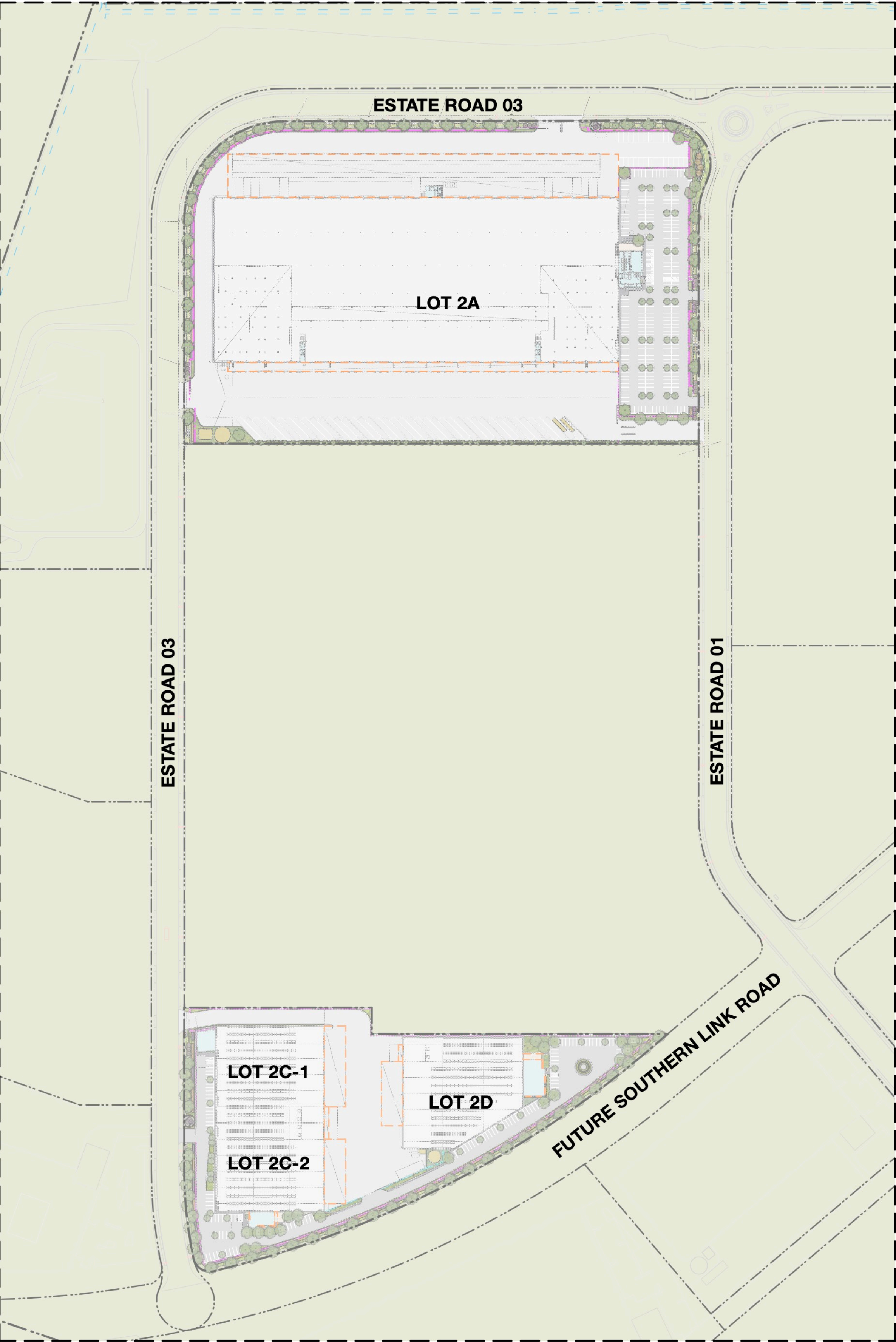


KEY MAP



LANDSCAPE ARCHITECTURE

Address Suite 5, 15 The Corso  
Manly NSW 2095  
Phone 02 9976 0756  
email office@scapedesign.com.au  
Web www.scapedesign.com.au

PROJECT

Oakdale West Estate  
Lots 2A, 2C and 2D

Kemps Creek, NSW

CLIENT

Goodman Property Services (AUST) PTY LTD

Cover Sheet

PHASE

Development Application  
Landscape Drawing Set

TRANSMITTAL

Dwg. Number	Dwg. Name	Revision	Date
L.SK.00	Cover Sheet	H	23/11/21
L.SK.01	Landscape Sketch Plan - Lot 2A	F	1/11/21
L.SK.02	Landscape Sketch Plan - Lot 2C & 2D	E	23/11/21
L.SK.03	Planting Plan - Lot 2A	F	1/11/21
L.SK.04	Planting Plan - Lot 2C & 2D	E	23/11/21
L.SK.05	Planting Schedule - Lot 2A	F	1/11/21
L.SK.06	Planting Schedule - Lot 2C & 2D	E	23/11/21
L.SK.07	Character & Materials	D	23/11/21
L.SK.105	Landscape - Detailed Plan & Notes - Lot 2A	F	1/11/21
L.SK.106	Landscape - Detailed Plan & Notes - Lot 2C & 2D	D	23/11/21
L.SK.200	Carpark Details	F	23/11/21
L.SK.201	Landscape - Typical Street Sections - Lot 2A	E	1/11/21
L.SK.202	Landscape - Typical Street Sections - Lot 2C & 2D	D	23/11/21





Note: All finished levels subject to change +/- 1000mm.

LEGEND

PROGRAMME

1

Office

2

Entry Feature Trees

3

Site Marker

4

Accessible Parking

5

Waste Enclosure

6

Fire Truck Parking

7

Bicycle Racks

8

Motorcycle Parking

9

Substations

10

LPG Refueling with 2.4M High Screen

11

Hyd Booster

12

Alternating rock mulch beds due to RFS requirements

13

Clustered tree planting with gaps due to RFS requirements

CE

Car entry/exit

CP

Carparking

TE

Truck entry/exit

PAVEMENTS

Temporary Recycled Aggregate

Coarse Aggregate

Decomposed Granite

Asphaltic Concrete

Insitu Concrete

Precast Concrete

Stone Tiles

Feature paving

Rock mulch - sandstone

Pram Ramp

FURNITURE & FITTINGS

Proposed Table Setting

Proposed Bicycle Racks

Proposed Street Lighting

Proposed Sleeper Mullion

Proposed Sandstone Block

Gate

Signage

Proposed Seating

Proposed Pergola

GENERAL

Site Boundary

Lot Boundary

Finished Floor Level

Reduced Level

Architecture Above

Fence Type 1 Refer Arch. dwgs.

Fence Type 2 Refer Arch. dwgs.

Building Setback

Landscape Setback

Proposed Ramp

PREPARATION & GROUNDWORKS

Proposed Stairs

Building

Office

Services

WALLS & EDGES

Steel Edge

Flush Concrete Kerb

Raised Concrete Kerb

Freestanding Gabion Wall

Freestanding Insitu Wall

Freestanding Precast Wall

Retaining Gabion Wall

Retaining Insitu Wall

Retaining Precast Wall

Steel Wall

PLANTING

TF1-General Turf

TF2-Feature Turf

PM1A-Car park edge mix-sun

PM1B-Car park edge mix-shade

PM2A-Car park island mix-sun

PM2B-Car park island mix-shade

PM3A-Site edge mix - sun

PM4-Site markers mix

PMSA-Feature planting mix-sun

PM6A-Site hedge mix-sun

PM7A-Groundcover mix A

PM7B-Groundcover mix B

PMSA-Climbers mix

TREES

Existing Tree to be Removed Refer ARBORISTS REPORT

Existing Tree to be Retained

Stage 1 Works - Proposed Tree

Proposed Tree - General

Proposed Tree - Entry Marker

Proposed Tree - Site Marker

scapedesign

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PROJECT

Oakdale West Estate

CLIENT

Goodman Property Services

E

REVIEW & COORDINATION

ZZ

23/11/21

D

REVIEW & COORDINATION

ZZ

19/10/21

C

REVISED ENTRY & CARPARK

ZZ

23/4/21

B

DEVELOPMENT APPLICATION

MF

13/11/20

A

CLIENT REVIEW

MF

10/11/20

revision

revision description

by

date

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checked

CH

project no.

