

HERITAGE IMPACT STATEMENT



65 Muston Street, Mosman NSW

Construction of residential flat building

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PCN Urban

ABN 38 116 266 882

Phone: 0412 513967 email: accounts@pcnurban.com.au

Report Preparation	
Director	Philip North, BAppSc(EnvDes), BArch, MURP, GradCertHeritCons, RAI A MPIA CPP
Consultant	IH

Revisions			
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We acknowledge that the land on which we live, learn and work as the traditional country of the Gadigal people of the Eora Nation. We acknowledge these traditional owners of this land and acknowledge their living cultures and the unique roles they have played in maintaining life, language, and culture in this region. We pay respect to their Elders past, present and emerging and all aboriginal people.

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1.0 INTRODUCTION

1.1 Preamble

This Heritage Impact Statement (HIS) has been prepared in conjunction with SSD-98068713 for construction of a residential flat building at No. 65 Muston Street, Mosman, New South Wales. It satisfies Item 22 of the Planning Secretary's Environmental Assessment Requirements (SEARS) relating to environmental heritage (with the exception of archaeological assessment which is outside the scope of this report):

22. Environmental Heritage:

Where there is potential for direct or indirect impacts on environmental heritage, provide a Statement of Heritage Impact and Archaeological Assessment (where required), in accordance with the relevant guidelines.

The site is located within the Mosman Council Local Government Area. The principal environmental planning instrument for the site is Mosman Local Environmental Plan 2012 (Mosman LEP 2012). The site is located within the vicinity of heritage items as it is identified in Schedule 5, Part 2 of Mosman LEP 2012. It is not listed as a heritage item by Schedule 5, Part 1 of this plan.

Under Part 5.10 of the Mosman LEP 2012:

(4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

(5) Heritage assessment

The consent authority may, before granting consent to any development:

(a) on land on which a heritage item is located, or

(b) on land that is within a heritage conservation area, or

(c) on land that is within the vicinity of land referred to in paragraph (a) or (b), require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

The appropriate heritage management document in this instance is a Heritage Impact Statement (HIS).

This statement has been prepared at the request of the owners of the site and accompanies plans prepared by Studio Johnston.

1.2 Authorship and Acknowledgements

This HIS was prepared by Philip North, BAppSc(EnvDes), BArch, MURP, GradCertHeritCons, RAIAMPIA CPP of PCN Urban.

1.3 Limitations

The history contained in this statement was prepared using the readily available resources listed under Section 1.6 below.

An Aboriginal Cultural Heritage Assessment Report (ACHAR) has been undertaken separately and does not form part of this assessment.

1.4 Methodology

This assessment has been prepared with reference to the NSW Heritage Manual update Statements of Heritage Impact (2002) and with reference to the Council planning controls listed under Section 1.6.

1.5 Documentary Evidence

1.5.1 General References

- Ashton, P., & Blackmore, J. (2011). *The People's Harbour: A History of Sydney Harbour*. Sydney: UNSW Press.
- Department of Customer Service. (2025). *SIX Maps*. Spatial Services, NSW Government. <https://six.nsw.gov.au>
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- Mosman Council. (1996). *Mosman Heritage Review*. Mosman Council.
- Mosman Council. (2012, amended 2024). *Mosman Residential Development Control Plan*.
- National Trust of Australia (NSW). (n.d.). Taronga Zoo and Sydney Harbour Defence Sites historical summaries.
- NSW Land and Property Information. (n.d.). *Historical Imagery Viewer*. Spatial Services, NSW Government. <https://maps.six.nsw.gov.au>
- Tench, W. (1793). *A Complete Account of the Settlement at Port Jackson*. London.

1.5.2 Historic Plans and Photographs

Higinbotham & Robinson. *Atlas of the Suburbs of Sydney - Mosman 1893-1894* Unique ID: AS-1193, City of Sydney Archives

1.5.3 Heritage Listing Sheets

- 'Pair of semi-detached houses', No. 36-38 Redan Street MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060436
- 'House', No. 52 Almora Street (also known as Upper Almora Street)) MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060506
- 'House', No. 29 Redan Street (also known as 18 Balmoral Avenue) MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060032
- 'House', No. 28 Redan Street MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060435
- 'Divided road', Redan Street MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060429
- Military Road Heritage Conservation Area (C7) MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060541

1.5.4 Planning Documents

- Mosman Residential Development Control Plan 2012.
- Mosman Local Environmental Plan 2012.

1.6 Site Location

The property identified as No. 65 Muston Street, Mosman is located on the eastern side of the street located within a block bounded by Almora Street, Redan Lane and Raglan Street (Figure 1). The site is legally defined as SP32953.

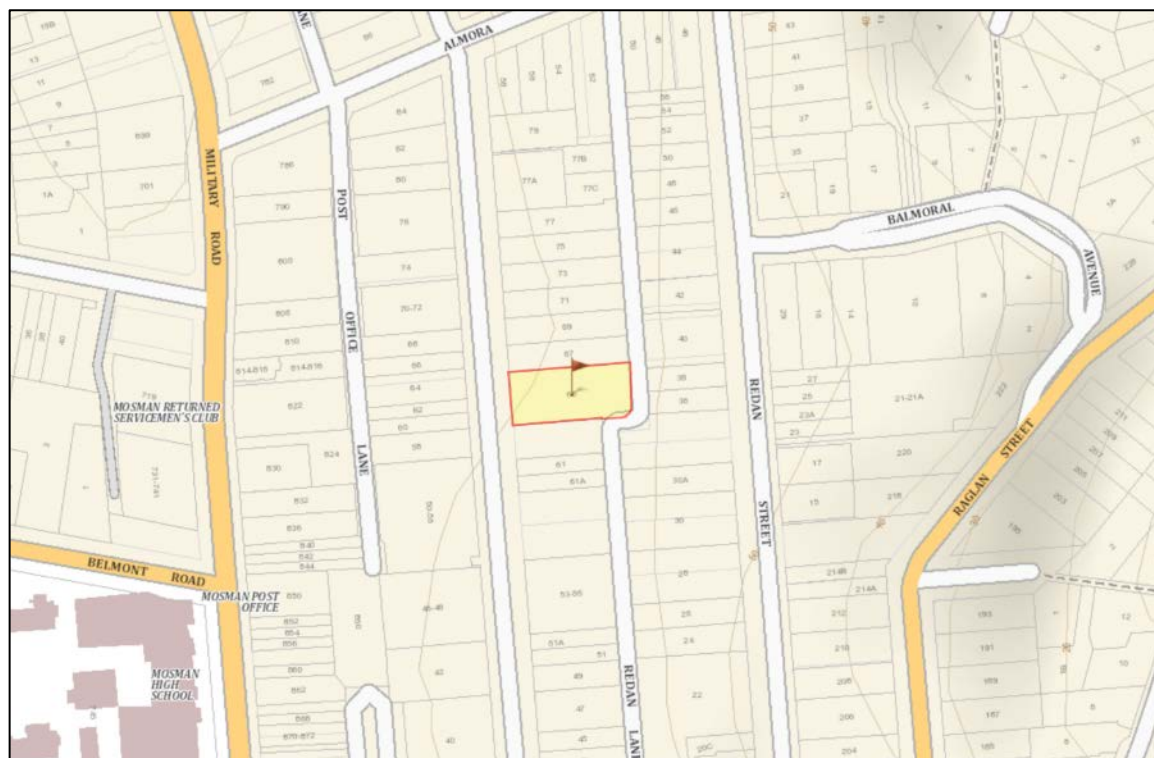


Figure 1: Site Location marked by a red flag

Source: SIX Maps 2025

2.0 BRIEF OUTLINE OF THE HISTORICAL DEVELOPMENT

2.1 Aboriginal History

While an Aboriginal history is not provided for, it is acknowledged that the traditional custodians of the Mosman Local Government Area are the Borogegal people of the Eora Nation.

