

LOT 2A, KEMPS CREEK, OAKDALE WEST ESTATE

DRAWING LIST DA		
DWG NO.	NAME	Current Revision
DA000	Cover Page	H
DA001	Perspectives - Office 2A	H
DA010	Site Plan	M
DA200	Roof Plan	I
DA201	Floor Plans - Office	I
DA203	Floor Plans - Dock Offices	G
DA210	Warehouse Elevations & Section	M
DA211	Elevations - Office	I
DA300	Signage Plan	I



1 Perspective 01- Warehouse



2 Perspective 02- Warehouse

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Approved Application No: SSD-9794683

Granted on: 16 December 2021

Signed: JF Sheet No: 1 of 33



1

Perspective 01- Office



2

Perspective 02 - Office

EMPORIUM AVENUE

EMPORIUM AVENUE

SEPIA ROAD

Truck Exit

Truck Entry

Hyd
Booster

Fire Truck Parking

Pump
Room

Sprinkler
Tank

Proposed Industrial Facility
Warehouse 2A
FFL 68.90 (+/- 1000mm)

Mezz Connecting Floor Over

Mezz Over

Mezz Over

Office over
Amenities

Office over
Amenities

6m Awning Over

38m Hardstand

Truck Parking/ Storage Hardstand

Generators

Generator Link Box

Existing Retaining Wall

Van Carparking
(25)

Waste
Enclosure
49.6m²

Future
Conveyor
Penetration

2 Storey Office

Car
Entry Exit

Car
Entry Exit

LEGEND

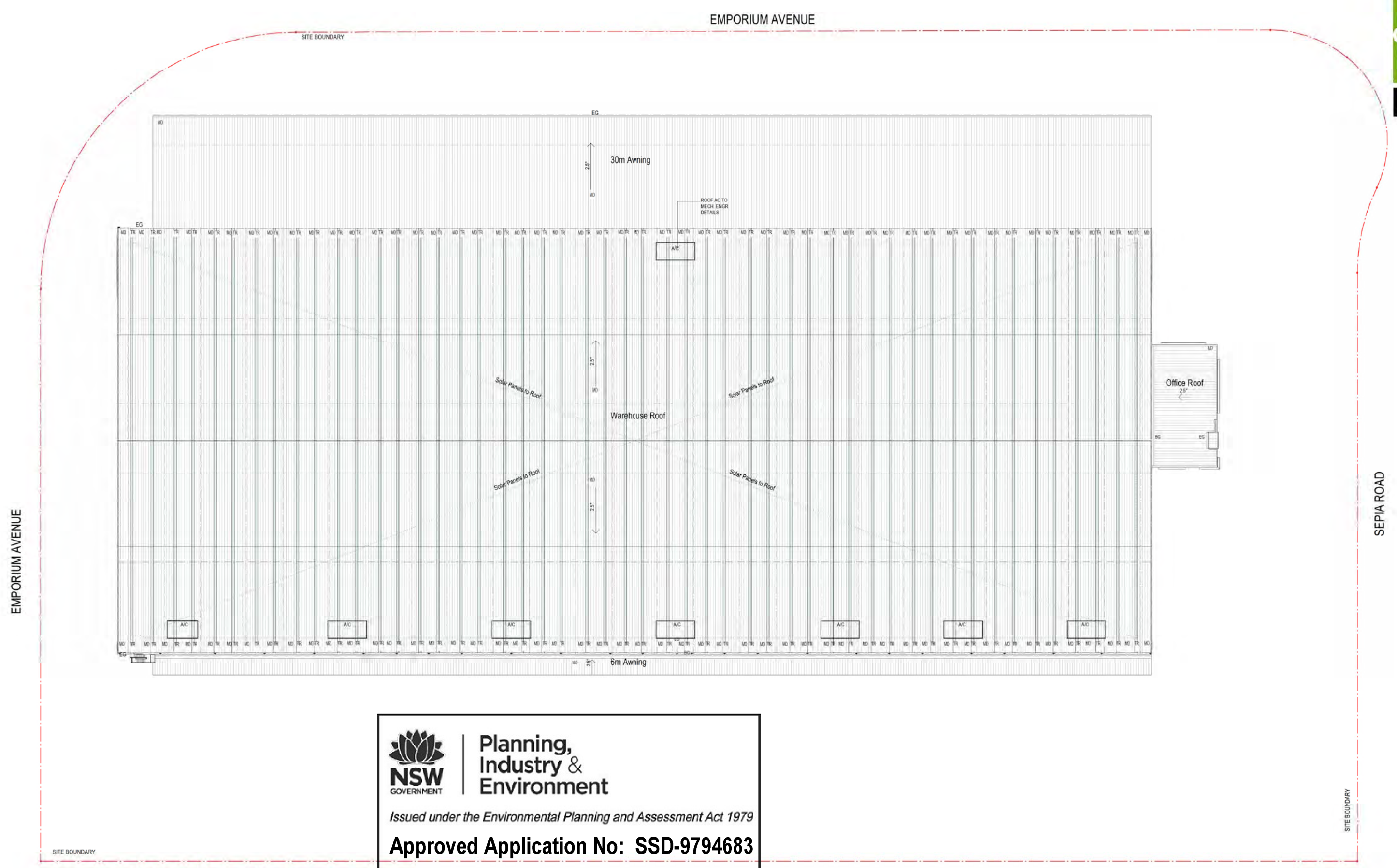
- SITE BOUNDARY
- LOT BOUNDARY
- BUILDING 7.5M SETBACK
- LANDSCAPE 3.75M SETBACK
- 2.1m PALISADE FENCING
- RETAINING WALL