163-18

project phase

Development Application

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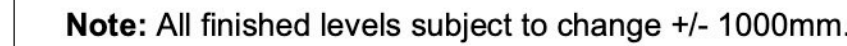
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50 M

L.SK.02

E



E



PLANTING SCHEDULE - LOT 2C & 2D

	Botanical Name	Common Name	Height (m)	Spread (m)	Pot Size	Rate (m2)		
Trees	<i>Angophora bakeri</i>	Narrow-leaved Apple	12.0	6.0	75L	As Shown		
	<i>Corymbia eximia</i>	Yellow Bloodwood	12.0	8.0	75L	As Shown		
	<i>Corymbia maculata</i>	Spotted Gum	30.0	10.0	75L	As Shown		
	<i>Cupaniopsis anacardioides</i>	Tuckeroo	12.0	6.0	100L	As Shown		
	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	7.0	4.0	75L	As Shown		
	<i>Eucalyptus crebra</i>	Narrow leaved Ironbark	30.0	10.0	75L	As Shown		
	<i>Eucalyptus moluccana</i>	Grey Box	25.0	10.0	75L	As Shown		
	<i>Lagerstroemia indica</i> 'Tuscarora'	Tuscarora Crepe Myrtle	6.0	4.5	200L	As Shown		
	<i>Tristaniopsis laurina</i> 'Luscious'	Water Gum	12.0	5.0	75L	As Shown		
PM1A - Car Park Edge Mix - Sun	<i>Callistemon viminalis</i> 'Little John'	Little John Bottlebrush	0.6	0.8	140mm	Area = 2	761 sq.m	
	<i>Pennisetum alopecuroides</i> 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	1		
	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.9	0.3	140mm	2		
PM1B - Car Park Edge Mix - Shade	<i>Pennisetum alopecuroides</i> 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	Area = 1	270 sq.m	
	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.9	0.3	140mm	2		
	<i>Viola hederacea</i>	Native Violet	0.1	0.2	140mm	2		
PM2A - Car Park Island Mix - Sun	<i>Carex appressa</i>	Tall Sedge	0.7	0.5	140mm	Area = 2	397 sq.m	
	<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	2		
	<i>Nandina domestica</i> 'Gulf Stream'	Dwarf Sacred Bamboo	0.8	0.8	140mm	2		
	<i>Pennisetum alopecuroides</i> 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	1		
PM3A - Site Edge Mix Low - Sun	<i>Callistemon 'Great Balls of Fire'</i>	Bottlebrush	2.0	2.0	140mm	Area = 1	1932 sq.m	
	<i>Callistemon 'White Anzac'</i>	Bottlebrush	1.0	2.0	140mm	1		
	<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	2		
	<i>Pennisetum alopecuroides</i> 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	1		
PM5A - Feature Planting Mix	<i>Doryanthes excelsa</i>	Gynea Lily	2.0	1.5	200mm	Area = 2	381 sq.m	
	<i>Loropetalum chinense rubrum</i> 'China Pink'	Chinese Fringe Flower	1.5	1.5	200mm	2		
	<i>Photinia x fraseri</i> 'Red Robin'	Red Robin	3.0	2.0	200mm	1		
PM6A - Site Hedge Mix - Sun	<i>Acmena smithii</i> 'Hot Flush'	Lilly Pilly	4.0	2.0	300mm	Area = 1	376 sq.m	
	<i>Metrosideros thomsonii</i>	New Zealand Christmas Bush	4.0	4.0	300mm	1		
	<i>Rhaphiolepis indica</i> 'Oriental Pearl'	Oriental Pearl Indian Hawthorn	1.0	1.0	300mm	2		
	<i>Rhaphiolepis indica</i> 'Snow Maiden'	Snow Maiden Indian Hawthorn	0.5	1.0	300mm	2		
PM7A - Groundcovers Mix A	<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	Area = 2	181 sq.m	
PM7B - Groundcovers Mix B	<i>Trachelospermum jasminoides</i> 'tricolor'	Tricolor Star Jasmine	0.5	1.0	140mm	Area = 2	193 sq.m	
PM9A - Climbers Mix	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.9	0.3	140mm	Area = 2	10 sq.m	
TF1 - General Turf	<i>Stenotaphrum secundatum</i> 'Sir Walter'	Sir Walter Buffalo			Turf Roll	Area =	1089 sq.m	
TF2 - Feature Turf (Planted)	<i>Zoysia tenuifolia</i>	No-Mow Grass/Velvet Grass			200mm	Area = 5	41 sq.m	

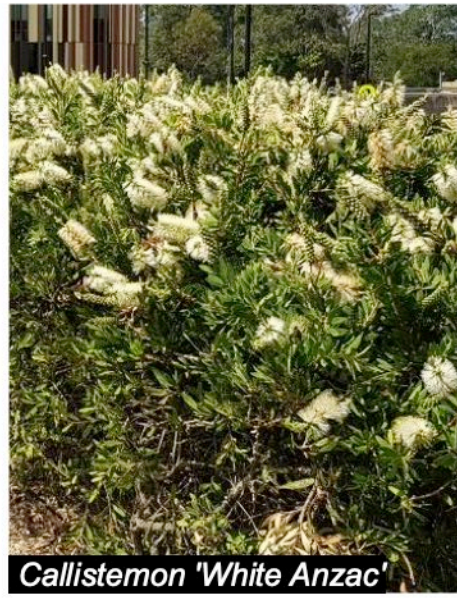
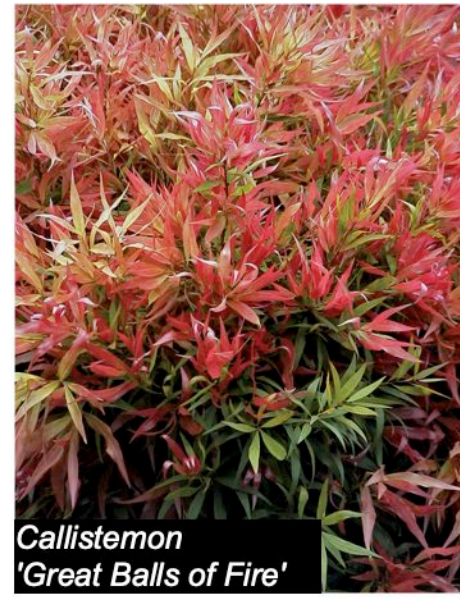
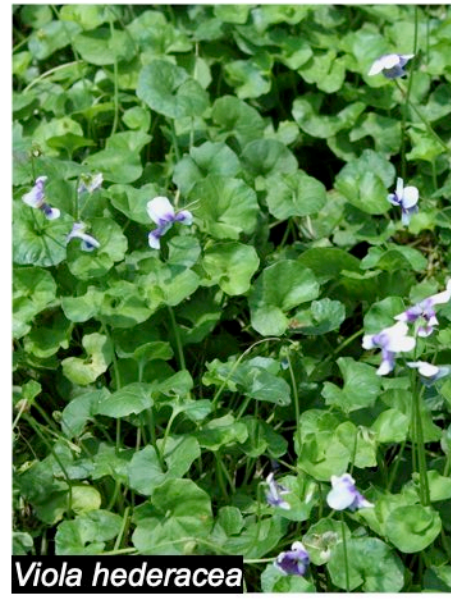
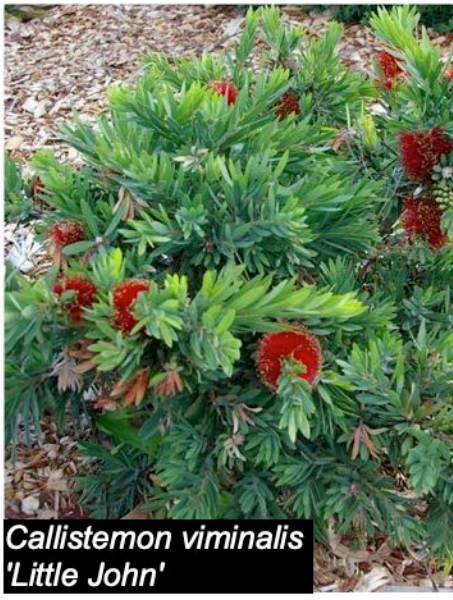
NOTE:  
1. Mass planting to be undertaken in large groupings of the same species to approval of landscape architect.  
2. Hedging species are to be set out in linear arrangements of same species to approval of landscape architect.  
3. All planting and turf areas to be irrigated with subsurface drip line. Refer to the Oakdale West Estate Landscape Management Plan and Goodman Landscape Guidelines for further information

