of dignity and respect for heritage places within the local community and can help support in creating a 'sense of place'.

Interpretive elements may include:

- Original building fabric installed as-is, with accompanying signage providing contextual information about the fabric,
- Original building fabric re-used for functional purposes such as seating or retaining walls, or
- Original building fabric elements utilised as part of public community art projects.

The below table identifies elements from the building fabric catalogue in Section 6.2 that may be re-used for interpretation, and examples of how similar re-use opportunities have been undertaken in other areas.

A Heritage Interpretation Strategy is being prepared for the Rozelle Interchange project (*WestConnex Stage 3 Rozelle Interchange Interpretation Strategy* in preparation by Extent Heritage). The Interpretation Strategy should be developed in coordination with this Salvage Strategy. A catalogue of salvaged building fabric should be included within the Interpretation Strategy to ensure that interpretation options are adequately addressed. It is recommended that re-use of building fabric for heritage interpretation be limited to the Rozelle and wider Inner West area.

As the subject site will be demolished as part of the new Rozelle Interchange, the salvaged fabric will need to be moved to a new location, such as a park or community facility. It should be carefully removed without damage and stored in appropriate weather tight conditions prior to reuse.

Fabric	Potential re-use	Example
	Seating	 <p>Figure 14. Sandstone blocks used as bench seating (Source: Outdoor Design Source).</p>
Sandstone blocks and/or footings (#7)	Retaining walls	 <p>Figure 15. Sandstone blocks used as a retaining wall (Source: Brisbane Sandstone).</p>

Fabric	Potential re-use	Example
	<p>Interpretive paving or wall stones</p>	 <p>Figure 16. Sandstone blocks used as an interpretive wall (Source: Central Maitland Interpretation Plan 2014:35).</p>  <p>Figure 17. Sandstone blocks repurposed as interpretive paving (Source: Central Maitland Interpretation Plan 2014:25).</p>

Fabric	Potential re-use	Example
<p>Tiles (both exterior and fireplace) (#1-exterior and #14-interior)</p>	<p>Public art</p>	 <p>Figure 18. Community tile mosaic (Source: Carrie Reichardt)</p>  <p>Figure 19. Community tile mosaic (Source: Carrie Reichardt)</p>

8.2 Recommendations

8.2.1 Prior to Work

- Contractors should be briefed about the Heritage Condition of Consent regarding the requirement to salvage materials. The elements that have been identified for salvage, and how these materials should be managed, as outlined below, should be listed in a catalogue of materials for salvage and should be kept on site for reference at all times.

8.2.2 During Work

Hazardous Materials

- At the discretion of JHCPB JV, salvage items that contain hazardous material such as lead paint should correctly labelled, with the particular hazardous material identified, and appropriately contained.
- At the discretion of JHCPB JV, where hazardous materials are identified that create a critical health and safety issue in relation to salvage or reuse, such as asbestos, these should be appropriately disposed of.

Removal of Material

- All fabric should be removed carefully to ensure its condition is not compromised.
- Extra care should be taken in the removal and storage of the fireplaces and associated fireplace tiles and tessellated tiles identified in this report to ensure that the condition of the fabric is not compromised or items damaged.
- Extra care should be taken in the removal and storage of the pressed metal ceiling to ensure that the condition of the fabric is not compromised or damaged.
- Extra care should be taken in the removal of window and door elements. Where relevant, windows/doors and associated components (finger hooks, architraves, etc) and hardware (locks, handles, stays, etc) should be removed as one piece, or labelled as part of a group/assemblage. All grouped elements should be kept together.
- Timber floorboards should be kept as a group.
- Any non-decorative ceiling plaster (not including mouldings, cornices, ceiling roses, etc.) does not require salvage. This should be documented in photographs and a record of it provided to the Heritage Advisor.
- A Heritage Advisor should be notified if other potential original (and salvageable) building fabric, which has not been identified in the salvage report, is identified during works. A photograph of this item should be emailed to the Heritage Advisor for assessment of its salvage potential prior to disposal.

- If any sandstone blocks are found to be present, either in building courses or foundation stones, where they are in good condition (i.e. Ashlar blocks) they should be salvaged.
- If highly significant material will need to be physically impacted i.e. cut or damaged, in order to be salvaged, seek the advice of a Heritage Advisor on the most appropriate methodology to minimise the impact.

8.2.3 Storage

- All salvaged fabric should be stored in a dry, secure place after removal.
- Any corrosion on pressed metal ceiling should be treated prior to storage.
- All items should be clearly labelled for storage with building, room, and element number (as applicable). It should also be labelled with the date of removal, and date of storage.
- Any material that is wet or mouldy should not be stored in a sealed wrapping. Only store completely dry materials as mould spores can transfer to other materials.
- Do not store any materials that appears to have evidence of pest infestation (such as borer holes, termite frass, etc) should be disposed unless highly significant. Highly significant material suffering insect infestation should be treated prior to storage.
- The condition of the material should be inspected for mould, insect activity or other damage every three months and appropriate action taken as required.

8.2.4 Reuse of salvaged material

- The recommendations outlined in Section 7 of this report and presented in the figure below should be adhered to.
- A list of salvaged fabric should be included within the Heritage Interpretation Strategy (in. prep) to ensure any interpretive elements are appropriate and comply with this strategy.



8. References

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