SERVICES LEGEND

- SEWER
- STORMWATER
- ELECTRICAL

DEVELOPMENT AREA SCHEDULE

SITE AREA	80,582 sqm	MEZZANINES (Inside warehouse)	8,403 sqm	HARDSTAND AREA	32,115 sqm
WAREHOUSE (excl. mezz)	34,262 sqm	TOTAL GFA	44,015 sqm	LIGHT DUTY AREA	6,950 sqm
OFFICE (2 Levels)	1,050 sqm	TOTAL GLA	35,612 sqm	CARPARKING	253
DOCK OFFICE (North - 2 Levels)	195 sqm	SITE COVER (exc. awning)	44 %	(Inclusive of 6 disabled spaces and 13 EV charging spaces)	
AMENITIES SOUTH 1st floor only	105 sqm	FLOOR SPACE RATIO	0.54 : 1	MOTORCYCLES	6
<small>Ground Floor excluded as it is already part of the warehouse area</small>					





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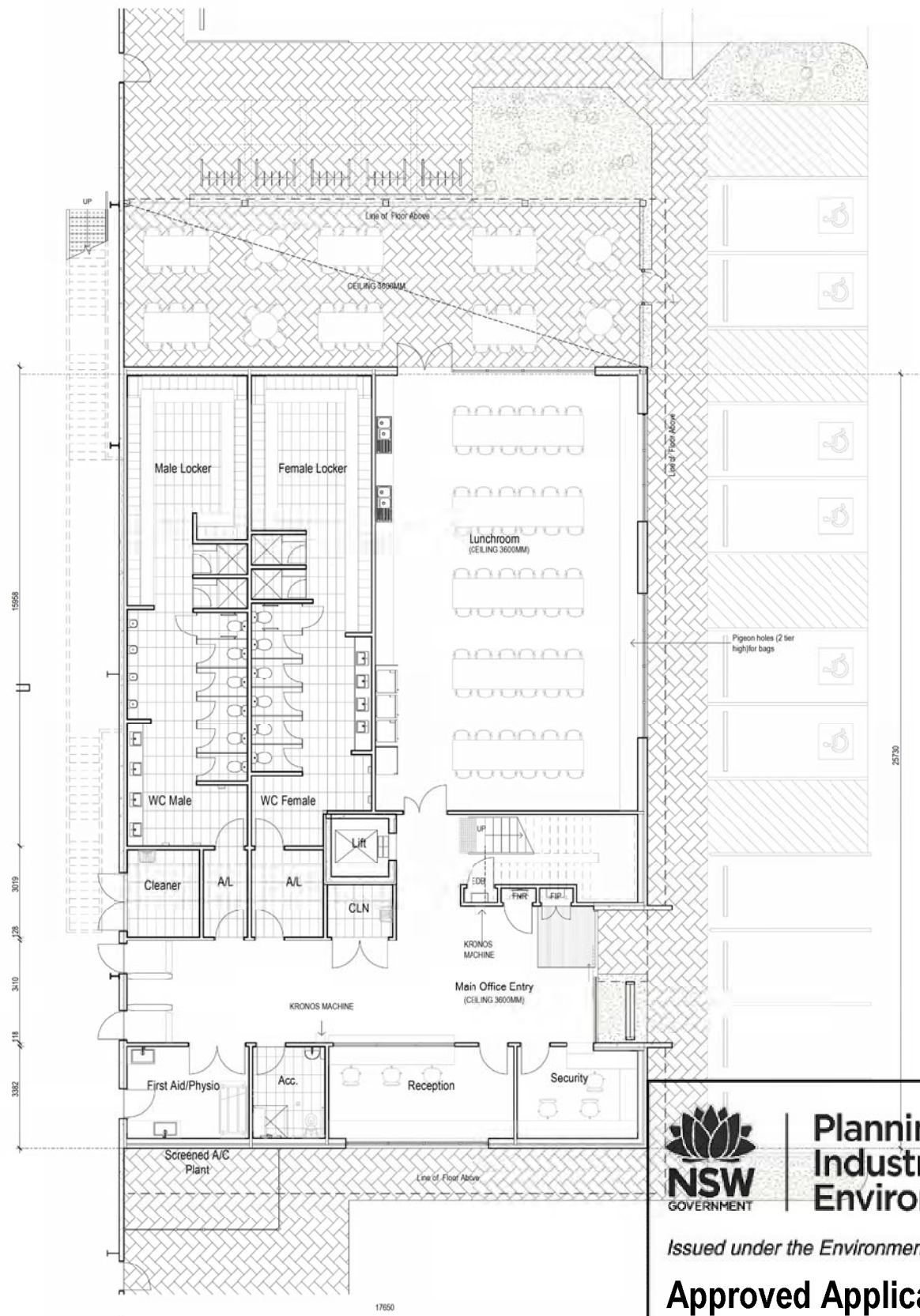
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1 ROOF PLAN - WAREHOUSE 1:500