PLANTING PALETTE

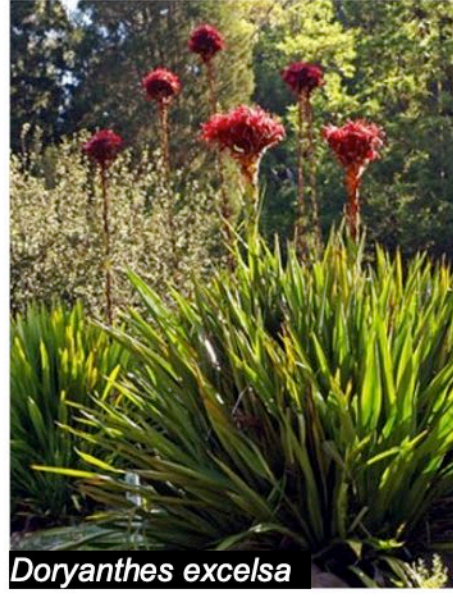
Trees



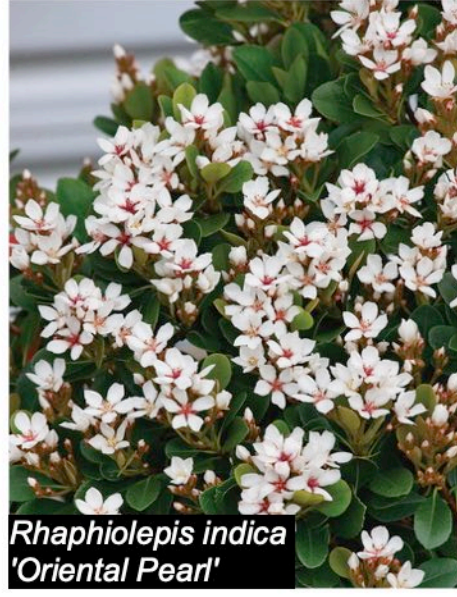
PM1A - Car Park Edge Mix - Sun



PM4-Site Markers Mix



PM6A - Site Hedge Mix - Sun



PM7A - Groundcovers Mix A



PM7B - Groundcovers Mix B



PM9A - Climbers Mix



TF1 - General Turf



TF2 - Feature Turf



scape

DESIGN

LANDSCAPE ARCHITECTURE

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PROJECT

Oakdale West Estate

CLIENT

Goodman Property Services

E	REVIEW & COORDINATION	ZZ	23/11/21
D	REVIEW & COORDINATION	ZZ	19/10/21
C	REVISED ENTRY & CARPARK	ZZ	23/4/21
B	DEVELOPMENT APPLICATION	MF	13/11/20
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Planting Schedule - Lot 2C & 2D

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drawn	MF/ZZ
checked	CH
project no.	163-18
project phase	Development Application

L.SK.06

E



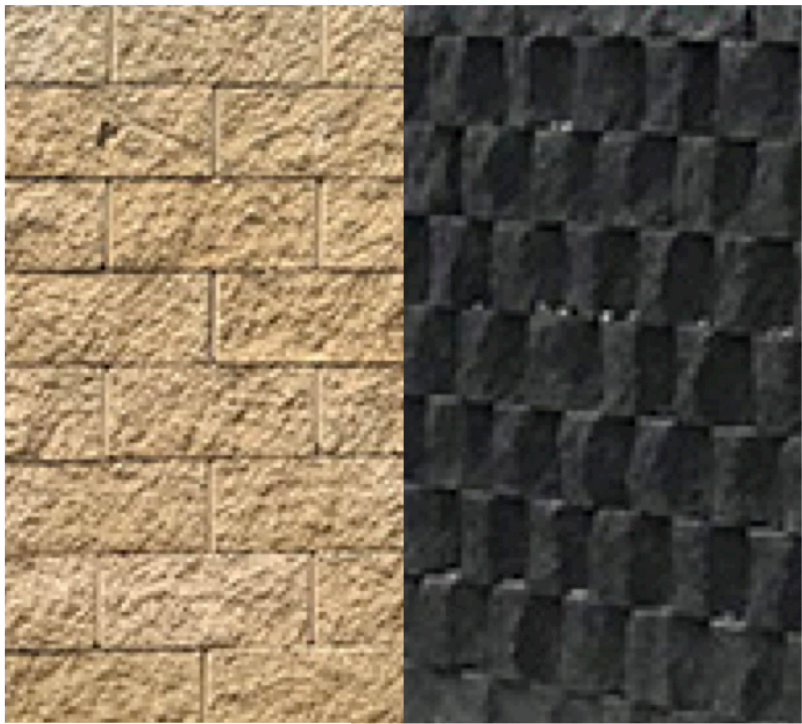
EXISTING SITE CHARACTER



Weathering steel



Mounding and grasses



Textured walling



Verge landscape



Street frontage



Signage and detailed planting at vehicle entries/exits



Hardwood sleeper mullions

PROPOSED LANDSCAPE CHARACTER



Rigid stainless steel gabion cage with 75-150mm sandstone spall



1000mm wide tree pits with weathering steel edging



Mass planting bold texture and colour within native plant matrix



Feature trees



Green mounds



Weathering steel blades



Feature uplighting



Feature sandstone blocks at pedestrian nodes and driveway intersections

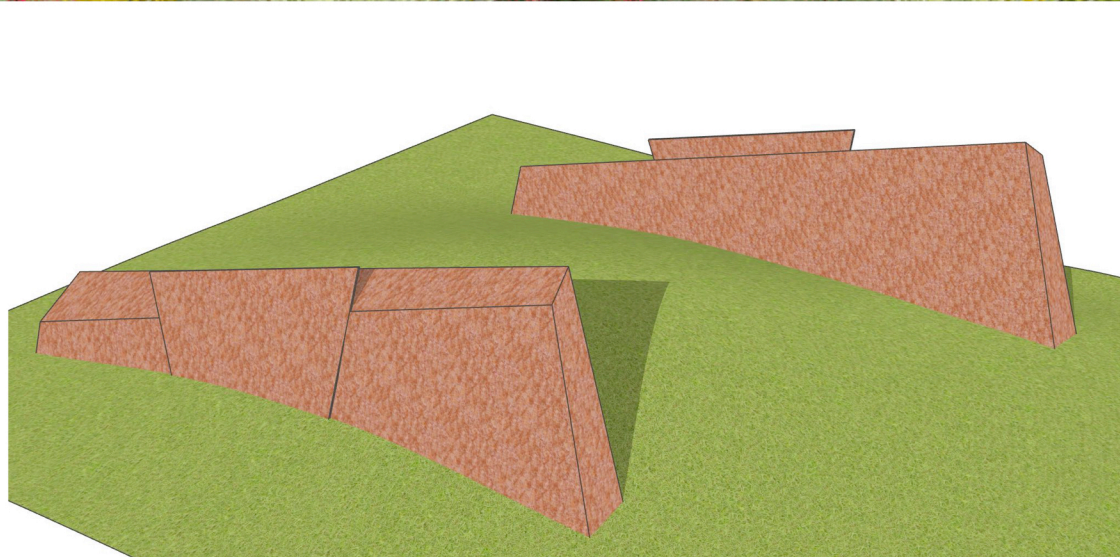
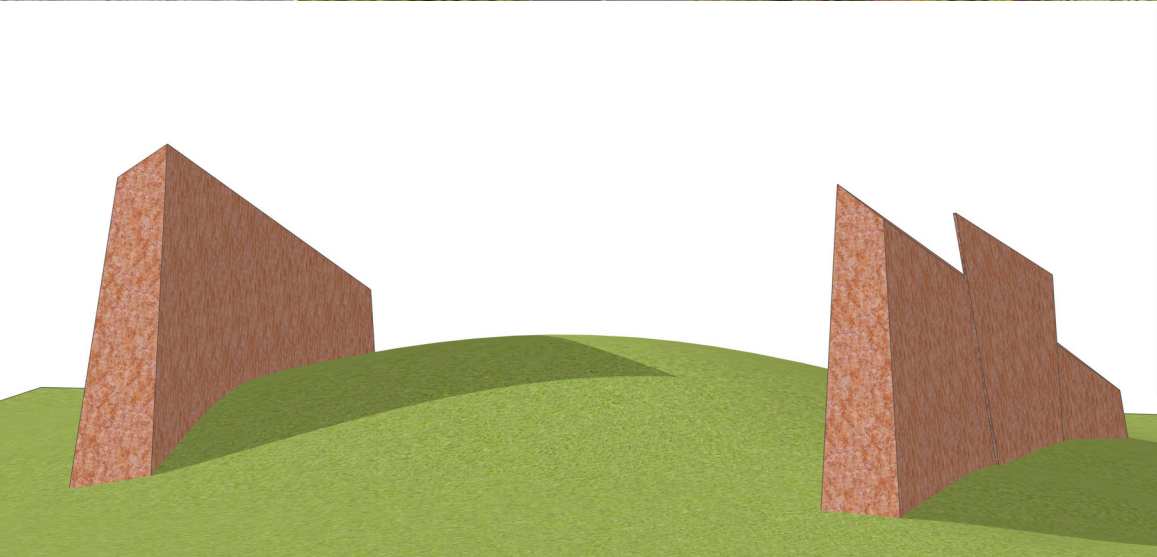


