

65 Muston Street, Mosman

(SSD – 98068713)

Engagement Outcomes Report

February 2026

Prepared for: Prosker Property

Urbis staff responsible for this report were:

Director	Dianne Knott
Senior Consultant	Aleena Castanos
Consultant	Anna Harris
Project Code	P0061392
Report number	FINAL

Acknowledgment of Country

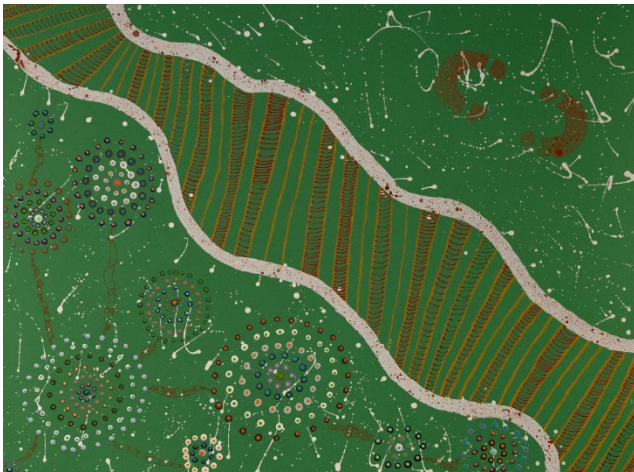
Urbis acknowledges the Traditional Custodians of the lands we operate on.

We recognise that First Nations sovereignty was never ceded and respect First Nations peoples continuing connection to these lands, waterways and ecosystems for over 60,000 years.

We pay our respects to First Nations Elders, past and present.

Urbis is committed to incorporating our respect for First Nations cultures, peoples and storytelling in our work

across the Country. We are proud to have partnered with Darug Nation artist, **Hayley Pigram**, and to profile her



The river is the symbol of the Dreaming and the journey of life. The circles and lines represent people meeting and connections across time and space. When we are working in different places, we can still be connected and work towards the same goal.

All information supplied to Urbis in order to conduct this research has been treated in the strictest confidence. It shall only be used in this context and shall not be made available to third parties without client authorisation. Confidential information has been stored securely and data provided by respondents, as well as their identity, has been treated in the strictest confidence and all assurance given to respondents have been and shall be fulfilled.

© Urbis Ltd
50 105 256 228

All Rights Reserved. No material may be reproduced without prior permission.
You must read the important disclaimer appearing within the body of this report.

urbis.com.au

Contents

Abbreviations	4
Introduction	5
1 Legislative context	7
1.1 Response to Secretary’s Environmental Assessment Requirements (SEARs)	7
1.2 Alignment with <i>Undertaking Engagement Guidelines for State Significant Projects</i>	7
2 Project detail	10
2.1 The site	10
2.2 Project context	11
2.3 Project description	13
3 Community and stakeholder engagement approach	15
3.1 Purpose of engagement	15
3.2 Engagement objectives	16
3.3 Community and stakeholders	17
4 Engagement activities	21
5 What we heard	24
5.1 Near neighbour feedback	24
5.2 Non-community stakeholder feedback	29
6 Future community and stakeholder engagement	36
Disclaimer	37
Appendices	33

Figures

Figure 1 Site aerial.....	12
Figure 2 Existing building	12
Figure 3 Engagement Institute Public Participation Spectrum	15
Figure 4 DPHI Community Participation Plan objectives	16
Figure 5 Stakeholder categories	17
Figure 6 The site and surrounding community	18
Figure 7 Community profile	19
Figure 8 Engagement activities	21

Tables

Table 1 Abbreviations.....	4
Table 2 Response to SEARs for SSD- 98068713.....	7
Table 3 Community participation objectives.....	7
Table 4 Detailed stakeholder feedback and project response.....	29

Abbreviations

Table 1 Abbreviations

Abbreviation	Definition
CHP	Community Housing Provider
DP	Deposited Plan
DPHI	Department of Planning, Housing and Infrastructure
EIS	Environmental Impact Statement
EP&A Act	Environmental Planning and Assessment Act 1979
IAP2	International Association of Public Participation Australasia (now known as Engagement Institute)
ILP	Indicative Layout Plan
LGA	Local Government Area
LMR	Low to Mid-Rise Housing Policy
SEARs	Secretary's Environmental Assessment Requirements
SSD	State Significant Development
SSDA	State Significant Development Application
TIA	Traffic Impact Assessment

Introduction

This Engagement Report has been prepared by Urbis Ltd to accompany Proske Property Pty Ltd's (Proske Property) State Significant Development Application (SSDA) for a residential development (including in-fill affordable housing) at 65 Muston Street, Mosman (the site).

An Engagement Strategy was prepared and implemented in line with the NSW Department of Planning, Housing and Infrastructure (DPHI's) *Undertaking Engagement Guidelines for State Significant Projects* and the Engagement Institute's (formerly IAP2 Australasia) Public Participation Spectrum.

The activities outlined in the strategy sought to deliver an appropriate and relevant engagement process and provide opportunities for the community and stakeholders to:

- Learn about the proposal
- Understand the planning process, and
- Provide feedback that will inform part of the SSDA lodgement.

This report summarises the engagement approach delivered and outcomes of the engagement activities undertaken.

1

Legislative context

In NSW, the preparation and evaluation of environmental assessments for State Significant Developments is legislated through the Environmental Planning and Assessment Act 1979 (EP&A Act).

The EP&A Act outlines a series of statutory requirements for proponents seeking development approval. The EP&A Act includes specific requirements to provide community members and stakeholders with opportunities to participate in the planning process.

As such, this report has been prepared in line with the following guidelines and requirements:

- The industry specific SEARs issued for this project
- DPHI's *Undertaking Engagement Guidelines for State Significant Projects* (March 2024) (Undertaking Engagement Guidelines)
- DPHI's Community Participation Plan (April 2024)
- The Engagement Institute's Public Participation Spectrum (formerly IAP2 Australasia).

1 Legislative context

1.1 Response to Secretary’s Environmental Assessment Requirements (SEARs)

This report has been prepared in response to the requirements contained within the Secretary’s Environmental Assessment Requirements (**SEARs**) dated 12 November 2025 and issued for the SSDA (SSD-98068713). Specifically, this report has been prepared to respond to the SEARs requirement and government agency comments issued below.

Table 2 Response to SEARs for SSD- 98068713

Description of a requirement	Project response
4. Engagement	
Demonstrate that engagement and consultation activities have been undertaken in accordance with the Undertaking Engagement Guidelines for State Significant Projects and identify how issues raised, and feedback received have been considered in the design of the project. <i>If the development would have required an approval or authorisation under another Act but for the application of s 4.41 of the EP&A Act or requires an approval or authorisation under another Act to be applied consistently by s 4.42 of the EP&A Act, the agency relevant to that approval or authorisation must be consulted.</i>	This document outlines an approach to engagement that is consistent with the Undertaking Engagement Guidelines. The outcomes of the consultation approach, including how issues raised and feedback provided have been considered and responded to in the project will be captured in the: - Engagement Outcomes Report (this document, specifically Section 4) - Environmental Impact Statement

1.2 Alignment with Undertaking Engagement Guidelines for State Significant Projects

This engagement outcomes report has been prepared in line with DPHI’s *Undertaking Engagement Guidelines*, which provide guidance for the effective delivery of engagement to support the development of state significant projects in NSW. The *Undertaking Engagement Guidelines* provides a series of objectives for effective engagement. These community participation objectives are detailed in Table 3. This table also outlines where each objective has been addressed within this report.