2.2 Brief European History of Mosman

Early Colonial Period

Prior to European occupation, the Mosman peninsula formed part of the traditional lands of the Borogegal people of the Eora Nation. European presence began shortly after the establishment of the Sydney colony in 1788. The peninsula's steep sandstone ridges, sheltered coves and proximity to Port Jackson made it attractive for maritime and defensive purposes rather than early agricultural settlement.

During the early nineteenth century, land grants were progressively issued across the Lower North Shore. In the 1830s and 1840s, large portions of the Mosman peninsula were granted to private individuals, including Richard Hayes Harnett and other speculators. However, due to the rugged topography and limited transport connections, development remained sparse for much of the nineteenth century.

Maritime and Industrial Associations

Mosman's early European history is closely associated with maritime industries. Its deep natural harbours, including Mosman Bay and Middle Harbour, supported shipbuilding, quarrying and fishing activities.

Sandstone quarrying became a significant early industry, supplying material for Sydney's public and private buildings throughout the nineteenth century. Remnants of quarrying activity remain visible in parts of the municipality and contribute to its historical character.

Defence installations were also established in the nineteenth century in response to concerns about foreign naval threats. Bradleys Head and Georges Head became important strategic sites, later forming part of Sydney's harbour defence network. Fortifications constructed in the 1870s and 1880s reflect colonial anxieties and remain significant heritage features within Mosman today.

The Mosman Estate and Subdivision

A key figure in Mosman's European development was Archibald Mosman, after whom the suburb is named. In the 1830s, Mosman established a whaling station in Mosman Bay, operating a boiling-down works that processed whale oil. Although the whaling enterprise was short-lived, the association endured in the naming of the locality.

By the mid to late nineteenth century, improved ferry services between Mosman and Circular Quay stimulated residential subdivision. The opening of regular ferry routes in the 1870s significantly increased accessibility and encouraged speculative subdivision of large estates. Prominent landowners subdivided their holdings into residential allotments marketed to middle-class families seeking a harbourside lifestyle removed from the congestion of central Sydney.

The development pattern was influenced by Mosman's dramatic topography. Streets followed ridgelines, while houses were positioned to capture harbour views. Early dwellings ranged from modest timber cottages to substantial Victorian villas. Many of these buildings reflected contemporary architectural styles including Victorian Italianate and later Federation forms.

Mosman was proclaimed a municipality in 1893, marking its transition from a semi-rural outpost to a structured suburban community.

Federation and Interwar Growth

The period from the 1890s to the 1930s saw significant residential expansion. The Federation era introduced substantial houses characterised by complex roof forms, verandahs, face brickwork and decorative timber detailing. These dwellings, often set within generous landscaped gardens, established the leafy residential character for which Mosman is known.

Public infrastructure developed concurrently. Schools, churches and commercial premises were constructed to serve the growing population. The introduction of tram services in 1908 further enhanced connectivity, reinforcing Mosman's desirability as a residential suburb for professionals and business owners working in the city.

During the interwar period, development continued with the construction of Californian Bungalows, Interwar Old English and Mediterranean Revival style houses. Flat buildings and residential apartments were introduced in selected areas, particularly along Military Road and near ferry wharves, reflecting broader metropolitan housing trends.

Defence and Institutional Uses

Mosman's strategic harbour position continued to shape its development. Military installations at Georges Head, Middle Head and Bradleys Head were expanded during both World Wars. These sites formed part of Sydney's coastal defence system and later housed training facilities and communications infrastructure.

Institutional uses also emerged, including Taronga Zoological Park, which opened in 1916 on land formerly part of the Ashton Park estate. The zoo became a significant cultural landmark and contributed to Mosman's public identity.

Post-War Development

After the Second World War, Mosman experienced moderate infill development. Some larger estates were subdivided, and apartment buildings were constructed in response to housing demand. However, compared

with many inner suburbs of Sydney, Mosman retained a relatively high proportion of its early housing stock due to strong community identity and planning controls.

The later twentieth century saw increased awareness of heritage values. Community advocacy played a role in preserving historic buildings and landscapes, particularly during periods of redevelopment pressure in the 1960s and 1970s. Conservation areas were progressively identified and incorporated into planning instruments to protect streetscapes and significant built fabric.

Contemporary Context

Today, Mosman is recognised for its layered historical development, combining nineteenth century maritime and defence heritage, Federation and interwar residential architecture, and significant natural landscapes. The municipality's identity is strongly shaped by its harbour setting, sandstone landforms and established tree canopy.

Heritage conservation within Mosman reflects an understanding that the suburb's significance lies not only in individual heritage items but also in its cohesive townscape, subdivision patterns, landscape character and visual connections to Sydney Harbour. These elements collectively contribute to the cultural heritage significance of the area.

