



Sheet No 1 of 26.

Issue	Date	Description
	12 12 16	ISSUE FOR APPROVAL
	13 12 16	ISSUE FOR APPROVAL
	14 12 16	ISSUE FOR SSC SUBMISSION
	24 06 19	FOR REVIEW
	26 06 19	ISSUED FOR RESUBMISSION
	07 08 19	REVISED SSD
	16 08 19	REVISED SSD SUBMISSION

Services Design

ISO 9001 CERTIFIED QUALITY SYSTEM

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- Nominated Architect - Gerard Page: NSW reg No.7247, NZ reg No.3715, Vic reg No.17664, SA reg No.3061 QLD reg No.4538 WA reg No.2489

94

Drawing Number: _____ Issue: _____

ATSYD2_SSD_DRG_ARC_0050 7

DP LOT 8
241877

SITE PLAN

1 : 500



Planning,
Industry &
Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No SSD-9741

Granted on 15/11/2019

Signed [Signature]

Sheet No 2 of 26 LOT 1
DP 884454

DP 752067

SITE AREA: 39.453m²

FLOOR AREA:

LEVEL 2: 8.039m²
LEVEL 3: 8.039m²
LEVEL 4: 8.312m²
LEVEL 5: 8.039m²

GFA: 32.429 m²

FSR: 0.82

Issue	Date	Description
1	12.12.18	ISSUE FOR APPROVAL
2	13.12.18	ISSUE FOR APPROVAL
3	14.12.18	ISSUE FOR SSD SUBMISSION
4	24.06.19	FOR REVIEW
5	28.06.19	ISSUED FOR RESUBMISSION
6	07.08.19	REVISED SSD
7	16.08.19	REVISED SSD SUBMISSION
8	21.08.19	REVISED SSD SUBMISSION

Sc. 1:500 0 5 10 15 25m

Project Manager

Services Design

GREENBOX

+61 2 8069 8930

LEVEL 25
25 BLIGH STREET
SYDNEY NSW 2000 AUSTRALIA

GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 778 098
ISO 9001 CERTIFIED QUALITY SYSTEM

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Client

Project:
ATSYD2
1 SIRIUS ROAD LANE COVE WEST

Drawn By: PL/WG
Checked By: DW
Date: 21.08.19
Project Status: SSD
Drawing Title: L1-BASEMENT FLOOR PLAN_RL 9.9
Drawing Number: ATSYD2_SSD_DRG_ARC_0100
Scale: 1:500 @ A1
Approved By: AO
Job Number: 180055

RL 9.9

LEVEL 1 BASEMENT PLAN_RL 9.9

1:500

04/04/19 10:11:51 AM

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Approved Application No SSD-9741

Granted on 15/11/2019

Signed JH

Sheet No 3 of 26 LOT 1 DP 884454

DP 752067

SITE AREA: 39,453m²

FLOOR AREA:

LEVEL 2: 8,039m²
LEVEL 3: 8,039m²
LEVEL 4: 8,312m²
LEVEL 5: 8,039m²

GFA: 32,429 m²

FSR: 0.82

Issue	Date	Description
1	12.12.18	ISSUE FOR APPROVAL
2	13.12.18	ISSUE FOR APPROVAL
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5	28.06.19	ISSUED FOR RESUBMISSION
6	07.06.19	REVISED SSD
7	16.06.19	REVISED SSD SUBMISSION
8	21.06.19	REVISED SSD SUBMISSION

Sc. 1:500 0 5 10 15 25m

Project Manager

Service Design

GREENBOX

+61 2 8068 8930

LEVEL 25
25 BLIGH STREET
SYDNEY NSW 2000 AUSTRALIA

GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 779 098

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Client

Project
ATSYD2
1 SIRIUS ROAD LANE COVE WEST

Drawn By
PLWG

Checked By
DW

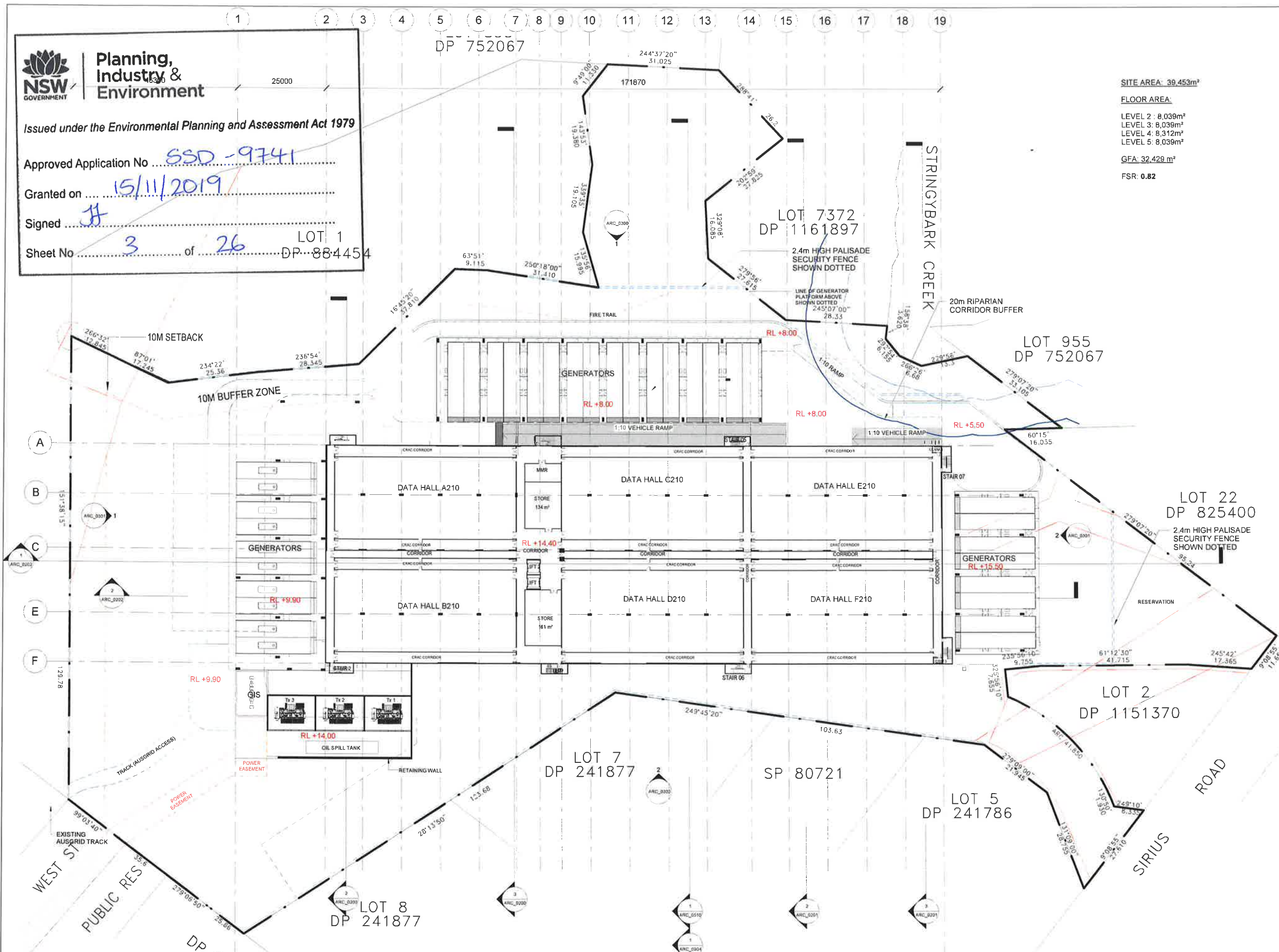
Date
21.06.19

Project Status
SSD

Drawing Title
LEVEL 2 FLOOR PLAN _RL14.4

Drawing Number
ATSYD2_SSD_DRG_ARC_0101

Issue
8





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Granted on 15/11/2019

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Sheet No 4 of 26 LOT 1
DP 884454

A
B
C
E
F

1 LEVEL 3 FLOOR PLAN_RL 20.2
1:500

DP 752067

171870

LOT 7372
DP 1161897

2.4m HIGH PALISADE
SECURITY FENCE
SHOWN DOTTED

STRINGBARK CREEK

20m RIPARIAN
CORRIDOR BUFFER

LOT 955
DP 752067

SITE AREA: 39,453m²

FLOOR AREA:

LEVEL 2: 8,039m²
LEVEL 3: 8,039m²
LEVEL 4: 8,312m²
LEVEL 5: 8,039m²

GFA: 32,429 m²

FSR: 0.82

Issue Date Description

1	12/12/18	ISSUE FOR APPROVAL
2	13/12/18	ISSUE FOR APPROVAL
3	14/12/18	ISSUE FOR SSD SUBMISSION
4	24/06/19	FOR REVIEW
5	28/06/19	ISSUED FOR RESUBMISSION
6	07/08/19	REVISED SSD
7	16/08/19	REVISED SSD SUBMISSION
8	21/08/19	REVISED SSD SUBMISSION