Table 3 Community participation objectives

Objective	Where has this been addressed
1 Identify the people or groups who are interested in or are likely to be affected by the project.	For identification of the community and key stakeholders, see Section 3.3.
2 Use appropriate engagement techniques. This includes: - considering the accessibility of how information is delivered - the avoidance of technical language and jargon so information can be easily interpreted by the audience - the adoption of non-written forms of engagement, where needed.	For an overview of engagement activities, see Section 4.

	<i>Appropriate engagement techniques are particularly important when engaging with specific groups, such as Aboriginal and Torres Strait Islander groups, where engagement should be a discrete, planned activity undertaken by and with experienced Indigenous engagement specialists.</i>	
3	Ensure the community are provided with safe, respectful and inclusive opportunities to express their views.	For an overview of engagement activities undertaken for the project, see Section 4.
4	Involve the community, councils and government agencies early in the development of the proposal, to enable their views to be considered in project planning and design	For details of the approach to engagement with key stakeholders, such as community, council and government agencies, see Section 3.
5	Be innovative in their engagement approach and tailor engagement activities to suit the: ▪ context (e.g. sensitivity of the site and surrounds) ▪ scale and nature of the project and its impacts ▪ level of interest in the project.	For an overview of the project context, see Section 2.
6	Provide clear and concise information about what is proposed and the likely impacts for the relevant people or group they are engaging with.	For a clear description of the project, see Section 2.
7	Clearly outline how and when the community can be involved in the process.	For details of how community members were invited to participate in the planning process, see Section 4.
8	Make it easy for the community to access information and provide feedback.	
9	Seek to understand issues of concern for all affected people and groups and respond appropriately to those concerns.	For an overview of engagement activities undertaken for the project, see Section 4.
10	Provide feedback about how community and stakeholder views were used to shape the project or considered in making decisions.	For community and stakeholder feedback on the project, see Section 5.
11	Be able to demonstrate how the demography of the area affected has been considered in how and what engagement activities have been undertaken.	For the demographic profile of the local area, see Section 3.3.1.

Source: DPHI's Undertaking Engagement Guidelines for State Significant Projects – March 2024

2

Project detail

This section provides information about the development site and the SSDA, which was the subject of this engagement process.

2 Project detail

2.1 The site

The site is located at 65 Muston Street, Mosman within the Mosman Municipal Local Government Area (**LGA**) and is approximately 1,342 sqm and zoned R3 Medium Density Residential.

The site is located within an established low to medium density residential area in Mosman and is near Military Road's commercial centre. This proximity to Mosman's commercial centre provides access to several retail, food and beverage facilities. The site is also well-serviced by local infrastructure including frequent bus services from Military Road, providing direct links to the Sydney CBD, North Sydney, and Chatswood. Ferry services from Mosman Bay Wharf and Taronga Zoo Wharf offer alternative public transport options. Pedestrian access is safe and convenient, with footpaths and pedestrian crossings linking homes to nearby schools and shops.

2.1.1 Planning context

With this amenity, the site is within the low and mid rise housing inner area under Chapter 6 of the State Environmental Planning Policy (Housing) 2021.

Gazetted in February 2025, the LMR provisions are designed to increase housing supply and diversity, particularly in well-located areas close to jobs, transport and services. It focuses on enabling a broader mix of housing types, such as townhouses, terraces, duplexes, and small apartment buildings, in areas that have traditionally been dominated by detached housing.

In Mosman, the LMR balances the push for more diverse housing with the suburb's established character, heritage values, and infrastructure capacity. In Mosman, the LMR is shaped by the area's unique planning framework including:

Key aspects of the policy include:

- **Eligible zones** – The policy applies to certain residential zones that are close to public transport, shops, and community facilities. In Mosman, this could include pockets near Military Road and ferry or bus hubs, but not all residential areas will qualify.
- **Heritage and character protections** – Much of Mosman is covered by heritage conservation areas, which limit changes to building form and scale. In these areas, low- and mid-rise housing types such as townhouses or small apartment buildings are unlikely to be permitted.
- **Design integration** – Where the policy does apply, developments must meet both state design standards and Mosman's Local Environmental Plan (LEP) and Development Control Plan (DCP) requirements, ensuring new housing fits with the local streetscape.
- **Housing diversity** – The aim is to provide more options for smaller households, downsizers, and families seeking alternatives to detached homes, but within the constraints of Mosman's planning controls.

Affordable housing provisions.

In accordance with Chapter 2 of the State Environmental Planning Policy (Housing) 2021, the site is eligible for increased height and floor space of up to 30% through the provision of 'in-fill affordable housing'. This increase is in addition to the height controls established under the LMR.

This results in the following maximum built form controls:

- Height of buildings: 28.6m.
- Floor Space Ratio: 2.86:1.

To access these provisions, Prosler is required to provide at least 15% of the proposed Gross Floor Area as affordable housing, to be managed by a registered CHP for at least 15 years from the day an occupation certificate is issued for the development.

Prosker's proposal, includes three (3) homes, approximately 19% of the Gross Floor Area, dedicated as affordable housing.

2.2 Project context

2.2.1 Surrounding locality

Mosman is a harbour-side suburb on Sydney's Lower North Shore, located approximately 8km north-east of the CBD. The suburb is known for its mix of grand Federation homes, low-rise apartments, bushland reserves, and foreshore parks. The area is characterised by low- to medium-density residential living, vibrant village centres, and a strong connection to heritage and nature.

The site is located at 65 Muston Street, Mosman and is surrounded by predominantly residential uses.

Neighbouring homes to the east benefit from views towards Middle Harbour and the Sydney Harbour foreshore. The site is also near the Military Road Heritage Conservation Area, and in proximity to several heritage-listed homes under the *Mosman Local Environmental Plan (LEP) 2012*, including:

- 81 Muston Street (I190)
- 36–38 Redan Street (I262)
- 28 Redan Street (I260)
- 29 Redan Street (also known as 18 Balmoral Avenue) (I261)
- 52 Almora Street (I3).

Redan Street, which runs in parallel to the Muston Street site is also heritage listed (I440).