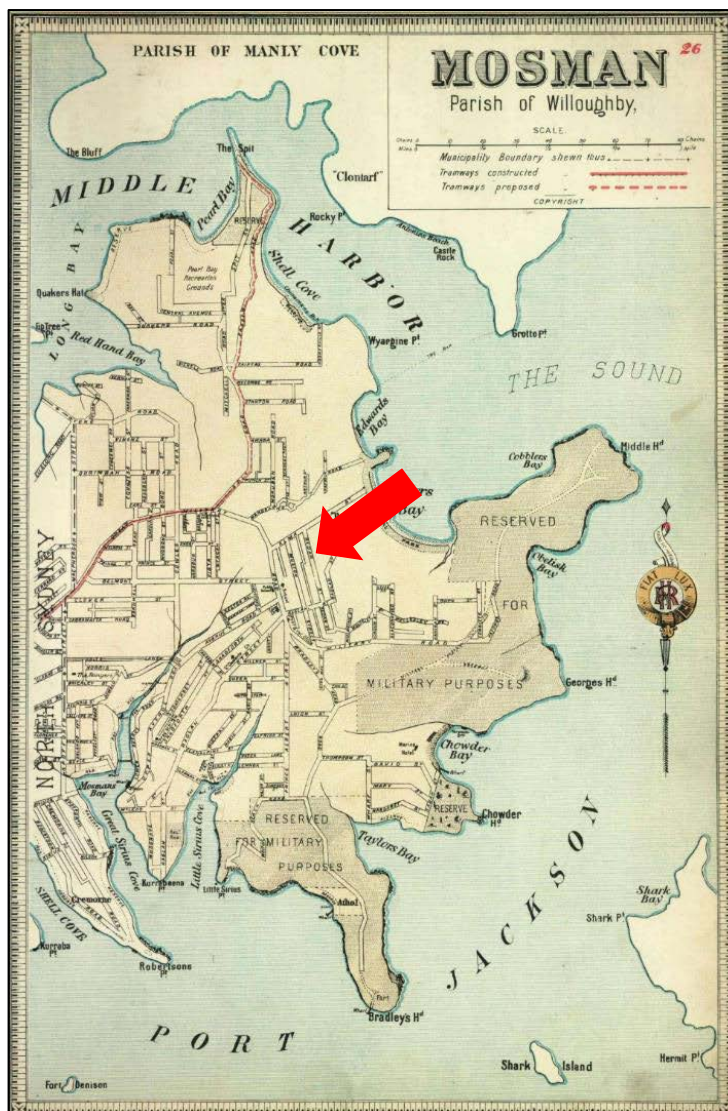


Figure 2: Atlas of the Suburbs of Sydney - Mosman 1893-1894 by Higinbotham & Robinson

Source: Unique ID: AS-1193, City of Sydney Archives

2.3 Construction of No. 65 Muston Street

The first clear imagery of a dwelling at the site is in 1943 where the original roof form is visible and landscaping works within the rear show a lawned area with planting at the rear and front. Refer to Figures 3, the subject site is outlined in red illustrating the overall development of the site in 1943.



Figure 3: Aerial photograph of the subject site in 1943. The site is outlined in red showing the original form of the dwelling and earlier landscaping works.

Source: SIX Maps 2025

3.0 SITE ASSESSMENT

3.1 The Site

For the following, refer to Figure 4, an aerial photograph over the site, and to the survey that accompanies this application.



Figure 4: Aerial photograph of the surrounding area. The site is shaded yellow.

Source: SIX Maps 2026

The subject site at 65 Muston Street, Mosman comprises SP32953 and is located on the northern side of Muston Street with secondary access from Redan Lane. The site occupies a mid block position within an established residential streetscape characterised by a mix of detached dwellings and residential flat buildings of varying scale and period.

The existing development comprises a low rise residential flat building of mid twentieth century origin. The building presents as a simple masonry structure constructed in face brick with a hipped, tiled roof form. The built form is rectilinear in plan with minimal articulation and horizontal groupings of windows to the principal elevation. Architectural detailing is limited and reflects a utilitarian apartment building typology typical of post war development in Mosman.

The building is set back from Muston Street in a manner generally consistent with the prevailing setback pattern within the locality. The front boundary treatment includes brick piers and metal fencing, with vehicular access provided via a paved driveway. Established landscaping, including mature trees and dense hedging, contributes positively to the visual presentation of the site within the public domain and softens the appearance of the built form.

The site slopes downward from Muston Street toward Redan Lane, consistent with the natural sandstone topography of the locality. The allotment is largely developed, with limited deep soil areas retained to the perimeter.

Refer to Figures 5 and 6.



Figure 5: Front elevation as viewed from Muston Street.



Figure 6: The site viewed from Redan Lane.

3.2 The Surrounding Area

3.2.1 The General Area

For the following, refer to Figure 7, an aerial photograph of the site and its surrounds.

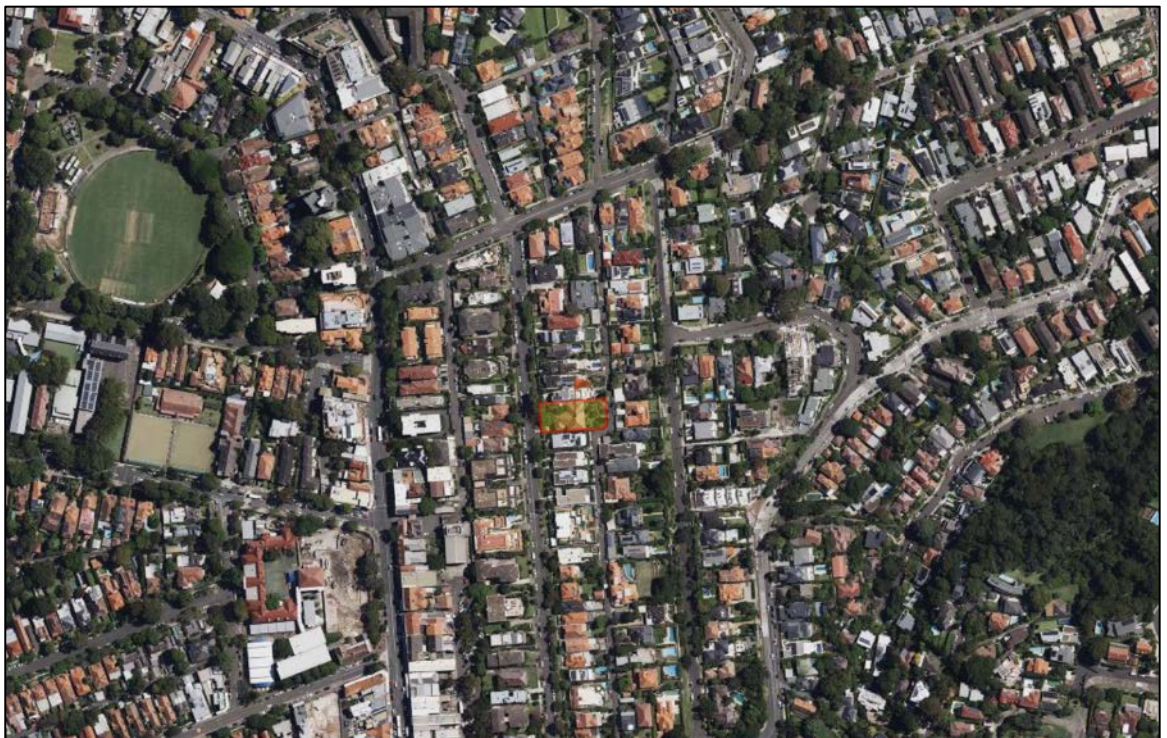


Figure 7: Aerial photograph of the surrounding area. The site is shaded yellow.

Source: SIX Maps 2026

3.2.2 Muston Street

Muston Street runs generally north–south between Military Road and the harbour foreshore at Mosman Bay and is characterised by an established residential streetscape reflective of Mosman’s layered twentieth century development. The street comprises a mix of detached dwelling houses and low to medium rise residential flat buildings of varying periods, including Interwar, post war and contemporary developments.