Sandstone spalling mulch (fire resistant surface)



Decomposed granite 'Gold'

ENTRY MARKERS CONCEPT



scape

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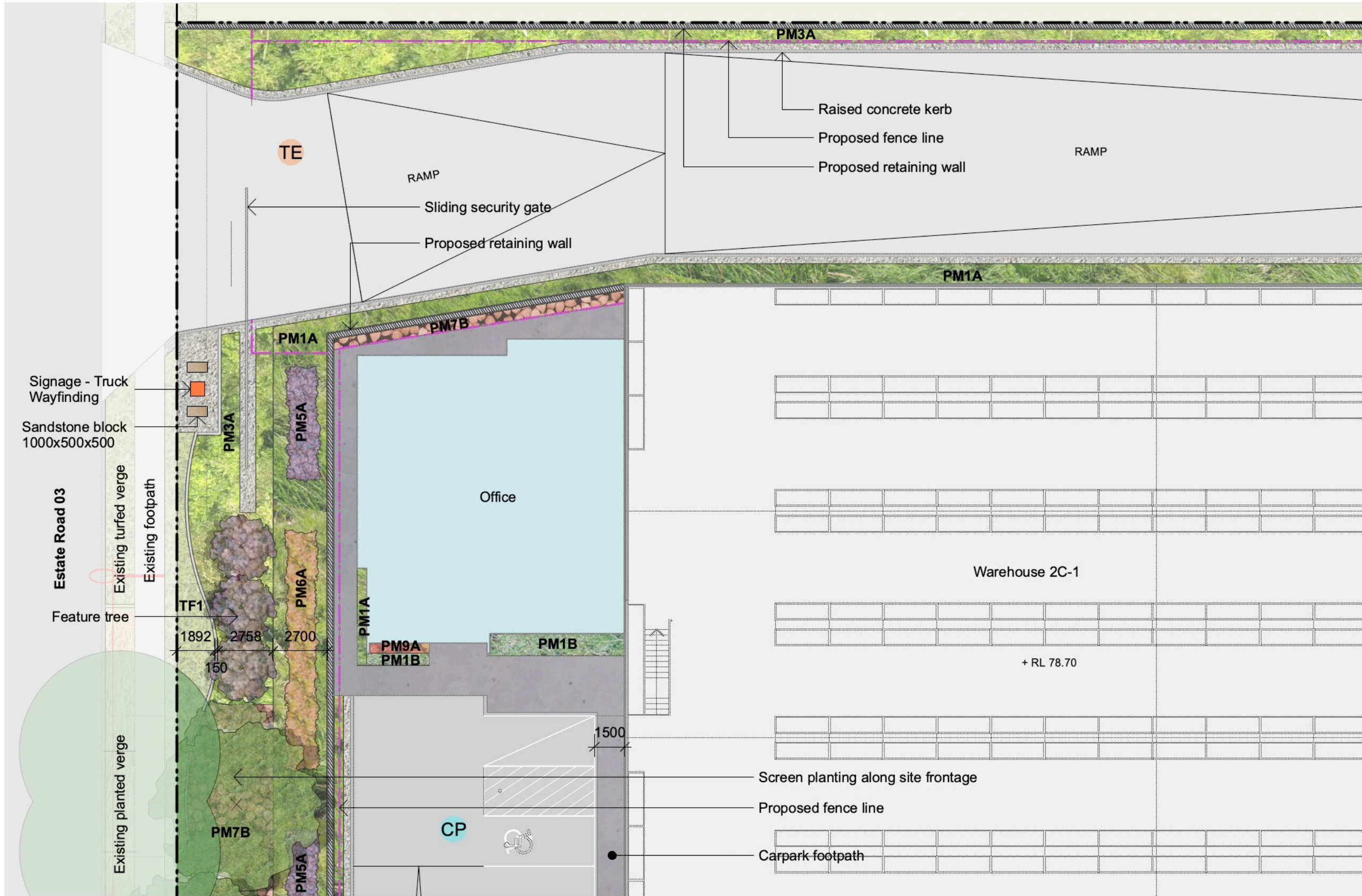
Character & Materials

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project no.	163-18
project phase	Development Application

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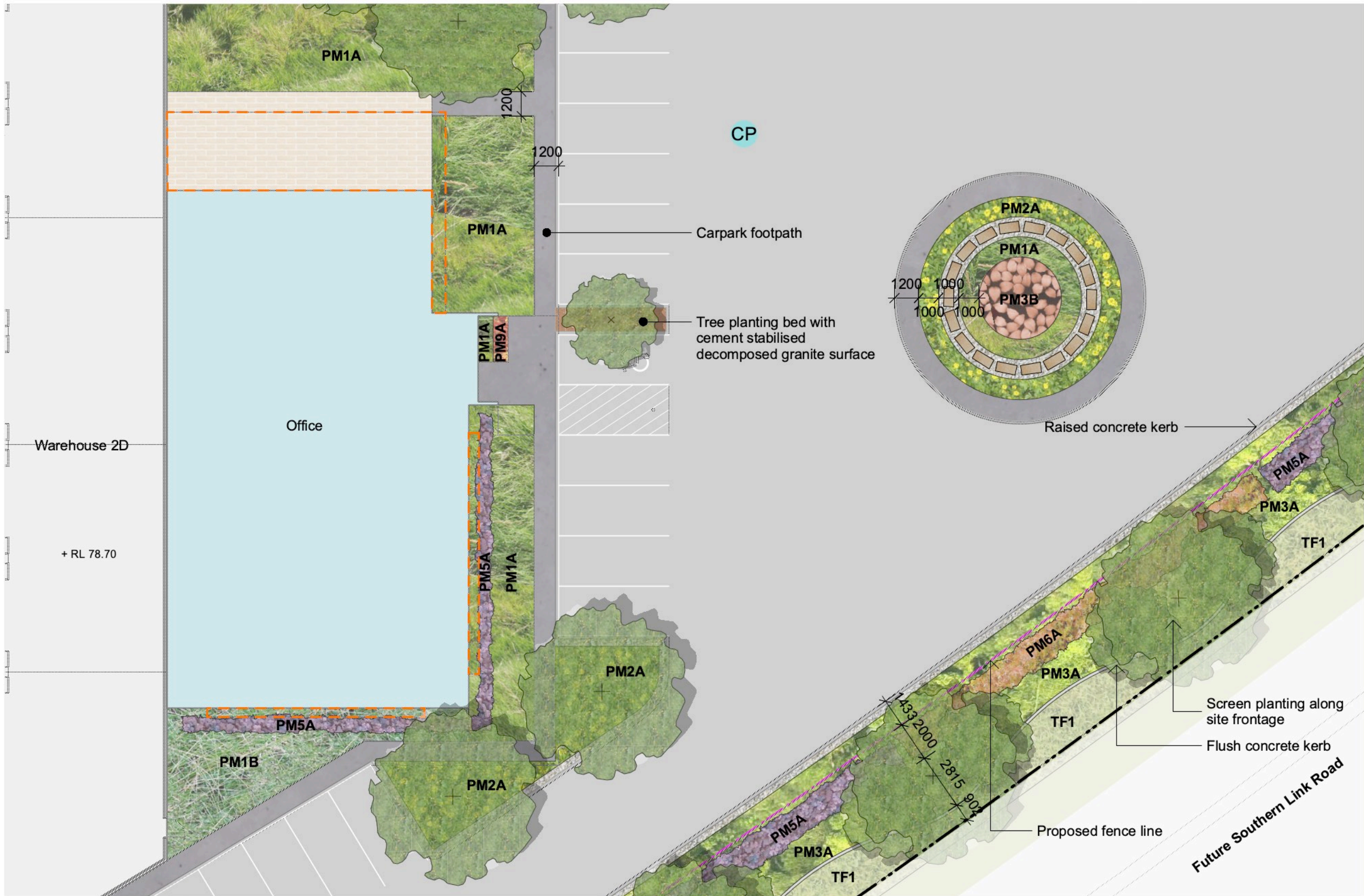




03 Entry Marker - Warehouse 2C-1  
Detail Plan - Scale 1:200 @ A1



04 Site Marker - Warehouse 2C-2  
Detail Plan - Scale 1:200 @ A1



05 Car Park - Warehouse 2D  
Detail Plan - Scale 1:200 @ A1

Landscape Design Statement - SSD 9794683

The landscape design prepared for Oakdale West Estate - Lots 2A, 2C and 2D, aim to expand on previous individual lot design within Oakdale West, reinforcing a consistent and robust landscape character, adhering to the high standard this development aims to achieve.