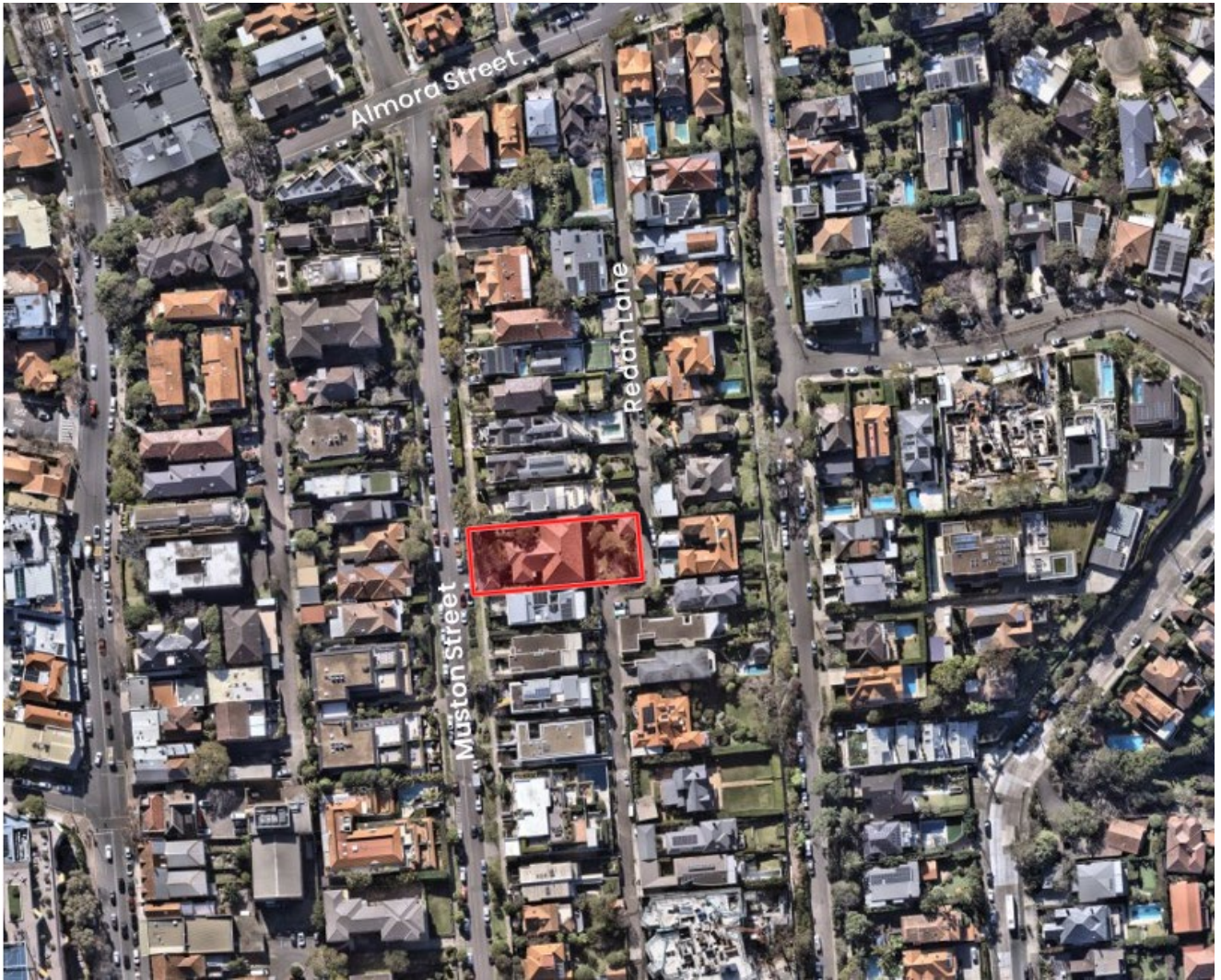
2.2.2 Response to housing supply policies in Mosman

Mosman has experienced a significant rise in community concern following the introduction of the LMR with Mosman Council working with the new policy and undertaking further strategic planning investigations.

Council has chosen to participate as a "friend of the court" in legal proceedings initiated by a local resident. This resident-led challenge, combined with Council's vocal position, has kept the issue at the forefront of public discussion and contributed to a heightened level of scrutiny, anxiety, and community mobilisation around potential changes to neighbourhood character, density, traffic, and amenity.

In this context, our engagement approach has been intentionally designed to consult the residents most directly impacted by the proposal while providing up to date and accurate information about the proposal to the wider community. Through this, our approach to engagement provided clear, accurate information early, responded to site-specific concerns, and create an environment for open and constructive dialogue. This targeted approach supports transparency during a sensitive and highly visible planning period, and ensures community input is meaningful where the impacts are most felt.

Figure 1 Site aerial



Source: Urbis

Figure 2 Existing building



Source: Prosker Property

2.3 Project description

Prosker Property is seeking approval for its proposed development from the NSW Department of Planning, Housing and Infrastructure (DPHI) via a State Significant Development Application (SSDA). Specifically, the SSDA seeks approval for:

- A nine-storey residential building comprising:
 - Thirteen (13) three-bedroom apartments including 3 affordable homes for essential workers
 - Residential amenities including a pool, gym, golf simulator and wellness centre
 - Basement parking with 26 residential spaces, 2 carwash bays and 3 visitor spaces, accessed via Redan Lane.
- Removal of 7 trees and landscaping including the planting of 54 trees.

Due to the sloping nature of the site, the Muston Street frontage presents as seven-storeys from this frontage.

3

Community and stakeholder engagement approach

This section outlines the approach to engagement for the 65 Muston Street SSDA, and how it is consistent with DPHI's *Undertaking Engagement Guidelines for State Significant Projects* and the Engagement Institute's Public Participation Spectrum.

3 Community and stakeholder engagement approach

The approach to engagement for the proposal was informed by and is consistent with DPHI's *Undertaking Engagement Guidelines for State Significant Projects* and the Engagement Institute's (formerly IAP2 Australasia) Public Participation Spectrum.

Engagement sought to address known community concerns about the changing nature of the area, impacts on local character, cumulative impacts of development and increasing density in Mosman under the Low to Mid-Rise Policy.

3.1 Purpose of engagement

The Engagement Institute's Public Participation Spectrum describes goals for public participation, and the corresponding promise to the public (see Figure 3).

This engagement approach for this project has been determined based on the anticipated level of impact of the project on the surrounding community and stakeholders. As the level of impact is likely to be moderate for near neighbours and low for the wider community, the objective of engagement is to inform and consult stakeholders and the community.

Figure 3 Engagement Institute Public Participation Spectrum

	Inform	Consult	Involve	Collaborate	Empower
Goal	To provide the public with balanced and objective information to assist them in understanding the problem, alternatives opportunities and/or solutions.	To obtain public feedback on analysis, alternatives and/or decisions.	To work directly with the public throughout the process to ensure that public concerns and aspirations are consistently understood and considered.	To partner with the public in each aspect of the decision including the development of alternatives and the identification of the preferred solution.	To place final decision making in the hands of the public.
Promise	We will keep you informed.	We will keep you informed, listen to and acknowledge concerns and aspirations, and provide feedback on how public input influenced the decision. We will seek your feedback on drafts and proposals.	We will work with you to ensure that your concerns and aspirations are directly reflected in the alternatives developed and provide feedback on how public input influenced the decision.	We will work together with you to formulate solutions and incorporate your advice and recommendations into the decisions to the maximum extent possible.	We will implement what you decide.

Source: Engagement Institute

3.2 Engagement objectives

In line with the Engagement Institute's Public Participation Spectrum and DPHI's *Community Participation Plan*, engagement for this SSDA aimed to:

- Provide consistent, relevant, jargon-free and up-to-date information on the project potential impacts and benefits, and the planning process through accessible, tailored open lines of communication
- Provide methods and opportunities for the community to give feedback to help inform the planning process
- Respond appropriately and in a timely manner to concerns or questions raised by the community and stakeholders throughout the lifecycle of the project
- Manage expectations by closing the feedback loop and sharing how stakeholder and community views influenced the project.

Figure 4 shows the objectives of DPHI's *Community Participation Plan*, and Table 4 shows the alignment of the engagement approach with these objectives.