Development along Muston Street reflects progressive subdivision of earlier estate holdings, resulting in a varied but cohesive pattern of built form responding to the steep topography. Buildings are typically one to three storeys in height when viewed from the street, with several larger flat buildings stepping down the slope toward Redan Lane and Mosman Bay. Face brick construction, pitched tiled roof forms and landscaped front setbacks are common characteristics.

The architectural character of the street is mixed rather than uniform. While some earlier dwellings remain, much of the streetscape includes mid twentieth century apartment buildings and more recent redevelopment. The prevailing streetscape rhythm is defined by consistent front setbacks, landscaped gardens, masonry boundary treatments and established canopy trees.

The roadway is of generous width with concrete footpaths on both sides and two-way vehicular traffic. On street parking is provided along both kerbs. Street trees and mature private landscaping contribute significantly to the visual character and soften the built form.

Refer to Figures 8 and 9 illustrating the immediate streetscape context and surrounding built form.



Figure 8: Muston Street looking south showing the general character of the street.

Source: Google Maps



Figure 9: Muston Street looking north.

Source: Google Maps

3.2.3 Redan Lane

Redan Lane forms the rear boundary of 65 Muston Street and provides secondary vehicular access to surrounding residential properties. The lane is narrow and utilitarian in character, primarily servicing garages and rear entries. Built form along the lane comprises masonry garages, fencing and the rear elevations of residential flat buildings and detached dwellings. The streetscape is informal, with limited landscaping and a predominance of hard surfaces, service elements and boundary treatments. The lane follows the natural slope of the land toward Mosman Bay and functions principally as a service corridor rather than a primary residential frontage.

Refer to Figures 10 to 11.



Figure 10: Redan Lane, looking north characterised mainly by contemporary garages.

Source: Google Maps



Figure 11: The general vicinity of the subject site along Redan Lane, looking south.

Source: Google Maps

4.0 ASSESSMENT OF SIGNIFICANCE

4.1 Summary of Statutory Heritage Listings

No. 65 Muston Street, Mosman:

- Is not listed as a heritage item by Schedule 5, Part 1 of the Mosman LEP 2012.
- Is not listed as a heritage item on the State Heritage Register under the NSW Heritage Act 1977.

4.2 Heritage Items within the Vicinity of the Site

4.2.1 NSW Heritage Act 1977

The site is not located within the vicinity of any Heritage Items of State Significance listed under the NSW Heritage Act 1977.

4.2.2 Mosman LEP 2012

Refer to Figure 12 below, which provides a detail of the heritage map from the Mosman LEP 2012. In this plan, heritage items listed by Schedule 5, Part 1 of the Mosman LEP 2012, are coloured brown and numbered and Conservation Areas, listed by Schedule 5, Part 2 of this plan, are hatched red. The subject site is indicated by red arrow.

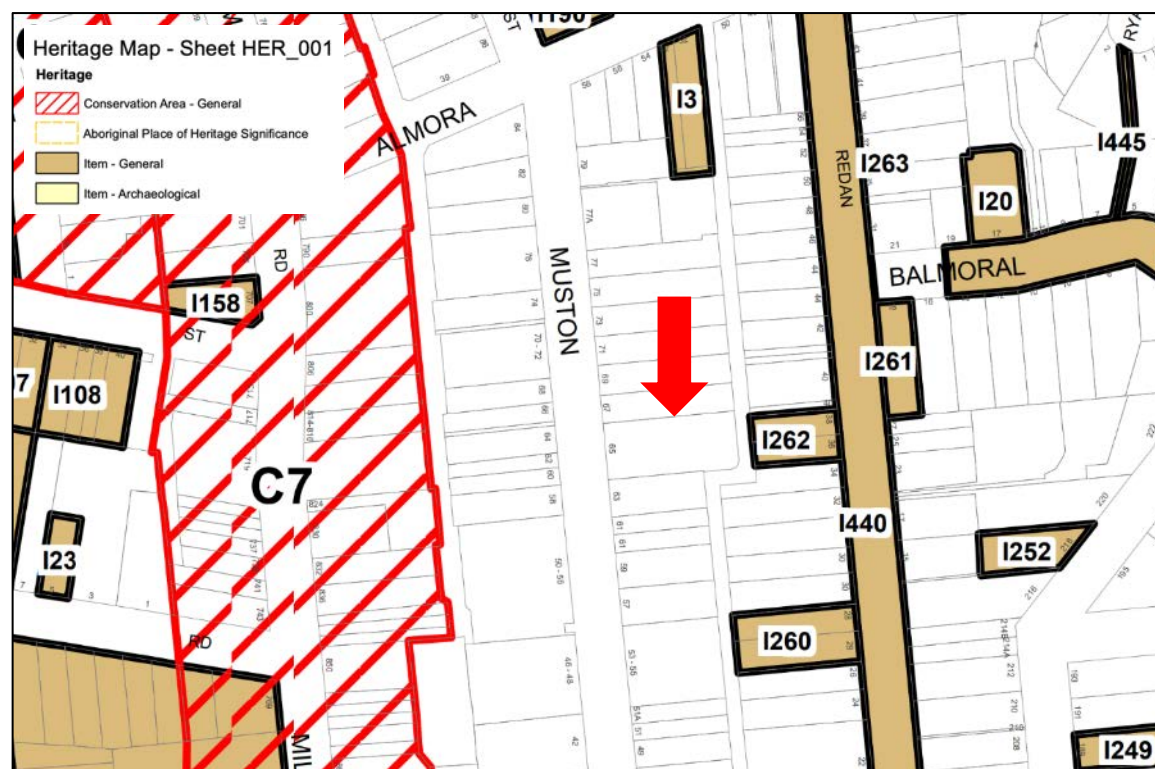


Figure 12: Detail, heritage map (physical version prior to spatial planner amendments), showing Conservation Area and heritage items in relation to the subject site.

Source: Mosman LEP 2012

For the following, 'within the vicinity' has been determined with reference to physical proximity, existing and potential view corridors and the nature of the proposed works. The closest heritage items listed by Schedule 5, Part 1 of the Mosman LEP 2012 within the vicinity of the site are:

'Pair of semi-detached houses', No. 36-38 Redan Street MOSMAN NSW 2088 (I262)

The statement of significance for the item is provided below:

'A rare and elegant pair of semi-detached residences that employs a number of innovative features in its design that help to visually unite its separate parts..'¹

'House', No. 52 Almora Street (also known as Upper Almora Street)) MOSMAN NSW 2088 (I3)

The statement of significance for the item is provided below:

'It forms an impressive focal point at the intersection of Arbutus and Upper Almora Streets. Its corner bay is emphasised by an elaborate timber double height verandah.'²

'House', No. 29 Redan Street (also known as 18 Balmoral Avenue) MOSMAN NSW 2088 (I261)

The statement of significance for the item is provided below:

'A good intact example of a large Federation style residence. Its location on a prominent corner site and its garden setting and fence, contributes to its significance.'³

'House', No. 28 Redan Street MOSMAN NSW 2088 (I260)

The statement of significance for the item is provided below:

'An intact, unusual and rare example of a Federation Arts and Crafts style residence that in its massing and materials forms an arresting composition. Its setting and landscape elements provide additional significance.'⁴

'Divided road', Redan Street MOSMAN NSW 2088 (I440)

The statement of significance for the item is provided below:

'Mosman's divided roads are integral to the Municipality's visual character and sense of place. Built as a utilitarian response to the steep harbourside topography, they reflect, in their fabric and construction technology, the development of Mosman's suburban structure. The large collection of these features makes Mosman instantly and uniquely recognisable.'⁵

Each of the above identified heritage items are considered to be sufficiently well removed from the subject site.