Positioned central to the whole Oakdale West Precinct, Lots 2A, 2C and 2D will use over 300 native and exotic trees, which seek to ensure all large expanses of built form, parking and utility areas are appropriately screened by vegetation, whilst ensuring adequate shade and coverage is provided to the hardstand below. Permeable surfaces of planting, low maintenance turf and gravel, will be maximised in order to reduce run-off. Plant typologies implemented are to be low maintenance and drought resistant, ensuring all new landscaped areas are water sensitive and tolerant of the harsh Western Sydney climate. With the utilisation of water sensitive elements in carparks such as stratacell soil structure systems or similar, the large amounts of carpark hardscape will be broken up with significant tree planting.

Lots 2A, 2C and 2D falls under Stage 3 of construction, which will already see the completion of the vegetated bund along the Western edge of the estate. This vegetated bund provides large amounts of visual screening, particularly to the sensitive receivers in the West. To further reduce the visual impacts of the development, a noise wall will be installed along the boundary during the Stage 1 works. As Lots 2A, 2C and 2D are central within the Estate, the impact to sensitive receivers will be minimal, hence the focus of screening vegetation has been directed towards internal roads and from other lots, ensuring to soften built elements where possible.

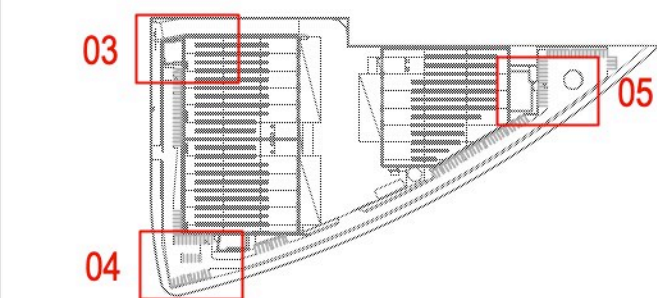
The generous landscape setbacks within Precinct 2 will foster a clustered, yet dense approach to tree planting with native species which is consistent with other on-lot landscape design within Oakdale West. This will further provide visual screening to the immediate neighbours of the site, but also for users of internal roads and footpaths. When combined with the proposed estate streetscape design, large, meaningful strips of canopy trees with mass planting of shrubs and groundcovers will form a dense vegetative screen for the developments. In addition to this, these large trees help provide additional shading and amenity to footpaths and roads, addressing key issues such as urban heat which is prevalent and a key issue within Western Sydney. Once within the site, tall feature trees help define the building edge and reinforce the main pedestrian entry points. Landscape verticality will also be provided through entry markers where possible, which are used at precinct nodes and driveway entry points to establish a network of wayfinding features. These elements reference the cultural history of the site through their materiality and form.

Overall, the planting palette aspires to balance council environmental and planning requirements, while also staying consistent to the high-quality Goodman landscape identity that is reflected throughout each of their estates both in Oakdale and more broadly in Western Sydney. With Goodman taking ownership of the landscape maintenance and on-going care of all landscape areas within Oakdale West Estate, the health and function both during the establishment period and beyond, will be carefully monitored and driven towards a successful and robust outcome.

LEGEND

PROGRAMME		PAVEMENTS	
1	Office		Temporary Recycled Aggregate
2	Entry Feature Trees		Coarse Aggregate
3	Site Marker		Decomposed Granite
4	Accessible Parking		Asphaltic Concrete
5	Waste Enclosure		Insitu Concrete
6	Fire Truck Parking		Precast Concrete
7	Bicycle Racks		Stone Tiles
8	Motorcycle Parking		Feature paving
9	Substations		Rock mulch - sandstone
10	LPG Refueling with 2.4M High Screen		Pram Ramp
11	Hyd Booster	FURNITURE & FITTINGS	
12	Alternating rock mulch beds due to RFS requirements		Proposed Table Setting
13	Clustered tree planting with gaps due to RFS requirements		Proposed Bicycle Racks
CE	Car entry/exit		Proposed Street Lighting
CP	Carparking		Proposed Sleeper Mullion
TE	Truck entry/exit		Proposed Sandstone Block
GENERAL			Gate
	Site Boundary		Signage
	Lot Boundary		Proposed Seating
	Finished Floor Level		Proposed Pergola
	Reduced Level	PLANTING	
	Architecture Above		TF1-General Turf
	Fence Type 1 Refer Arch. dwgs.		TF2-Feature Turf
	Fence Type 2 Refer Arch. dwgs.		PM1A-Car park edge mix-sun
	Building Setback		PM1B-Car park edge mix-shade
	Landscape Setback		PM2A-Car park island mix-sun
	Proposed Ramp		PM2B-Car park island mix-shade
PREPARATION & GROUNDWORKS			PM3A-Site edge mix - sun
	Proposed Stairs		PM4-Site markers mix
	Building		PM5A-Feature planting mix-sun
	Office		PM6A-Site hedge mix-sun
	Services		PM7A-Groundcover mix A
WALLS & EDGES			PM7B-Groundcover mix B
	Steel Edge		PM9A-Climbers mix
	Flush Concrete Kerb	TREES	
	Raised Concrete Kerb		Existing Tree to be Removed Refer ARBORISTS REPORT
	Freestanding Gabion Wall		Existing Tree to be Retained
	Freestanding Insitu Wall		Stage 1 Works - Proposed Tree
	Freestanding Precast Wall		Proposed Tree - General
	Retaining Gabion Wall		Proposed Tree - Entry Marker
	Retaining Insitu Wall		Proposed Tree - Site Marker
	Retaining Precast Wall		
	Steel Wall		

KEY PLAN



SCAPE DESIGN

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PROJECT  
Oakdale West Estate

Kemps Creek, NSW

CLIENT

Goodman Property Services

D	REVIEW & COORDINATION	ZZ	23/11/21
C	REVIEW & COORDINATION	ZZ	19/10/21
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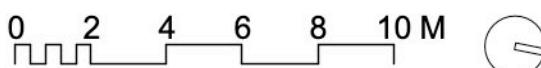
Landscape Detailed Plan  
& Notes - Lot 2C & 2D

scale	1:200@A1
drawn	MF/ZZ
checked	CH
project no.	163-18
project phase	Development Application