Figure 4 DPHI Community Participation Plan objectives

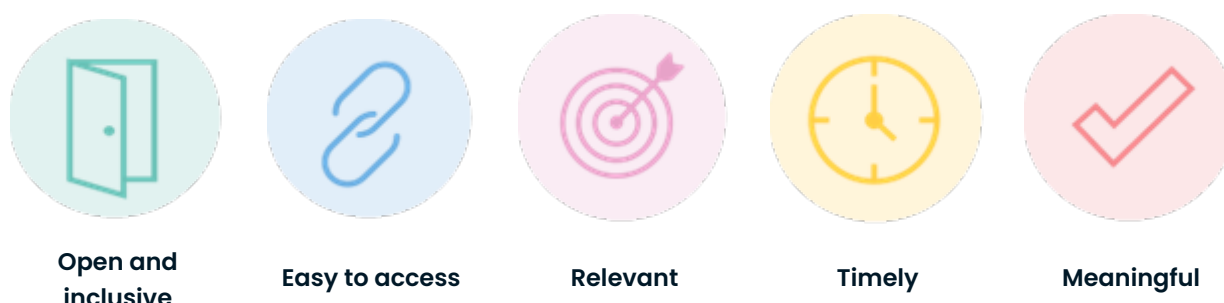


Table 4 Engagement approach and alignment with DPHI Community Participation Plan objectives

Approach	Alignment with objectives
Provide consistent, relevant, jargon-free and up-to-date information on the project potential impacts and benefits, and the planning process through accessible, tailored open lines of communication.	 
Provide methods and opportunities for the community to give feedback to help inform the planning process.	 
Respond appropriately and in a timely manner to concerns or questions raised by the community and stakeholders throughout the lifecycle of the project.	  
Manage expectations by closing the feedback loop and sharing how stakeholder and community views influenced the project.	 

3.3 Community and stakeholders

Stakeholders are individuals, groups of individuals or organisations that could influence or affect a project. Described in DPHI's *Undertaking Engagement Guidelines for State Significant Projects*, the community is anyone (including individuals, community groups, Aboriginal and Torres Strait Islander communities, culturally and linguistically diverse communities, peak bodies or businesses) interested in or likely to be affected by the project.

Within this context, the stakeholders for this project were categorised by group, as shown in Figure 4.

Figure 5 Stakeholder categories

Government authorities	Relevant agencies	Surrounding community
Department of Planning, Housing and Infrastructure (DPHI) - Assessment team Mosman Council - Planning and assessment team Parliament - Ms Felicity Wilson MP (Liberal Party) – State Member for North Shore - Zali Steggall MP (Independent) – Federal Member for Warringah	- Transport for NSW - Ausgrid - Sydney Water	- Nearest neighbours on immediately surrounding streets (see Figure 6) - Mosman community (see Figure 6)

Figure 6 The site and surrounding community



Source: NearMaps

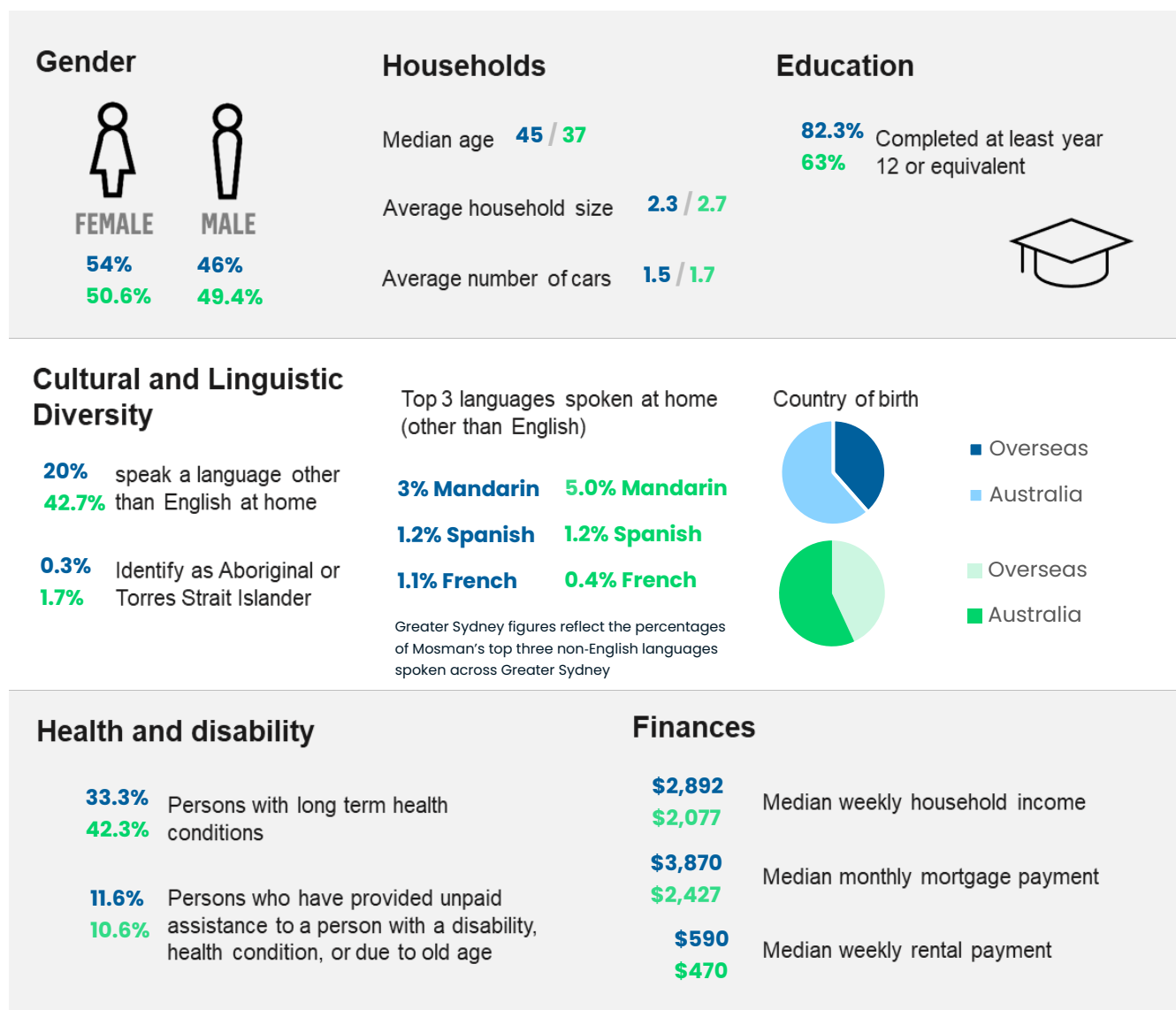
	The site
	Near neighbours
	Surrounding community

3.3.1 Community profile

Figure 7 shows a demographic snapshot of the community in Mosman, compared with the demographic profile in Greater Sydney.

This snapshot was used to inform a tailored and inclusive engagement approach. This snapshot encompasses a range of key indicators for the suburb of Mosman, sourced from ABS QuickStats. (<https://abs.gov.au/census/find-census-data/quickstats/2021/LGA15350>).

Figure 7 Community profile



Source: ABS Census 2021

	Mosman
	Greater Sydney

4 Engagement activities

This section outlines the engagement activities that were implemented during the engagement process.

4 Engagement activities

Consistent with DPHI's *Undertaking Engagement Guidelines for State Significant Projects*, the approach to engagement was proportionate to the context, scale and impact of the project.

Community engagement activities undertaken for the project included distribution of a community newsletter to surrounding residents, maintaining a project website, hosting near neighbour briefings and maintaining project phone and email lines.