Scale: 1:500 0 5 10 15 25m

Project Manager

Services Design

LOT 22
DP 825400

GREENBOX

+61 2 8069 8930

LEVEL 25
25 BLIGH STREET
SYDNEY NSW 2000 AUSTRALIA

GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 778 086

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Client

Project
ATSYD2
1 SIRIUS ROAD LANE COVE WEST

Drawn By
PLWG

Checked By
DW

Date
21.08.19

Project Status
SSD

Drawing Title
LEVEL 3 FLOOR PLAN_RL20.2

Drawing Number
ATSYD2_SSD_DRG_ARC_0102

Issue
8

RL 20.2



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Environment

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Signed [Signature]

Sheet No 5 of 26

LOT 1
DP 884454

DP 752067

LOT 7372
DP 61897

LOT 955
DP 752067

LOT 22
DP 825400

LOT 2
DP 1151370

LOT 5
DP 241786

LOT 7
DP 241877

LOT 8
DP 241877

LEVEL 4 FLOOR PLAN (L4) RL 26.0

1 : 500

PARKING SCHEDULE

Type	QUANTITY
5400 x 2400 (Class 1&1A)	63
6000 x 2750 Mini Bus	1
5400 x 2400 Accessible	2
5900 x 2400 (Class 1&1A-Parallel)	2
6200 x 2400 (Class 1&1A-Parallel)	2
TOTAL	70

SITE AREA: 39,453m²

FLOOR AREA:

LEVEL 2: 8,039m²

LEVEL 3: 8,039m²

LEVEL 4: 8,312m²

LEVEL 5: 8,039m²

GFA: 32,429m²

FSR: 0.82

Issue	Date	Description
1	12/12/18	ISSUE FOR APPROVAL
2	13/12/18	ISSUE FOR APPROVAL
3	14/12/18	ISSUE FOR SSD SUBMISSION
4	24/06/19	FOR REVIEW
5	28/06/19	ISSUED FOR RESUBMISSION
6	27/06/19	REVISED SSD
7	19/08/19	REVISED SSD SUBMISSION
8	21/08/19	REVISED SSD SUBMISSION

Scale: 1:500 0 5 10 15 25m

Project Manager:

Service Design:

GREENBOX

+61 2 8069 8930

LEVEL 25
25 BLIGH STREET
SYDNEY NSW 2000 AUSTRALIA

GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 776 088

ISO 9001 CERTIFIED QUALITY SYSTEM

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Client:

Project
ATSYD2
1 SIRIUS ROAD LANE COVE WEST

Drawn By
PLWG
Checked By
DW
Date
21.08.19
Project Status
SSD

Scale
1:500 @ A1
Approved By
AO
Job Number
180095

Drawing Title
LEVEL 4 FLOOR PLAN _RL26.0

Drawing Number
ATSYD2_SSD_DRG_ARC_0103
Issue
8

RL 26.0



Planning,
Industry &
Environment

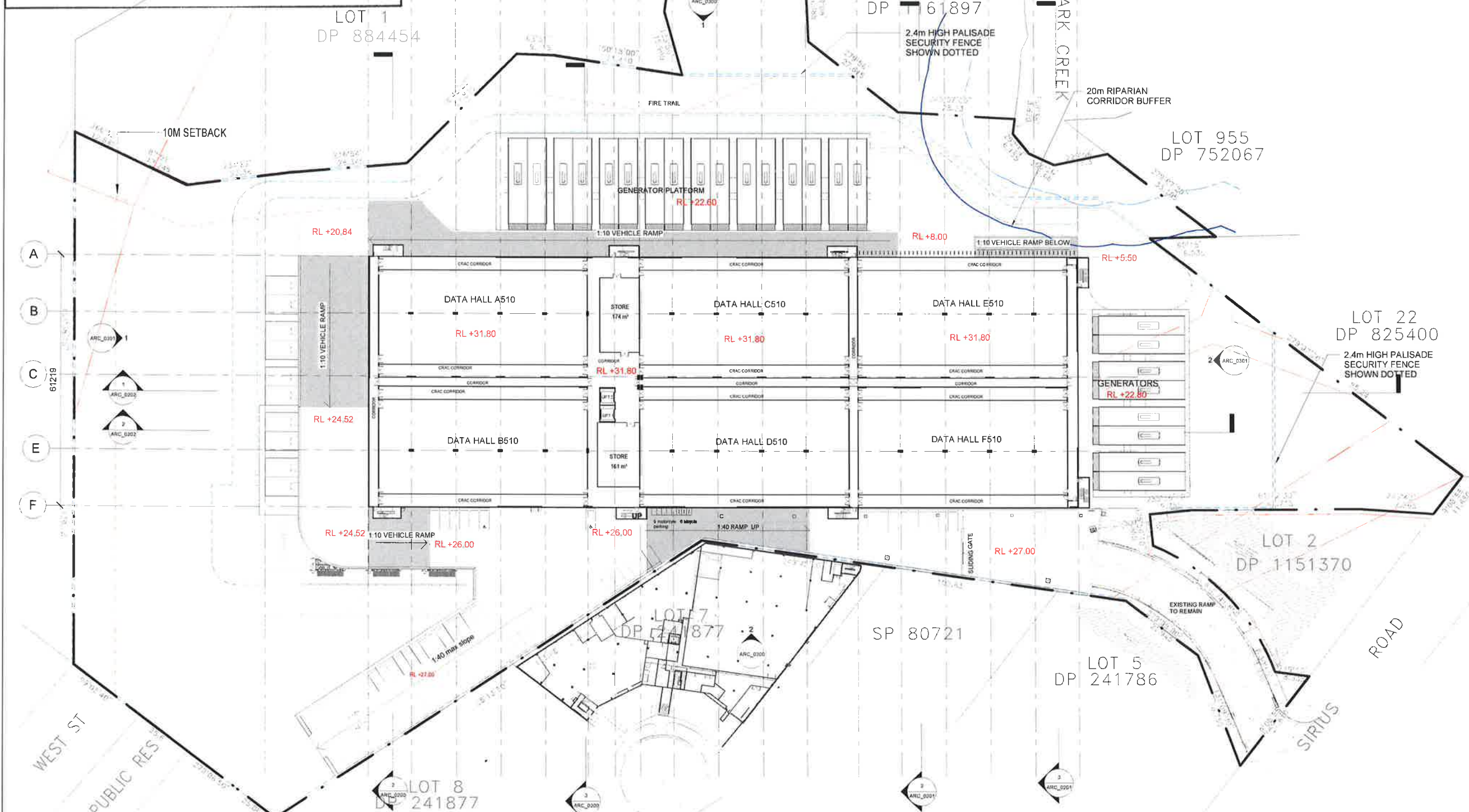
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD-9741

Granted on 15/11/2019

Signed [Signature]

Sheet No. 6 of 26



SITE AREA: 39,453m²
FLOOR AREA:
LEVEL 2: 8,039m²
LEVEL 3: 8,039m²
LEVEL 4: 8,312m²
LEVEL 5: 8,039m²
GFA: 32,429 m²
FSR: 0.82

Issue	Date	Description
1	12/12/18	ISSUE FOR APPROVAL
2	13/12/18	ISSUE FOR APPROVAL
3	14/12/18	ISSUE FOR SSD SUBMISSION
4	24/06/19	FOR REVIEW
5	26/06/19	ISSUED FOR RESUBMISSION
6	07/08/19	REVISED SSD
7	16/08/19	REVISED SSD SUBMISSION
8	21/08/19	REVISED SSD SUBMISSION

Sc. 1:100 0 1 2 3 5m

Project Manager:

Services Design:

GREENBOX

+61 2 8068 8930
LEVEL 25
25 BLIGH STREET
SYDNEY NSW 2000 AUSTRALIA
GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 778 098
ISO 9001 CERTIFIED QUALITY SYSTEM

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Client:

Project:
ATSYD2
1 SIRIUS ROAD LANE COVE WEST

Drawn By: PL/WG
Checked By: DW
Date: 21.08.19
Project Status:

Scale: 1:500 @ A1
Approved By: AO
Job Number: 180095

Drawing Title:
LEVEL 5 FLOOR PLAN_RL31.8
Drawing Number:
ATSYD2_SSD_DRG_ARC_0104
Issue: 8

1 LEVEL 5 FLOOR PLAN RL 31.8
1: 500

RL 31.8



Sheet No. 7 of 26 DP 884454

Issue	Date	Description
1	12 12 18	ISSUE FOR APPROVAL
2	13 12 16	ISSUE FOR APPROVAL
3	14 12 18	ISSUE FOR SSD SUBMISSION
4	24 06 19	FOR REVIEW
5	28 06 19	ISSUED FOR RESUBMISSION
6	07 06 19	REVISED SSD
7	16 08 19	REVISED SSD SUBMISSION
8	21 08 19	REVISED SSD SUBMISSION