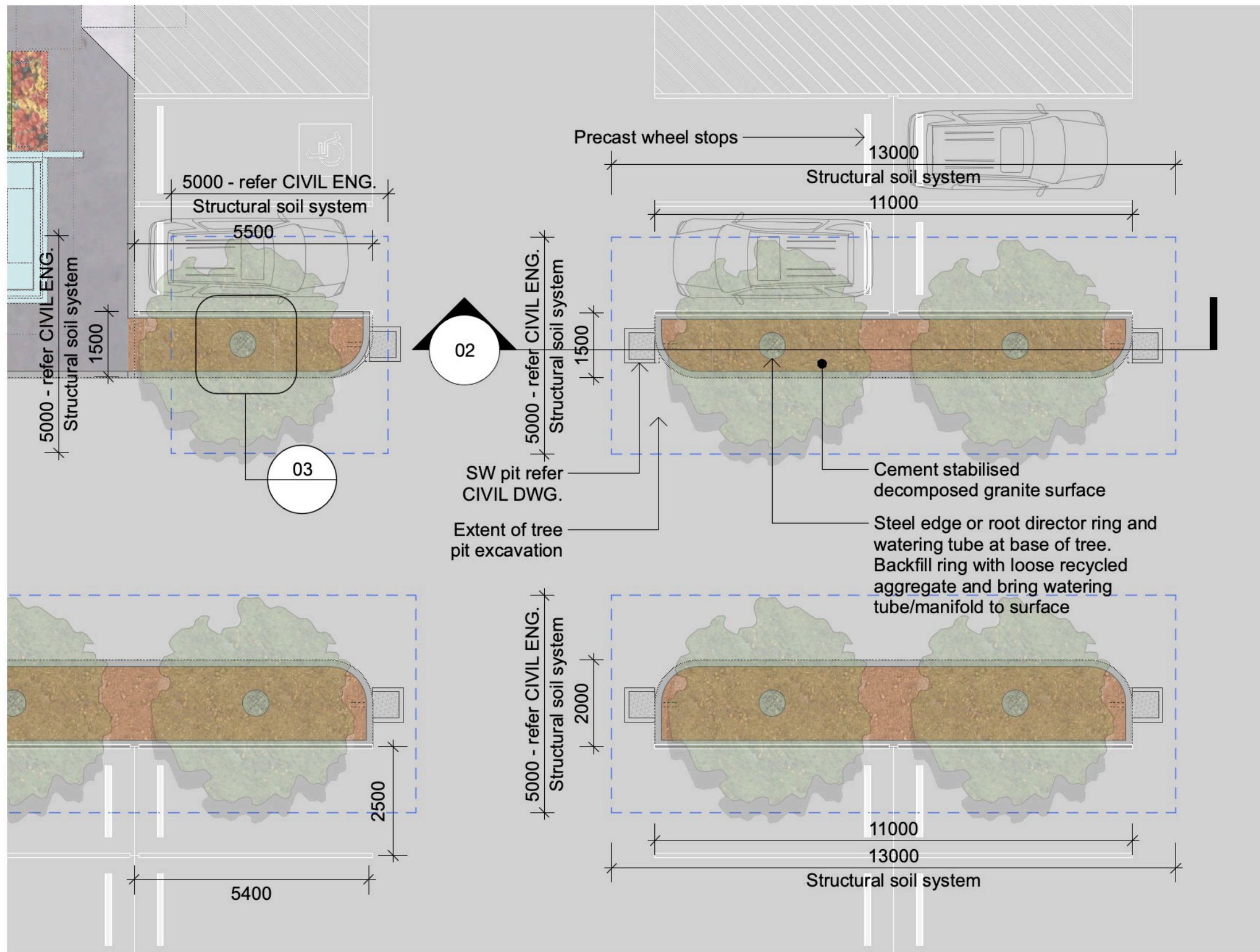
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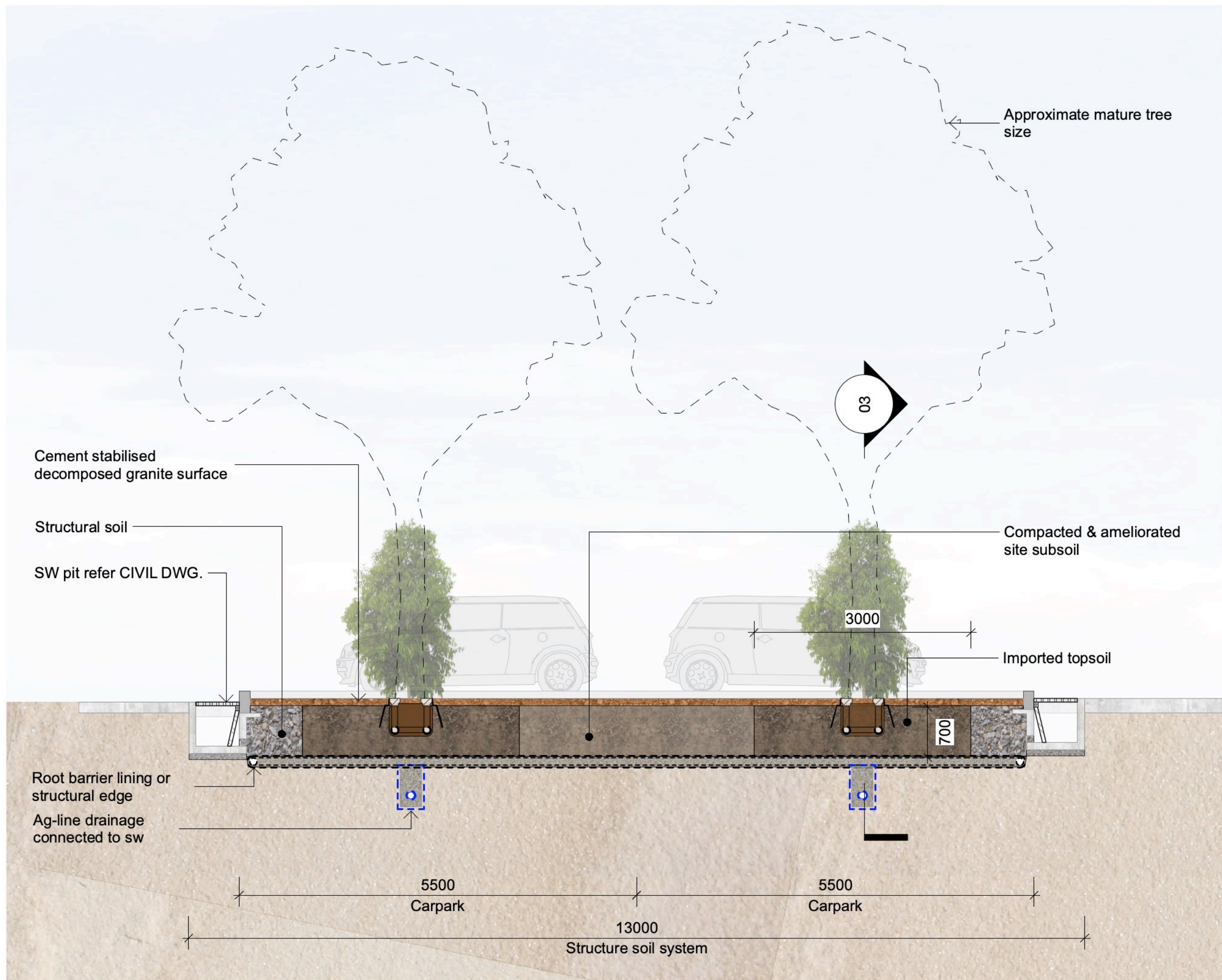
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01 Carpark Tree Pit System  
Detailed Plan - Scale 1:100 @ A1



02 Carpark Tree Pit System  
Detailed Section - Scale 1:50 @ A1

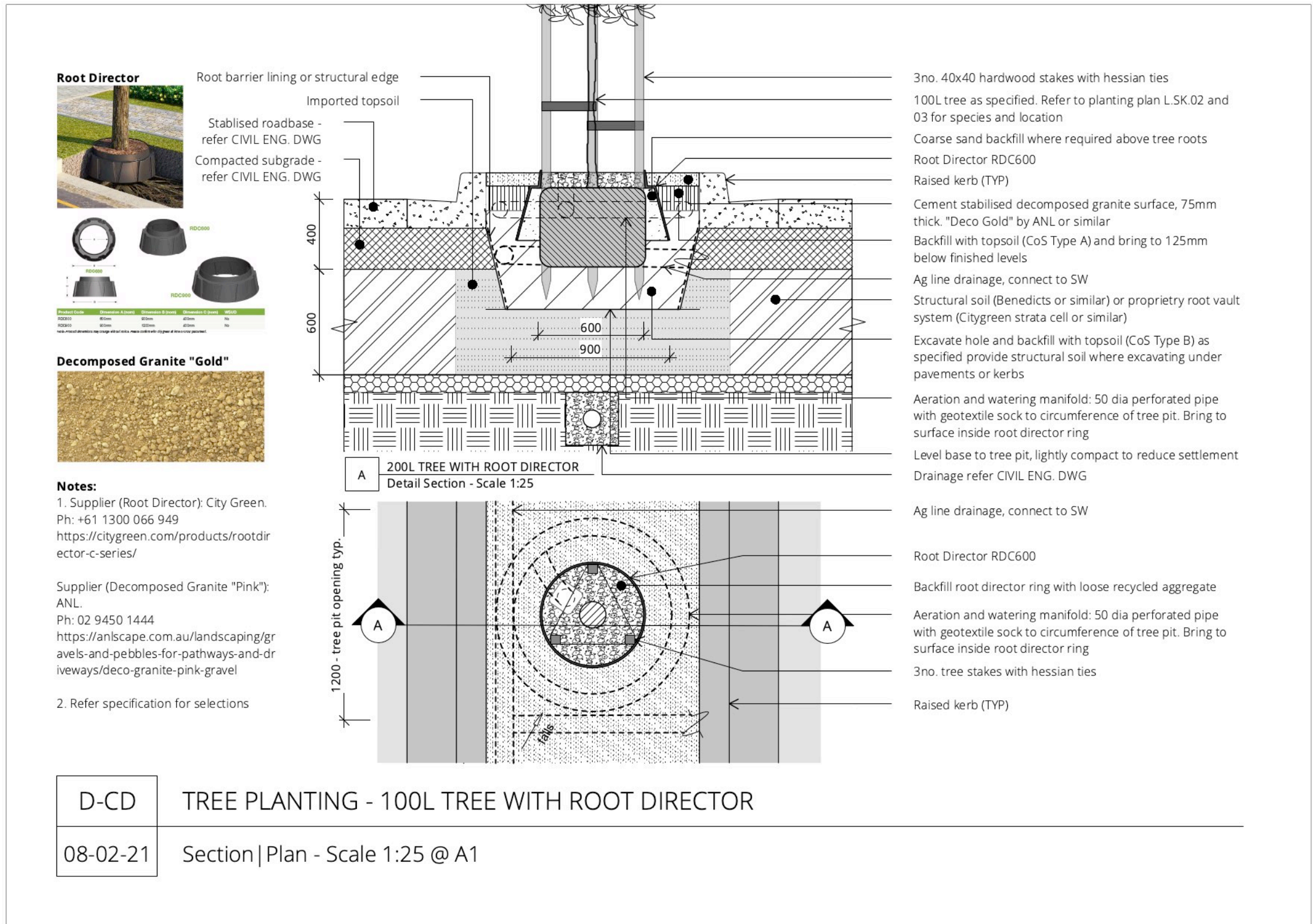
Note: All finished levels subject to change +/- 1000mm.