View corridors are angled and in part obscured due to intervening streets, dwellings, vegetation and boundary fencing. Given the nature of the proposed works which are consistent with the NSW State government LMR policies, the change to the setting of each of the abovementioned heritage items is considered to be both proportionate and acceptable.

Refer to Figures 13 to 17 for heritage items.

¹ "Pair of semi-detached houses', No. 36-38 Redan Street MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060436

² "House', No. 52 Almora Street (also known as Upper Almora Street)) MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060506

³ 'House', No. 29 Redan Street (also known as 18 Balmoral Avenue) MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 206003

⁴ House', No. 28 Redan Street MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060435

⁵ 'Divided road', Redan Street MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060429



Figure 13: No. 36-38 Redan Street, Mosman (I262).
Source: State Heritage Inventory



Figure 14: No. 29 Redan Street, Mosman (I261).
Source: State Heritage Inventory



Figure 15: No. 52 Almora Street, Mosman (I13).
Source: State Heritage Inventory



Figure 16: No. 28 Redan Street, Mosman (I260).
Source: State Heritage Inventory



Figure 17: Divided road', Redan Street Mosman (I440).
Source: State Heritage Inventory

Military Road Heritage Conservation Area

The statement of significance for the heritage conservation area is provided below:

The historic significance of Military Road is that it formed part of the earliest residential and military development of Mosman. It is associated with the area as a major defence post in Sydney Harbour. The road influenced the growth of the suburb because it was, and still is, the major traffic route to and from the area. It became the centre of retail and commercial activity in the suburb.

In aesthetic terms the commercial and retail area of Military Road is a marvellous microcosm of the range of architecture to be found in Mosman, distinctively combining retail and residential uses in a unified, lively and diverse linear and curvilinear streetscape. Its scale is pleasantly moderate and the variety of forms, materials, textures and colours is full of interest. The successful integration of some facades of later and very recent vintage, as can be seen here, indicates that good design is an ageless quality. The village atmosphere prevails despite some unhappy incursions. Several impressive

buildings elevate the generally good aesthetic quality of the Conservation Area to a high level of value. The social significance of the area lies first in the fact that here can be seen a great many of Mosman's municipal, commercial and principal educational institutions, as well as a stretch of residential development. It is associated with prominent developers who erected speculative ensembles of shops, dwellings and commercial occupancies, and with the sequences of tenants in retail, trade and commerce activities many of them well-known past and present in Mosman.

The sandstone walls, kerbs, fences and features are key elements of the character of the Mosman Council area. They collectively contribute to the heritage and urban values of their settings. While not all features are of equal heritage value, it is the range and collective value that is most important in retaining the character of the area.

Heritage fences are a very important streetscape element of the conservation area. Fences vary in style and material and include stone fences, stone and iron fences, timber fences or timber and metal fences. In a number of locations fences are a continuous feature across a number of properties reflecting a common design and construction, in other areas the use of a material such as stone links a range of properties.⁶

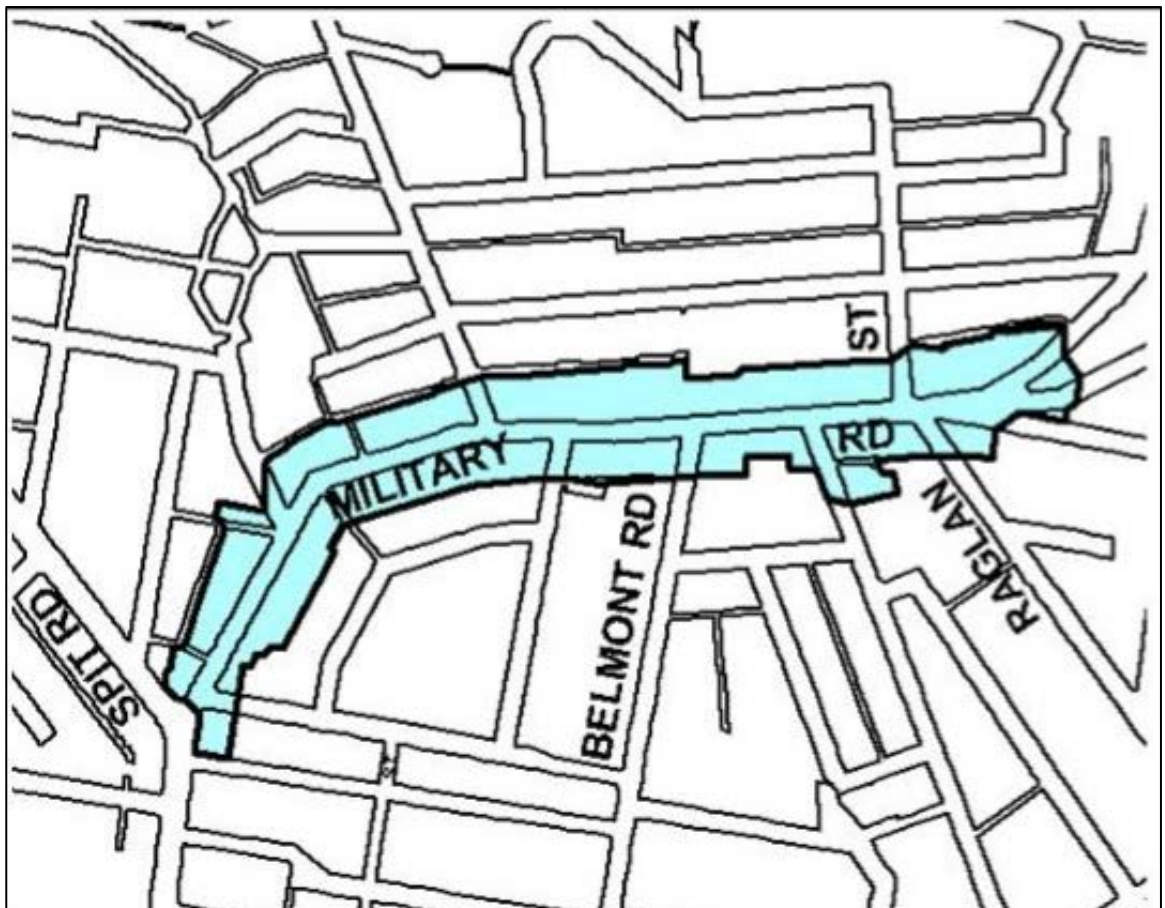


Figure 18: Map showing boundary of the Military Road Heritage Conservation Area (C7).