Sc. 1:500 0 5 10 15 25m

Project Manager

Services Design

GREENBOX

+61 2 8069 8930

LEVEL 25
25 BLIGH STREET
SYDNEY NSW 2000 AUSTRALIA

GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 779 096

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Client

Project
ATSYD2
1 SIRIUS ROAD LANE COVE WEST

Drawn By	Scale
PL:WG	1:500 @ A1

Checked By	Approved
DW	AO

Date	Job Number
21.08.19	180095

Project Status	SSP
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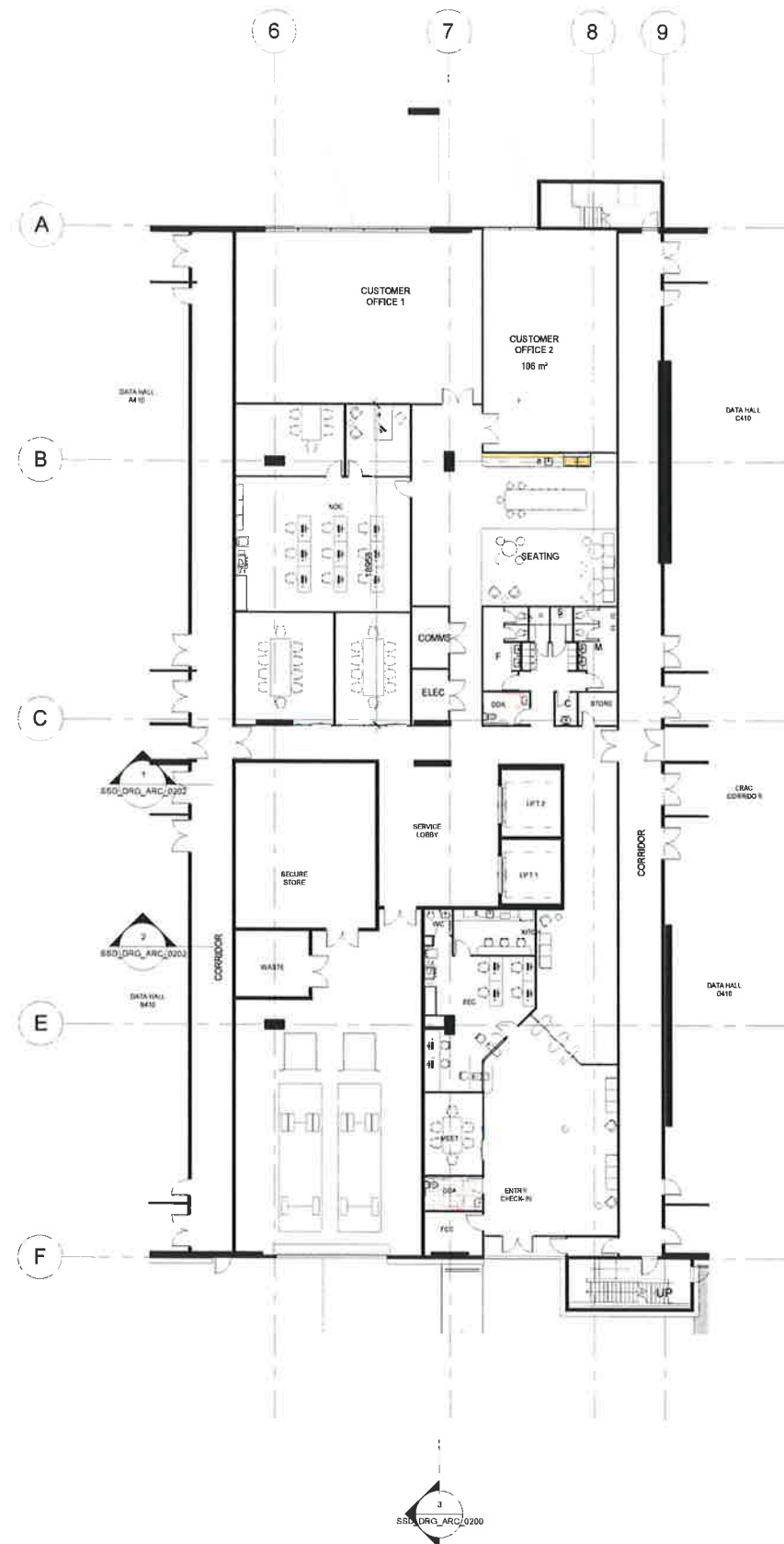
Drawing Title

ROOF PLAN

Drawing Number	Issue
ATSYD2 SSD DRG ARC 0105	8

ROOF PLANT LAYOUT

1 : 500



1 OFFICE LOWER LEVEL @ RL26.0
1 : 200



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Sheet No 8 of 26

Issue	Date	Description
1	12.12.18	ISSUE FOR APPROVAL
2	14.12.18	ISSUE FOR SSD SUBMISSION
3	24.06.19	FOR REVIEW
4	28.06.19	ISSUED FOR RESUBMISSION
5	07.08.19	REVISED SSD
6	16.08.19	REVISED SSD SUBMISSION
7	21.08.19	REVISED SSD SUBMISSION

Project Manager

Services Design

GREENBOX

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LEVEL 25
25 BLIGH STREET
SYDNEY NSW 2000 AUSTRALIA

GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 779 698

ISO 9001 CERTIFIED QUALITY SYSTEM

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Client:

Project
ATSYD2
1 SIRIUS ROAD LANE COVE WEST

Drawn By
PLWG

Scale
1 : 200 @ A1

Checked By
DW

Approved By
AO

Date
21.08.19

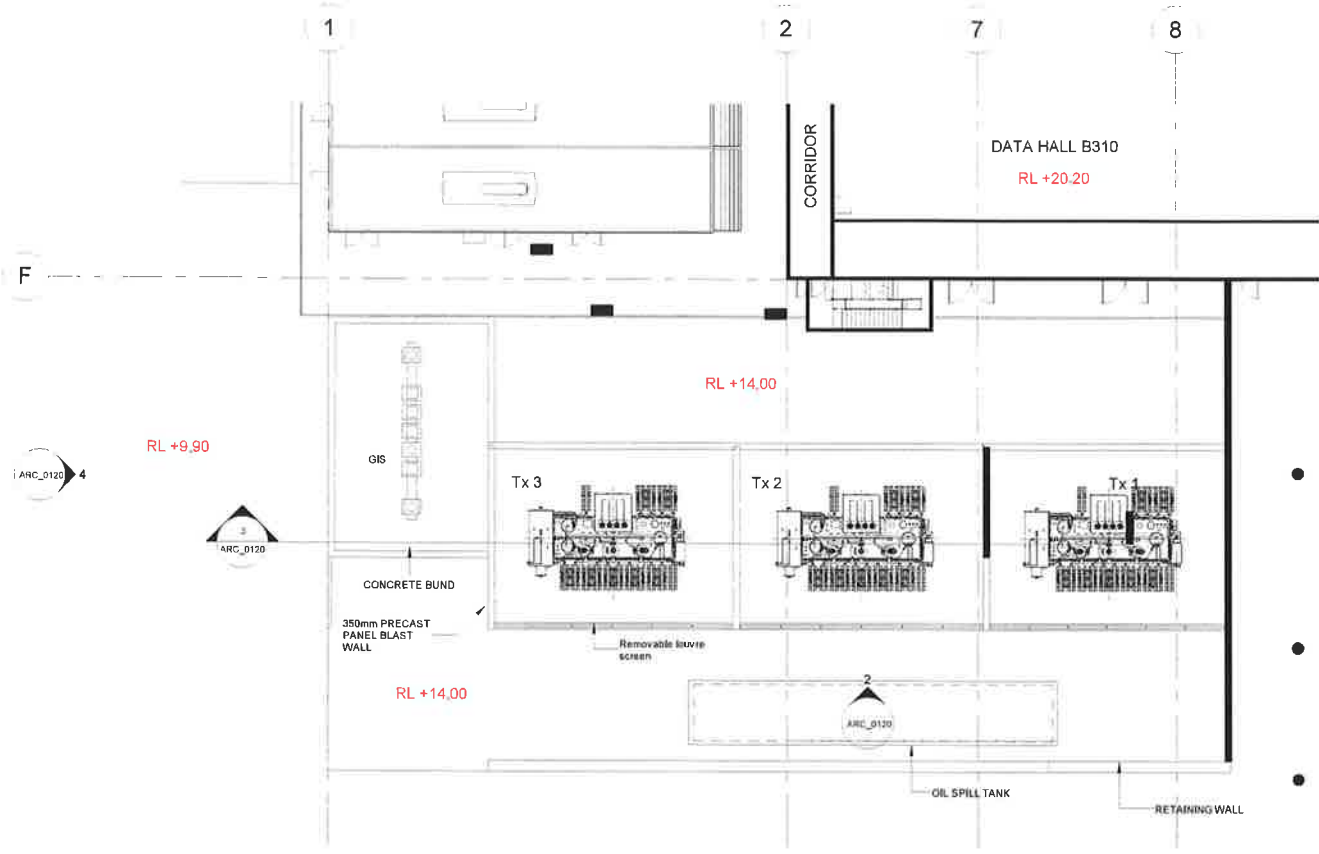
Job Number
180095

Project Status
SSD

Drawing Title
OFFICE PLANS

Drawing Number
ATSYD2_SSD_DRG_ARC_0110

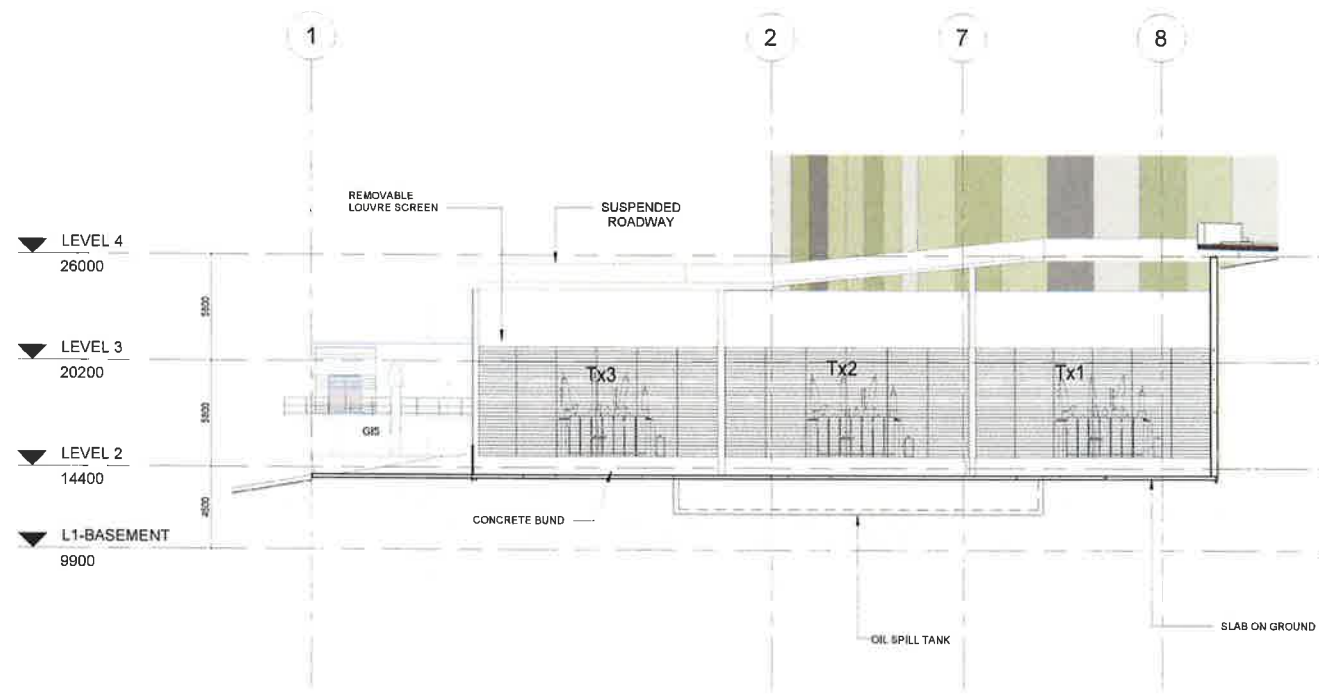
Issue
7



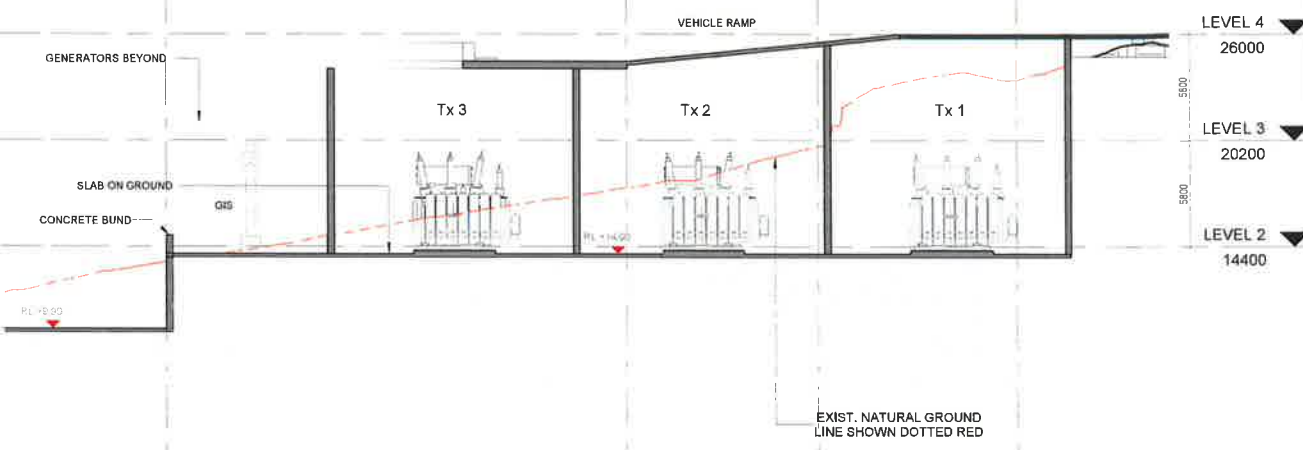
1 SUBSTATION GROUND FLOOR PLAN
ARC_0102 1:200



4 Transformer Bay Side Elevation
1:200



2 Substation South Elevation (Front)
1:200



3 Transformer Bay Section
1:200

**Planning,
Industry &
Environment**

Approved Application No ... SSD-9741 ...

Granted on ... 15/11/2019 ...

Signed ... [Signature] ...

Sheet No ... 9 ... of ... 26 ...

Issue	Date	Description
1	14.12.18	ISSUE FOR SSD SUBMISSION
2	28.01.19	ISSUE FOR REVISION
3	07.01.19	REVISED SSD
4	16.01.19	REVISED SSD SUBMISSION
5	21.08.19	REVISED SSD SUBMISSION

Project Manager:	
Services Design:	

GREENBOX

+61 2 8069 8930

LEVEL 25
25 BLIGH STREET
SYDNEY NSW 2000 AUSTRALIA

GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 779 088

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Client:

Project:
ATSYD2
1 SIRIUS ROAD LANE COVE WEST

Drawn By: PL/WG	Scale: 1:200 @ A1
Checked By: DW	Approved By: AO
Date: 21.08.19	Job Number: 180095

Project Status:
SSD

Drawing Title:
SUBSTATION DETAIL

Drawing Number: ATSYD2_SSD_DRG_ARC_0120	Revision: 5
--	----------------



Issue	Date	Description
1	12.12.16	ISSUE FOR APPROVAL
2	13.12.16	ISSUE FOR APPROVAL
3	14.12.16	ISSUE FOR SSD SUBMISSION
4	24.06.19	FOR REVIEW
5	28.06.19	ISSUED FOR RESUBMISSION
6	07.08.19	REVISED SSD
7	16.08.19	REVISED SSD SUBMISSION
8	21.08.19	REVISED SSD SUBMISSION

Project Manager

Services Design

GREENBOX

+61 2 8068 8930
LEVEL 25
25 BLIGH STREET
SYDNEY NSW 2000 AUSTRALIA
GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 779 098
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Client

Project
ATSYD2
1 SIRIUS ROAD LANE COVE WEST

Drawn By
PLWG
Scale
1:500 @ A1
Checked By
DW
Approved By
AO
Date
21.08.19
Job Number
180095
Project Status
SSD

Drawing Title
ELEVATIONS 1

Drawing Number
ATSYD2_SSD_DRG_ARC_0300
Sheet
8

1 NORTH ELEVATION
1 : 500



2 SOUTH ELEVATION
1 : 500

NSW GOVERNMENT | **Planning, Industry & Environment**

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Granted on 15/11/2019

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Sheet No 10 of 26

PC1 - DULUX - SWEDISH CLOVER
PAINTED CONCRETE

PC2 - DULUX - BONZA GREEN
PAINTED CONCRETE

PC3 - LIGHT GREY
PAINTED CONCRETE

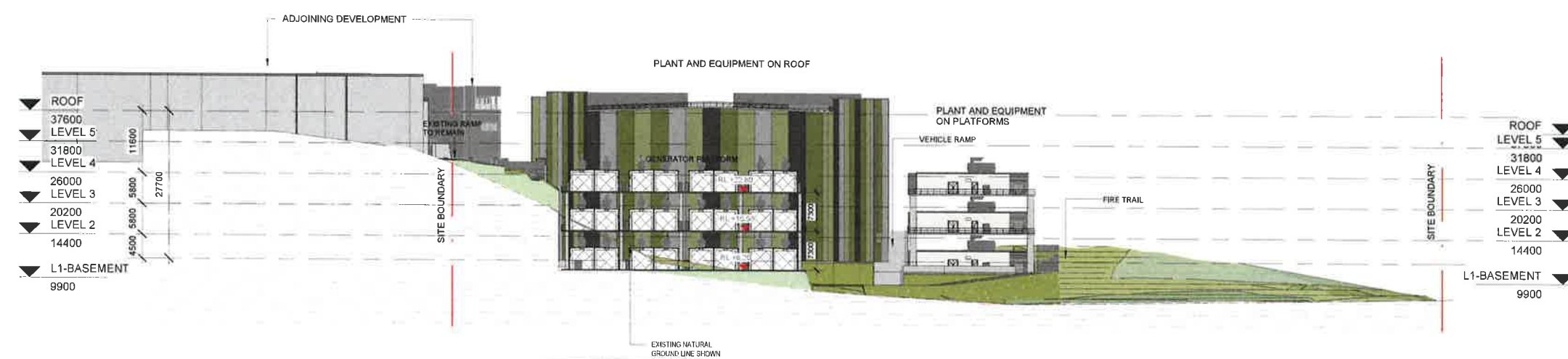
PC4 - DARK GREY
PAINTED CONCRETE

GL1 - CLEAR GLAZING

GS1 - GALVANISED MILD STEEL STAIRS,
BALUSTRADE AND PLATFORMS



1 WEST ELEVATION
1 : 500



2 EAST ELEVATION
1 : 500

NSW GOVERNMENT | **Planning, Industry & Environment**

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Granted on 15/11/2019

Signed JH

Sheet No. 11 of 26

- PC1 - DULUX - SWEDISH CLOVER PAINTED CONCRETE
- PC2 - DULUX - BONZA GREEN PAINTED CONCRETE
- PC3 - LIGHT GREY PAINTED CONCRETE
- PC4 - DARK GREY PAINTED CONCRETE
- GL1 - CLEAR GLAZING
- GS1 - GALVANISED MILD STEEL STAIRS, BALUSTRADE AND PLATFORMS