LEGEND	
RG	BOX GUTTER
EG	EAVES GUTTER
MD	METAL ROOF SHEETING
TR	TRANSLUCENT SHEETING
SP	SOLAR PANELS



1 OFFICE - GROUND FLOOR PLAN 1:100



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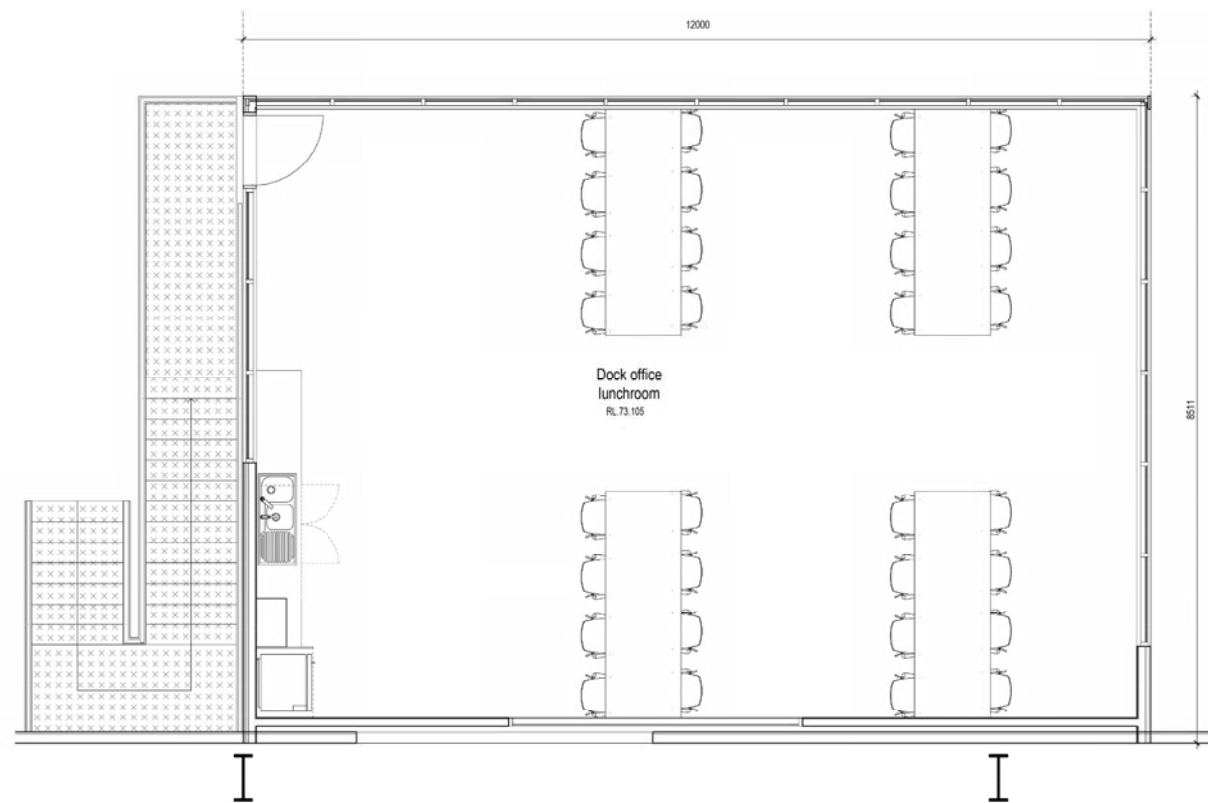
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2 OFFICE - LEVEL 1 FLOOR PLAN 1:100