Source: State Heritage Inventory

⁶ Military Road Heritage Conservation Area (C7) MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060541

4.3 View Corridors

The principal view corridor toward No. 65 Muston Street is obtained from Muston Street directly in front of the site, where the front setback and landscaped garden frame views of the building within the established residential streetscape. The site is also visible on approach from both the north and south along Muston Street, with angled view corridors opening and closing due to the street's gradual slope and the rhythm of boundary walls, fencing and mature canopy planting. Established hedging and trees within the front setback soften and partially filter views of the built form from the public domain.

Secondary view corridors are available from Redan Lane to the rear of the site. From this laneway, the rear elevation and basement access are visible at close range and at oblique angles when moving along the lane. Redan Lane is narrow and utilitarian in character, comprising garages, service entries and altered rear elevations. Views from this location are limited in public significance as the lane functions primarily as a service corridor rather than a primary residential frontage. There are no identified long range or landmark view corridors terminating at the site.

Refer to Figures 19 to 22. The subject site is approximately indicated by a red arrow in each image.



Figure 19: Oblique view towards the subject site, from the intersection of Redan Street and Balmoral Avenue. The heritage item at 29 Redan Street is visible on the left of the image.
Source: Google Maps



Figure 20: View from Redan Street where the heritage item, being the divided road, is most evident. The arrow indicates the approximate location of the future development.
Source: Google Maps



Figure 21: Oblique view towards the subject site, from Redan Lane.
Source: Google Maps



Figure 22: View from outside the heritage item at 36-38 Redan Street. The arrow indicates the location of the future development.
Source: Google Maps

5.0 THE PROPOSAL

The proposal comprises the demolition of the existing two storey apartment building and the construction of a new residential flat building.

The proposed development includes two basement levels accommodating resident parking, visitor parking, bicycle storage, plant rooms, fire services infrastructure and storage areas. Above this are two lower ground levels incorporating large three bedroom apartments, communal open space, and extensive resident amenities including a wellness centre, gym, sauna, steam room, pool, golf simulator and associated facilities.

The ground level provides a principal residential entry and lobby from Muston Street, mail room, fire control room, and additional large three bedroom apartments with private terraces. Levels 1 to 3 contain full floor three bedroom apartments. Levels 4 to 6 comprise larger premium apartments with expanded internal areas and balconies. Rooftop level communal open space is provided for on Level 7.

The building is set back 4.5 metres to the front and sides and 6 metres to the rear, with upper levels incorporating increased rear setbacks. Landscaped communal open space is provided at lower levels and on Level 7 through perimeter planting.

6.0 ASSESSMENT OF POTENTIAL HERITAGE IMPACTS

An assessment of the impacts of the proposal on environmental heritage follows as pertinent to the Planning Secretary's Environmental Assessment Requirements (SEARS) and the relevant guidelines.

6.1 Mosman Local Environmental Plan 2012

The following table addresses the relevant heritage provisions of Mosman Local Environmental Plan 2012.

Mosman Local Environmental Plan 2012 Compliance Table				
Clause No	Clause	Standard	Proposed	Complies
Part 5 Miscellaneous Provisions				
5.10 (1)	Heritage conservation	Objectives The objectives of this clause are as follows:	See below:	-
5.10(a)		to conserve the environmental heritage of Mosman,	The site is not a heritage item and is not located within a Heritage Conservation Area. The proposal does not involve the removal of heritage fabric. The development responds to the desired future residential character of Muston Street as an area of residential flat developments. The proposal will not diminish identified environmental heritage values within Mosman.	Y
5.10(b)		to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,	The site is located only within the vicinity of heritage items and a heritage conservation area. No heritage fabric will be removed or altered. The proposed building is contained within defined setbacks and does not interrupt significant public view corridors to or from nearby heritage items.	Y

Mosman Local Environmental Plan 2012 Compliance Table				
Clause No	Clause	Standard	Proposed	Complies
			<p>The scale and articulation ensure the proposal should not dominate or visually compete with nearby heritage buildings.</p> <p>The proposal is consistent with the desired future character of the locality as expressed in the relevant planning controls and the NSW State Government's LMR provisions.</p>	
5.10(c)		to conserve archaeological sites,	No archaeological sites are present or expected to be impacted by the proposed works.	N/A
5.10(d)		to conserve Aboriginal objects and Aboriginal places of heritage significance.	No known Aboriginal objects or places of heritage significance are located on the site, and the proposed works will have no impact on Aboriginal heritage.	N/A
5.10(4)	Effect of proposed development on heritage significance	The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).	<p>As the site is not a heritage item and is not within a Heritage Conservation Area, the clause applies only in relation to potential impacts on nearby heritage items.</p> <p>The proposed development does not adversely affect the heritage significance, setting or views of nearby heritage items.</p> <p>This assessment demonstrates that heritage significance within the locality will be conserved.</p>	Y
5.10(5)	Heritage assessment	The consent authority may, before granting consent to any development:	This document satisfies the requirements of this clause.	Y
5.10(5)(a)		on land on which a heritage item is located, or	A heritage item is not located on the land.	N/A
5.10(5)(b)		on land that is within a heritage conservation area, or	The land is not located within a heritage conservation area.	N/A
5.10(5)(c)		on land that is within the vicinity of land referred to in paragraph (a) or (b),	<p>The site is located in the vicinity of:</p> <ul style="list-style-type: none"> • 'Pair of semi-detached houses', No. 36-38 Redan Street MOSMAN NSW 2088 State Heritage Inventory ID 2060436 • 'House', No. 52 Almora Street (also known as Upper Almora Street)) MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060506 • 'House', No. 29 Redan Street (also known as 18 Balmoral Avenue) MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060032 	Y

Mosman Local Environmental Plan 2012 Compliance Table				
Clause No	Clause	Standard	Proposed	Complies
			<ul style="list-style-type: none"> • 'House', No. 28 Redan Street MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060435 • 'Divided road', Redan Street MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060429 • Military Road Heritage Conservation Area (C7) MOSMAN NSW 2088 Heritage NSW State Heritage Inventory ID 2060541 	
5.10(5)		require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.	This document satisfies this provision.	Y
Legend: Y=Complies, N = Does not Comply, C = Condition of consent, N/A = Not applicable, A = Does not strictly comply but acceptable				

As demonstrated above, the proposal is consistent with the heritage provisions of Mosman Local Environmental Plan 2012.

6.2 Mosman Residential Development Control Plan 2013

The following table addresses the relevant heritage sections of Mosman Residential Development Control Plan 2013.