Issue	Date	Description
1	12/12/18	ISSUE FOR APPROVAL
2	13/12/18	ISSUE FOR APPROVAL
3	14/12/18	ISSUE FOR \$50 SUBMISSION
4	24/06/19	FOR REVIEW
5	28/06/19	ISSUED FOR RESUBMISSION
6	07/06/19	REVISED \$50
7	16/09/19	REVISED \$50 SUBMISSION
8	21/08/19	REVISED \$50 SUBMISSION

Project Manager	
Service Design	

GREENBOX

+61 2 8069 8930

LEVEL 25
25 BLIGH STREET
SYDNEY NSW 2000 AUSTRALIA

GREENBOX ARCHITECTURE PTY LTD
ABN 79 139 779 088

ISO 9001 CERTIFIED QUALITY SYSTEM

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- Nominated Architect - Gerard Page: NSW reg No. 7247, NZ reg No. 3715, Vic reg No. 17664, SA reg No. 3081, QLD reg No. 4538, WA reg No. 2489

Client

Project	ATSYD2 1 SIRIUS ROAD LANE COVE WEST
Drawn By	PL WG
Checked By	DW
Date	21/08/19
Project Status	SSD
Drawing Title	ELEVATIONS 2
Drawing Number	ATSYD2_SSD_DRG_ARC_0301
Issue	8



Planning,
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Environment

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Approved Application No SSD-9741

Granted on 15/11/2019

Signed JH

Sheet No 12 of 26

LOT 1
DP 884454

LOT 7372
DP 1161897

LOT 955
DP 752067

LOT 22
DP 825400

LOT 2
DP 1151370

LOT 7
DP 241877

SP 80721

LOT 5
DP 241786

LOT 8
DP 241877

MASTER PLAN - PROTECTION BARRIER

1

1 : 500

4M FIRE TRAIL

EGRESS ROUTE

2.0M HIGH FIRE DEFENCE
PROTECTION POINT

Issue	Date	Description
1	12/12/18	ISSUE FOR APPROVAL
2	13/12/18	ISSUE FOR APPROVAL
3	14/12/18	ISSUE FOR SSD SUBMISSION
4	24/06/19	FOR REVIEW
5	28/06/19	ISSUED FOR RESUBMISSION
6	07/08/19	REVISED SSD
7	15/08/19	REVISED SSD SUBMISSION
8	21/08/19	REVISED SSD SUBMISSION

Project Manager:

Services Design:

GREENBOX

+61 2 8069 8930

LEVEL 25
25 BLIGH STREET
SYDNEY NSW 2000 AUSTRALIA

GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 779 098

ISO 9001 CERTIFIED QUALITY SYSTEM

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- Nominated Architect - Gerard Page, NSW reg No.7247, NZ reg No.3715, Vic reg No.17664, SA reg No.3061, QLD reg No.4538, WA reg No.2489

Client:

Project
ATSYD2
1 SIRIUS ROAD LANE COVE WEST

Drawn By
PLWG

Scale
1 : 500 @ A1

Checked By
DW

Approved By
AO

Date
21.08.19

Job Number
180095

Project Status
SSD

Drawing Title
MASTER PLAN - HYDRANT POINT

Drawing Number
ATSYD2_SSD_DRG_ARC_0901

Issue
8



Planning,
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Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No SSD - 9741

Granted on 15/11/2019

Signed #

Sheet No 13 of 26

PHASE 1
PHASE 2
PHASE 3

Issue	Date	Description
1	12.12.18	ISSUE FOR APPROVAL
2	13.12.18	ISSUE FOR APPROVAL
3	14.12.18	ISSUE FOR SSD SUBMISSION
4	24.06.19	FOR REVIEW
5	28.06.19	ISSUED FOR RESUBMISSION
6	07.08.19	REVISED SSD
7	16.09.19	REVISED SSD SUBMISSION
8	21.08.19	REVISED SSD SUBMISSION

Project Manager

Services Design

GREENBOX

+61 2 8069 8930

LEVEL 25
25 BLIGH STREET
SYDNEY NSW 2000 AUSTRALIA

GREENBOX ARCHITECTURE PTY LTD
ABN: 79 139 779 086

ISO 9001 CERTIFIED QUALITY SYSTEM

- Use written dimensions only
- Do not scale from drawing
- Contractors shall confirm all dimensions on-site prior to commencing any work or producing any shop drawings
- All materials to be used in accordance with the manufacturer's specifications and instructions and shall comply with the relevant Australian Standards
- Copyright of this drawing and design remain the property of Greenbox Architecture Pty Ltd
- Nominated Architect - Gerard Page, NSW reg No.7247, NZ reg No.3715, Vic reg No.17664, SA reg No.3961, QLD reg No.4538, WA reg No.2489

Project
ATSYD2
1 SIRIUS ROAD LANE COVE WEST

Drawn By
PLWG
Checked By
DW
Date
21.08.19

Scale
1:500 @ A1
Approved By
AO
Job Number
180095

Project Status
SSD

Drawing Title
PHASING PLAN

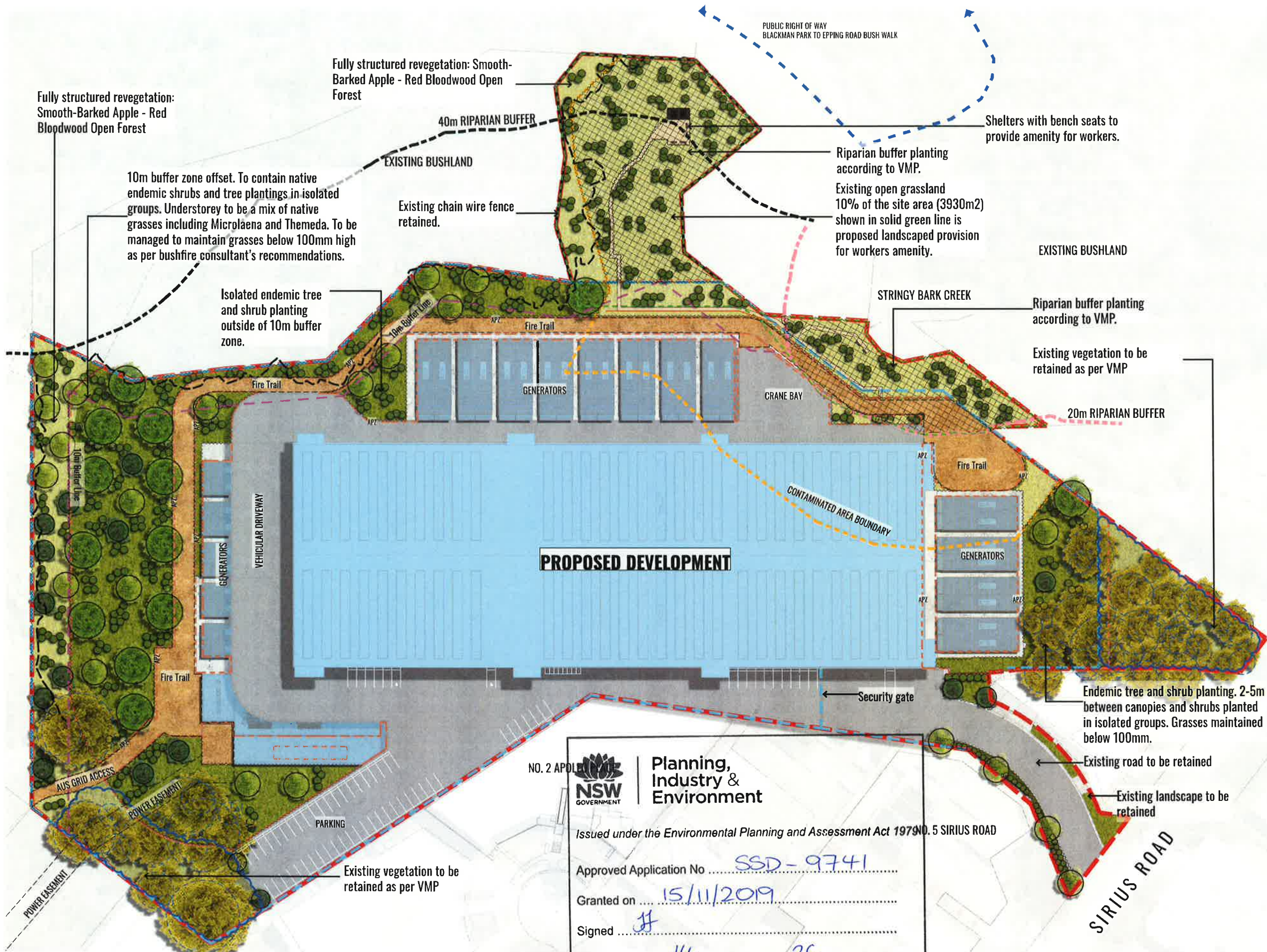
Drawing Number
ATSYD2_SSD_ORG_ARC_0802
Issue
8