Figure 8 Engagement activities



Table 5 Engagement activity summary

Engagement activity	Target stakeholder(s)	Details
 Community newsletter	Near neighbours Wider community	On 20 September 2025, a four-page newsletter was distributed to 187 residents and businesses in a 300-meter catchment surrounding the site. The newsletter (see appendix A) was also emailed to 10 key stakeholders and elected officials on 30 September 2025.
 Invitation to briefings	Near neighbours	On 30 September 2025, Urbis hand delivered letters to the site's nearest neighbours on Muston and Redan Streets, offering a briefing with Prosker Property and Urbis Engagement. Following this distribution, 10 near neighbours contacted Urbis Engagement to register for a briefing with the proponent.
 Stakeholder briefings	Near neighbours	On 15 October 2025 and 3 November 2025, Prosker Property and Urbis Engagement hosted three in-person briefings with 10 near neighbours. Briefings were held with: - Two (2) residents from the same household to the north of the site, on Muston Street. - Four (4) residents from two different households to the west of the site, on Muston Street. - Four (4) residents from two different households to the south of the site, on Muston Street.

	Project website	Accessible to all stakeholders	To support the consultation program, a project website provided 24/7 access of up to date and accurate project information to stakeholders and the community. The webpage also provided detail on how the stakeholders and the community could provide feedback. At the time of writing this report, the website has received 99 unique visitors from the 20 September until 14 November 2025. www.balmoralconsultation.com.au
	Project enquiry lines	Accessible to all stakeholders	Throughout the consultation program, Urbis managed enquiries via an 1800 number and email address. At the time of writing this report, one phone call registering for a briefing and emails from 4 near neighbours following their briefings. Feedback from this correspondence is included into the near neighbour feedback under Section 5.1.

5

What we heard

This section contains feedback from key stakeholders and community members throughout the engagement process, and the projects' response to this feedback.

5 What we heard

5.1 Near neighbour feedback

The section below provides a thematic summary of the feedback received across three near neighbour briefings attended by 10 neighbours, and the project's response. The themes have been ordered in order of those most to least salient.

5.1.1 Built form impacts



Localised impacts related to built form, particularly privacy and onlooking, overshadowing, view loss and the impacts on local character were raised consistently across all three briefings.

All attendees expressed concern about the height of the proposal, describing it as inconsistent with the surrounding low- to medium-rise character.

Neighbours noted that the proposed height would dominate the streetscape and irreversibly change the area's character. While they supported the need for additional and affordable housing, they felt it should be in a "more suitable area" such as Spit Junction or should not exceed four storeys.

Solar access and overshadowing were raised by all neighbours. Neighbours felt that sunlight in walkways, shared areas and private courtyards would be reduced. Two neighbours also raised concerns that overshadowing would affect their existing solar panels, leading to higher utility costs. One neighbour noted that while the inclusion of solar energy was supported, the lack of battery storage was noted as a missed opportunity.

Privacy concerns were raised by most attendees, some noting that the building's windows and balconies would have direct lines of sight into their homes, resulting in a significant loss of privacy.

Two neighbours also raised concerns about view loss, noting that the eastern boundary would obstruct existing outlooks towards Balmoral.

The loss of Mosman's character was a consistent theme. Two neighbours expressed frustration, saying they had moved to the area for peace and low-density living, and felt the scale of redevelopment would alter the neighbourhood's appeal as a place to retire. Two others noted that while the proposal may be compliant, it was more suited to locations such as Military Road or Spit Road.

Although opposed to the scale, two attendees acknowledged the demand for downsizer housing in the area and expressed a preference for appropriately scaled developments that meet this need without overwhelming or changing the neighbourhood's feel.

Project response

Prosker Property acknowledges the proposed scale and height contrasts with what is currently on site and the surrounds. However, the proposal aims to respond to the State Government's intended future character for the area and is consistent with the allowances under the Low to Mid-Rise and In-fill Affordable Housing policies.

A series of mitigation and minimisation measures outlined in the NSW Apartment Design Guide (ADG) have been applied to the proposed design, including:

- Setbacks of 6m are generally adopted, complying with the ADG and representing four times the current on-site setbacks.
- Where habitable rooms have a 4.5m setback, privacy brick screens have been incorporated and window placement has been carefully designed to maintain privacy.
- Hatched brickwork along parts of the facade to provide privacy while allowing light and ventilation.
- Compliance with the ADG ensures that the potential future bulk of neighbouring developments will receive a minimum of 70% solar access to habitable rooms, including living rooms, bedrooms and private open space, on the shortest day of the year.
- Landscape buffers to provide visual screening.

The proposed built form has been assessed through a series of technical studies including the Design Report, including solar access diagrams, and Visual Impact Assessment lodged with the proposal.

5.1.2 Planning process and consultation

Across all briefings, near neighbours sought clarification on the planning process, particularly why the proposal was considered a State Significant Development and next steps.

Attendees sought clarity on the consent authority, Council's role, the submission timeline, and how the State Significant Development (SSD) pathway differs from local approval. They also asked about lodgement and public exhibition timing, as well as the qualifiers for an SSD.

Project response

This proposal qualifies as a State Significant Development Application (SSDA) because Estimated Development Cost exceeds the threshold for residential projects that include affordable housing. Prosker Property intends to lodge its SSDA with the NSW Department of Planning, Housing and Infrastructure (DPHI) in the first quarter of 2026.

The formal SSDA will be submitted to DPHI in the first quarter of 2026. After the SSDA is lodged, DPHI will notify the local community via a process called 'exhibition'. Both the council and the community will be formally invited to provide feedback to DPHI as part of the exhibition. The timing of public exhibition will be determined by DPHI after lodgement, and the community will be notified by DPHI.

Following the conclusion of exhibition, DPHI will provide an opportunity for the team to respond to any issues raised or submissions received before it makes a decision on the proposal.

5.1.3 Affordable housing



All neighbours sought clarification about the proposed inclusion of affordable rental housing, including its design, allocation and ongoing management.

Questions included whether the affordable homes would have the same design as the market homes, how they would be managed, including pricing and maintenance, and how long they would remain as affordable homes.

Some neighbours held the view that the proposal was displacing the relatively affordable market homes at 65 Muston Street.

Project response

Prosker Property's inclusion of affordable rental housing is consistent with the In-fill Affordable Housing Policy. The proposal includes three 3-bedroom apartments as affordable rental housing to be retained by Prosker Property and managed by an accredited Community Housing Provider (CHP), Link Wentworth, for a period of 15 years. Secure rental housing for people on low to moderate incomes is rare in Mosman and the project provides much-needed supply.

5.1.4 Site access and parking



Across all briefings, attendees had questions about traffic access and parking.

These included questions around the parking levels and access, as well as locations for garbage collection and storage.

Project response

The proposal provides parking for 26 residential vehicles, two carwash bays, and three visitor spaces, all accessed via Redan Lane. The parking is distributed across multiple levels as follows:

- Basement Levels: Two full basement levels dedicated entirely to parking and bin collection.
- Lower Ground Level: Half of this level is used for parking. The remaining half contains a wellness centre and one three-bedroom unit with an east-facing outdoor courtyard.
- Upper Ground Level: Half of this level is used for parking. The remaining half accommodates building services, communal open space to the north, and one three-bedroom unit with an east-facing balcony.

5.1.5 Landscaping



Some neighbours had questions about the landscaping plans.

They queried how 38 trees would physically fit in the site and sought clarification on the species, height, and maintenance of new plantings. They expressed support in preserving a green character but stressed that this should not threaten the structural integrity of building.

Project response

As part of the design, Prosker Property has appointed leading Australian landscape designers Dangar Barin Smith to deliver a landscape strategy that creates a lush environment for future residents, privacy screening for neighbouring residents and aligns with Mosman and Balmoral's leafy character.

