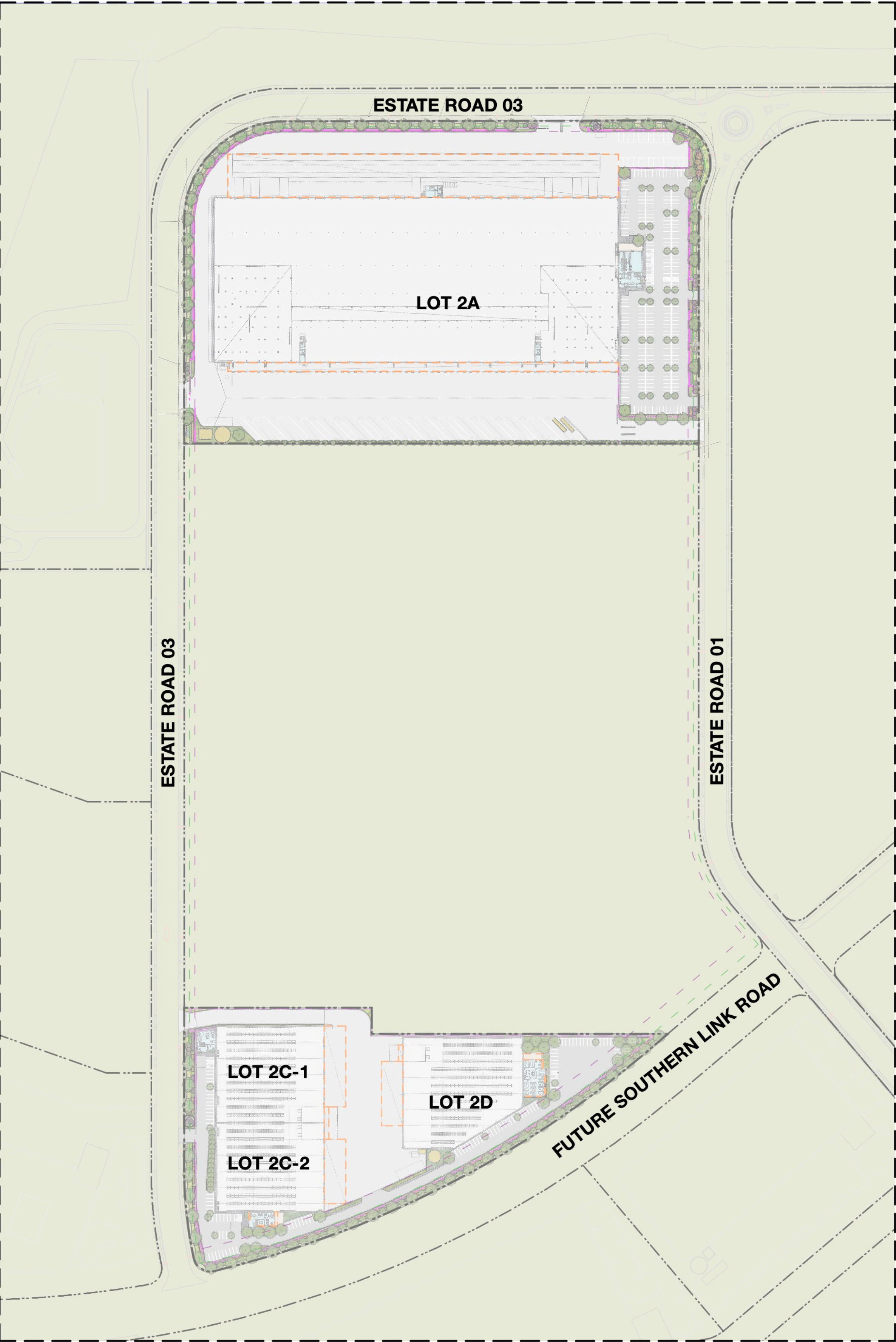
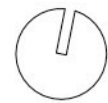


KEY MAP



LANDSCAPE ARCHITECTURE

Address Suite 5, 15 The Corso
Manly NSW 2095
Phone 02 9976 0756
email office@scapedesign.com.au
Web www.scapedesign.com.au

PROJECT

Oakdale West Estate
Lots 2A, 2C and 2D

Kemps Creek, NSW

CLIENT

Goodman Property Services (AUST) PTY LTD

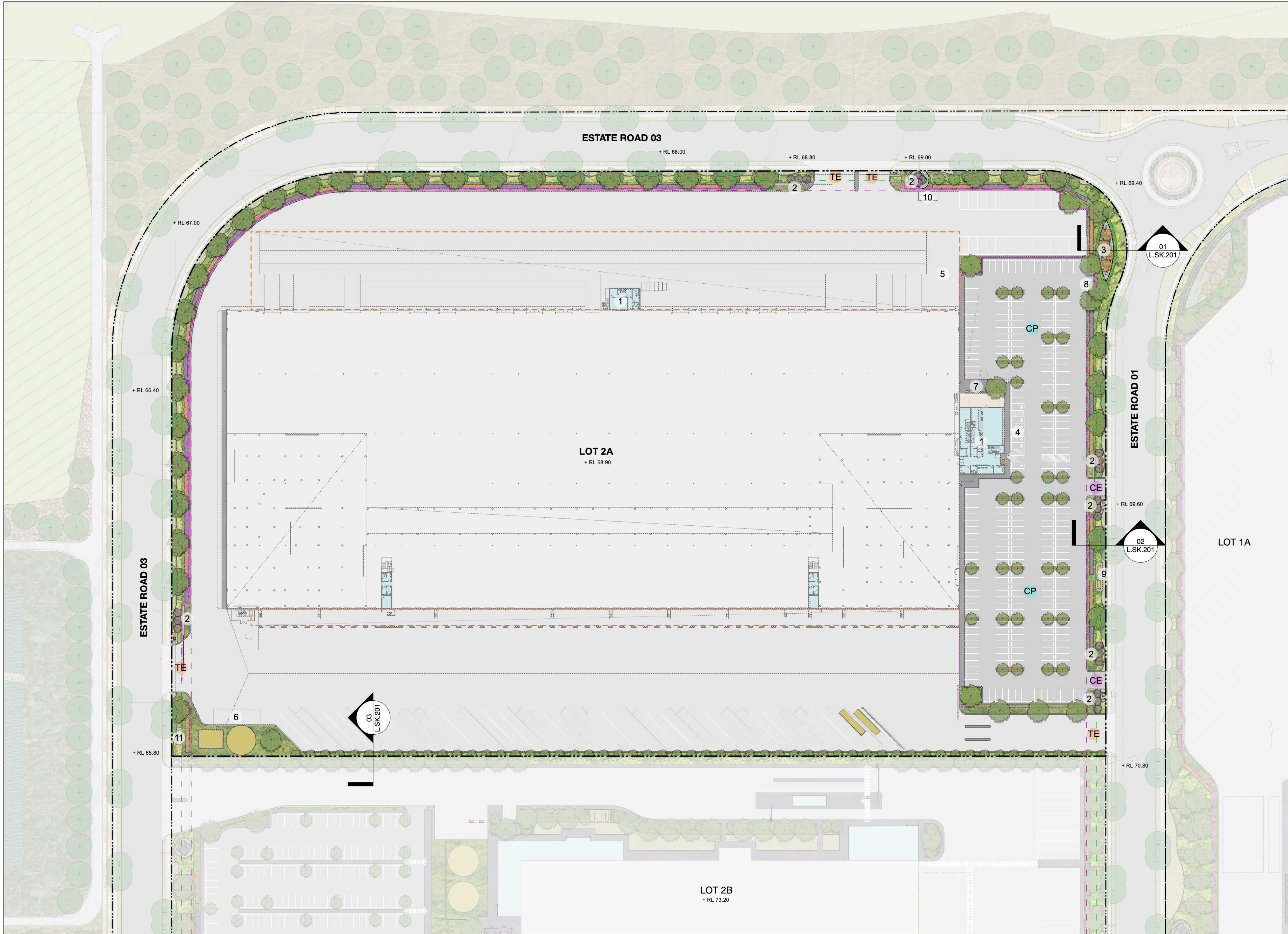
Cover Sheet

PHASE

Development Application
Landscape Drawing Set

TRANSMITTAL

Dwg. Number	Dwg. Name	Revision	Date
L.SK.00	Cover Sheet	G	1/11/21
L.SK.01	Landscape Sketch Plan - Lot 2A	F	1/11/21
L.SK.02	Landscape Sketch Plan - Lot 2C & 2D	D	19/10/21
L.SK.03	Planting Plan - Lot 2A	F	1/11/21
L.SK.04	Planting Plan - Lot 2C & 2D	D	19/10/21
L.SK.05	Planting Schedule - Lot 2A	F	1/11/21
L.SK.06	Planting Schedule - Lot 2C & 2D	D	19/10/21
L.SK.07	Character & Materials	D	13/10/21
L.SK.105	Landscape - Detailed Plan & Notes - Lot 2A	F	1/11/21
L.SK.106	Landscape - Detailed Plan & Notes - Lot 2C & 2D	C	19/10/21
L.SK.200	Carpark Details	E	1/11/21
L.SK.201	Landscape - Typical Street Sections - Lot 2A	E	1/11/21
L.SK.202	Landscape - Typical Street Sections - Lot 2C & 2D	C	19/10/21



LEGEND		
PROGRAMME		PAVEMENTS
1	Office	Temporary Recycled Aggregate
2	Entry Feature Trees	Coarse Aggregate
3	Site Marker	Decomposed Granite
4	Accessible Parking	Asphaltic Concrete
5	Waste Enclosure	Insitu Concrete
6	Fire Truck Parking	Precast Concrete
7	Bicycle Racks	Stone Tiles
8	Motorcycle Parking	Feature paving
9	Substations	Pram Ramp
10	LPG Refueling with 2.4M High Screen	FURNITURE & FITTINGS
11	Hyd Booster	
CE	Car entry/exit	Proposed Table Setting
CP	Carparking	Proposed Bicycle Racks
TE	Truck entry/exit	Proposed Street Lighting
GENERAL		Proposed Sleeper Mullion
---	Site Boundary	Proposed Sandstone Block
---	Lot Boundary	Gate
+ FFL 562.00	Finished Floor Level	Signage
+ RL 562.00	Reduced Level	Proposed Seating
---	Architecture Above	Proposed Pergola
---	Chain Mesh Fence Refer Arch. dwgs.	PLANTING
---	Palisade Fence Refer Arch. dwgs.	
---	Building Setback	TF1-General Turf
---	Landscape Setback	TF2-Feature Turf
---	Proposed Ramp	PM1A-Car park edge mix-sun
---	Proposed Stairs	PM1B-Car park edge mix-shade
---	Building	PM2A-Car park island mix-sun
---	Office	PM2B-Car park island mix-shade
---	Services	PM3A-Site edge mix - sun
WALLS & EDGES		PM4-Site markers mix
---	Steel Edge	PM5A-Feature planting mix-sun
---	Flush Concrete Kerb	PM6A-Site hedge mix-sun
---	Raised Concrete Kerb	PM7A-Groundcover mix A
---	Freestanding Gabion Wall	PM7B-Groundcover mix B
---	Freestanding Insitu Wall	PM9A-Climbers mix
---	Freestanding Precast Wall	TREES
---	Retaining Gabion Wall	
---	Retaining Insitu Wall	Existing Tree to be Removed Refer ARBORISTS REPORT
---	Retaining Precast Wall	Existing Tree to be Retained
---	Steel Wall	Stage 1 Works - Proposed Tree

scapeDESIGN

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PROJECT
Oakdale West Estate

Kemps Creek, NSW

CLIENT
Goodman Property Services

F	REVIEW & COORDINATION	ZZ	1/11/21
E	REVIEW & COORDINATION	ND	15/10/21
D	REVIEW & COORDINATION	ZZ	13/10/21
C	REVISED ENTRY & CARPARK	ZZ	23/4/21
B	DEVELOPMENT APPLICATION	MF	13/11/20
revision	revision description	by	date

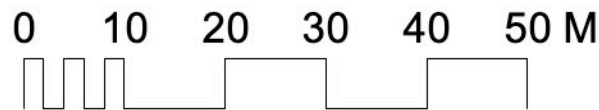
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Landscape Sketch Plan - Lot 2A

scale	1:750@A1
drawn	MF/ZZ
checked	CH
project no.	163-18
project phase	Development Application

L.SK.01 F

Note: All finished levels subject to change +/- 1000mm.