1

PHASING PLAN

1:500

21-Aug-19 5:35:22 PM



LEGEND

- SITE BOUNDARY
- RETAINING WALL
- 2.4m HIGH PALISADE SECURITY FENCE
- EXISTING TREE TO BE RETAINED (REFER TO ARBORIST'S REPORT)
- NATIVE ENDEMIC CANOPY TREE PLANTING (MAXIMUM 15% OF THE SITE AREA)
- MIX OF INDIGENOUS SHRUB PLANTING (MAXIMUM 10% OF THE SITE AREA)
- NATIVE GROUND COVER PLANTING MIX (APZ) (TO BE MANAGED TO 100mm HIGH)
- FIRE TRAIL
- PROPOSED DECO GRANITE AMENITY AREA
- EXISTING TREE CANOPY FROM ADJOINING BOUNDARY
- BUSH REGENERATION AREA REFER TO VMP
- 10M BUFFER LINE FROM BUSH LAND
- AREA OF CONTAMINATED LANDS
- 20m RIPARIAN ZONE BUFFER (REFER TO VMP PREPARED BY TRAVERS ECOLOGY)
- 40m RIPARIAN ZONE BUFFER (REFER TO VMP PREPARED BY TRAVERS ECOLOGY)
- EXTENT OF ASSET PROTECTION ZONE (APZ BOUNDARY). REFER TO VMP PREPARED BY TRAVERS ECOLOGY
- 1.0m WIDE PERMEABLE WALKING PATHWAY TO AMENITY AREA
- EXISTING CHAIN LINK FENCE RETAINED ALONG NORTHERN BOUNDARY.
- RE-VEGETATION RIPARIAN PLANTING TO VMP AND DPI REQUIREMENTS (REFERS TO TRAVERS BUSHFIRE & ECOLOGY)

NO. 2 APPLE
NSW GOVERNMENT
Planning, Industry & Environment

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Approved Application No SSD-9741

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Signed JH

Sheet No 14 of 26

Drawing Title:
Landscape Masterplan

DWG No:

GEOSCAPES
LANDSCAPE ARCHITECTS
Suite 215, 284 Victoria Av, Chatswood NSW 2067 Ph. (02) 9411 1485
www.geoscapes.com.au ABN 84 620 205 781 ACN 620 205 781
Registered Landscape Architect #5868

Client:

GREENBOX

Scale: 1:500@ A1
1:1000 @ A3

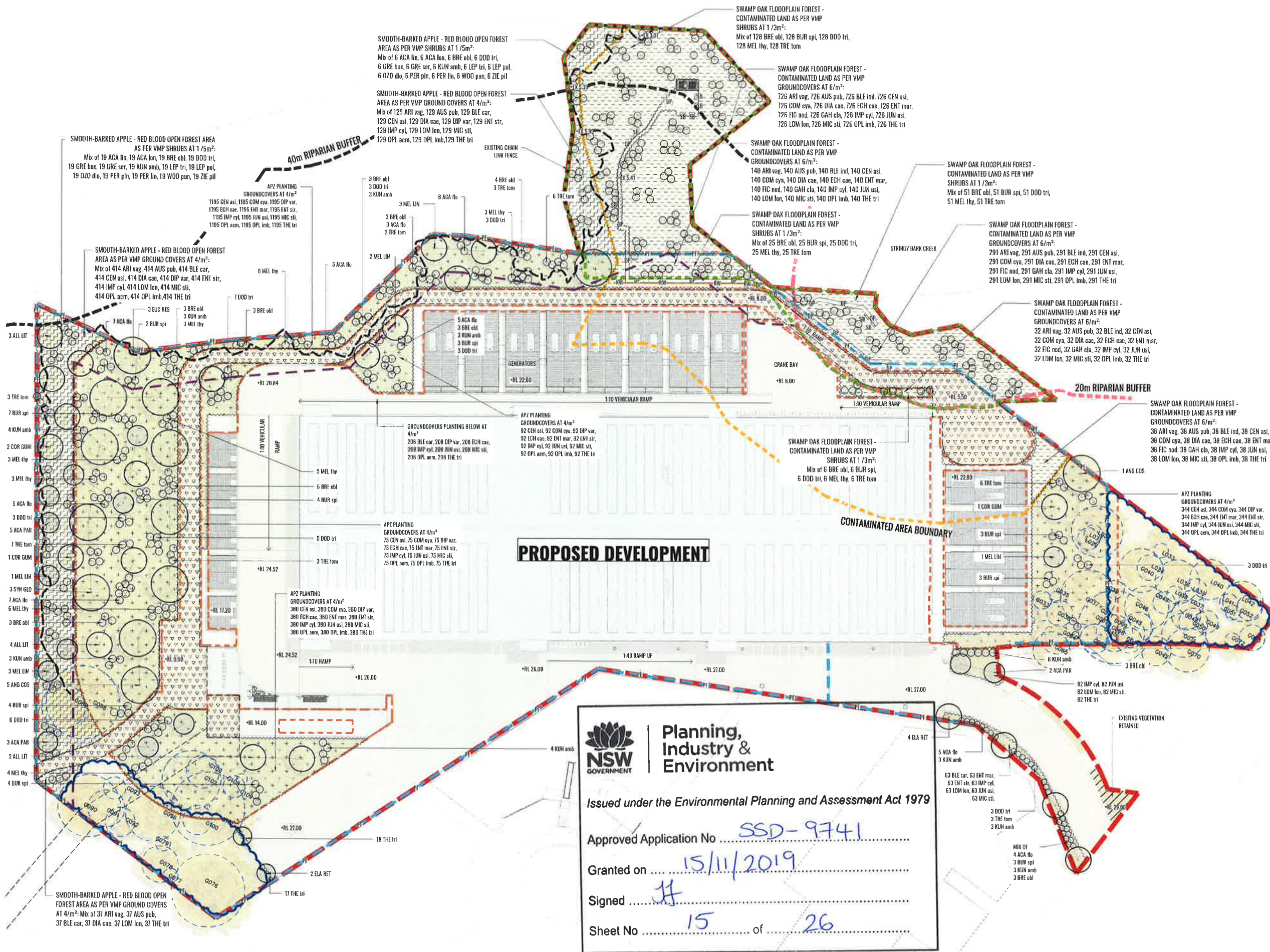
Date: 26.08.19

Job Number: 181108

North:

Project: Proposed Data Centre
Lane Cove West NSW 2066

FOR DEVELOPMENT APPROVAL				
Rev	Date	Description	Drawn	Checked
C	26.08.19	FOR SSD SUBMISSION	SW	BG
B	03.07.19	FOR SSD SUBMISSION	SW	BG
A	18.12.18	FOR SSD SUBMISSION	CC	BG



LEGEND

SITE BOUNDARY

RETAINING WALL

2.4m HIGH PALISADE SECURITY FENCE

EXISTING TREE TO BE RETAINED (REFER TO ARBORIST'S REPORT)

NATIVE ENDEMIC CANOPY TREE PLANTING (MAXIMUM 15% OF THE SITE AREA)

MIX OF INDIGENOUS SHRUB PLANTING (MAXIMUM 10% OF THE SITE AREA)

NATIVE GROUNDCOVER PLANTING MIX (APZ) (TO BE MANAGED TO 100mm HIGH)

SMOOTH-BARKED APPLE - RED BLOODWOOD OPEN FOREST AS PER VMP

SWAMP OAK FLOODPLAIN FOREST - CONTAMINATED LAND AS PER VMP

FIRE TRAIL

BUSH REGENERATION AREA REFER TO VMP

EXISTING LANDSCAPE AREA TO BE RETAINED

10M BUFFER LINE FROM BUSH LAND

AREA OF CONTAMINATED LANDS

20m RIPARIAN ZONE BUFFER (REFER TO VMP PREPARED BY TRAVERS ECOLOGY)

40m RIPARIAN ZONE BUFFER (REFER TO VMP PREPARED BY TRAVERS ECOLOGY)

EXTENT OF ASSET PROTECTION ZONE (APZ BOUNDARY). REFER TO VMP PREPARED BY TRAVERS ECOLOGY

EXISTING CHAIN LINK FENCE RETAINED ALONG NORTHERN BOUNDARY.

1.0m WIDE PERMEABLE WALKING PATHWAY TO AMENITY AREA.