#### MATERIALS SCHEDULE

Description	Volume
SOIL STRUCTURE SYSTEM - STRATA CELL OR SIMILAR	
Lot 2A	
Type 1B - Soil Structure System 5000x5000mm Paving-Soil Structure System Type 1B	100.0 m3 100.0
Type 3A - Soil Structure System 5000x13000mm Paving-Soil Structure System Type 3A	130.0 m3 130.0
Type 3B - Soil Structure System 5000x13000mm Paving-Soil Structure System Type 3B	780.0 m3 780.0
Lots 2C & 2D	
Type 1A - Soil Structure System 5000x6500mm Paving-Soil Structure System Type 1A	65.0 m3 65.0
Type 1B - Soil Structure System 5000x5000mm Paving-Soil Structure System Type 1B	325.0 m3 325.0
Type 4 - Soil Structure System Triangle Islands Paving-Soil Structure System Type 4	200.1 m3 200.1
Total Area	1600.1 m3

#### NOTES:

Full width of excavated tree pit (3000-3800 W x 6500-13000 W x 1000 D) to be back filled with imported topsoil, ameliorated site soil and structural soil. Provide a minimum of 15m3 of topsoil per tree in car park island beds.



03 Carpark Island Tree  
Detail - Scale 1:25 @ A1

#### LEGEND

##### GENERAL

Structure Below

##### PAVEMENTS

Concrete Insitu Vehicular  
Coarse Aggregate  
Structural Soil  
Decomposed granite

##### WALLS & EDGES

Raised Concrete Kerb

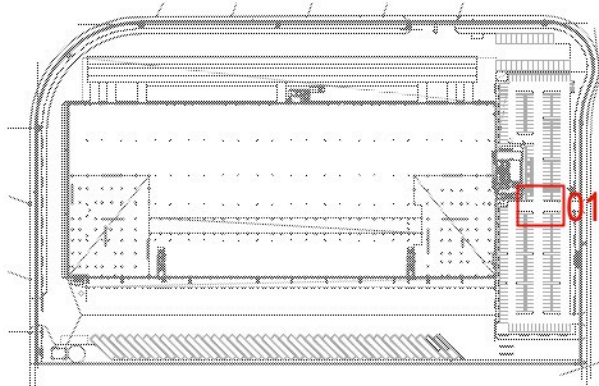
##### FURNITURE & FITTINGS

Precast Wheel Stop

##### TREES

Proposed Tree - General

#### KEY PLAN



**scape** DESIGN

LANDSCAPE ARCHITECTURE  
Address Suite 5, 15 The Corso  
Marilyn NSW 2065  
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email office@sapedesign.com.au  
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Oakdale West Estate

Kemps Creek, NSW

#### CLIENT

Goodman Property Services

F	REVIEW & COORDINATION	ZZ	23/11/21
E	REVIEW & COORDINATION	ZZ	1/11/21
D	REVIEW & COORDINATION	ZZ	19/10/21
C	REVIEW & COORDINATION	ZZ	13/10/21
B	DEVELOPMENT APPLICATION	MF	13/11/20
revision	revision description	by	date

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Do not scale from this drawing.  
Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services.  
Verify service locations prior to commencement.  
Verify all dimensions on site prior to construction.

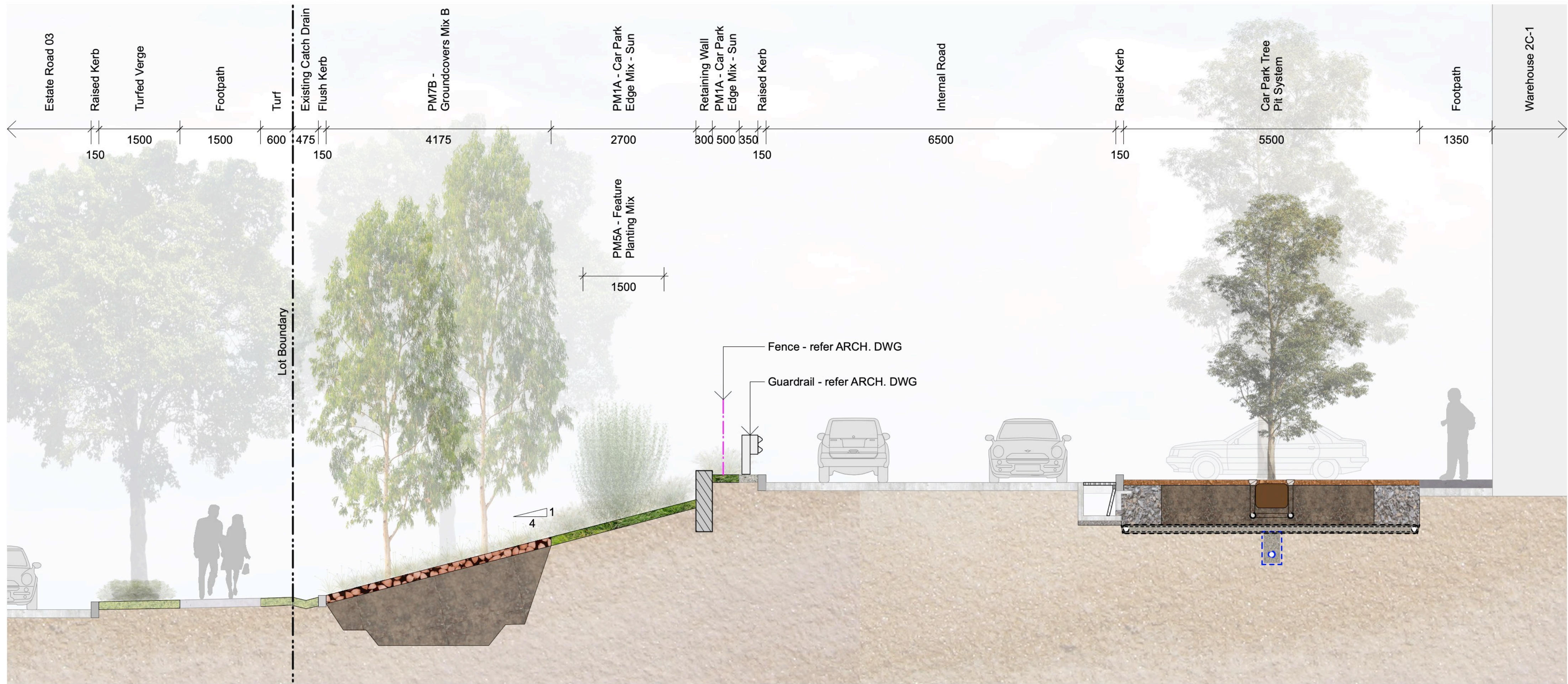
#### Carpark Details

scale 1:100 & 1:50@A1  
drawn MF/ZZ  
checked CH  
project no. 163-18  
project phase Development Application