LEGEND

PROGRAMME		PAVEMENTS	
1	Office		Temporary Recycled Aggregate
2	Entry Feature Trees		Coarse Aggregate
3	Site Marker		Decomposed Granite
4	Accessible Parking		Asphaltic Concrete
5	Waste Enclosure		Insitu Concrete
6	Fire Truck Parking		Precast Concrete
7	Bicycle Racks		Stone Tiles
8	Motorcycle Parking		Feature paving
9	Substations		Pram Ramp
10	LPG Refueling with 2.4M High Screen		
11	Hyd Booster		
CE	Car entry/exit		
CP	Carparking		
TE	Truck entry/exit		
GENERAL		FURNITURE & FITTINGS	
	Site Boundary		Proposed Table Setting
	Lot Boundary		Proposed Bicycle Racks
			Proposed Street Lighting
			Proposed Sleeper Mullion
			Proposed Sandstone Block
			Gate
			Signage
			Proposed Seating
			Proposed Pergola
PLANTING			
	Architecture Above		TF1-General Turf
	Chain Mesh Fence Refer Arch. dwgs.		TF2-Feature Turf
	Palisade Fence Refer Arch. dwgs.		PM1A-Car park edge mix-sun
	Building Setback		PM1B-Car park edge mix-shade
	Landscape Setback		PM2A-Car park island mix-sun
	Proposed Ramp		PM2B-Car park island mix-shade
	Proposed Stairs		PM3A-Site edge mix - sun
	Building		PM4-Site markers mix
	Office		PM5A-Feature planting mix-sun
	Services		PM6A-Site hedge mix-sun
			PM7A-Groundcover mix A
			PM7B-Groundcover mix B
			PM9A-Climbers mix
WALLS & EDGES			
	Steel Edge		
	Flush Concrete Kerb		
	Raised Concrete Kerb		
	Freestanding Gabion Wall		
	Freestanding Insitu Wall		
	Freestanding Precast Wall		
	Retaining Gabion Wall		
	Retaining Insitu Wall		
	Retaining Precast Wall		
	Steel Wall		
TREES			
	Existing Tree to be Removed Refer ARBORISTS REPORT		
	Existing Tree to be Retained		
	Stage 1 Works - Proposed Tree		
	Proposed Tree - General		
	Proposed Tree - Entry Marker		
	Proposed Tree - Site Marker		

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D	REVIEW & COORDINATION	ZZ	19/10/21
C	REVISED ENTRY & CARPARK	ZZ	23/4/21
B	DEVELOPMENT APPLICATION	MF	13/11/20
A	CLIENT REVIEW	MF	10/11/20

revision revision description by date
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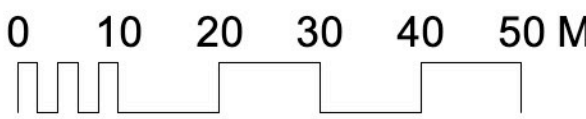
Landscape Sketch Plan - Lot 2C & 2D

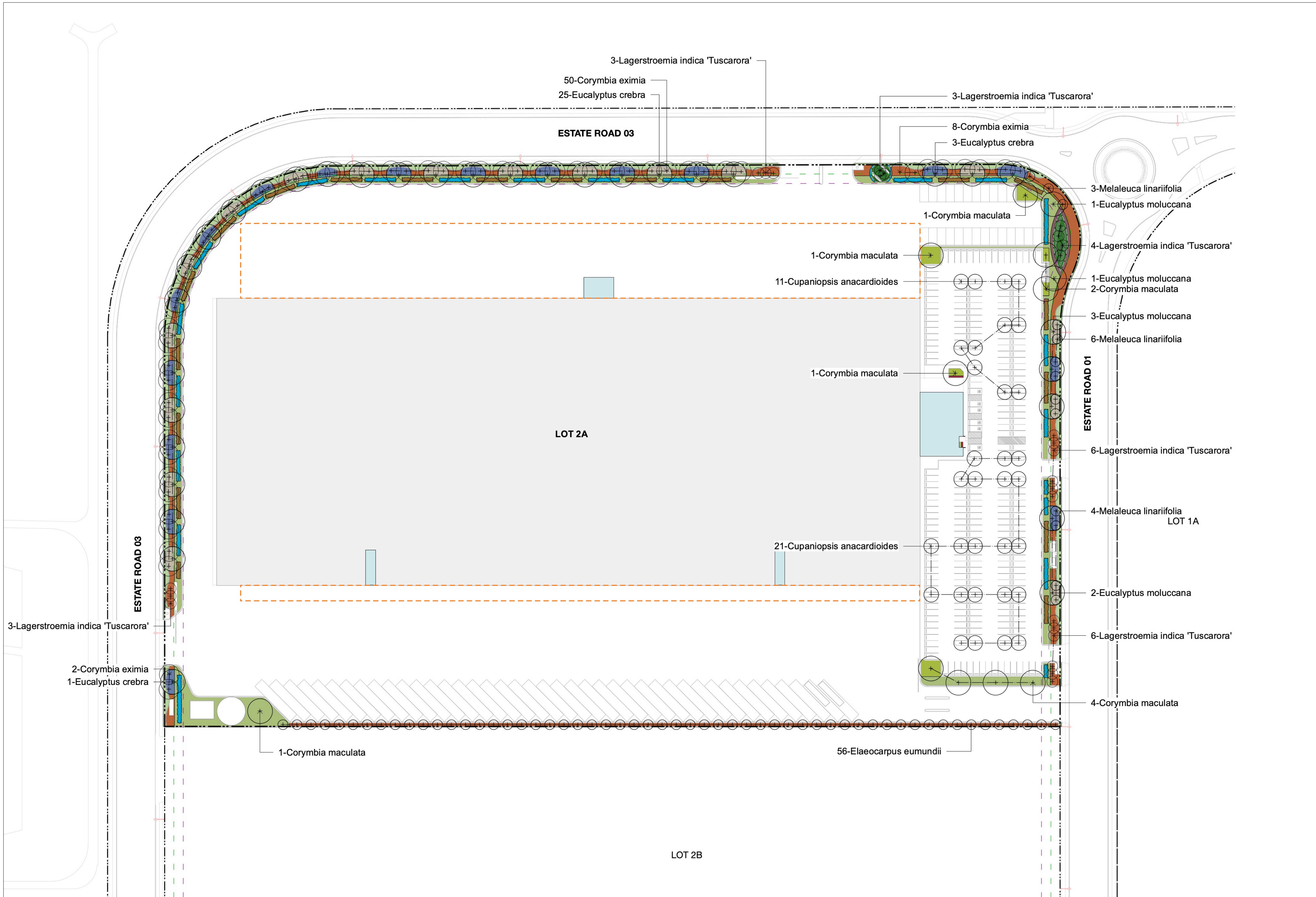
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checked CH
project no. 163-18
project phase Development Application

L.SK.02

D

Note: All finished levels subject to change +/- 1000mm.





LEGEND

PLANTING

- TF1-General Turf
- TF2-Feature Turf
- PM1A-Car park edge mix - sun
- PM1B-Car park edge mix - shade
- PM2A-Car park island mix - sun
- PM3A-Site edge mix low - sun
- PM4-Site markers mix
- PM5A-Feature planting mix
- PM6A-Site hedge mix - sun
- PM7A-Groundcover mix A
- PM7B-Groundcover mix B
- PM9A-Climbers mix
- Proposed tree/specimen plant

scape DESIGN

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E	REVIEW & COORDINATION	ND	15/10/21
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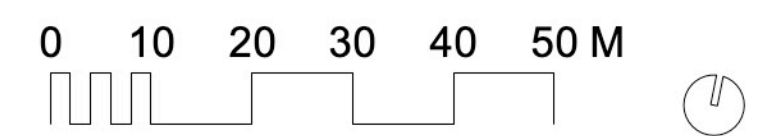
Planting Plan - Lot 2A

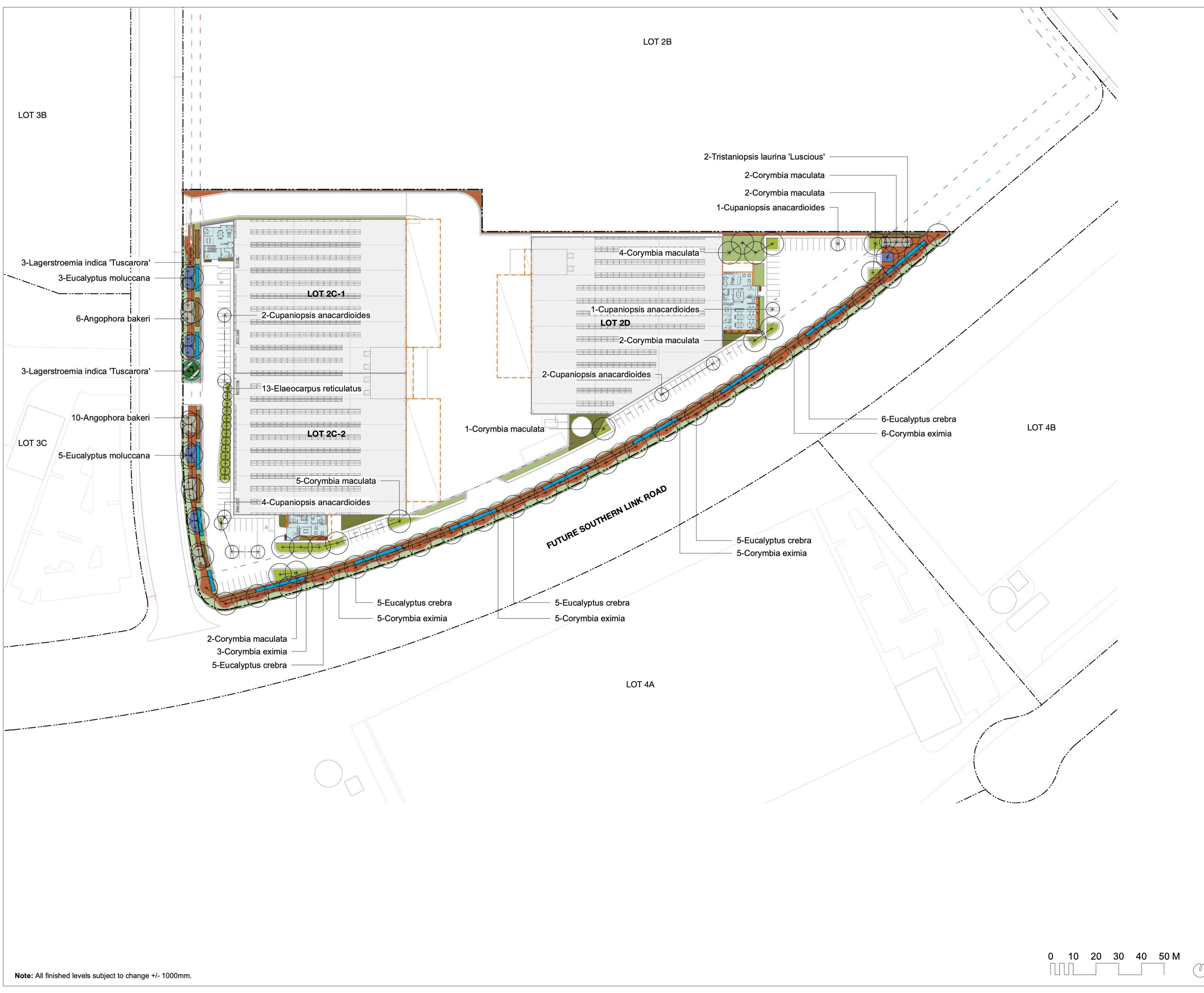
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project no. 163-18
project phase Development Application

L.SK.03

F

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LEGEND

PLANTING

TF1-General Turf

TF2-Feature Turf

PM1A-Car park edge mix - sun

PM1B-Car park edge mix - shade

PM2A-Car park island mix - sun

PM3A-Site edge mix low - sun

PM4-Site markers mix

PM5A-Feature planting mix

PM6A-Site hedge mix - sun

PM7A-Groundcover mix A

PM7B-Groundcover mix B

PM9A-Climbers mix

Proposed tree/specimen plant

scape DESIGN

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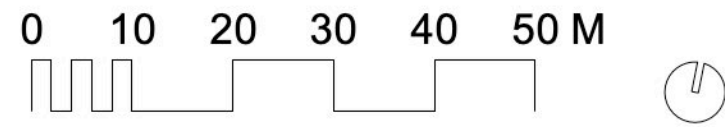
D	REVIEW & COORDINATION	ZZ	19/10/21
C	REVISED ENTRY & CARPARK	ZZ	23/4/21
B	DEVELOPMENT APPLICATION	MF	13/11/20
A	CLIENT REVIEW	MF	10/11/20
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Planting Plan - Lot 2C & 2D

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project no.	163-18
project phase	Development Application

Note: All finished levels subject to change +/- 1000mm.



PLANTING SCHEDULE - LOT 2A

	Botanical Name	Common Name	Height (m)	Spread (m)	Pot Size	Rate (m2)	
Trees	<i>Corymbia eximia</i>	Yellow Bloodwood	12.0	8.0	75L	As Shown	
	<i>Corymbia maculata</i>	Spotted Gum	30.0	10.0	75L	As Shown	
	<i>Cupaniopsis anacardioides</i>	Tuckeroo	12.0	6.0	75L	As Shown	
	<i>Elaeocarpus eumundii</i>	Eumundi Quandong	10.0	4.0	75L	As Shown	
	<i>Eucalyptus crebra</i>	Narrow leaved Ironbark	30.0	10.0	75L	As Shown	
	<i>Eucalyptus moluccana</i>	Grey Box	25.0	10.0	75L	As Shown	
	<i>Lagerstroemia indica</i> 'Tuscarora'	Tuscarora Crepe Myrtle	6.0	4.5	200L	As Shown	
	<i>Melaleuca linariifolia</i>	Snow-in-Summer	10.0	4.0	75L	As Shown	
	PM1A - Car Park Edge Mix - Sun					Area =	1755 sq.m
	<i>Callistemon viminalis</i> 'Little John'	Little John Bottlebrush	0.6	0.8	140mm	2	
PM2A - Car Park Island Mix - Sun	<i>Pennisetum alopecuroides</i> 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	1	
	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.9	0.3	140mm	2	
						Area =	191 sq.m
	<i>Carex appressa</i>	Tall Sedge	0.7	0.5	140mm	2	
	<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	2	
	<i>Nandina domestica</i> 'Gulf Stream'	Dwarf Sacred Bamboo	0.8	0.8	140mm	2	
	<i>Pennisetum alopecuroides</i> 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	1	
						Area =	1368 sq.m
	PM3A - Site Edge Mix Low - Sun						
	<i>Callistemon viminalis</i> 'Great Balls of Fire'	Bottlebrush	2.0	2.0	140mm	1	
PM4 - Site Markers Mix	<i>Callistemon viminalis</i> 'White Anzac'	Bottlebrush	1.0	2.0	140mm	1	
	<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	2	
	<i>Pennisetum alopecuroides</i> 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	1	
						Area =	65 sq.m
	<i>Nandina domestica</i> 'Gulf Stream'	Dwarf Sacred Bamboo	0.8	0.8	140mm	2	
	<i>Pennisetum alopecuroides</i> 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	1	
						Area =	343 sq.m
	PM5A - Feature Planting Mix						
	<i>Doryanthes excelsa</i>	Gymea Lily	2.0	1.5	200mm	2	
	<i>Loropetalum chinense rubrum</i> 'China Pink'	Chinese Fringe Flower	1.5	1.5	200mm	2	
PM6A - Site Hedge Mix - Sun	<i>Photinia x fraseri</i> 'Red Robin'	Red Robin	3.0	2.0	200mm	1	
						Area =	414 sq.m
	<i>Acmena smithii</i> 'Hot Flush'	Lilly Pilly	4.0	2.0	300mm	1	
	<i>Metrosideros thomasi</i>	New Zealand Christmas Bush	4.0	4.0	300mm	1	
	<i>Rhaphiolepis indica</i> 'Oriental Pearl'	Oriental Pearl Indian Hawthorn	1.0	1.0	300mm	2	
	<i>Rhaphiolepis indica</i> 'Snow Maiden'	Snow Maiden Indian Hawthorn	0.5	1.0	300mm	2	
						Area =	540 sq.m
	PM7A - Groundcovers Mix A						
	<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	2	
						Area =	545 sq.m
PM7B - Groundcovers Mix B	<i>Trachelospermum jasminoides</i> 'tricolor'	Tricolor Star Jasmine	0.5	1.0	140mm	2	
						Area =	7 sq.m
	PM9A - Climbers Mix						
	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.9	0.3	140mm	2	
						Area =	1065 sq.m
	TF1 - General Turf						
	<i>Stenotaphrum secundatum</i> 'Sir Walter'	Sir Walter Buffalo			Turf Roll		
						Area =	133 sq.m
	TF2 - Feature Turf (Planted)						
	<i>Zoysia tenuifolia</i>	No-Mow Grass/Velvet Grass			200mm		