PLANTER BOXES:
SB: SEATING BENCH;
PS: PICNIC SHELTER WITH TABLE SEAT

XX MEL thy → PLANTING CODES (REFER TO PLANT SCHEDULE)

+EX EXISTING LEVEL

+RL/FFL PROPOSED LEVEL

Planning, Industry & Environment

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Sheet No 15 of 26

Drawing Title:
Landscape Detailed Plan

DWG No:

GEOSCAPES

Suite 215, 284 Victoria Av, Chatswood NSW 2067 Ph. (02) 9411 1485
www.geoscapes.com.au ABN 84 620 205 781 ACN 620 205 781
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Client:

GREENBOX

Scale: 1:500 @ A1
1:1000 @ A3

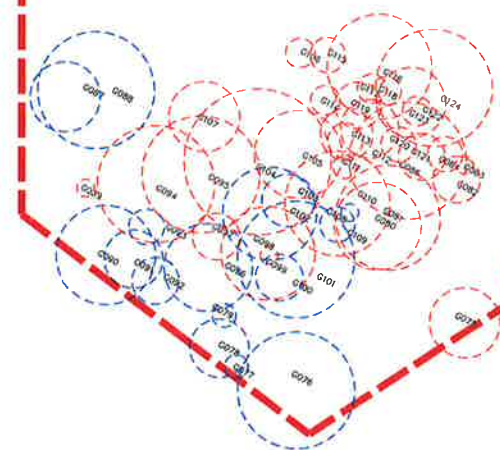
Date: 26.08.19

Job Number: 181108

North:

Project: Proposed Data Centre
Lane Cove West NSW 2066

Revision			FOR DEVELOPMENT APPROVAL	
Rev	Date	Description	Drawn	Checked
C	26.08.19	FOR SSD SUBMISSION	SW	BG
B	03.07.19	FOR SSD SUBMISSION	SW	BG
A	18.12.18	FOR SSD SUBMISSION	CC	BG



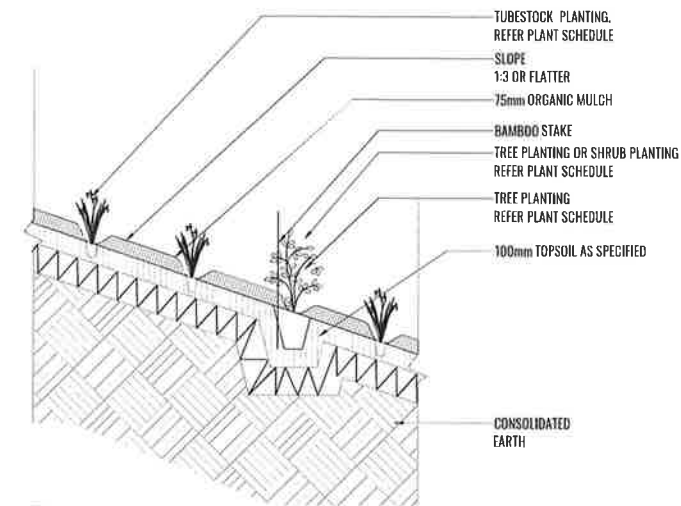
Sheet No. 16 of 26

EXISTING TREE TO BE RETAINED
(REFER TO ARBORIST'S REPORT)

T-G047	Smooth-barked Apple	<i>Angophora costata</i>	Retain
T-G048	Smooth-barked Apple	<i>Angophora costata</i>	Retain
T-G049	Camphor Laurel	<i>Cinnamomum camphora</i>	Retain
T-G050	Ceasho Tree	<i>Glochidion ferdinandi</i>	Retain
T-G051	Red Mahogany	<i>Eucalyptus resinifera</i>	Retain
T-G052	Camphor Laurel	<i>Cinnamomum camphora</i>	Retain
T-G053	Black She-oak	<i>Allocasuarina littoralis</i>	Retain
T-G054	Red Mahogany	<i>Eucalyptus resinifera</i>	Retain
T-G055	Red Mahogany	<i>Eucalyptus resinifera</i>	Retain
T-G056	Red Mahogany	<i>Eucalyptus resinifera</i>	Retain
T-G057	Sydney peppermint	<i>Eucalyptus piperita</i>	Retain
T-G058	Red bloodwood	<i>Corymbia gummifera</i>	Retain
T-G059	Paramatta Wattle	<i>Acacia paramattensis</i>	Retain
T-G060	Paramatta Wattle	<i>Acacia paramattensis</i>	Retain
T-G061	Sydney Peppermint	<i>Eucalyptus piperita</i>	Retain
T-G062	White Stringybark	<i>Eucalyptus globoidea</i>	Retain
T-G063	Swamp Oak	<i>Casuarina glauca</i>	Retain
T-G064	Red Mahogany	<i>Eucalyptus resinifera</i>	Retain
T-G065	Red Mahogany	<i>Eucalyptus resinifera</i>	Retain
T-G066	Dead Stag	Dead Stag	Retain
T-G067	Smooth-barked Apple	<i>Angophora costata</i>	Retain
T-G068	Smooth-barked Apple	<i>Angophora costata</i>	Retain
T-G069	Red Mahogany	<i>Eucalyptus resinifera</i>	Retain
T-G070	Red Mahogany	<i>Eucalyptus resinifera</i>	Retain
T-G071	Red Mahogany	<i>Eucalyptus resinifera</i>	Retain
T-G072	Large-leaved Privet	<i>Ligustrum lucidum</i>	Retain
T-G073	Camphor Laurel	<i>Cinnamomum camphora</i>	Retain
T-G074	Hard-leaved Scribbly Gum	<i>Eucalyptus sclerophylla</i>	Retain
T-G075	Hard-leaved Scribbly Gum	<i>Eucalyptus sclerophylla</i>	Retain
T-G076	Hard-leaved Scribbly Gum	<i>Eucalyptus sclerophylla</i>	Retain
T-G077	Paramatta Wattle	<i>Acacia paramattensis</i>	Retain
T-G078	Red Mahogany	<i>Eucalyptus resinifera</i>	Retain
T-G079	Smooth-barked Apple	<i>Angophora costata</i>	Retain
T-G080	Smooth-barked Apple	<i>Angophora costata</i>	Retain
T-G081	Smooth-barked Apple	<i>Angophora costata</i>	Retain
T-G082	Smooth-barked Apple	<i>Angophora costata</i>	Retain
T-G083	-	<i>Eucalyptus</i> sp	Retain
T-G084	Dead Stag	Dead Stag	Retain
T-G085	Smooth-barked Apple	<i>Angophora costata</i>	Retain
T-G086	Smooth-barked Apple	<i>Angophora costata</i>	Retain

T-L011	Smooth-barked Apple	<i>Angophora costata</i>	Remov
T-L012	Dead Stag	Dead stag	Remov
T-L013	Smooth-barked Apple	<i>Angophora costata</i>	Remov
T-L014	Red Mahogany	<i>Eucalyptus resinifera</i>	Remov
T-L015	Smooth-barked Apple	<i>Angophora costata</i>	Remov
T-L016	Green Wattle	<i>Acacia irrorata</i>	Remov
T-L017	Smooth-barked Apple	<i>Angophora costata</i>	Remov
T-L018	Broad-leaved White Mahogany	<i>Eucalyptus umbra</i>	Remov
T-L019	Cheese Tree	<i>Glochidion ferdinandi</i>	Remov
T-L020	Black She-oak	<i>Allocasuarina littoralis</i>	Retain
T-L021	Dead Stag	Dead Stag	Retain
T-L022	Red Mahogany	<i>Eucalyptus resinifera</i>	Remov
T-L023	Hickory Wattle	<i>Acacia implexa</i>	Remov
T-L024	Smooth-barked Apple	<i>Angophora costata</i>	Remov
T-L025	Large-leaved Privet	<i>Ligustrum lucidum</i>	Remov
T-L026	Large-leaved Privet	<i>Ligustrum lucidum</i>	Retain
T-L027	Small-leaved Privet	<i>Ligustrum sinense</i>	Retain
T-L028	Black Locust	<i>Gloditsea tricanthos</i>	Remov
T-L029	Black Locust	<i>Gloditsea tricanthos</i>	Retain
T-L030	Large-leaved Privet	<i>Ligustrum lucidum</i>	Retain
T-L031	Large-leaved Privet	<i>Ligustrum lucidum</i>	Remov
T-L032	Smooth-barked Apple	<i>Angophora costata</i>	Retain
T-L033	Cheese Tree	<i>Glochidion ferdinandi</i>	Retain
T-L034	Port Jackson Fig	<i>Ficus rubiginosa</i>	Remov
T-L035	Dead Stag	Dead Stag	Retain
T-L036	Smooth-barked Apple	<i>Angophora costata</i>	Remov
T-L037	Camphor Laurel	<i>Cinnamomum camphora</i>	Retain
T-L038	Cheese Tree	<i>Glochidion ferdinandi</i>	Retain
T-L039	Smooth-barked Apple	<i>Angophora costata</i>	Retain
T-L040	Smooth-barked Apple	<i>Angophora costata</i>	Retain
T-L041	Camphor Laurel	<i>Cinnamomum camphora</i>	Retain
T-L042	Red Bloodwood	<i>Corymbia gumifera</i>	Retain
T-P001	Smooth-barked Apple	<i>Angophora costata</i>	Remov
T-P002	River Sheoak	<i>Casuarina cunninghamiana</i>	Remov
T-P003	River Sheoak	<i>Casuarina cunninghamiana</i>	Remov
T-P004	River Sheoak	<i>Casuarina cunninghamiana</i>	Remov
T-P005	Swamp Oak	<i>Casuarina glauca</i>	Remov

Revision		FOR DEVELOPMENT APPROVAL		
Rev	Date	Description	Drawn	Checked
C	26.08.19	FOR SSD SUBMISSION	SW	BG
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1 TYPICAL TUBESTOCK PLANTING DETAIL ON 1:4 GRADE OR FLATER
TYPICAL SECTION SCALE 1:20