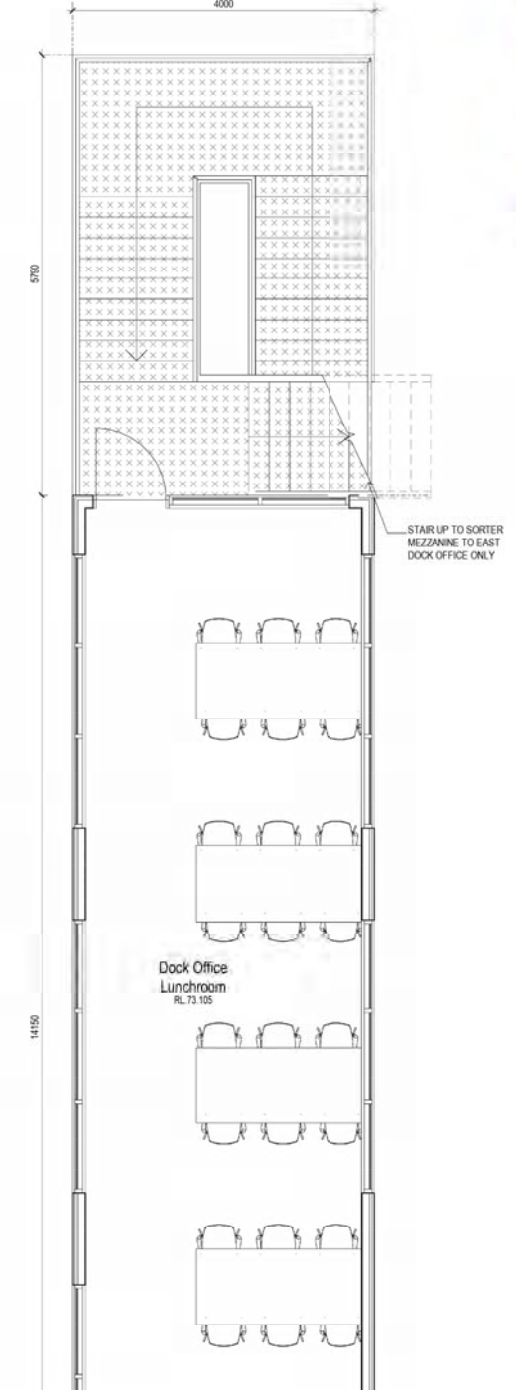
1 GROUND DOCK OFFICE NORTH 1:50



2 L1 DOCK OFFICE Copy 1 1:50



3 GROUND DOCK OFFICE SOUTH 1:50



4 L1 DOCK OFFICE SOUTH 1:50



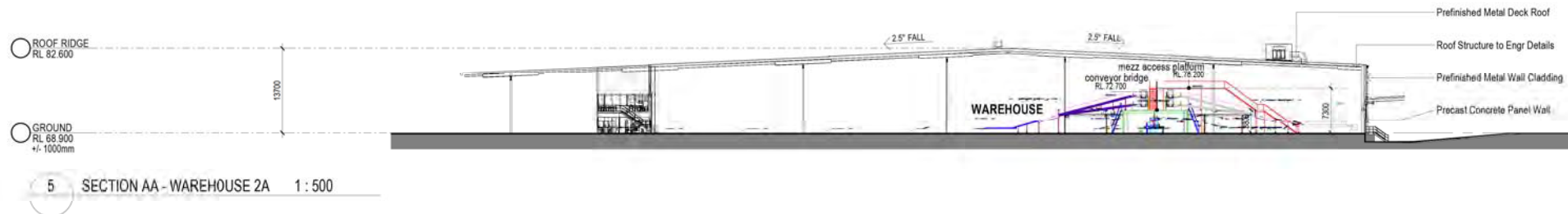
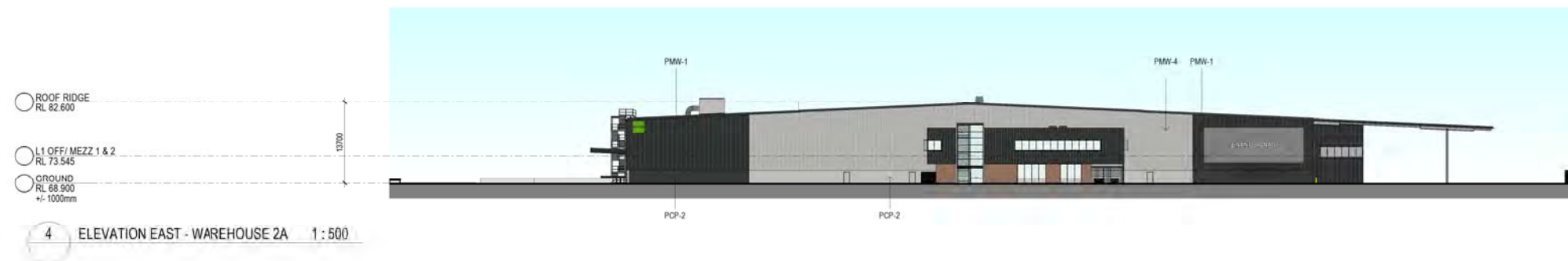
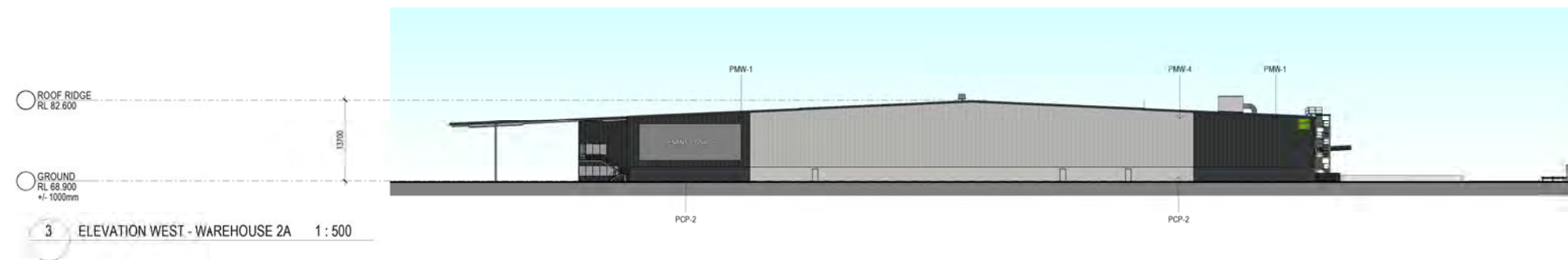
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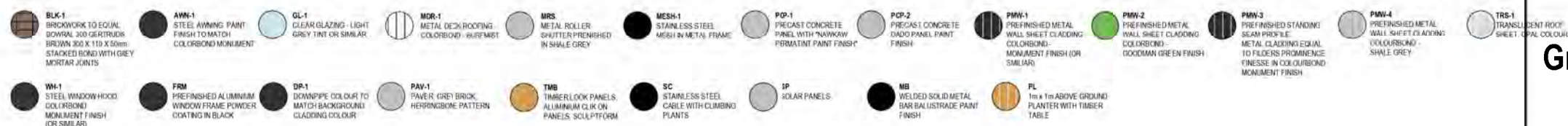
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EXTERNAL FINISHES LEGEND