NOTE:
1. Mass planting to be undertaken in large groupings of the same species to approval of landscape architect.
2. Hedging species are to be set out in linear arrangements of same species to approval of landscape architect.
3. All planting and turf areas to be irrigated with subsurface drip line. Refer to the Oakdale West Estate Landscape Management Plan and Goodman Landscape Guidelines for further information

PLANTING PALETTE

Trees



Corymbia eximia



Corymbia maculata



Cupaniopsis anacardioides



Elaeocarpus eumundii



Eucalyptus crebra



Eucalyptus moluccana



Lagerstroemia indica 'Tuscarora'



Melaleuca linariifolia

PM1A - Car Park Edge Mix - Sun

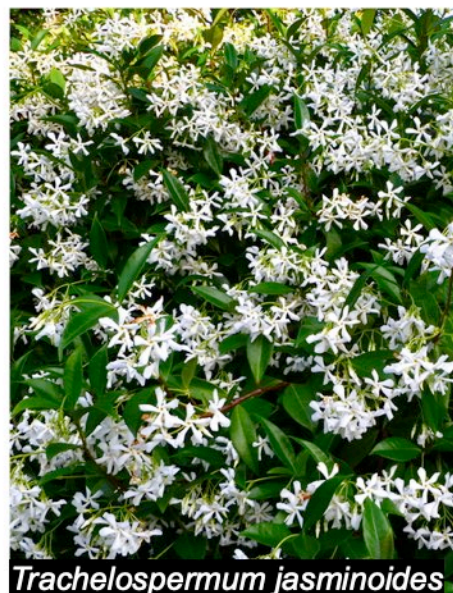


Callistemon viminalis 'Little John'

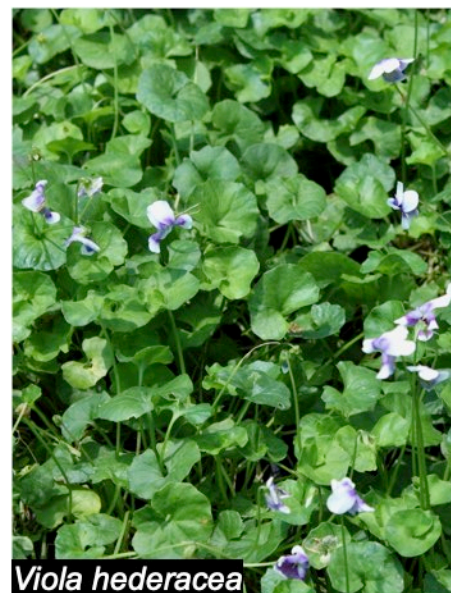


Pennisetum alopecuroides 'Nafray'

PM1B - Car Park Edge Mix - Shade



Trachelospermum jasminoides



Viola hederacea

PM2A - Car Park Island Mix - Sun



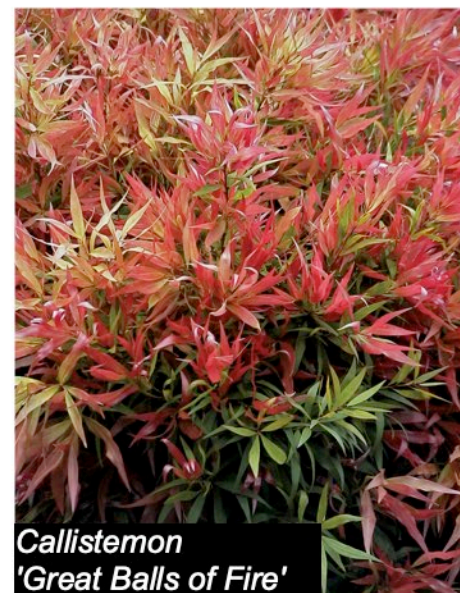
Carex appressa

PM2A - Car Park Island Mix - Sun

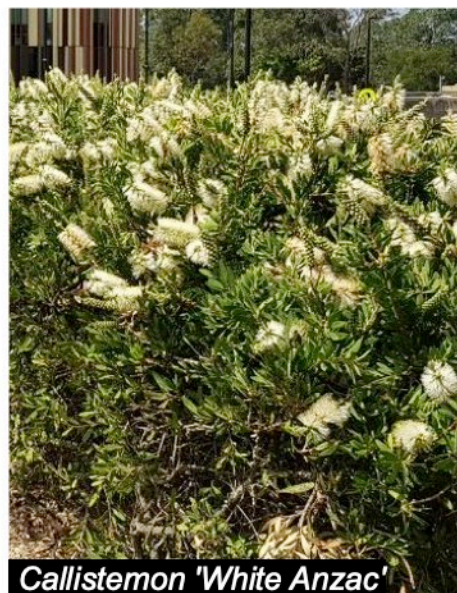


Nandina domestica 'Gulf Stream'

PM3A - Site Edge Mix Low - Sun



Callistemon 'Great Balls of Fire'



Callistemon 'White Anzac'

PM4-Site Markers Mix



Nandina 'Gulf Stream'

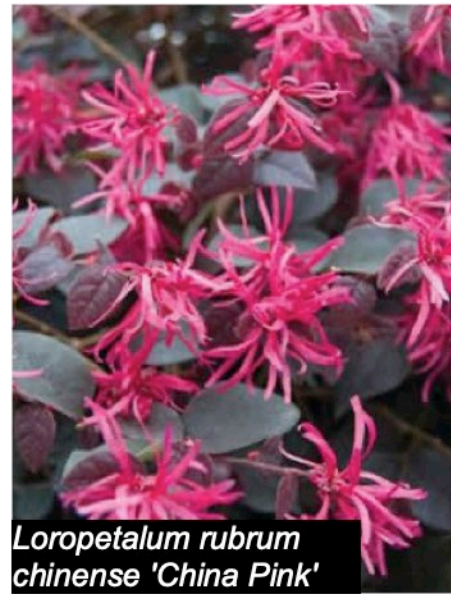


Pennisetum alopecuroides 'Nafray'

PM5A - Feature Planting Mix



Doryanthes excelsa



Loropetalum rubrum chinense 'China Pink'



Photinia x fraseri 'Red Robin'

PM6A - Site Hedge Mix - Sun



Acmena smithii 'Hot Flush'



Metrosideros thomsonii



Rhaphiolepis indica 'Oriental Pearl'

PM7A - Groundcovers Mix A



Gazania tomentosa

PM7B - Groundcovers Mix B



Trachelospermum jasminoides 'Tricolour'

PM9A - Climbers Mix



Trachelospermum jasminoides

TF1 - General Turf



Stenotaphrum secundatum 'Sir Walter'

TF2 - Feature Turf



Zoysia tenuifolia



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Planting Schedule - Lot 2A

scale NTS
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project phase Development Application

L.SK.05

F

PLANTING SCHEDULE - LOT 2C & 2D

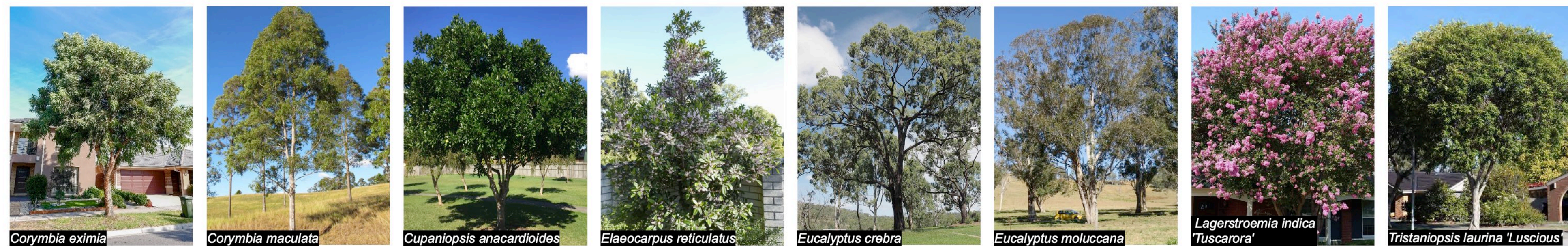
	Botanical Name	Common Name	Height (m)	Spread (m)	Pot Size	Rate (m2)
Trees	<i>Angophora bakeri</i>	Narrow-leaved Apple	12.0	6.0	75L	As Shown
	<i>Corymbia eximia</i>	Yellow Bloodwood	12.0	8.0	75L	As Shown
	<i>Corymbia maculata</i>	Spotted Gum	30.0	10.0	75L	As Shown
	<i>Cupaniopsis anacardioides</i>	Tuckeroo	12.0	6.0	75L	As Shown
	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	7.0	4.0	75L	As Shown
	<i>Eucalyptus crebra</i>	Narrow leaved Ironbark	30.0	10.0	75L	As Shown
	<i>Eucalyptus moluccana</i>	Grey Box	25.0	10.0	75L	As Shown
	<i>Lagerstroemia indica 'Tuscarora'</i>	Tuscarora Crepe Myrtle	6.0	4.5	200L	As Shown
	<i>Tristanopsis laurina 'Luscious'</i>	Water Gum	12.0	5.0	75L	As Shown
PM1A - Car Park Edge Mix - Sun					Area =	737 sq.m
	<i>Callistemon viminalis 'Little John'</i>	Little John Bottlebrush	0.6	0.8	140mm	2
	<i>Pennisetum alopecuroides 'Nafray'</i>	Pennisetum Nafray	0.5	0.5	140mm	1
	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.9	0.3	140mm	2
PM1B - Car Park Edge Mix - Shade					Area =	308 sq.m
	<i>Pennisetum alopecuroides 'Nafray'</i>	Pennisetum Nafray	0.5	0.5	140mm	1
	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.9	0.3	140mm	2
	<i>Viola hederacea</i>	Native Violet	0.1	0.2	140mm	2
PM2A - Car Park Island Mix - Sun					Area =	517 sq.m
	<i>Carex appressa</i>	Tall Sedge	0.7	0.5	140mm	2
	<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	2
	<i>Nandina domestica 'Gulf Stream'</i>	Dwarf Sacred Bamboo	0.8	0.8	140mm	2
	<i>Pennisetum alopecuroides 'Nafray'</i>	Pennisetum Nafray	0.5	0.5	140mm	1
PM3A - Site Edge Mix Low - Sun					Area =	1985 sq.m
	<i>Callistemon 'Great Balls of Fire'</i>	Bottlebrush	2.0	2.0	140mm	1
	<i>Callistemon 'White Anzac'</i>	Bottlebrush	1.0	2.0	140mm	1
	<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	2
	<i>Pennisetum alopecuroides 'Nafray'</i>	Pennisetum Nafray	0.5	0.5	140mm	1
PM4 - Site Markers Mix					Area =	0 sq.m
	<i>Nandina domestica 'Gulf Stream'</i>	Dwarf Sacred Bamboo	0.8	0.8	140mm	2
	<i>Pennisetum alopecuroides 'Nafray'</i>	Pennisetum Nafray	0.5	0.5	140mm	1
PM5A - Feature Planting Mix					Area =	400 sq.m
	<i>Doranthex excelsa</i>	Gynea Lily	2.0	1.5	200mm	2
	<i>Lorapetalum chinense rubrum 'China Pink'</i>	Chinese Fringe Flower	1.5	1.5	200mm	2
	<i>Photinia x fraseri 'Red Robin'</i>	Red Robin	3.0	2.0	200mm	1
PM6A - Site Hedge Mix - Sun					Area =	358 sq.m
	<i>Acmena smithii 'Hot Flush'</i>	Lilly Pilly	4.0	2.0	300mm	1
	<i>Metrosideros thomasi</i>	New Zealand Christmas Bush	4.0	4.0	300mm	1
	<i>Rhaphiolepis indica 'Oriental Pearl'</i>	Oriental Pearl Indian Hawthorn	1.0	1.0	300mm	2
	<i>Rhaphiolepis indica 'Snow Maiden'</i>	Snow Maiden Indian Hawthorn	0.5	1.0	300mm	2
PM7A - Groundcovers Mix A					Area =	190 sq.m
	<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	2
PM7B - Groundcovers Mix B					Area =	169 sq.m
	<i>Trachelospermum jasminoides 'tricolor'</i>	Tricolor Star Jasmine	0.5	1.0	140mm	2
PM9A - Climbers Mix					Area =	10 sq.m
	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.9	0.3	140mm	2
TF1 - General Turf					Area =	1095 sq.m
	<i>Stenotaphrum secundatum 'Sir Walter'</i>	Sir Walter Buffalo			Turf Roll	
TF2 - Feature Turf (Planted)					Area =	41 sq.m
	<i>Zoysia tenuifolia</i>	No-Mow Grass/Velvet Grass			200mm	