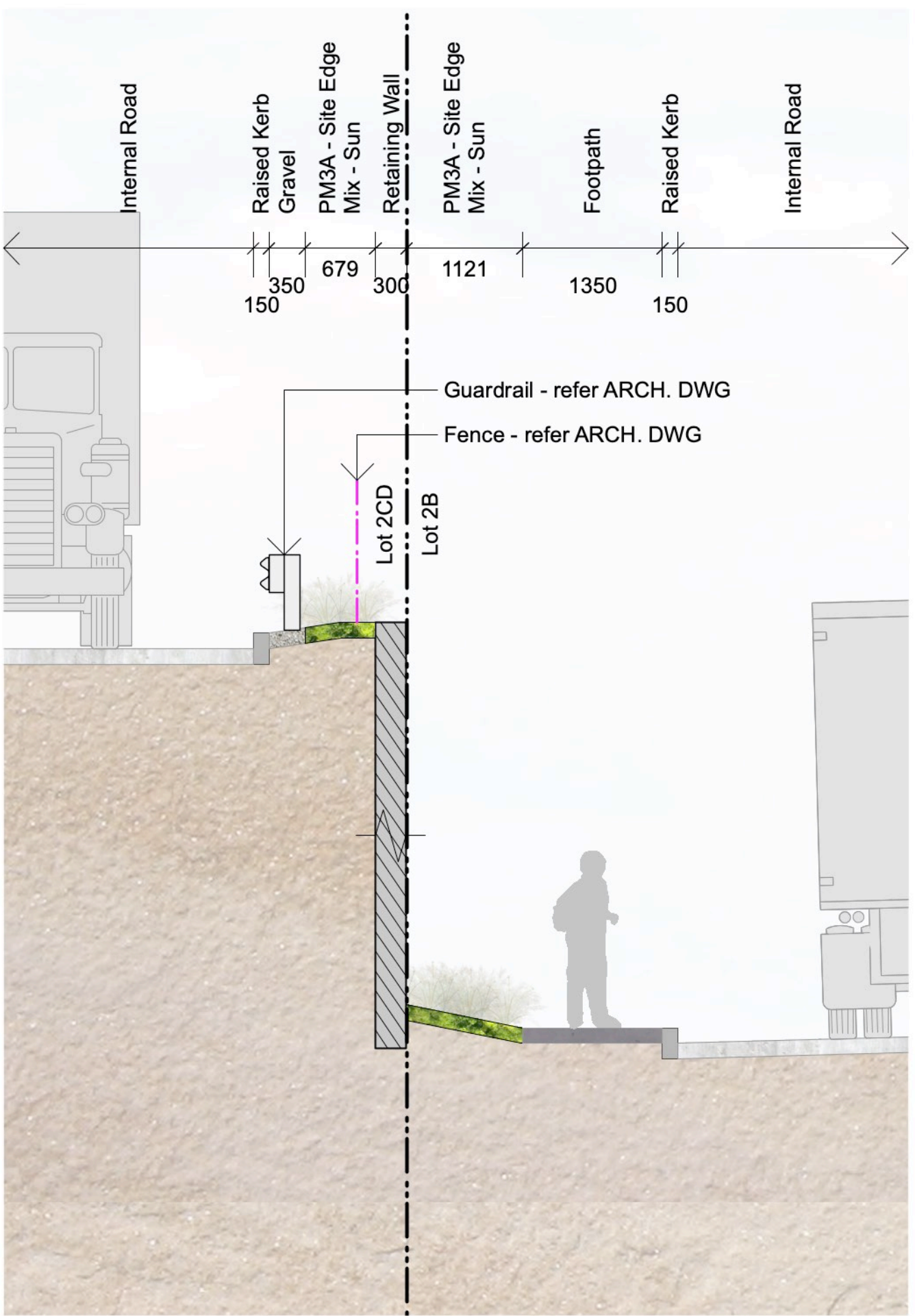
L.SK.200

F

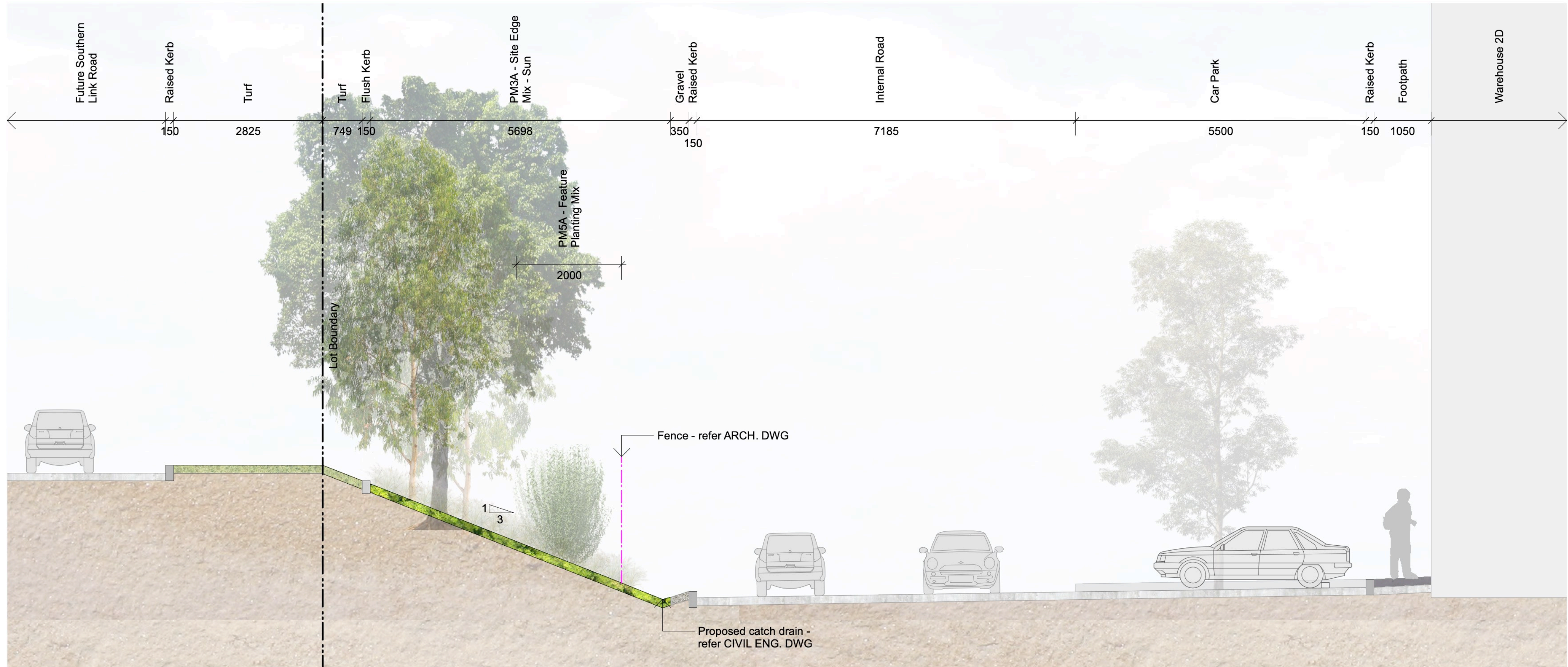




04 Warehouse 2C-1 - Planted Verge and Car Park  
Typical Street Section - Scale 1:50 @ A1

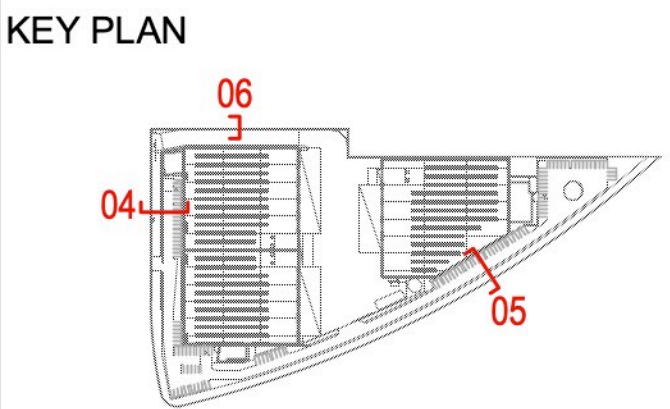


06 Northern Boundary  
Typical Section - Scale 1:50 @ A1



05 Southern Link Road Frontage  
Typical Street Section - Scale 1:50 @ A1

Note: All finished levels subject to change +/- 1000mm.



**scape** DESIGN

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PROJECT  
**Oakdale West Estate**

CLIENT  
**Goodman Property Services**

D	REVIEW & COORDINATION	ZZ	23/11/21
C	REVIEW & COORDINATION	ZZ	19/10/21
B	DEVELOPMENT APPLICATION	MF	13/11/20
A	CLIENT REVIEW	MF	10/11/20

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**Landscape - Typical Street  
Sections - Lot 2C & 2D**

scale 1:50 & 1:100@A1  
drawn MF/ZZ  
checked CH  
project no. 163-18  
project phase Development Application

L.SK.202

D