BLK-1 BRICKWORK TO EQUAL BOWRAL 300 CERTRUDS BROWN 300 X 110 X 50mm STACKED BOND WITH GREY MORTAR JOINTS.	AWN-1 STEEL AWNING PAINT FINISH TO MATCH COLORBOND MONUMENT	GL-1 CLEAR GLAZING - LIGHT GREY TINT OR SIMILAR	MD METAL DECK ROOFING COLORBOND - SURFMIST	MRS METAL ROLLER SHUTTER PREFINISHED IN SHALE GREY	MESH-1 STAINLESS STEEL MESH IN METAL FRAME	PCP-1 PRECAST CONCRETE PANEL WITH "NAWKAW" PERMATINT PAINT FINISH*	PCP-2 PRECAST CONCRETE DADO PANEL PAINT FINISH COLOR TO MATCH CLADDING OVER.	PMW-1 PREFINISHED METAL WALL SHEET CLADDING MONUMENT FINISH (OR SIMILAR)	PMW-3 PREFINISHED STANDING SEAM PROFILE METAL CLADDING EQUAL TO FOLDERS PROMINENCE FINESSE IN COLORBOND MONUMENT FINISH	TR TRANSLUCENT ROOF SHEET OPAL COLOUR
WH-1 STEEL WINDOW HOOD COLORBOND MONUMENT FINISH (OR SIMILAR)	FRM PREFINISHED ALUMINUM WINDOW FRAME POWDER COATING IN BLACK	DR-1 DOWNPIPE COLOUR TO MATCH BACKGROUND CLADDING COLOURS	PAV-1 PAVER, GREY BRICK, WEIRBROOK PATTERN	TMB TIMBER LOOK PANELS ALUMINUM CLAD OR PANELS SQUATIFORM	SC STAINLESS STEEL CABLE WITH CLIMBING PLANTS	MS WELDED SOLID METAL BAR BALUSTRADE PAINT FINISH	PL 1m x 1m ABOVE GROUND PAINTER WITH TAMER TABLE	PMW-2 PREFINISHED METAL WALL SHEET CLADDING COLORBOND - GOODMAN GREEN FINISH	PMW-4 PREFINISHED METAL WALL SHEET CLADDING COLORBOND - SHALE GREY	PMW-5 PREFINISHED METAL WALL SHEET CLADDING COLORBOND - BASALT



INDICATIVE EXTERNAL FINISHES LEGEND



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NSW GOVERNMENT

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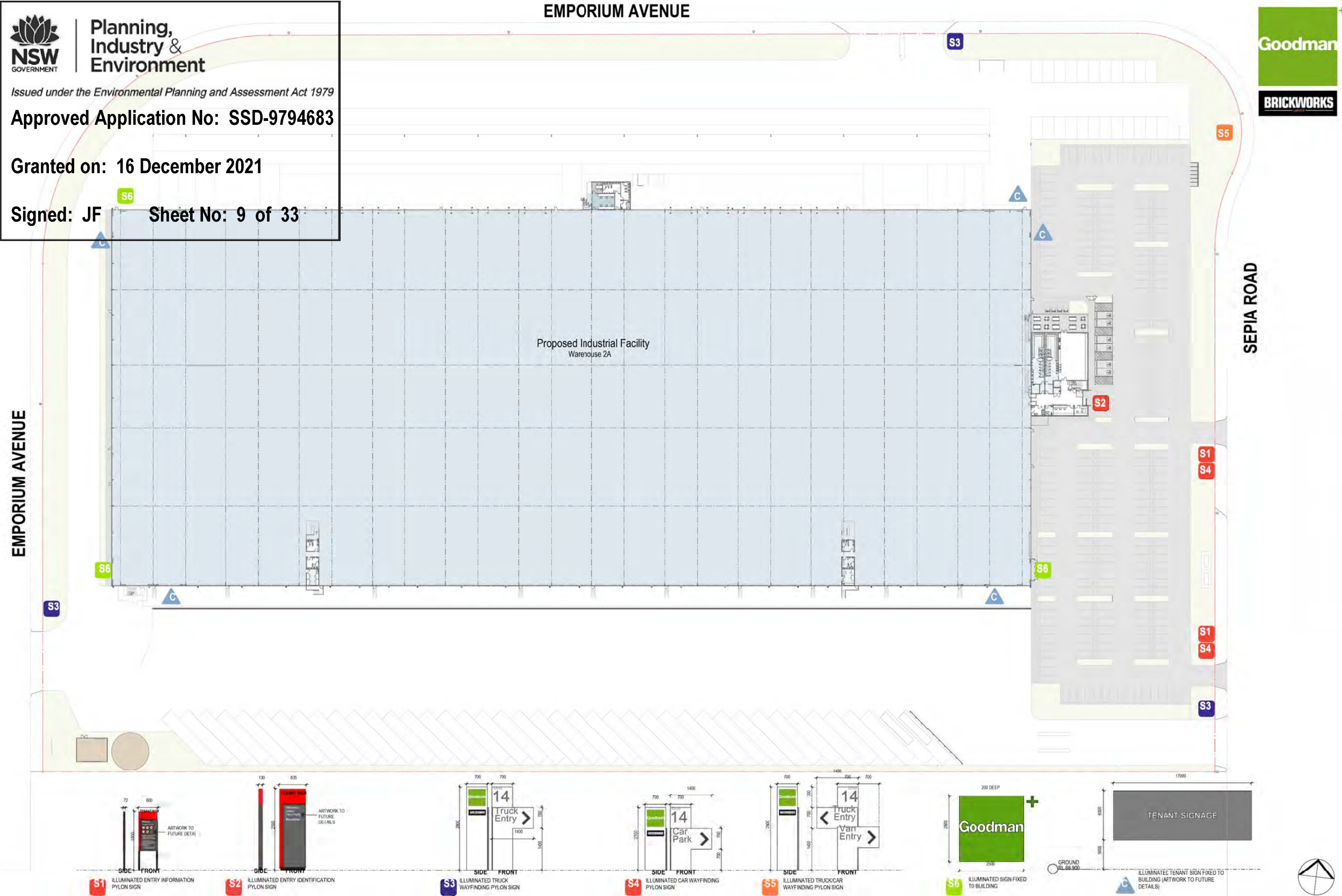
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Goodman