NOTE:

1. Mass planting to be undertaken in large groupings of the same species to approval of landscape architect.
2. Hedging species are to be set out in linear arrangements of same species to approval of landscape architect.
3. All planting and turf areas to be irrigated with subsurface drip line. Refer to the Oakdale West Estate Landscape Management Plan and Goodman Landscape Guidelines for further information

PLANTING PALETTE

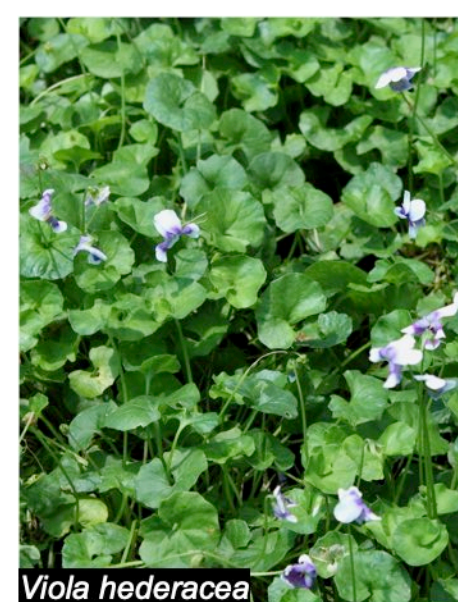
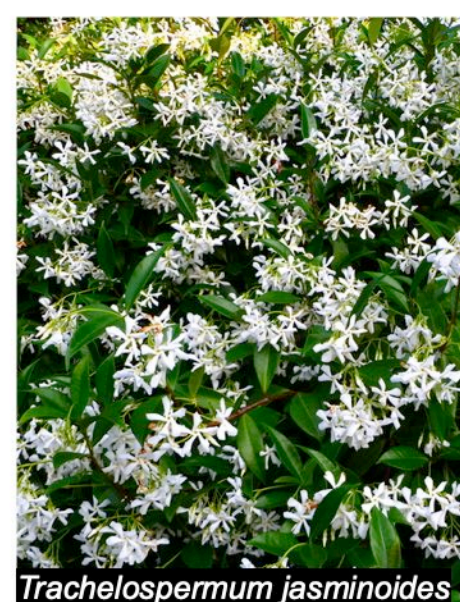
Trees



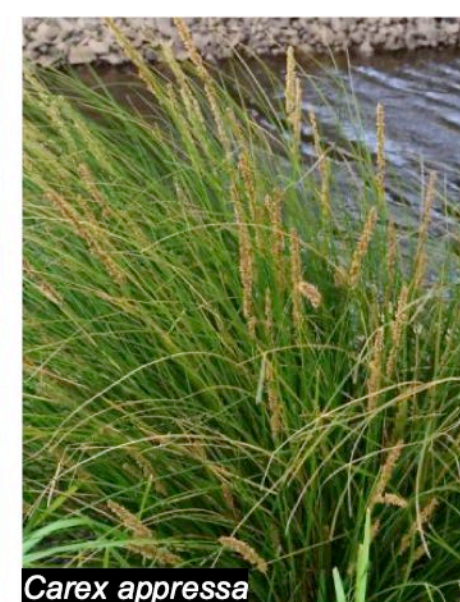
PM1A - Car Park Edge Mix - Sun



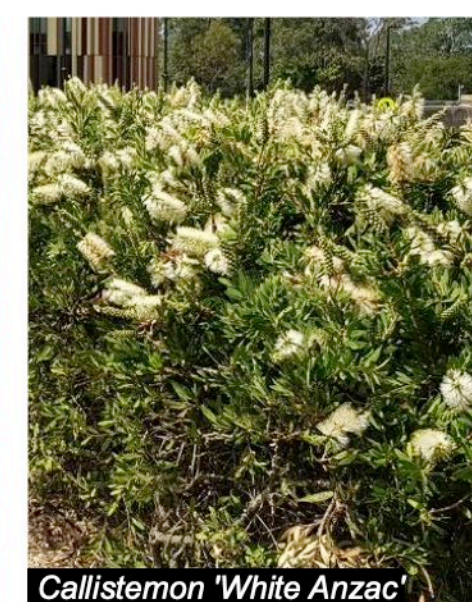
PM1B - Car Park Edge Mix - Shade



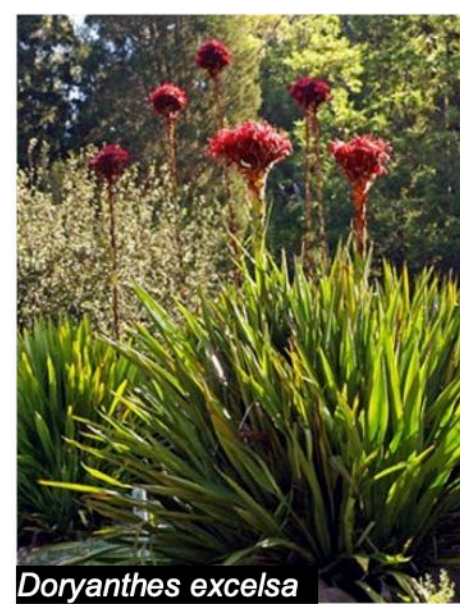
PM2A - Car Park Island Mix - Sun



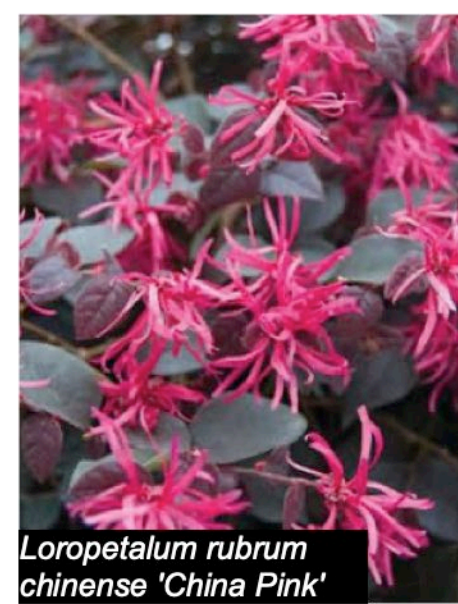
PM3A - Site Edge Mix Low - Sun



PM4-Site Markers Mix



PM5A - Feature Planting Mix



PM6A - Site Hedge Mix - Sun



PM7A - Groundcovers Mix A



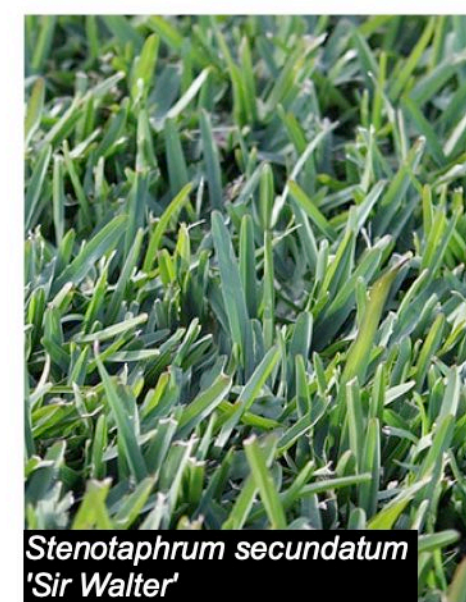
PM7B - Groundcovers Mix B



PM9A - Climbers Mix




TF1 - General Turf

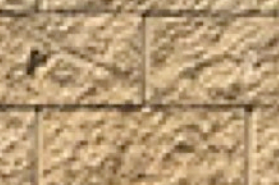


TF2 - Feature Turf



		LANDSCAPE ARCHITECTURE	
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Phone email Web		Suite 5, 15 The Corso Manly NSW 2095 02 9976 0756 office@scapedesign.com.au www.scapedesign.com.au	
PROJECT			
<h1 style="margin: 0;">Oakdale West Estate</h1>			
Kemps Creek, NSW			
CLIENT			
<h1 style="margin: 0;">Goodman Property Services</h1>			
D C A B revision	DESIGN & COORDINATION REVISED ENTRY & CARPARK DEVELOPMENT APPLICATION CLIENT REVIEW revision revision description	ZZ ZZ MF MF by	19/10/21 23/4/21 13/11/20 10/11/20 date
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<h1 style="margin: 0;">Planting Schedule - Lot 2C & 2D</h1>			
scale drawn checked project no. project phase	NTS MF/ZZ CH 163-18 Development Application		

A photograph of a large, rusted metal cattle pen or corral in a grassy field under a blue sky with white clouds. The structure is made of dark, weathered metal bars and is situated in a field of tall grass and weeds. In the background, there are more trees and a clear blue sky with scattered white clouds.




A perspective drawing of a landscape. In the foreground, there is a path or road that curves to the right. To the left of the path, there is a patch of ground with tall, thin, brown reeds or grasses. To the right of the path, there are several green trees with red dots on their branches, possibly representing fruit or flowers. The ground is covered in green grass, and the background is a light blue sky. The drawing is done in a simple, sketchy style with visible pencil or crayon strokes.

An architectural rendering of a proposed retail building and parking lot. The building is a long, single-story structure with a dark facade and large glass windows. A blue sign with the word "SIGN" is visible on the left side of the building. The parking lot is filled with various cars, including a red car in the foreground. Trees and landscaping are shown around the building and parking area.



Lagerstroemia indica
'Tuscarora'

A large, mature Lagerstroemia indica 'Tuscarora' tree in full bloom, displaying dense clusters of vibrant pink flowers. The tree is situated in front of a building with a dark roof and light-colored walls.

Zoysia tenuifolia

A large, rusted metal structure, possibly a sculpture or architectural element, set against a green lawn and a tree. The structure is made of thick, weathered metal plates that have turned a deep reddish-brown color. It features sharp, angular edges and a complex, layered design. The structure is situated on a well-maintained green lawn, with a tree trunk visible in the background. The lighting suggests a bright, sunny day, casting shadows on the grass.

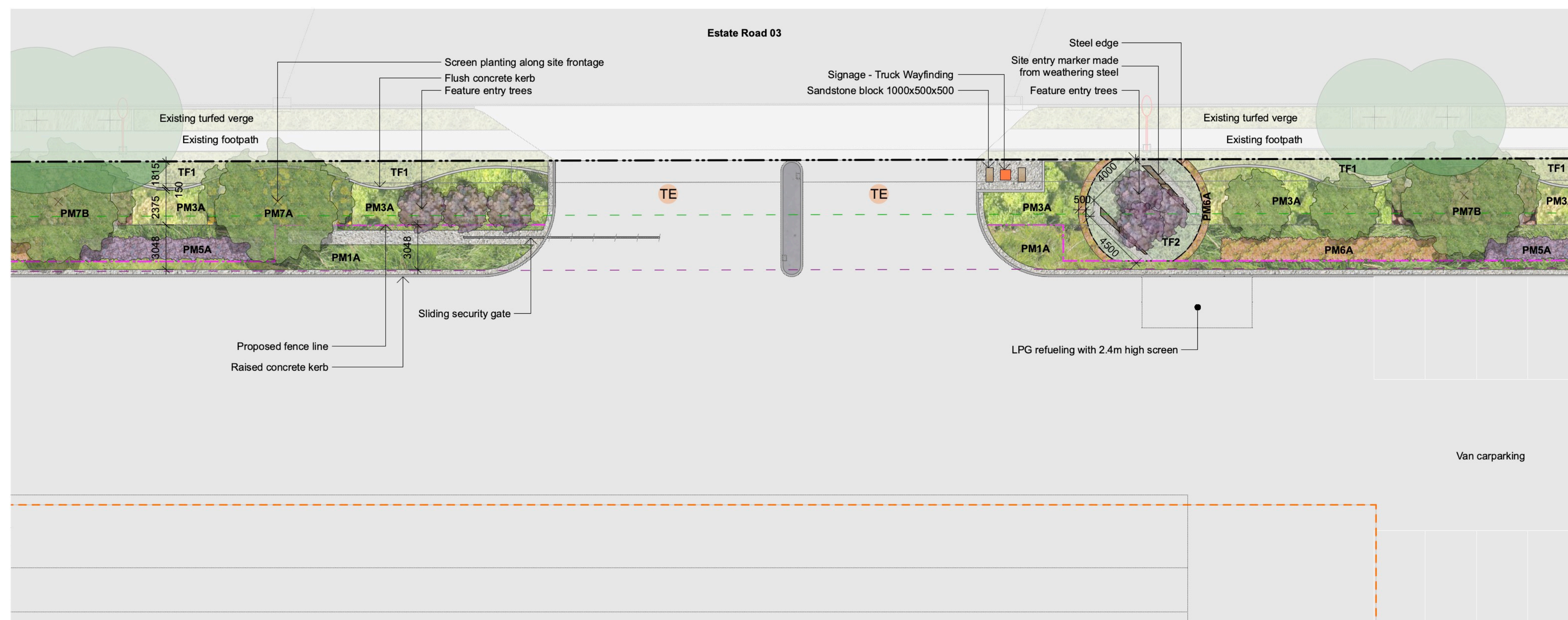
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






