Across the 54 trees, 18 of these are classified as advance or mature trees, leaving space to deliver smaller trees and shrubs. Alongside the landscape strategy, an Arboriculture Impact Assessment has been prepared which will include tree root mapping to ensure they will not impede no neighbouring structures.

5.1.6 Cumulative construction impacts



Most neighbours raised concerns about cumulative construction impacts, including traffic, noise, vibration and dust, caused by multiple developments in the area.

This included traffic impacts during construction, and once completed, particularly congestion on Redan Lane for construction traffic.

Project response

Prosker Property is experienced in managing construction in this immediate area with the delivery of its neighbouring Redan Lane project.

Prior to receiving a construction certificate, Prosker Property must prepare various construction management plans that detail mitigation measures for various construction impacts, including traffic, noise, vibration and dust. These plans will require approval from the NSW Department of Planning, Housing and Infrastructure before construction can commence.

Neighbours will also be notified before construction commences and how they can ask questions and provide feedback to the delivery team.

5.1.7 Structural Integrity



One neighbour expressed significant concern about the impact of excavation on unstable rock and the potential for damage to existing foundations.

Questions were raised about basement wall thickness, stability during construction, and whether large-scale digging could undermine structural integrity.

Stormwater drainage was also a key issue, with residents noting the risk that deep basements could worsen water flow management during heavy rain events. Additional concerns related to the proximity and depth of the proposed excavation, its potential effect on the stability of neighbouring properties and its influence on subterranean water movement through porous sandstone following heavy rainfall.

One resident also suggested that palm trees be carefully considered in the landscape design, as their root systems can undermine foundations.

Project response

Prosker Property has commissioned a Geotechnical Assessment that provides an analysis of the existing ground conditions, to ensure the proposal excavations and structural loads can be supported. It is commonplace for the NSW Department of Planning, Housing and Infrastructure to also include conditions of consent requiring Dilapidation Reports to be prepared, where basement excavations are located close to site boundaries.

Prosker Property has also commissioned an Integrated Water Management Plan to ensure the proposal's design and servicing infrastructure complies with Council's drainage requirements.

5.1.8 Wider community feedback

At the time of writing this report, no feedback has been received from members of the wider community, including community members in the 300 metre newsletter catchment

5.2 Non-community stakeholder feedback

Table 4 outlines the stakeholders consulted for the project, how these stakeholders were consulted any feedback received and the project's response to this feedback.

Table 4 Detailed stakeholder feedback and project response

Stakeholder	How this group was consulted	Feedback received	Project response
Government authorities			
Department of Planning, Housing and Infrastructure (DPHI), specifically: Planning and assessment team	On 22 October 2025, the project team met with DPHI's planning and assessment team to present the initial scheme and seek feedback.	Housing affordability Concern was raised whether the rents for the proposed 3-bedroom apartments will be too high for eligible households	The affordable housing component of the development will be available for rent as affordable housing where households pay no more than 30% of the gross income in rent.
		Building height and planning controls - Ensure the proposed building height is correctly calculated in relation to the existing structure. - Clause 4.3A of the Mosman LEP also applies to the development.	The building height has been recalculated and updated using additional survey information. Requirement for Clause 4.3 is noted.
		Setbacks and privacy - It is strongly recommended that a minimum 9 m rear setback be provided from level 2 (noting this is the 5th level at the rear) as per the ADG, due to potential significant visual and privacy impacts of providing less than the ADG minimum. - Although side setbacks are proposed that are inconsistent with the ADG design criteria, it is acknowledged it would be difficult for a development on this site to fully comply.	The proposal incorporates the following design decisions to ensure building separations and side setbacks are appropriate: - Windows to the north and south have been minimised with privacy mitigation measures incorporated. - Balconies do not extend into the side and rear setbacks to limit overlooking. - Apartments have been oriented towards the view rather than into neighbours' homes.

		- Where fully compliant setbacks are not possible, review and minimise habitable windows/balconies to the north and south and provide privacy mitigation measures where still required. - Ensure balconies do not extend into the rear/side setbacks. - Carefully consider the relationship to neighbours at all levels, particularly where proposed terraces extend to the boundary. The EIS should include various sections showing the relationship with neighbouring properties.	
		Parking and access - Review the proposed number of car parking spaces as the number should not exceed the Housing SEPP minimum rate. - Address potential safety issues arising from increased use of the existing access point on Redan Lane, noting its proximity to the 90-degree corner immediately to the south.	The number of car parking spaces has been the subject of detailed review since the meeting, and the project team have decided to maintain the proposed number. This has been justified in the Traffic Impact Assessment prepared by Traffix which accompanies the EIS. The proposal also satisfies the minimum requirement, that is “at least 1 parking space” and provides more to ensure there is no increase to parking demands on the street per Mosman Council’s DCP. The access point is positioned at the furthest practicable distance from the 90-degree corner to the south, ensuring adequate sight distance and clear visibility. Furthermore, all vehicles will enter and exit the site in a forward direction.
		Landscaping and open space	The applicant, Studio Johnston and relevant engineers have reviewed the extent of

		- Reduce the extent of excavation and works within the front/rear setbacks as much as possible to allow for further landscaping and deep soil planting. - Ensure communal open space is functional and equitable for future occupants while protecting the visual and acoustic privacy of apartments on the same level.	excavation and deems it appropriate to incorporate all the required building services, and car parking and vehicle movement requirements. The proposal has amended the communal open spaces following the meeting with DPHI and Council. A rooftop communal open space has been added to ensure it is functional and equitable, and to ensure a minimum of 50% direct sunlight to the principal usable part for a minimum of 2 hours midwinter is achieved. Furthermore, the extent of the communal open space on Lower Ground 1 has been amended to ensure visual and acoustic privacy with the apartment.
Mosman Council Planning and assessment team	On 9 December 2025, the applicant and representatives of the applicant's design and assessment team met with representatives of Council's planning and assessment team including planning and urban design, engineering, traffic and waste.	Location and context - Confirm site is within walking distance of the Mosman Town Centre. - Consider view lines between buildings.	The site is within walking distance to Mosman Town Centre. Refer to Pedestrian Travel Distance prepared by CMS Surveyors which shows the walking distance route to Mosman Town Centre. A Visual Impact Assessment prepared by Urbaine and lodged with this proposal considers view lines.
		Planning compliance and setbacks - Setbacks to Muston Street are less than Code SEPP requires and should align with neighbouring buildings. - Check compliance with ADG side setback requirements and justify non-compliance. - Minimise streetscape impacts by providing generous setbacks from the street.	The setbacks reflect to design intent of the low and mid rise housing provisions of the Housing SEPP Whilst building separation distances are less than those prescribed, the proposal incorporates the following design decisions to ensure building separations and side setbacks are appropriate:

		▪ Minimise structures in front and side setbacks. ▪ Front fence to Muston Street is higher than Council controls.	▪ Windows to the north and south have been minimised with privacy mitigation measures incorporated. ▪ Balconies do not extend into the side and rear setbacks to limit overlooking. ▪ Apartments have been oriented towards the view. A generous setback has been provided to the street with significant landscaping and planting to contribute to the streetscape and provide privacy. The proposal only includes the lobby entrance structure in the side setback which is limited to 8.23m of the site. The proposal only includes planters in the front setback which softens the bulk of the building and enhances the streetscape. The applicant and Studio Johnston understand Mosman DCP 2012 allows for a front fence no more than 1.2m in height above footpath level. A fire hydrant booster is required for this development and the enclosure required will be taller than 1.2m. Thus, the front fence height is dictated by this requirement and has been set back from the boundary to allow landscaping to soften the bulk.
		Design integration and building services ▪ Ensure fire hydrant booster location is integrated into the design.	Studio Johnston and the engineers have reviewed the plant requirements, car parking and vehicular movement requirements, thus arriving at the extent of basement excavation.