Mosman Residential Development Control Plan 2012 Summary Compliance Table				
No.	Standard	Required	Proposed	Complies
Part 5	Site Planning and Design			
5.6	Heritage Conservation			
O1	Objectives	To have a heritage item or a significant building within a conservation area retained and conserved.	<p>The subject site at 65 Muston Street is not a heritage item and is not located within a Heritage Conservation Area.</p> <p>The Military Road Heritage Conservation Area (HCA) is located to the west of the site; however, the proposal does not involve demolition, alteration or physical impact to any heritage item or contributory building within that HCA.</p> <p>The proposal therefore does not affect the retention or conservation of heritage items or buildings within the Military Road HCA.</p>	Y
O2		To have the streetscape context	The site is outside the Military	Y

Mosman Residential Development Control Plan 2012 Summary Compliance Table				
No.	Standard	Required	Proposed	Complies
		and curtilage of heritage items and conservation areas maintained.	<p>Road HCA and does not form part of its curtilage.</p> <p>Intervening development separates the subject site from the core contributory streetscape of the HCA.</p> <p>The proposal is located in the immediate curtilage of the heritage item No. I-262 at 36-38 Redan Street (Fig. 22). The proposal would be visible in the background in lines of sight to this item from Redan Street. Despite this, the proposal would have an acceptable impact on the item given:</p> <ul style="list-style-type: none"> • The proposal is separated from the rear of the item by Redan Lane providing significant physical and visual separation; • The lines of sight over the item to the proposal would be minimised by the nature of the sloping topography; • To the extent that it is visible to the rear of the item, the impact would be minimised by its neutral contemporary aesthetic which would ensure that it does not overwhelm the item or compete with it visually. <p>The proposed development will therefore not alter the immediate setting, curtilage, subdivision pattern or established streetscape context of the Military Road HCA or nearby listed heritage items beyond that which has already been anticipated by relevant planning controls for the site.</p>	
03		To have the streetscape character of a conservation area maintained through appropriate design, built form, architectural style and landscaping and to ensure any infill development also respects the character of the streetscape.	<p>The design responds to the future desired residential flat building character of the locality.</p> <p>The building incorporates landscaped setbacks, articulation and modulation of built form consistent with established residential flat development in the area.</p>	N/A

Mosman Residential Development Control Plan 2012 Summary Compliance Table				
No.	Standard	Required	Proposed	Complies
			The proposal will not detract from or visually compete with the character of the Military Road HCA when viewed from the public domain.	
04		To have sympathetic additions to buildings with use of appropriate massing, scale, proportion, materials and details.	The proposal comprises a new residential flat building and does not involve additions to a heritage item or contributory building within an HCA.	N/A
05		To have any works undertaken with a proper knowledge of the heritage significance of the item or conservation area.	The proposal has been prepared with regard to the presence of the Military Road HCA and nearby heritage items within the locality. The assessment considers potential impacts on setting, views and visual appreciation of those heritage assets.	Y
06		To have new infill developments within conservation areas or adjacent to heritage items which are sympathetic to and do not mimic the established character.	The site is located outside the Military Road HCA but within its broader vicinity. It is also located adjacent a heritage item No. I-262 at 36-38 Redan Street (Fig. 22). The proposed building adopts a neutral contemporary architectural expression that does not mimic the architectural expression of surrounding heritage items but would not detract from their significance.	Y
07		To have heritage items adaptively re-used where appropriate and to ensure that the heritage significance of the item is maintained.	N/A	N/A
08		To have increased housing choice by encouraging, where appropriate, conversion of large dwelling houses that are heritage items or within a heritage conservation area into multiple dwellings provided the heritage significance of the building is not compromised.	The proposal does not impact the adaptive reuse, integrity or ongoing conservation of heritage items within the Military Road HCA. The heritage significance of nearby heritage assets will remain intact.	N/A
P1	Alterations and additions	For additions, be consistent with the original in terms of massing, scale, and proportion of the existing fabric. Use similar scale and bulk to the	N/A	N/A

Mosman Residential Development Control Plan 2012 Summary Compliance Table				
No.	Standard	Required	Proposed	Complies
		original building to ensure that new structure does not dominate and overwhelm. New buildings should be smaller in size than the original.		
P2		Site new additions carefully. They should be located at the side or rear, to avoid changes to the street façade and therefore minimise the impact of change.	N/A	N/A
P3		For some building designs it will be appropriate to set back any first floor addition from the principal street frontage of the building in order to maintain unaltered a substantial portion of the existing roof over the front of the building and to locate the bulk of new development towards the rear, and/or to locate additions behind the main gable or hipped feature of the street frontage	N/A	N/A
P4		Respect the design of existing building form. Roof type, pitch and material; proportion of windows and doors; the ratio of solids to voids are all important in ensuring a compatible design.	N/A	N/A
P5		Keep the original fabric intact and distinct with new work clearly distinguishable. New building work should be distinguished from the old original work.	N/A	N/A
P6	Building materials and details	Reinstate the architectural detailing to the original part of a building and particularly to the main building form, such as barge board, finial trim, window awnings and front verandahs by selecting appropriate profiles and detailing trim for heritage items and within conservation areas.	N/A	N/A
P7		Avoid painting or rendering face brickwork by retaining original wall treatments. When modifying face brick buildings through additions, note how brick bonds are used, window	N/A	N/A

Mosman Residential Development Control Plan 2012 Summary Compliance Table				
No.	Standard	Required	Proposed	Complies
		heads are formed and whether the mortar joints are tuck pointed.		
P8		The re-painting of timber detailing must ensure that the architectural detailing is articulated in the same manner as the original colour rendering of the building. Contemporary colours are not discouraged, but should be combined in an intelligent way. Avoid the use of single colour solutions and attempt a complimentary colour combination.	N/A	N/A
P9		When cement render is to be used, ensure a proper understanding of the different types of cement render and how it was used in different architectural styles. Rough cast, pebble dash and smooth render have been used in different ways and applied to different architectural elements. The appropriate material must be consistent with the building form and style.	N/A	N/A
P10		New walling at ground level should be selected to blend with the existing materials. A slight step or recess in the wall surface will often assist in allowing differing materials to blend together visually.	N/A	N/A
P11		Upper wall surfaces should reflect the style and character of the original work. In general, rusticated weatherboard, shingles or battened fibre cement sheet are an acceptable solution where the brickwork is not practical. Upper wall surfaces should take into consideration existing finishes in gables.	N/A	N/A
P12		New development need not seek to replicate period details of original buildings, but rather, respect the form and scale of, and be sympathetic to, the immediate area. Contemporary design for additions and infill development is encouraged.	The proposed development adopts a contemporary architectural expression and does not attempt to replicate historic detailing within the Military Road Heritage Conservation Area or nearby heritage items. The building form, height and	Y