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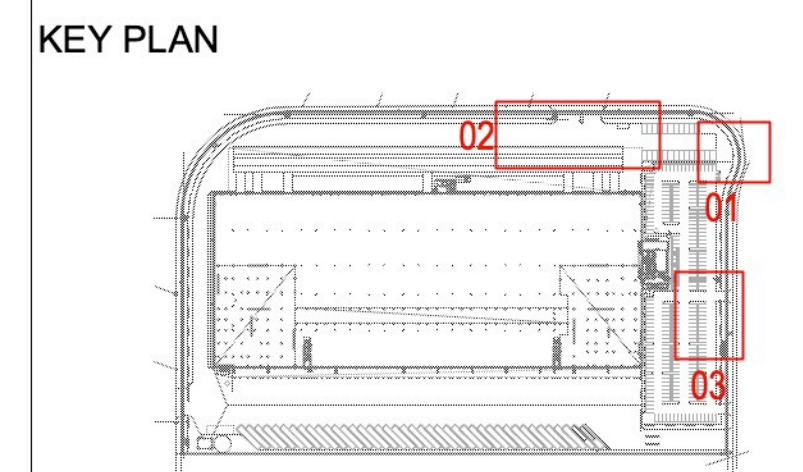
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C



LEGEND		
PROGRAMME		PAVEMENTS
1	Office	 Temporary Recycled Aggregate
2	Entry Feature Trees	 Coarse Aggregate
3	Site Marker	 Disseminated Granite
4	Accessible Parking	 Asphaltic Concrete
5	Waste Enclosure	 Insitu Concrete
6	Fire Truck Parking	 Precast Concrete
7	Bicycle Racks	 Stone Tiles
8	Motorcycle Parking	 Feature paving
9	Substations	 Pram Ramp
10	LPG Refueling with 2.4M High Screen	
11	Hyd Booster	
CE	Car entry/exit	
CP	Carparking	
TE	Truck entry/exit	
GENERAL		FURNITURE & FITTINGS
	Site Boundary	 Proposed Table Setting
	Lot Boundary	 Proposed Bicycle Racks
	Finished Floor Level	 Proposed Street Lighting
	Reduced Level	 Proposed Sleeper Moulding
	Architecture Above	 Proposed Sandstone Block
	Chain Mesh Fence Refer Arch. dwgs.	 Gate
	Palisade Fence Refer Arch. dwgs.	 Signage
	Building Setback	 Proposed Seating
	Landscape Setback	 Proposed Pergola
	Proposed Ramp	
PREPARATION & GROUNDWORKS		PLANTING
	Proposed Stairs	 TF1-General Turf
	Building	 TF2-Feature Turf
	Office	 PM1A-Car park edge mix-sun
	Services	 PM1B-Car park edge mix-shade
WALLS & EDGES		 PM2A-Car park island mix-sun
	Steel Edge	 PM2B-Car park island mix-shade
	Flush Concrete Kerb	 PM3A-Site edge mix - sun
	Raised Concrete Kerb	 PM4-Site markers mix
	Freestanding Gabion Wall	 PM5A-Feature planting mix-sun
	Freestanding Insitu Wall	 PM6A-Site hedge mix-sun
	Freestanding Precast Wall	 PM7A-Groundcover mix A
	Retaining Gabion Wall	 PM7B-Groundcover mix B
	Retaining Insitu Wall	 PM9A-Climbers mix
	Retaining Precast Wall	
	Steel Wall	
		TREES
		 Existing Tree to be Removed Refer ARB/CRIST'S REPORT
		 Existing Tree to be Retained
		 Stage 1 Works - Proposed Tree
		 Proposed Tree - General
		 Proposed Tree - Entry Marker
		 Proposed Tree - Site Marker



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PROJECT	Oakdale West Estate Kemps Creek, NSW
CLIENT	Goodman Property Services

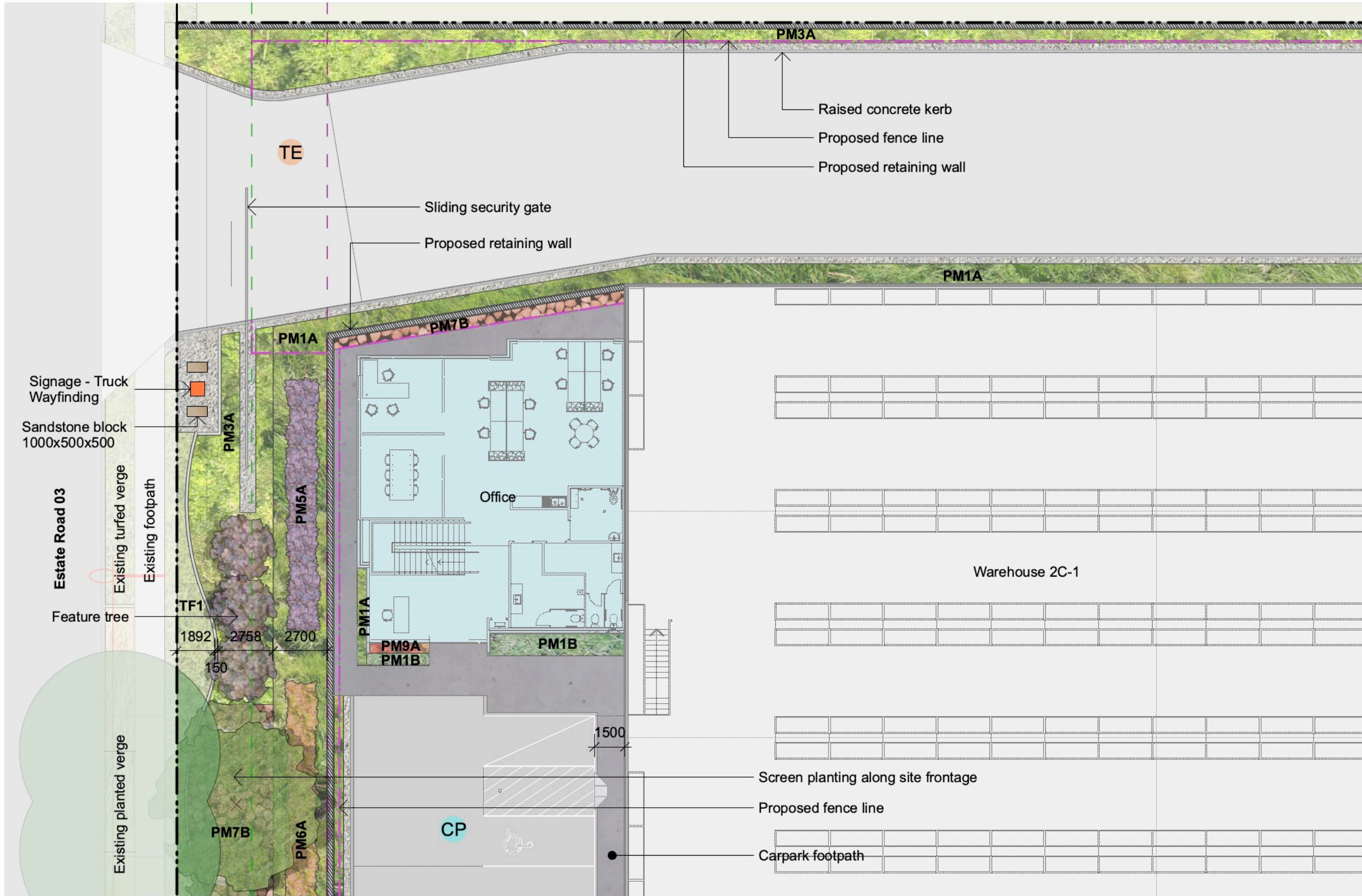
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E	REVIEW & COORDINATION	ND	15/10/21
D	REVIEW & COORDINATION	ZZ	13/10/21
C	REVISED ENTRY & CARPARK	ZZ	23/4/21
B	DEVELOPMENT APPLICATION	MF	13/11/20
revision	revision description	hv	date

revision	revision description	by	date
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**Landscape Detailed Plan
& Notes - Lot 2A**

scale	1:200@A1
drawn	MF/ZZ
checked	CH
project no.	163-18
project phase	Development Application

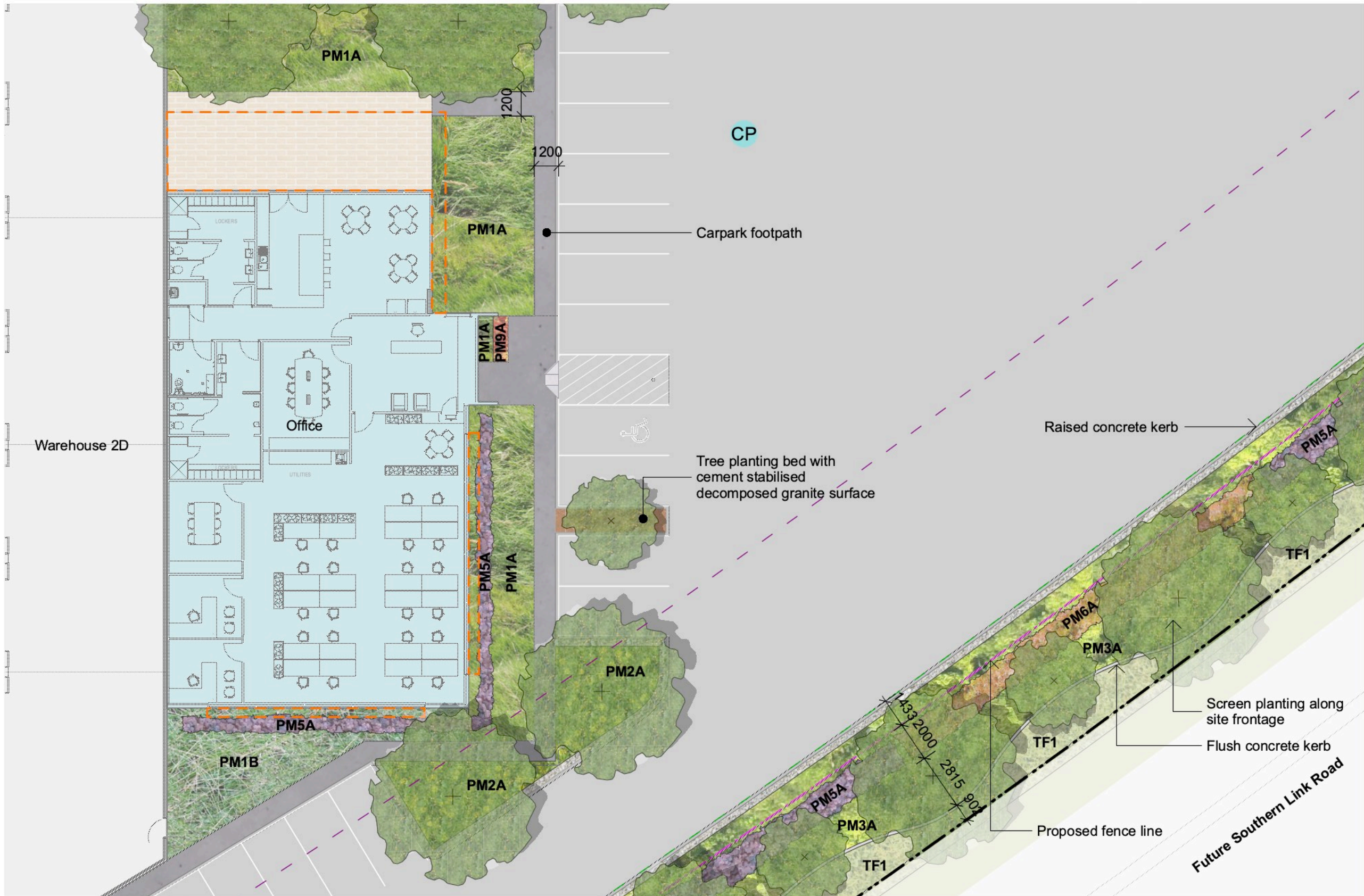
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03 Entry Marker - Warehouse 2C-1
Detail Plan - Scale 1:200 @ A1



04 Site Marker - Warehouse 2C-2
Detail Plan - Scale 1:200 @ A1



05 Car Park - Warehouse 2D
Detail Plan - Scale 1:200 @ A1

Landscape Design Statement - SSD 9794683

The landscape design prepared for Oakdale West Estate - Lots 2A, 2C and 2D, aim to expand on previous individual lot design within Oakdale West, reinforcing a consistent and robust landscape character, adhering to the high standard this development aims to achieve.

Positioned central to the whole Oakdale West Precinct, Lots 2A, 2C and 2D will use over 300 native and exotic trees, which seek to ensure all large expanses of built form, parking and utility areas are appropriately screened by vegetation, whilst ensuring adequate shade and coverage is provided to the hardstand below. Permeable surfaces of planting, low maintenance turf and gravel, will be maximised in order to reduce run-off. Plant typologies implemented are to be low maintenance and drought resistant, ensuring all new landscaped areas are water sensitive and tolerant of the harsh Western Sydney climate. With the utilisation of water sensitive elements in carparks such as stratacell soil structure systems or similar, the large amounts of carpark hardscape will be broken up with significant tree planting.

Lots 2A, 2C and 2D falls under Stage 3 of construction, which will already see the completion of the vegetated bund along the Western edge of the estate. This vegetated bund provides large amounts of visual screening, particularly to the sensitive receivers in the West. To further reduce the visual impacts of the development, a noise wall will be installed along the boundary during the Stage 1 works. As Lots 2A, 2C and 2D are central within the Estate, the impact to sensitive receivers will be minimal, hence the focus of screening vegetation has been directed towards internal roads and from other lots, ensuring to soften built elements where possible.