BRICKWORKS



SBA ARCHITECTS

Oakdale West Estate
Kemps Creek, NSW

PROPOSED INDUSTRIAL FACILITY - PROPOSED BUILDING 2A

Development Application

Signage Plan

OAK 2A DA300 (I)
Job No 21220

20/10/2021

LOT 2C & 2D, KEMPS CREEK, OAKDALE WEST ESTATE

DRAWING LIST	
SHEET NUMBER	SHEET NAME
DA000	COVERPAGE
DA001	OFFICE PERSPECTIVES
DA002	WAREHOUSE PERSPECTIVE
DA020	SITE PLAN
DA300	ROOF PLAN
DA305	FLOOR PLAN - OFFICE 2C1
DA306	FLOOR PLAN - OFFICE 2C2
DA307	FLOOR PLAN - OFFICE 2D
DA310	ELEVATIONS - WAREHOUSE 2C
DA311	ELEVATIONS - WAREHOUSE 2D
DA312	OFFICE ELEVATIONS - 2C1
DA313	OFFICE ELEVATIONS - 2C2
DA314	OFFICE ELEVATIONS - 2D
DA315	SECTIONS - WAREHOUSE
DA400	SIGNAGE PLAN



1 PERSPECTIVE 01



2 PERSPECTIVE 02



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1 PERSPECTIVE - OFFICE 2C1



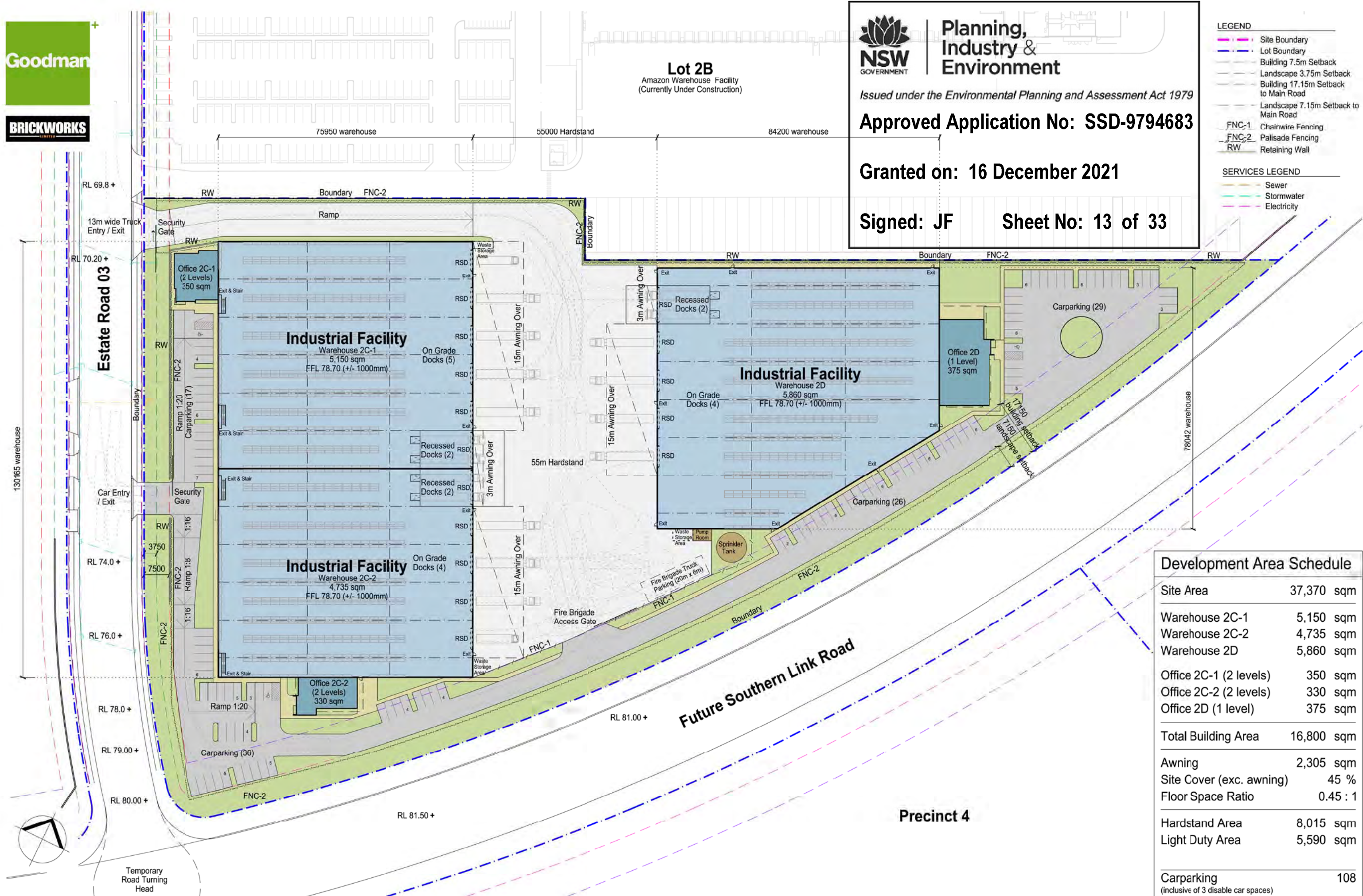
2 PERSPECTIVE - OFFICE 2C2



3 PERSPECTIVE - OFFICE 2D

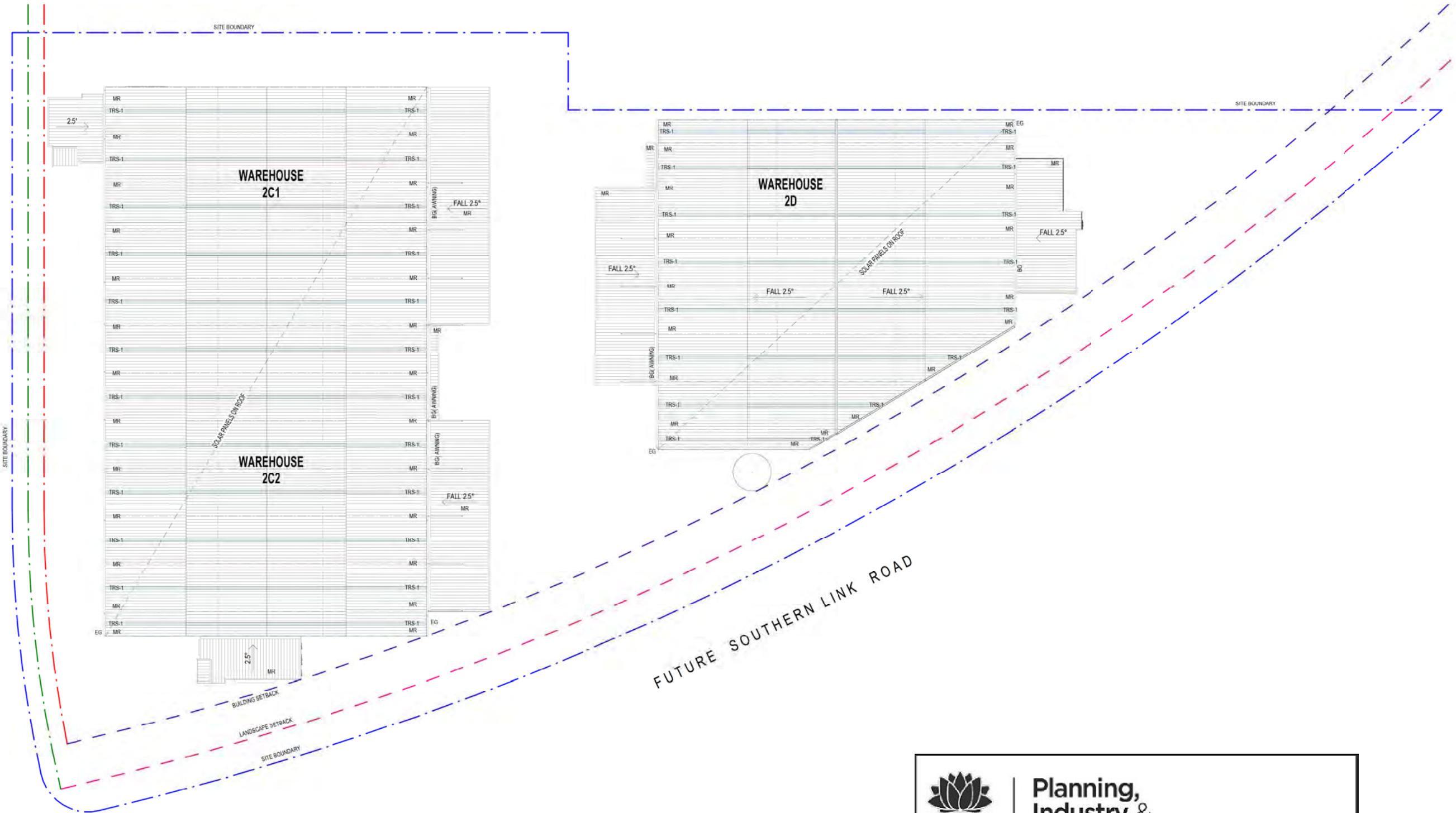


1 PERSPECTIVE 01



Development Area Schedule	
Site Area	37,370 sqm
Warehouse 2C-1	5,150 sqm
Warehouse 2C-2	4,735 sqm
Warehouse 2D	5,860 sqm
Office 2C-1 (2 levels)	350 sqm
Office 2C-2 (2 levels)	330 sqm
Office 2D (1 level)	375 sqm
Total Building Area	16,800 sqm
Awning	2,305 sqm
Site Cover (exc. awning)	45 %
Floor Space Ratio	0.45 : 1
Hardstand Area	8,015 sqm
Light Duty Area	5,590 sqm
Carparking	108
(inclusive of 3 disable car spaces)	