Mosman Residential Development Control Plan 2012 Summary Compliance Table				
No.	Standard	Required	Proposed	Complies
			articulation respond to the established scale and residential flat typology of Muston Street and the surrounding locality. Setbacks, modulation of façades and landscaped presentation ensure the development is sympathetic to the immediate area while remaining clearly identifiable as contemporary infill.	
P13	Roofing	The following roof characteristics should be considered in the context of the item or area: pitch, scale, materials, profile, symmetry/asymmetry, gable, verge and eave details.	N/A	N/A
P14		Characteristic features of the existing roofscape should be identified and where appropriate incorporated into the proposed extension. The positioning and proportion of gables, the use of parapets and gambrel and dormer roof forms should be considered in the context of the surrounding original development.	N/A	N/A
P15		Council may consider pitched roof forms to extend beyond the maximum building height set out in the LEP where a consistent pitched roof style is an important local character element or it is appropriate for an identified heritage item. New works should sit comfortably in the existing context without being visually dominant or overly prominent.	N/A	N/A
P16		When re-roofing or extending select slate, terracotta tiles (unglazed or glazed) or corrugated iron (not zinalume) of recessive colour as a material where appropriate, and one which will enhance and be consistent with the original. Avoid roofing materials that have a larger profile and appearance than the original material.	N/A	N/A
P17		Maintain existing chimney	N/A	N/A

Mosman Residential Development Control Plan 2012 Summary Compliance Table				
No.	Standard	Required	Proposed	Complies
		stacks even where fireplaces are to be removed as these are important elements in establishing heritage character.		
P18		Council will only allow dormer windows, balconies, skylights and solar panels on the front façade where they will not have an adverse streetscape impact or affect the heritage significance of the item or conservation area.	N/A	N/A
P19	Fenestration	New windows should be in scale and proportion to original windows and those on the principal street façade should maintain the original design character of the building and its neighbour.	N/A	N/A
P20		Windows located on the first floor of an addition should, where possible, be aligned with those on the ground floor. Larger areas of glass may be incorporated to the rear of buildings where there is less visual affect on the character of adjoining development.	N/A	N/A
P21		Where they are appropriate, new dormer windows should be consistent with the window proportion of original windows and measure no more than 25% of the width of the roof in that plane.	N/A	N/A
P22	Streetscape	Modifications to the front fence of a heritage item or within a conservation area must be designed in a manner which contributes to the historic style of the building and streetscape context. (See other parts of this Plan for planning guidelines for carports/garages and fences/walls).	N/A	N/A
P23		The statement of significance of the heritage item or conservation area must be considered and guide any changes to an identified heritage item or for any works within a heritage conservation area. (Refer to the Mosman Heritage Review 1996 or relevant heritage study for	Noted.	-

Mosman Residential Development Control Plan 2012 Summary Compliance Table				
No.	Standard	Required	Proposed	Complies
		details.) For conservation areas, the ranking of the building within the conservation area must be considered and guide any works within a heritage conservation area. (Refer to Mosman Council's website for details.)		
P24		In the event of some conflict regarding the statement of significance the applicant should undertake a heritage assessment in line with the guidelines set down by the NSW Office of Environment and Heritage, carried out by a recognised heritage consultant. The assessment should be used as a basis of further action.	Noted.	-
P25		New infill developments should respect the architectural character of the heritage item/s or the important character of the conservation area. Design should be in a similar scale and proportion to the townscape area character, be sympathetic to the heritage item, and not dominate or overwhelm the item/s of importance.	<p>The subject site is not within the Military Road Heritage Conservation Area but lies within its broader vicinity.</p> <p>The proposed building adopts a scale and proportion consistent with surrounding residential flat development and does not exceed the prevailing built form context.</p> <p>The articulated massing and defined setbacks ensure the development does not dominate or visually overwhelm nearby heritage items or the HCA.</p>	Y
P26		Do not replicate or mimic design features of the heritage item/s in the vicinity. New development should be clearly distinguishable from older development. Refer to the NSW Office of Environment and Heritage guideline Design in Context; Guidelines for Infill Development in the Historic Environment for more information.	<p>The proposal adopts a contemporary architectural language and does not replicate historic detailing associated with the Military Road HCA or nearby heritage items.</p> <p>The building is clearly identifiable as new development while maintaining sympathetic scale, alignment and material tone.</p> <p>The approach is consistent with the principles of Design in Context by respecting, rather than imitating, the established historic environment.</p>	Y

Mosman Residential Development Control Plan 2012 Summary Compliance Table				
No.	Standard	Required	Proposed	Complies
P27		The LEP sets out conservation incentives for development for any purpose of a building that is a heritage item, or of the land on which such a building is erected, to facilitate the conservation of the heritage item. Proposed use/s should be the most appropriate to maintain the identified heritage values of the heritage item with the minimum of intrusive change.	The subject site is not a heritage item and does not contain heritage fabric eligible for conservation incentives under the LEP. The proposal does not alter or change the use of any heritage item within the Military Road HCA. The development therefore does not give rise to intrusive change to identified heritage values.	N/A
P28		When proposing to convert large dwelling houses into multiple dwellings, the single dwelling house appearance should be maintained to conserve the heritage significance of the building. Careful consideration should be given to the design and siting of access to individual dwellings and car parking.	The proposal does not involve the conversion of a heritage dwelling or a contributory building within the Military Road HCA. The development comprises a purpose designed residential flat building and does not alter the appearance of any heritage dwelling. Vehicular access is provided from Redan Lane, reducing visual impact on Muston Street and avoiding disruption to the streetscape character of nearby heritage items or the HCA.	N/A
Legend: Y=Complies, N = Does not Comply, C = Condition of consent, N/A = Not applicable, A = Does not strictly comply but acceptable				

As demonstrated above, the proposal is consistent with the heritage provisions of Mosman Residential Development Control Plan 2012.

7.0 CONCLUSION

This Heritage Impact Statement has been prepared in support of a Development Application for the demolition of the existing residential flat building at No. 65 Muston Street, Mosman and the construction of a new residential flat building, as shown in the architectural drawings prepared by Studio Johnston.

The subject site is not identified as a heritage item under Schedule 5 of the Mosman Local Environmental Plan 2012 and is not located within a Heritage Conservation Area. The site is, however, situated within the vicinity of several locally listed heritage items within the broader Mosman locality.

The proposed development comprises a new multi storey residential flat building with basement parking accessed from Redan Lane, landscaped setbacks to Muston Street, and communal and private open space. The design responds to the site's topography, stepping with the natural fall toward Redan Lane. The building envelope is contained within defined setbacks and incorporates articulation and material variation to reduce visual bulk.

Given that the site itself does not contain any identified heritage item and is not located within a heritage conservation area, the assessment focuses on potential impacts to the setting and visual context of nearby

heritage items. The proposed development will not result in the removal of any heritage fabric and will not adversely affect the heritage significance, setting, or appreciation of nearby heritage items when viewed from the public domain.

The proposal is consistent with the heritage objectives of the Mosman LEP 2012 and relevant provisions of the Mosman Residential DCP in that it respects the established residential character of Muston Street while accommodating contemporary residential development.