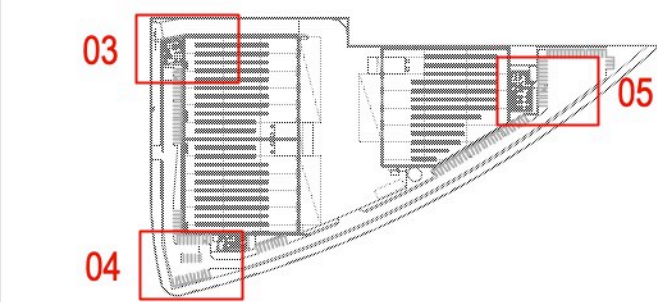
The generous landscape setbacks within Precinct 2 will foster a clustered, yet dense approach to tree planting with native species which is consistent with other on-lot landscape design within Oakdale West. This will further provide visual screening to the immediate neighbours of the site, but also for users of internal roads and footpaths. When combined with the proposed estate streetscape design, large, meaningful strips of canopy trees with mass planting of shrubs and groundcovers will form a dense vegetative screen for the developments. In addition to this, these large trees help provide additional shading and amenity to footpaths and roads, addressing key issues such as urban heat which is prevalent and a key issue within Western Sydney. Once within the site, tall feature trees help define the building edge and reinforce the main pedestrian entry points. Landscape verticality will also be provided through entry markers where possible, which are used at precinct nodes and driveway entry points to establish a network of wayfinding features. These elements reference the cultural history of the site through their materiality and form.

Overall, the planting palette aspires to balance council environmental and planning requirements, while also staying consistent to the high-quality Goodman landscape identity that is reflected throughout each of their estates both in Oakdale and more broadly in Western Sydney. With Goodman taking ownership of the landscape maintenance and on-going care of all landscape areas within Oakdale West Estate, the health and function both during the establishment period and beyond, will be carefully monitored and driven towards a successful and robust outcome.

LEGEND

PROGRAMME		PAVEMENTS	
1	Office		Temporary Recycled Aggregate
2	Entry Feature Trees		Coarse Aggregate
3	Site Marker		Decomposed Granite
4	Accessible Parking		Asphaltic Concrete
5	Waste Enclosure		Insitu Concrete
6	Fire Truck Parking		Precast Concrete
7	Bicycle Racks		Stone Tiles
8	Motorcycle Parking		Feature paving
9	Substations		Pram Ramp
10	LPG Refueling with 2.4M High Screen		
11	Hyd Booster		
CE	Car entry/exit		
CP	Carparking		
TE	Truck entry/exit		
GENERAL		FURNITURE & FITTINGS	
	Site Boundary		Proposed Table Setting
	Lot Boundary		Proposed Bicycle Racks
	Finished Floor Level		Proposed Street Lighting
	Reduced Level		Proposed Sleeper Mullion
	Architecture Above		Proposed Sandstone Block
	Chain Mesh Fence Refer Arch. dwgs.		Gate
	Palisade Fence Refer Arch. dwgs.		Signage
	Building Setback		Proposed Seating
	Landscape Setback		Proposed Pergola
	Proposed Ramp		
	Proposed Stairs		
	Building		
	Office		
	Services		
WALLS & EDGES		PLANTING	
	Steel Edge		TF1-General Turf
	Flush Concrete Kerb		TF2-Feature Turf
	Raised Concrete Kerb		PM1A-Car park edge mix-sun
	Freestanding Gabion Wall		PM1B-Car park edge mix-shade
	Freestanding Insitu Wall		PM2A-Car park island mix-sun
	Freestanding Precast Wall		PM2B-Car park island mix-shade
	Retaining Gabion Wall		PM3A-Site edge mix - sun
	Retaining Insitu Wall		PM4-Site markers mix
	Retaining Precast Wall		PM5A-Feature planting mix-sun
	Steel Wall		PM6A-Site hedge mix-sun
			PM7A-Groundcover mix A
			PM7B-Groundcover mix B
			PM9A-Climbers mix
TREES			
	Existing Tree to be Removed Refer ARBORISTS REPORT		
	Existing Tree to be Retained		
	Stage 1 Works - Proposed Tree		
	Proposed Tree - General		
	Proposed Tree - Entry Marker		
	Proposed Tree - Site Marker		

KEY PLAN



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PROJECT
Oakdale West Estate

Kemps Creek, NSW
CLIENT
Goodman Property Services

C	REVIEW & COORDINATION	ZZ	19/10/21
B	DEVELOPMENT APPLICATION	MF	13/11/20
A	CLIENT REVIEW	MF	10/11/20
revision	revision description	by	date

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Landscape Detailed Plan & Notes - Lot 2C & 2D

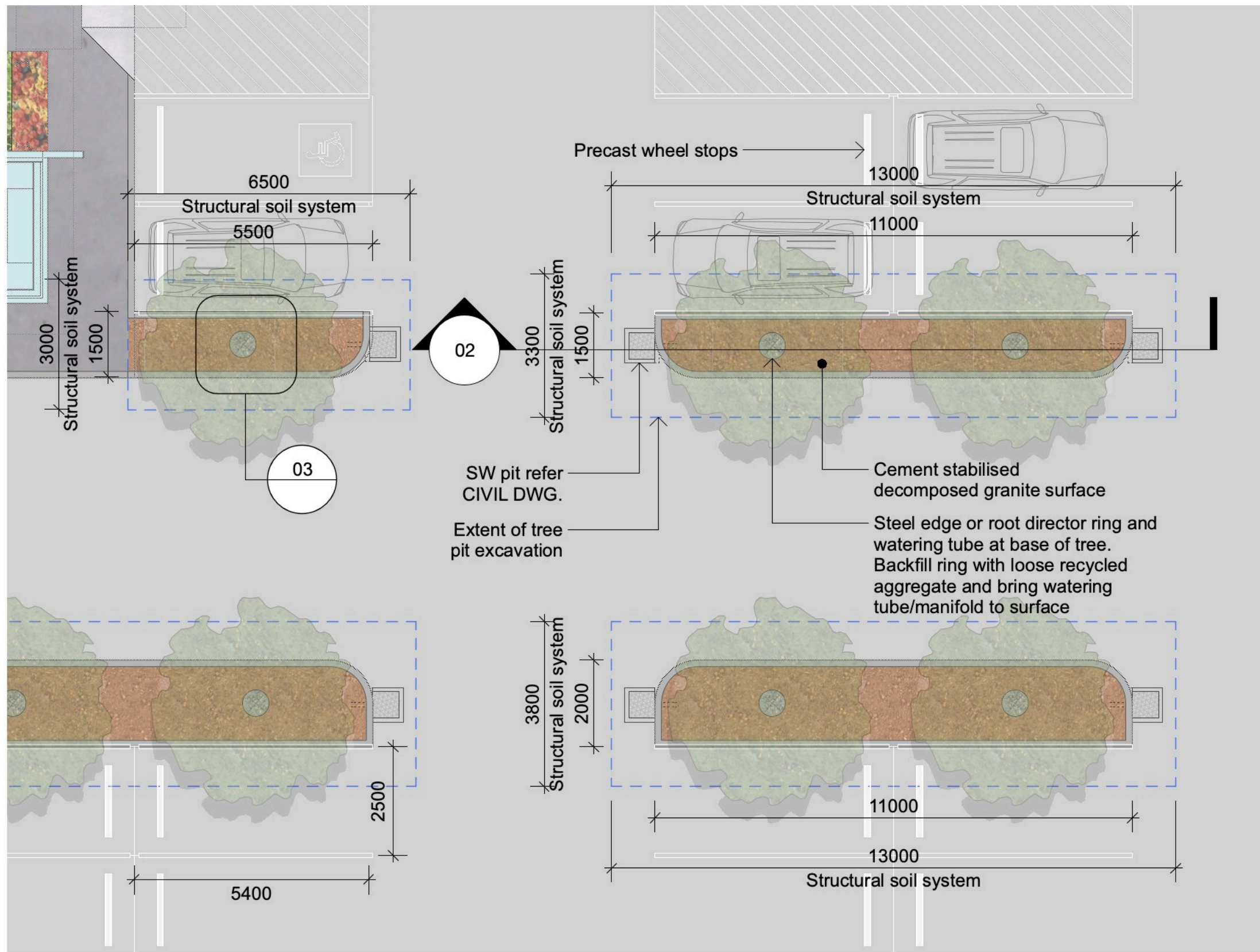
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checked CH
project no. 163-18
project phase Development Application

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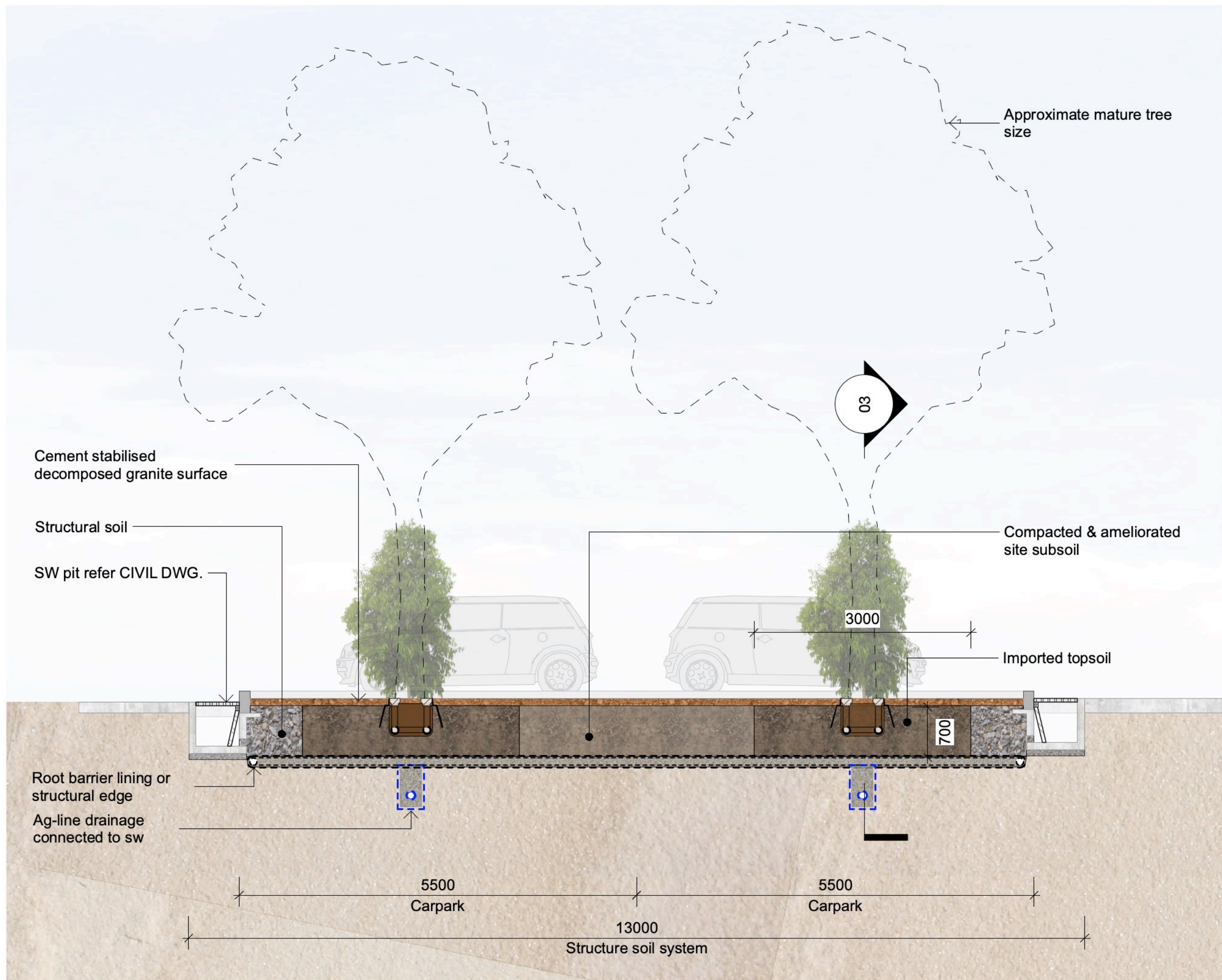
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Note: All finished levels subject to change +/- 1000mm.