ESTATE ROAD 03



FUTURE SOUTHERN LINK ROAD



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LEGEND

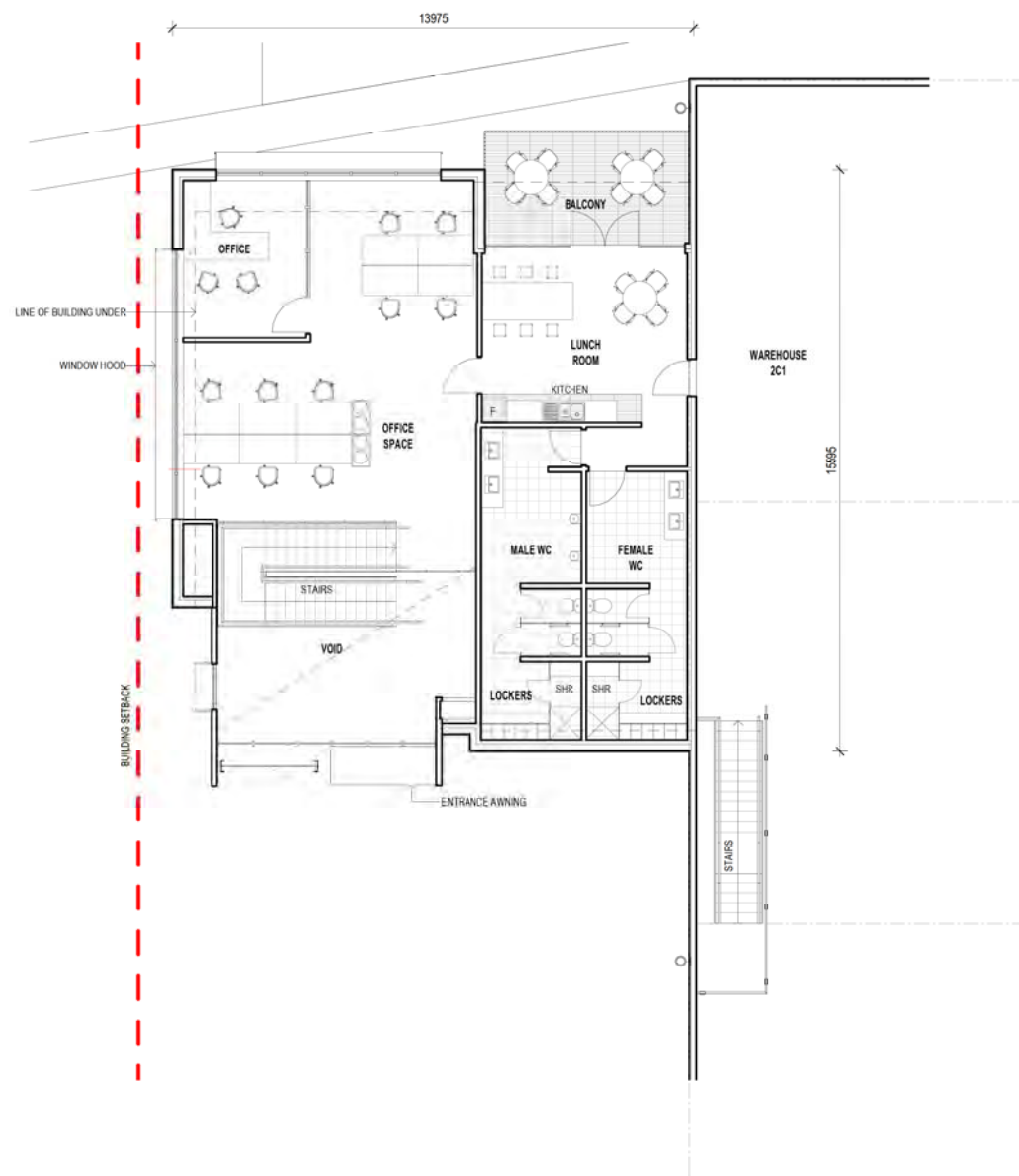
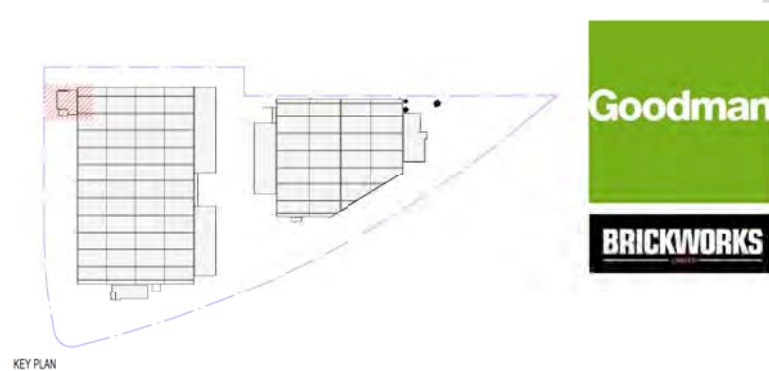
BG	BOX GUTTER
EG	EAVES GUTTER
MR	METAL ROOF SHEETING
TR	TRANSLUCENT SHEETING
TRS 2	FRITTED GLAZED ROOF OVER OUTDOOR COVERED AREA

1 ROOF PLAN 1:500





1 FLOOR PLAN - GROUND OFFICE 2C1 1 : 100



2 FLOOR PLAN - LEVEL 01 OFFICE 2C1 1 : 100