		Reduce storage and plant in basement to minimise basement excavation and increase basement setbacks.	
		Affordable housing Confirm location of affordable units and whether they will have separate entrances.	Units LG01, G02 and 102 have been allocated as affordable units. They will not have separate entrances.
		Waste management - Provide more recycling bins. - Redan Lane waste bin pick-up is acceptable. - Increase bulky waste storage from 4sqm to 8sqm.	The required number of bins has been amended and provided for in the bin room. Refer to Operational Waste Management Plan prepared by Foresight Environmental. The bin room has been amended to allow for 8sqm of bulky waste storage.
		Documents and reporting Ensure an estimated development cost report is provided.	An Estimated Development Cost Report has been lodged with the proposal.
Parliament - Ms Felicity Wilson MP (LIB) – State Member for North Shore - Zali Steggall MP (Independent) – Federal Member for Warringah	On 30 September 2025, Urbis Engagement contacted Members of Parliament to provide information about the proposal and seek feedback.	To date, no response has been received from Members of Parliament.	Prosker Property and Urbis Engagement will continue to be available to answer questions from Members of Parliament as the project progresses.
Relevant agencies and service providers			
Transport for NSW (TfNSW)	Engineering consultants, Traffix, contacted TfNSW for review and comment on transport and parking impacts.	TfNSW responded advising that there were no further requirements at this stage, however noted it would provide comments during the formal public exhibition period.	Prosker Property and Traffix will continue to be available to answer questions from TfNSW following public exhibition as needed.

Ausgrid	Engineering consultants, AAPE, applied for connection of power supply for the development.	Ausgrid noted that network augmentation was required to facilitate the power required for the development. A project was created under Ausgrid reference, AN-30910.	Project to design upgrade completed by AAPE. Assessed and certified by Ausgrid on 28 November 2025.
Sydney Water	Engineering consultants, EMF Griffiths, applied for a pressure and flow application.	Test results were received from Sydney Water on 15 August 2025. The test results indicated that available flow is insufficient to service the proposed building height without supplementary tanks and pumps.	The hydraulic plant spatial provisions have been designed so that the required tanks and pumps can be accommodated, thereby compensating for the lower than ideal flow available from the mains water supply. This is a standard fully compliant design response.

6

Future community and stakeholder engagement

This section outlines future community and stakeholder engagement to undertaken for the SSDA.

6 Future community and stakeholder engagement

Prosker Property will continue to keep stakeholders, and the community updated during the exhibition and determination phases by enabling the community to seek clarification about the project through ongoing management two-way communication channels, including an email address (engagement@urbis.com.au) and phone number (1800 244 863).

Disclaimer

This report is dated 12 February 2026 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Ltd (**Urbis**) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, of Prosker Property (**Instructing Party**) for the purpose of Engagement Outcomes Report (**Purpose**) and not for any other purpose or use. To the extent permitted by applicable law, Urbis expressly disclaims all liability, whether direct or indirect, to the Instructing Party which relies or purports to rely on this report for any purpose other than the Purpose, and to any other person which relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events, the likelihood and effects of which are not capable of precise assessment.

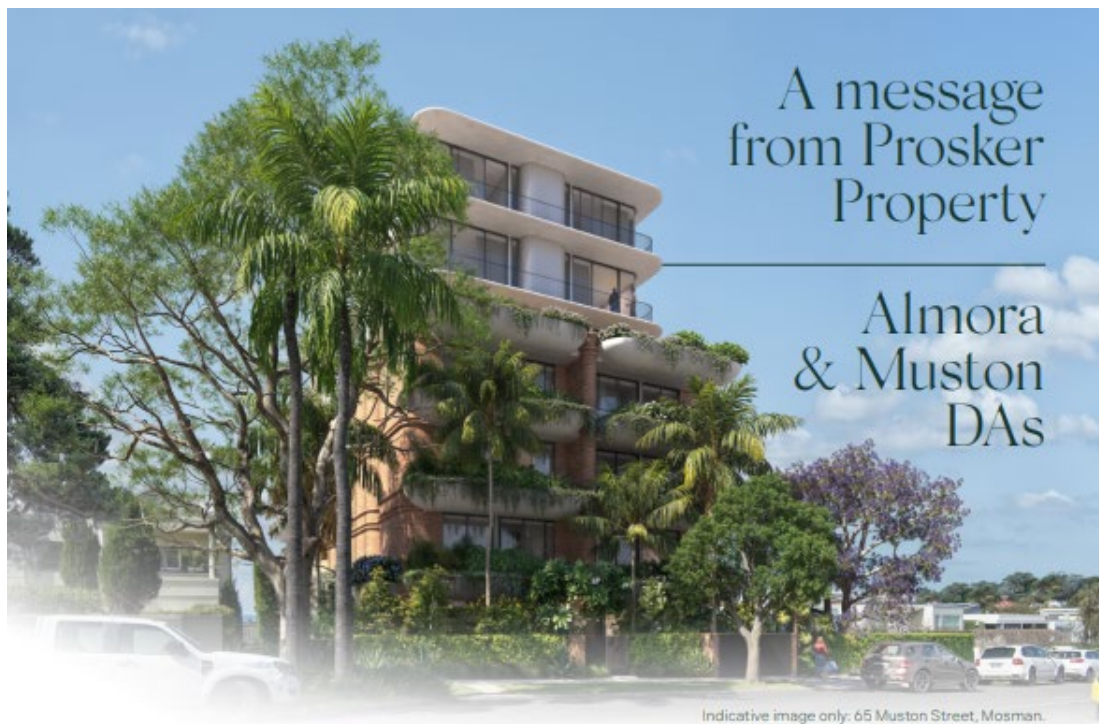
All surveys, forecasts, projections and recommendations contained in or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report, and upon which Urbis relied. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.

In preparing this report, Urbis may rely on or refer to documents in a language other than English, which Urbis may arrange to be translated. Urbis is not responsible for the accuracy or completeness of such translations and disclaims any liability for any statement or opinion made in this report being inaccurate or incomplete arising from such translations.

Whilst Urbis has made all reasonable inquiries it believes necessary in preparing this report, it is not responsible for determining the completeness or accuracy of information provided to it. Urbis (including its officers and personnel) is not liable for any errors or omissions, including in information provided by the Instructing Party or another person or upon which Urbis relies, provided that such errors or omissions are not made by Urbis recklessly or in bad faith.

This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith and in the reasonable belief that they are correct and not misleading, subject to the limitations above.

Appendix A – Community newsletter



Delivering high-quality homes for the Mosman community

Underpinned by its foundations in the Mosman community, Prosker Property is proposing to deliver two well-designed mid-rise housing complexes at 48-50 Almora Street, Mosman and 65 Muston Street, Mosman. Prosker Property is founded by Mosman local, Tim Foote.

With long-standing ties to the Mosman community and a commitment to excellent residential design, Tim and his team are developing a proposal that provides quality options for downsizing - meeting the needs of current and future residents of Mosman.

This community newsletter introduces you to the team's plans, how you can stay up to date about the proposed developments ask questions and provide feedback.

WHO IS PROSKER PROPERTY?

Tim Foote founded Prosker Property with a view to delivering high-quality homes on the lower North Shore. Tim has more than 35 years' experience in real estate including his leadership of Belle Property Mosman for more than 20 years.