01 Carpark Tree Pit System
Detailed Plan - Scale 1:100 @ A1



02 Carpark Tree Pit System
Detailed Section - Scale 1:50 @ A1

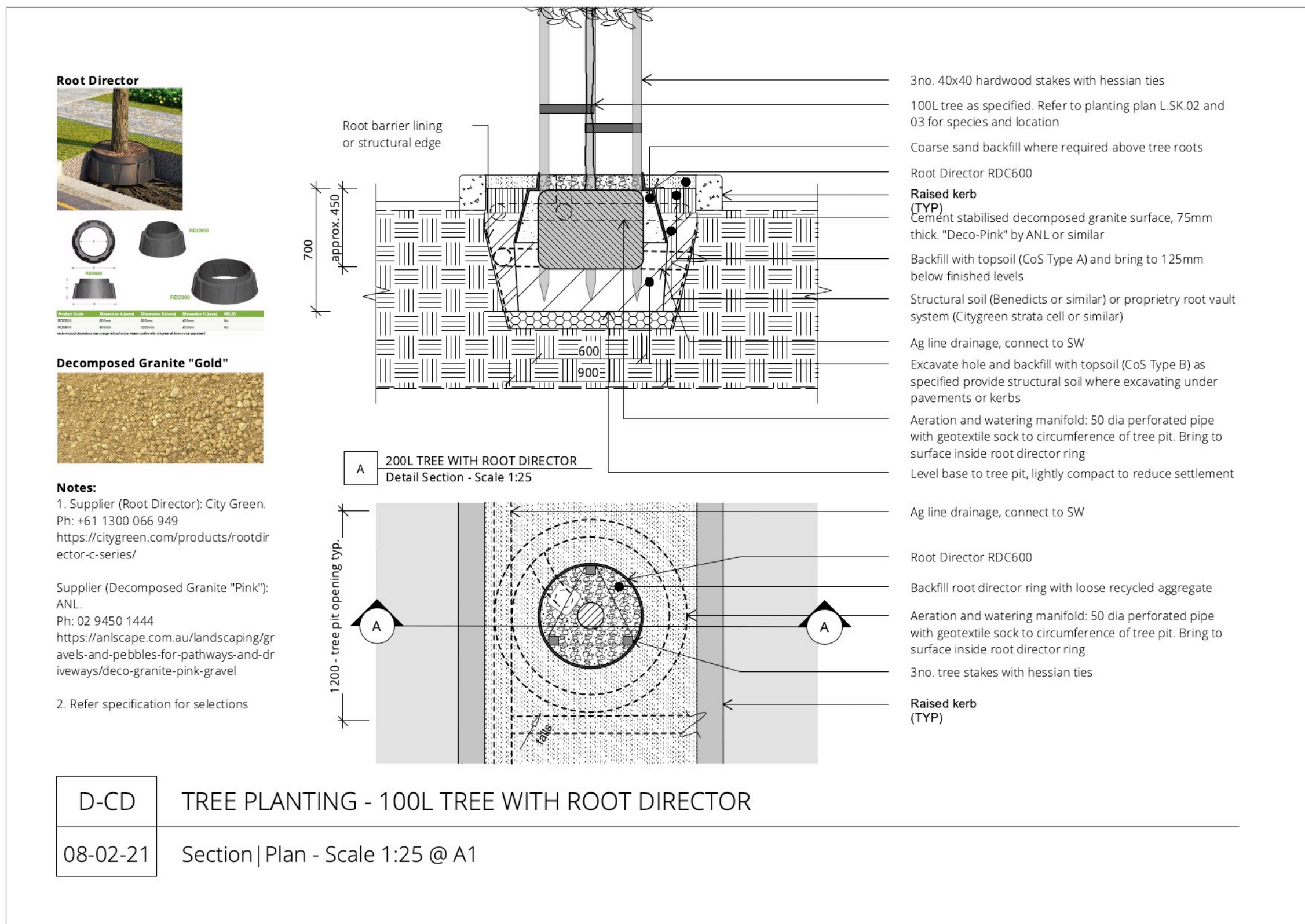
Note: All finished levels subject to change +/- 1000mm.

MATERIALS SCHEDULE

Description	Volume
SOIL STRUCTURE SYSTEM - STRATA CELL OR SIMILAR	
Lot 2A	
Type 1A - Soil Structure System 3000x6500mm Paving-Soil Structure System Type 1A	19.5
Type 1B - Soil Structure System 3500x6500mm Paving-Soil Structure System Type 1B	68.3
Type 3A - Soil Structure System 3300x13000mm Paving-Soil Structure System Type 3A	85.8
Type 3B - Soil Structure System 3800x13000mm Paving-Soil Structure System Type 3B	592.8
Lots 2C & 2D	
Type 1A - Soil Structure System 3000x6500mm Paving-Soil Structure System Type 1A	156.0
Type 4 - Soil Structure System Triangle Islands Paving-Soil Structure System Type 4	37.3
Total Area	959.7 m3

NOTES:

Full width of excavated tree pit (3000-3800 W x 6500-13000 W x 1000 D) to be back filled with imported topsoil, ameliorated site soil and structural soil. Provide a minimum of 15m3 of topsoil per tree in car park island beds.



03 Carpark Island Tree
Detail - Scale 1:25 @ A1

LEGEND

GENERAL

Structure Below

PAVEMENTS

Concrete Insitu Vehicular
Coarse Aggregate
Structural Soil
Decomposed granite

WALLS & EDGES

Raised Concrete Kerb

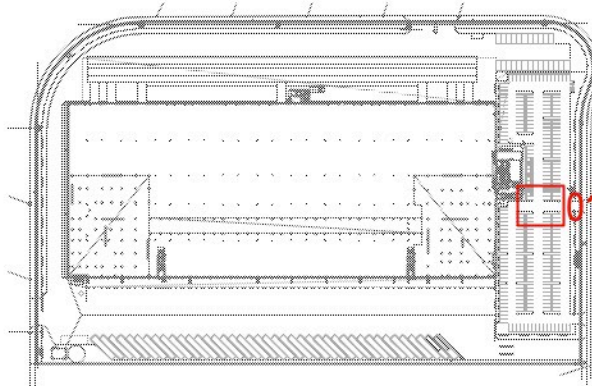
FURNITURE & FITTINGS

Precast Wheel Stop

TREES

Proposed Tree - General

KEY PLAN



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PROJECT

Oakdale West Estate

Kemps Creek, NSW

CLIENT

Goodman Property Services

E	REVIEW & COORDINATION	ZZ	1/11/21
D	REVIEW & COORDINATION	ZZ	19/10/21
C	REVIEW & COORDINATION	ZZ	13/10/21
B	DEVELOPMENT APPLICATION	MF	13/11/20
A	CLIENT REVIEW	MF	10/11/20

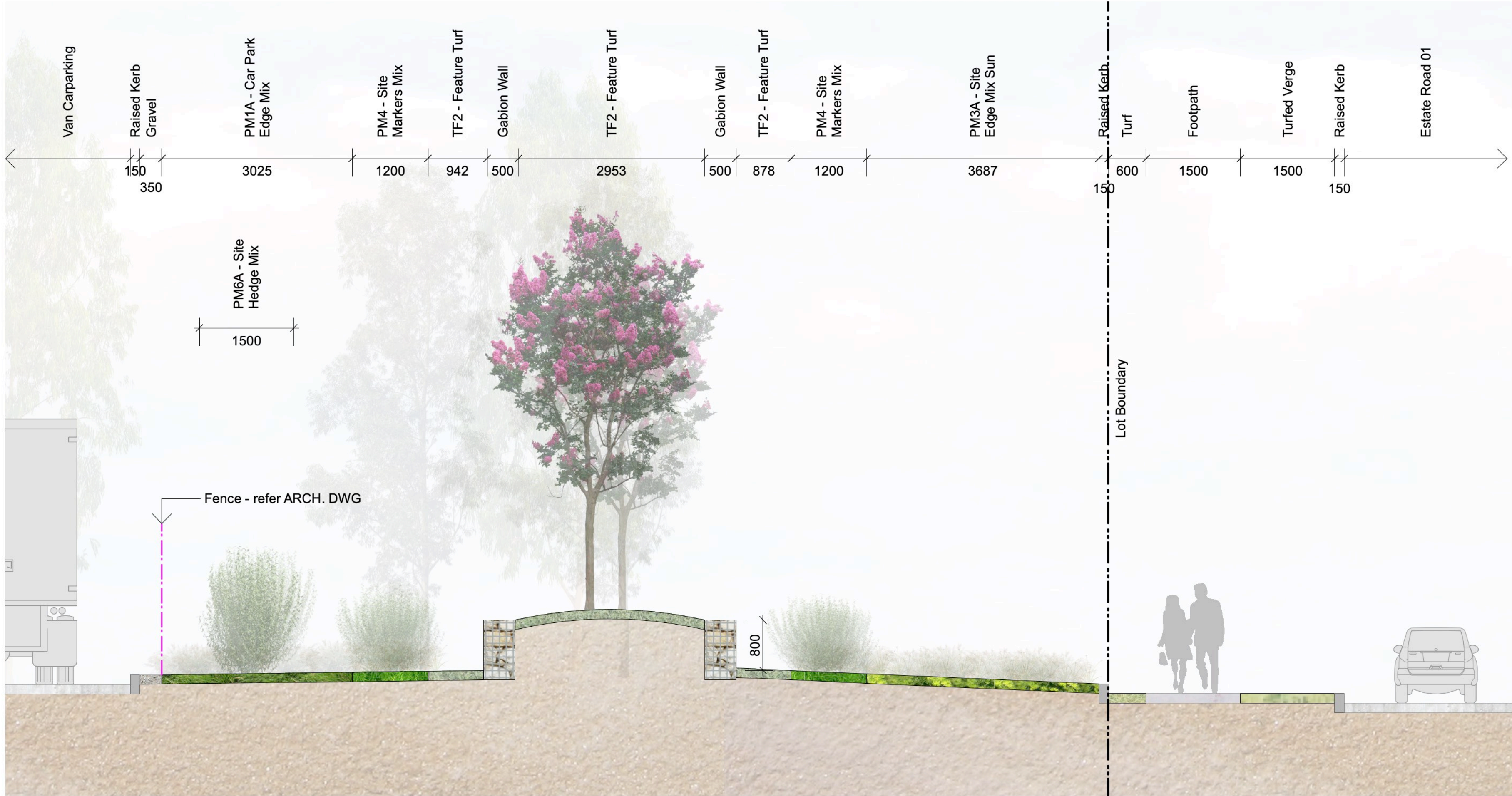
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Carpark Details

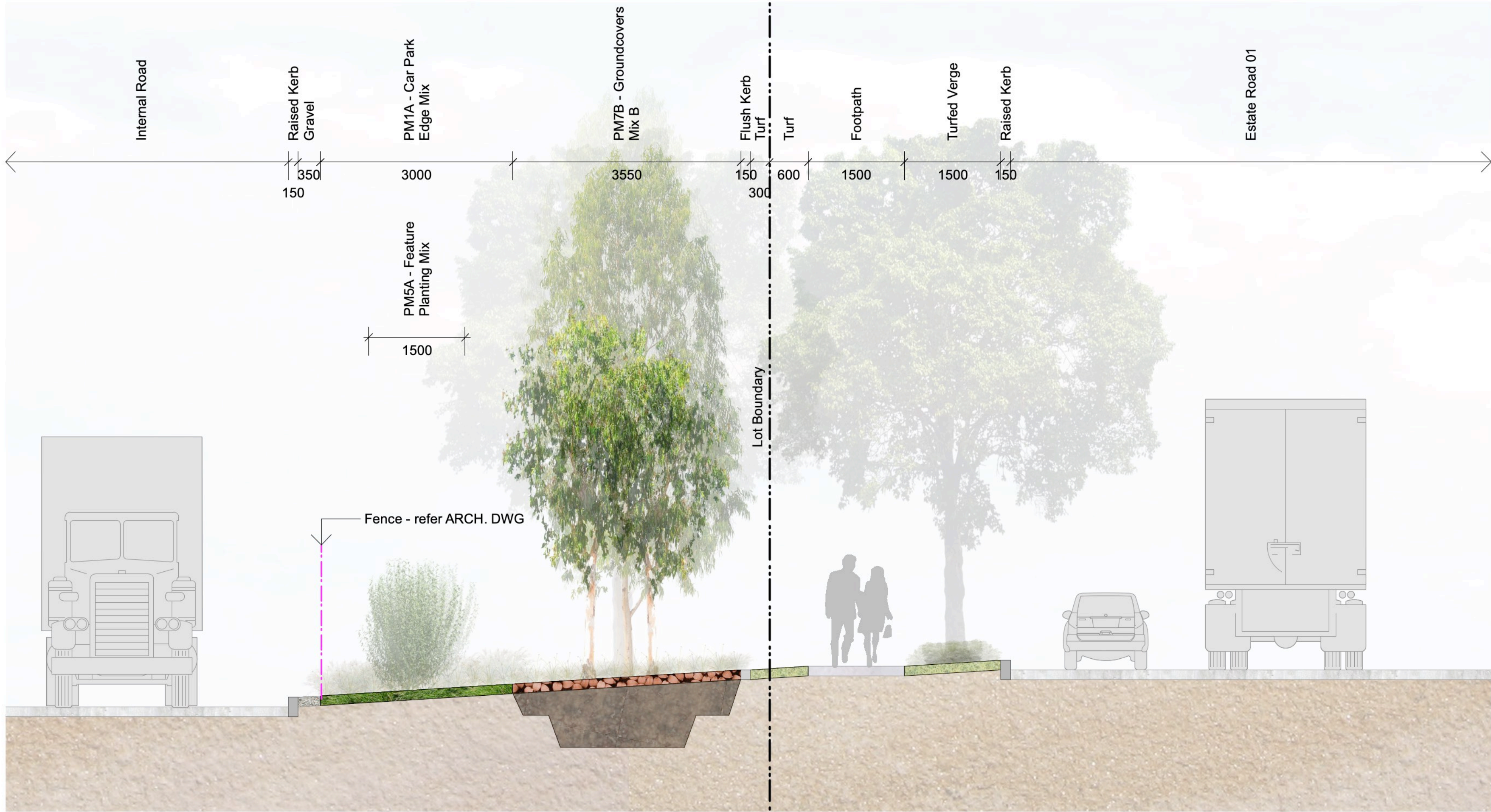
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drawn MF/ZZ
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project no. 163-18
project phase Development Application

L.SK.200

E



01 Estate Road 01 - Planted Verge
Typical Street Section - Scale 1:50 @ A1



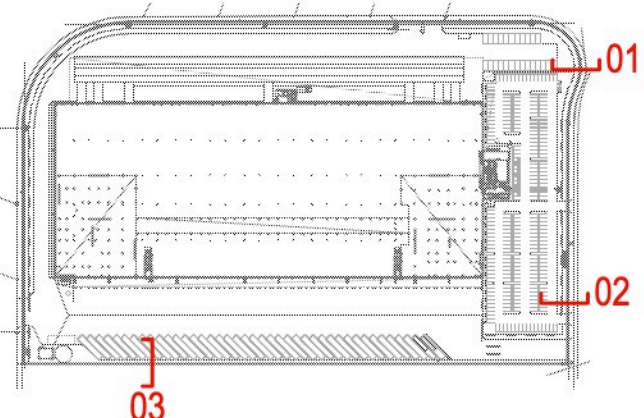
02 Estate Road 01 - Turfed Verge
Typical Street Section - Scale 1:50 @ A1

Note: All finished levels subject to change +/- 1000mm.



03 Southern Boundary
Typical Section - Scale 1:50 @ A1

KEY PLAN



scape DESIGN

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PROJECT
Oakdale West Estate

CLIENT
Goodman Property Services

E	REVIEW & COORDINATION	ZZ	1/11/21
D	REVIEW & COORDINATION	ND	15/10/21
C	REVIEW & COORDINATION	ZZ	13/10/21
B	DEVELOPMENT APPLICATION	MF	13/11/20

A	CLIENT REVIEW	MF	10/11/20
revision	revision description	by	date

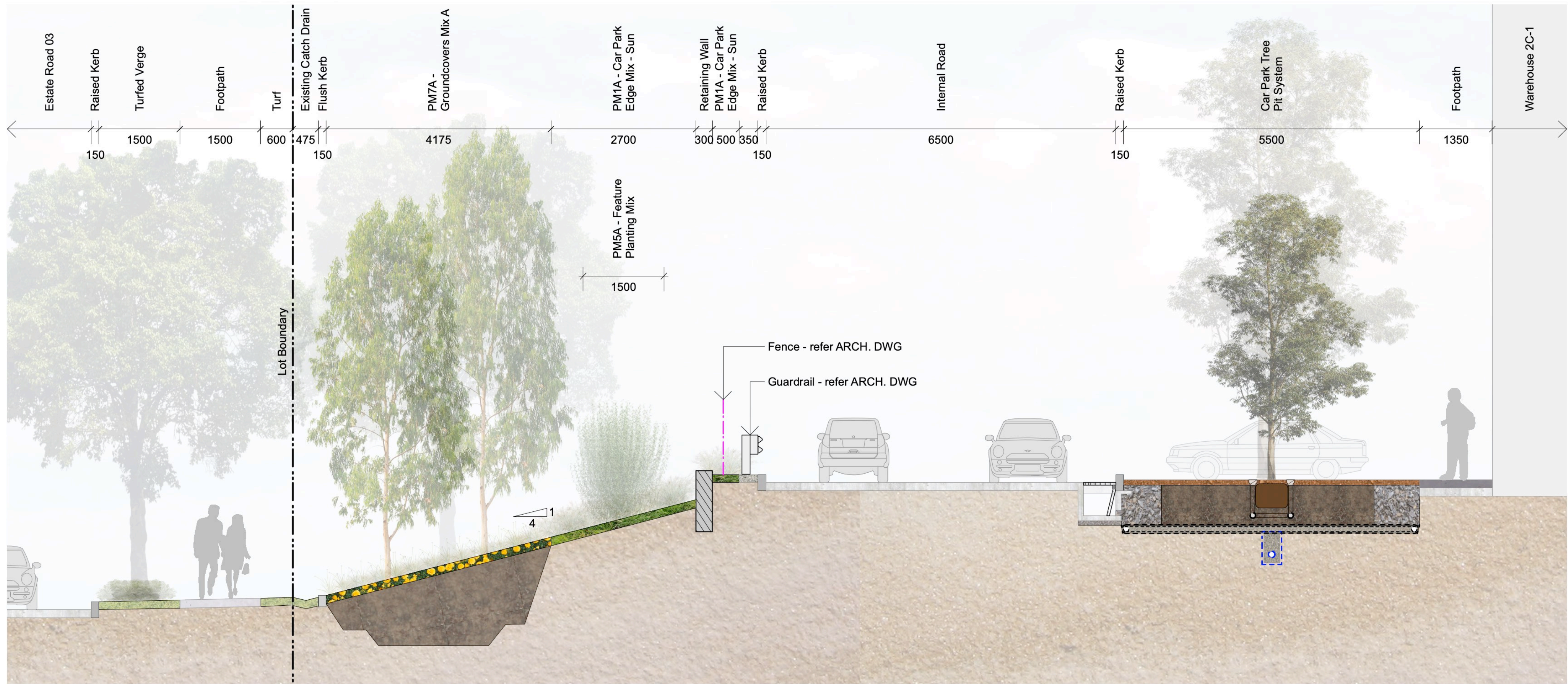
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Verify service locations prior to commencement.
Verify all dimensions on site prior to construction.

**Landscape - Typical Street
Sections - Lot 2A**

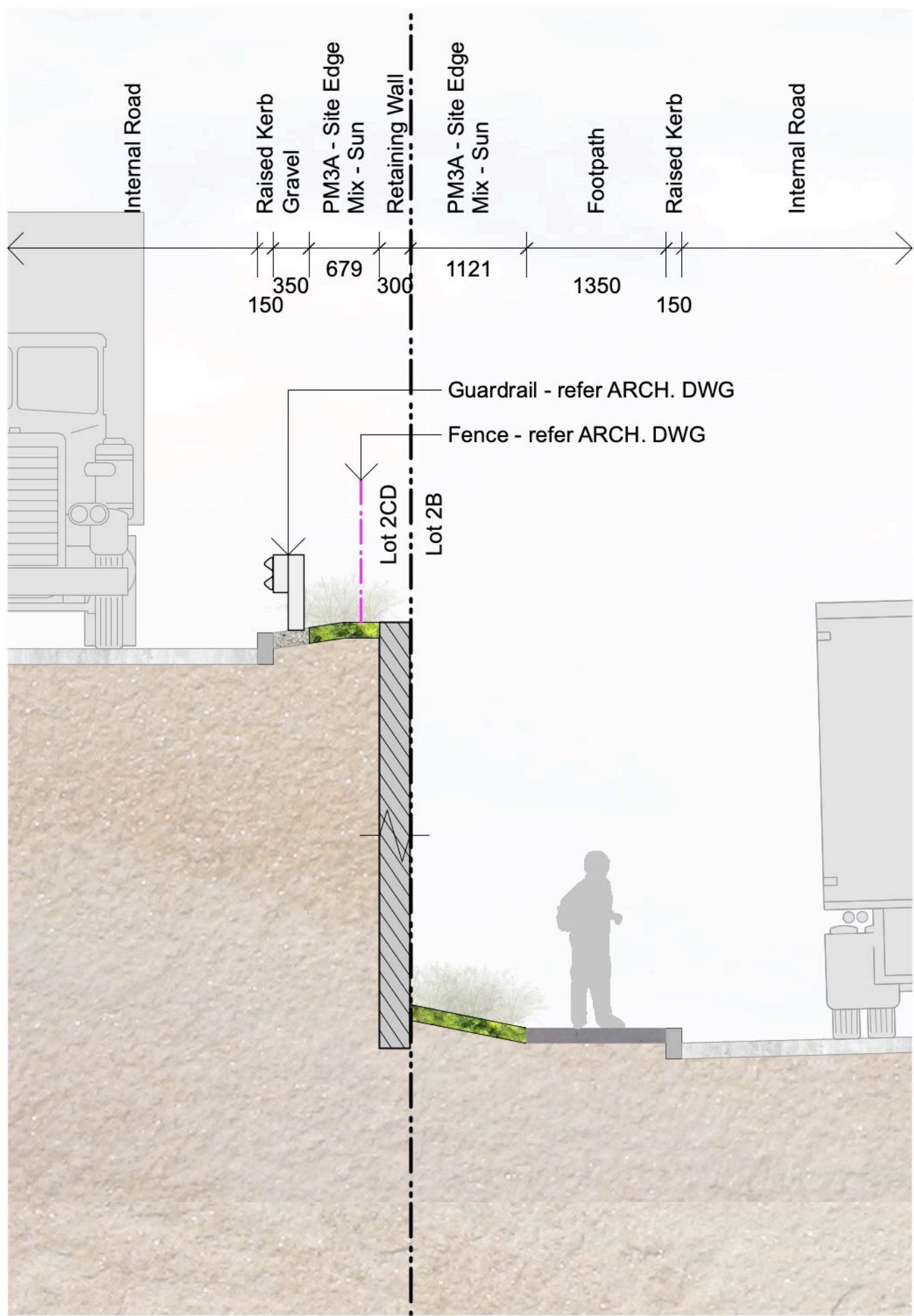
scale	1:50 & 1:100@A1
drawn	MF/ZZ
checked	CH
project no.	163-18
project phase	Development Application

L.SK.201

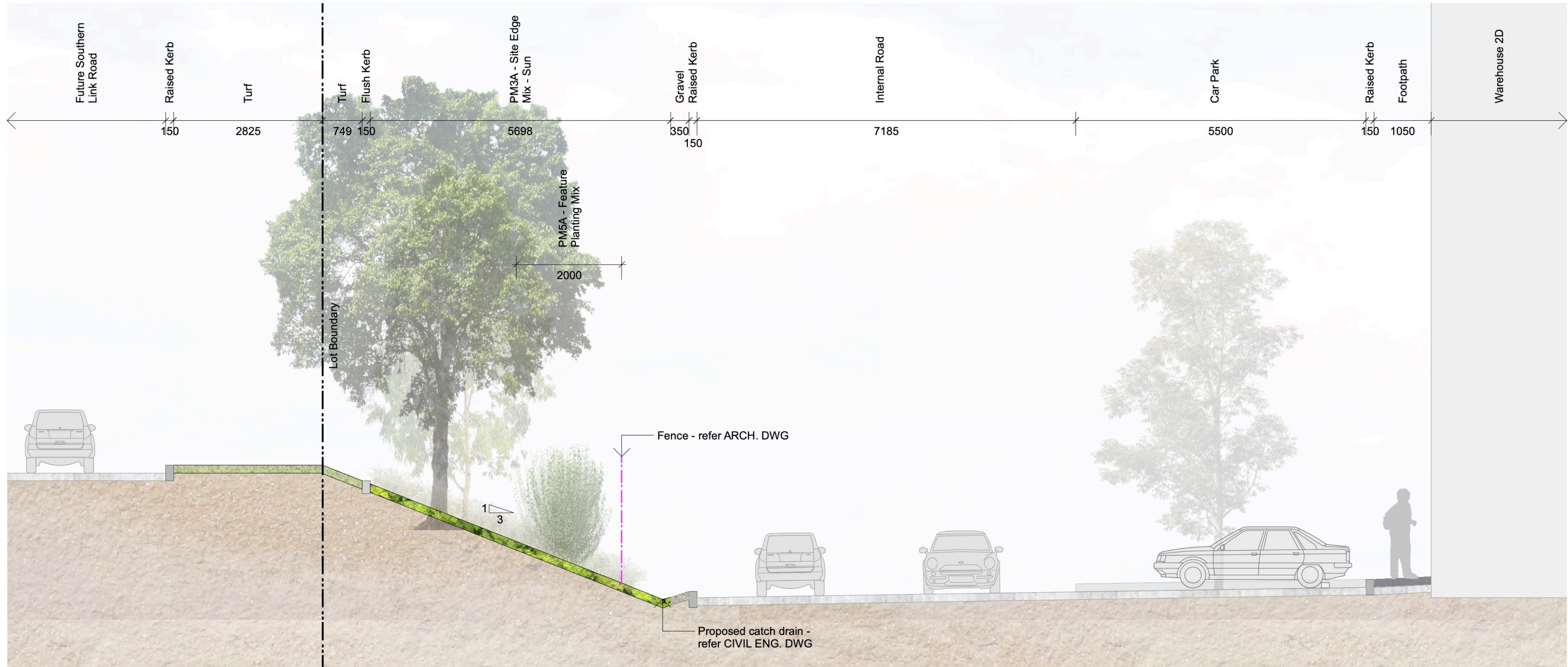
E



04 Warehouse 2C-1 - Planted Verge and Car Park
Typical Street Section - Scale 1:50 @ A1

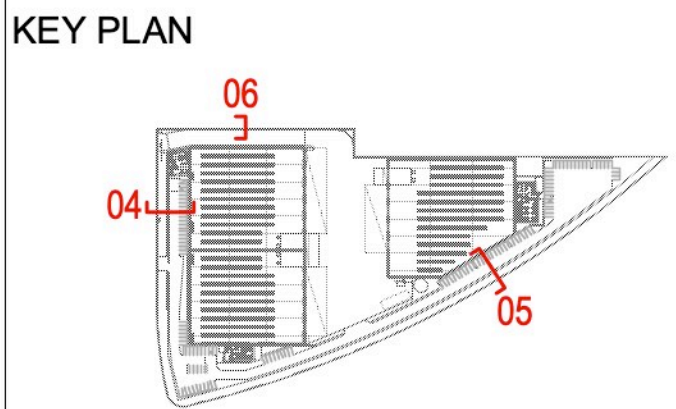


06 Northern Boundary
Typical Section - Scale 1:50 @ A1



05 Southern Link Road Frontage
Typical Street Section - Scale 1:50 @ A1

Note: All finished levels subject to change +/- 1000mm.



scape DESIGN

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PROJECT
Oakdale West Estate

CLIENT
Goodman Property Services

C	REVIEW & COORDINATION	ZZ	19/10/21
B	DEVELOPMENT APPLICATION	MF	13/11/20
A	CLIENT REVIEW	MF	10/11/20

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**Landscape - Typical Street
Sections - Lot 2C & 2D**

scale	1:50 & 1:100@A1
drawn	MF/ZZ
checked	CH
project no.	163-18
project phase	Development Application

L.SK.202

C