Tim has lived and worked in the area for many years, with his family calling Mosman and Balmoral home for nearly a century and contributing to the community across generations.

Tim and his team focus on creating well-designed, high-quality homes that contribute positively to their local context. Their first project, Redan Lane in Mosman, sets a strong benchmark for future work in the area.

By prioritising local knowledge, considered architectural and landscape design, and community benefit, the team aims to deliver projects that are built to last and reflect the character of the neighbourhoods they're a part of.



Density done well

Sydney is experiencing a widespread housing shortage, and well-designed mid-rise development plays an important role in helping to meet growing demand.

These proposals respond to the need for more housing in Mosman. The NSW Government's Low and Mid-Rise Housing Policy (LMR) applies to land in Mosman zoned for low and medium residential use within 800 metres of a town centre or train station. This policy allows for greater housing diversity and density, including apartment buildings. On these sites, the maximum building height is 22 metres (around 6 storeys).

In addition, the NSW Government's Housing State Environmental Planning Policy provides an "in-fill affordable housing" bonus. If at least 10% of the new homes are set aside as affordable housing and managed by a registered community housing provider for a minimum of 15 years, proposals can apply for up to a 30% increase in building height beyond the LMR limits.

Prosker Property's approach is to deliver a high-quality outcome that meets a demonstrated need for downsizing. Led by a local with deep roots in the community, the proposals reflect a genuine understanding of Mosman's future needs.

Tim and his team are committed to doing things the right way, where change is planned, considered and aligned with the character of Mosman. Through this, the team aim to set the standard for mid-rise housing in Mosman.

Why Mosman?

SUPPORTING CURRENT AND FUTURE MOSMAN RESIDENTS

Between 2021 and 2036 the number of residents living in Mosman who will be aged 65 and older is set to grow by close to 3,000.

As the proportion of people aged over 65 in Mosman continues to grow, so too will the demand for adaptable, accessible and low-maintenance housing.

Prosker Property's proposals recognise that Mosman locals want to age in their community without compromising on lifestyle quality and access to local amenity. The proposals for Almora and Muston Street respond to the demand for well-appointed, high-quality downsizing options, that provide adaptable, accessible and low-maintenance housing where people can 'age in place'.

Importantly, by increasing the overall supply of diverse market housing in Mosman, the proposals also help ease housing pressures in neighbouring suburbs.

CONTRIBUTING TO A MIXED COMMUNITY

With the median rental prices in Mosman sit at \$1,300 per week for a 3-bedroom unit, Mosman remains one of Sydney's most exclusive and least affordable suburbs.

The inclusion of three affordable rental homes on in both proposals is a first step to providing much-needed affordable housing in Mosman.

These homes will provide options for people on moderate incomes, many of whom provide essential services like teachers, nurses, childcare, and transport workers. These essential workers support the daily life of the Mosman community.



What's proposed?

Both proposals include new apartment buildings with associated landscaping. The design seeks to reflect Mosman's coastal character using traditional materials in a contemporary form.

Apartments are planned to provide outlooks toward Balmoral Beach while incorporating measures to maintain privacy for residents and neighbours. Landscaping includes mature trees, ground-level planting, and balcony greenery to soften the built form and contribute to the surrounding streetscape.

48-50 ALMORA STREET, MOSMAN (LOCAL DEVELOPMENT APPLICATION)

For the 48-50 Almora Street proposal, Prosker Property is seeking approval for an eight-storey residential building comprising:

- 14, three-bedroom homes including 3 affordable homes for moderate income workers, which could include essential workers such as nurses and teachers
- Three levels of basement parking for 28 residential spaces and 3 visitor spaces, accessed via a driveway on Almora Street.
- Rooftop solar panels and plant equipment
- Communal open space and a swimming pool
- Removal of 1 tree and inclusion of deep soil landscaping to plant 77 new trees, including 14 mature trees.

This proposal was recently lodged as a local Development Application (DA) with Mosman Council in September 2025. The proposal and accompanying technical studies will be made available by Council during public exhibition. In the meantime, key considerations and impact management measures are available on the project website.

65 MUSTON STREET, MOSMAN (STATE SIGNIFICANT DEVELOPMENT APPLICATION)

For Muston Street, Prosker is seeking approval from the NSW Department of Planning, Housing and Infrastructure for one, nine-storey residential building comprising:

- 13, three-bedroom apartments including 3 affordable homes for moderate income workers, which could include essential workers such as nurses and teachers
- Residential amenities including a gym, golf simulator and wellness facilities
- Four levels of underground parking with 26 residential spaces, 3 visitor spaces including a car wash bay, accessed via Redan Lane.
- Removal of 7 trees and inclusion of deep soil landscaping to plant 38 new trees, including 18 mature trees.

Due to the sloping nature of the site, the Muston Street frontage presents as a seven-storey building.

The proposal will be lodged as a State Significant Development Application (SSDA) with the NSW Department of Planning, Housing and Infrastructure (DPHI) in October 2025.

Considering impacts early

Based on the designs for the Almora Street and Muston Street sites, and as part of both planning processes, Tim and his team have commissioned several technical studies that will assess potential impacts of construction and operation of both and suggest mitigation measures.

This will include view analysis, potential overshadowing and privacy impacts, as well as heritage, traffic and parking considerations.

Further details of these assessments are available via the project website. Additionally, each of these assessments will be available to view during exhibition of the proposals by the consenting authority.

Planning pathway and next steps

The below timelines demonstrate the anticipated timing for each proposal:



ALMORA STREET

Approval for the Almora Street is being sought from Mosman Council via a Local Development Application.

- **JUNE - AUGUST 2025:** The team have been working closely with Studio Johnston to prepare the design scheme.
- **EARLY SEPTEMBER 2025:** Tim and his team will lodge the proposal with Council.

Following lodgement, Council will place the proposal on public exhibition. Here, the community can view all plans and technical studies that form the proposal and make a submission.

Tim and his team are informing the community prior to public exhibition to provide an opportunity to ask questions about the Almora Street proposal.

After exhibition, Prosker Property will have an opportunity to respond to submissions before council makes its decision.

MUSTON STREET

Approval for Muston Street is being sought through a State Significant Development Application (SSDA) to the NSW Department of Planning, Housing and Infrastructure (DPHI).

- **WE ARE HERE:** Prosker Property is finalising the design and introducing its plans for Muston Street to the community.
- **OCTOBER 2025:** DPHI will issue the Secretary's Environmental Assessment Requirements (SEARs), outlining the technical studies needed for the SSDA for this site, including an Environmental Impact Statement (EIS) and community consultation.
- Community and stakeholder feedback will be summarised in an Engagement Outcomes Report, which forms part of the EIS.
- The SSDA will be submitted to DPHI. Community and stakeholder feedback will be summarised in an Engagement Outcomes Report, that will be lodged alongside the proposal and forms part of the EIS.

DPHI will then place the proposal on public exhibition, inviting formal community feedback.

After exhibition, Prosker Property will have an opportunity to respond to submissions before DPHI makes its decision.

How can you stay up to date?

PROJECT WEBSITE

As part of the engagement process, a project website has been established to keep the community informed and updated on the projects.



balmoralconsultation.com.au

CONTACT THE PROJECT TEAM

Urbis has been commissioned to answer your questions and collect your feedback. You can contact us on:



engagement@urbis.com.au



1800 244 863



Appendix B – Distribution zone





**Shaping cities
and communities
for a better future.**

urbis.com.au