NSW GOVERNMENT | **Planning, Industry & Environment**

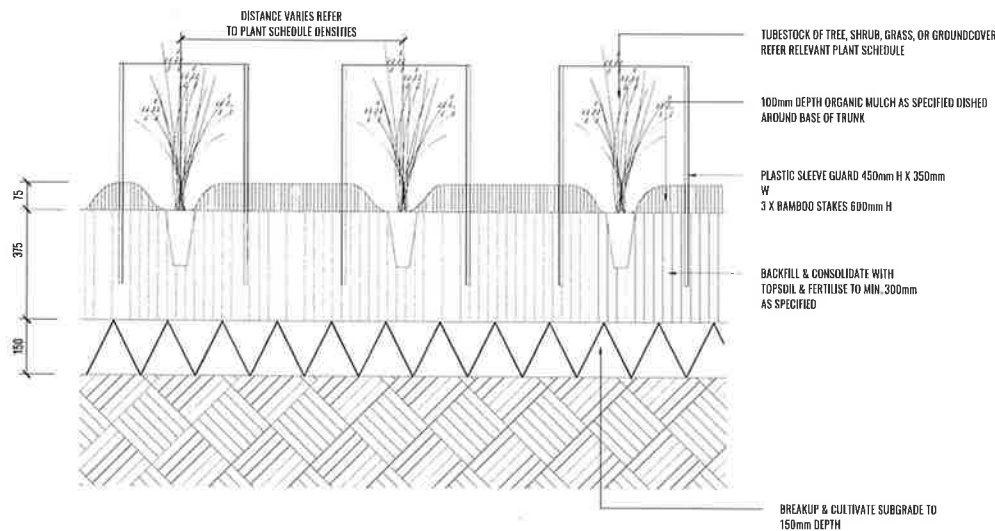
Issued under the *Environmental Planning and Assessment Act 1979*

Approved Application No. SSD-9741

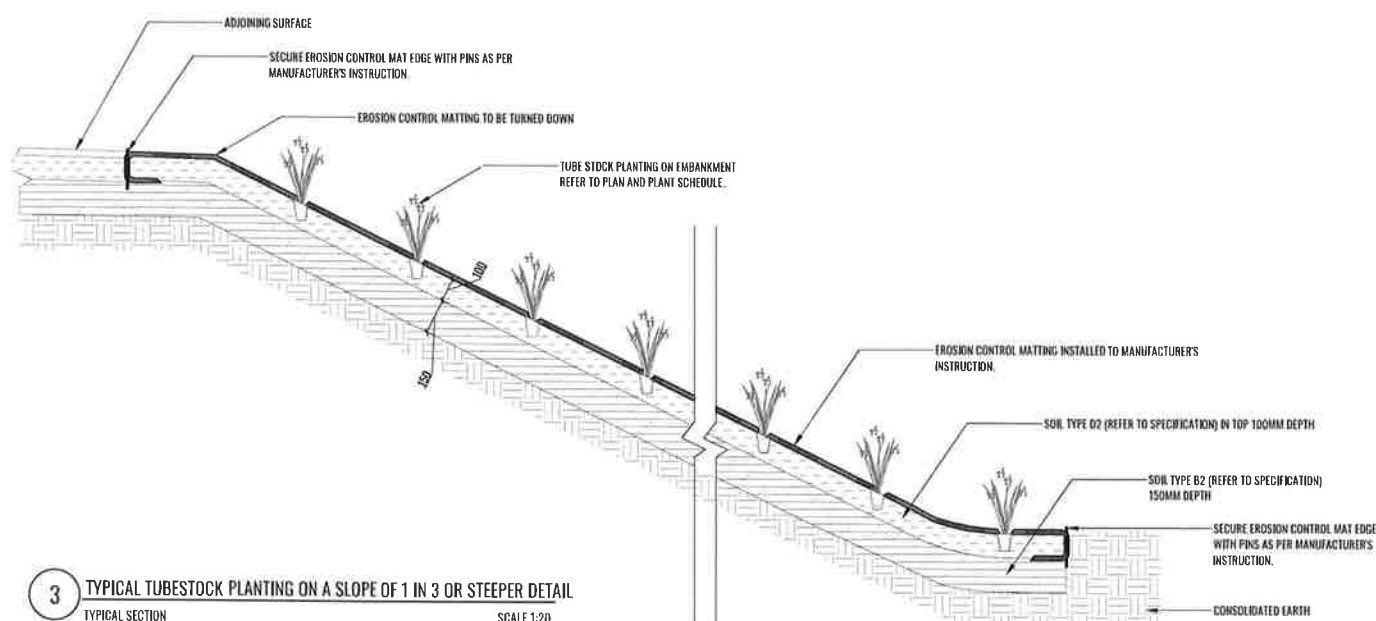
Granted on 15/11/2019

Signed [Signature]

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2 TYPICAL TUBESTOCK REVEGETATION PLANTING DETAIL IN NON CONTAMINATED AREAS
TYPICAL SECTION SCALE 1:10



3 TYPICAL TUBESTOCK PLANTING ON A SLOPE OF 1 IN 3 OR STEEPER DETAIL
TYPICAL SECTION SCALE 1:20

Typical Specifications

General

Maintenance shall mean the care and maintenance of the landscape works by accepted horticultural practice as rectifying any defects that become apparent in the landscape works under normal use. The landscape contractor shall attend the site on a weekly basis to maintain the landscape works for the term of the maintenance period commencing from practical completion.

Standards

All grown or purchased plant stock must conform to all the conditions and requirements given in NATSPEC Guide: Specifying Trees. Soils to be in accordance with AS4419, mulching composts and conditioners to be in accordance with AS4454. Soils should conform to best practice specifications as listed in the Landscape Soils Handbook (Simon Leake & Elke Haeger 2017).

Rubbish Removal

During the term of the maintenance period the Landscape Contractor shall undertake rubbish removal from the site on a weekly basis to ensure the site remains in tidy condition.

Weed Eradication

Weed growth that may occur in grassed, planted or mulched areas is to be removed using environmentally acceptable methods i.e. non-residual glyphosate herbicide (e.g. 'Roundup', applied in accordance with the manufacturer's directions).

Tree Replacement

Trees shall show signs of healthy vigorous growth and be free from disease and not exhibit signs of stress prior to handover to the client. Any trees or plant that die or fail to thrive, or are damaged or stolen will be replaced. Replacement material shall have the maintenance period extended in accordance with the landscape contract conditions. Trees and plant materials shall be equal to the minimum requirements of species specified and approved material delivered to site. Should the condition decline from the approved sample the Superintendent reserves the right to reject the tree / plants.

Frequency: as required.

Stakes

Adjust and/or replace stakes and ties where required. Remove staking and guying when instructed by the Superintendent

Pruning

Selective pruning may be required during the establishment period to promote a balanced canopy structure. These activities shall be carried out to the best horticultural and industry practice. All pruned material is to be removed from site.

Mulched Surfaces

All planter beds and garden areas shall have a minimum depth of 75mm Forest Fines mulch. All mulch is to be free of deleterious matter such as soil, weeds and sticks. Mulched surfaces are to be kept clean and tidy and free of any deleterious material and foreign matter. Reinstatement depths to a uniform level of 75mm with mulch as specified, mulch to be free of any wood material impregnated with CCA or similar toxic treatment. Top up mulch levels prior to handover to client.

Watering

Implement an appropriate hand watering regime in areas not irrigated in association with current watering programme to maintain plant health and vigour. The program shall reflect seasonal conditions and plant species.

Frequency: Weekly or as required.

Pest and Disease Control

The Landscape Contractor shall spray for pests and disease infestations when the pest and fungal attack has been positively identified and when their populations have increased to a point that will become detrimental to plant growth. Apply all pesticides to manufacturer's directions.

Frequency: weekly inspection

Fertilising

Generally check for signs of nutrient deficiencies (yellowing of leaves, failure to thrive), and adapt fertiliser regime to suit. Fertiliser should be applied at the beginning and the end of the (summer) growing season.

Bushfire (Refer to Bushfire Report)

Inner Protection Area (IPA) Fuel loads within the IPA are to be maintained so it does not exceed 4t/ha. Trees are to be maintained to ensure: canopy cover does not exceed 15%; trees (at maturity) do not touch or overhang the building; tree canopies (at maturity) should be well spread out and not form a continuous canopy; lower limbs should be removed up to a height of 2m above ground; preference should be given to smooth barked and evergreen trees. Shrubs are to be maintained to ensure: large discontinuities or gaps in vegetation; shrubs should not be located under trees; shrubs should not form more than 10% of ground cover; clumps of shrubs should be separated from exposed windows and doors by a distance of at least twice the height of vegetation.

Grass is to be maintained to ensure: A height of 10cm or less; leaves and debris is removed.

VEGETATION MANAGEMENT PLAN

Refer to VMP prepared by TRAVERS BUSHFIRE & ECOLOGY.

Drawing Title:
Typical Landscape Details & Specifications

DWG No:

LDA-06

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LANDSCAPE ARCHITECTS
Suite 215, 284 Victoria Av, Chatswood NSW 2067 Ph. (02) 9411 1485
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Client:

GREENBOX

Scale:	Date:	Job Number:	North:	FOR DEVELOPMENT APPROVAL				
AS SHOWN	26.08.19	181108	N/A	Rev	Date	Description	Drawn	Checked
Project: Proposed Data Centre Lane Cove West NSW 2066				C	26.08.19	FOR SSD SUBMISSION	SW	BG
				B	03.07.19	FOR SSD SUBMISSION	SW	BG
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PROPOSED GENERAL LANDSCAPE AND APZ PLANTING						
CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	SIZE	PLANTING DENSITY	QTY*
Canopy trees						
ANG COS	Angophora costata	Sydney Red Gum	20m	AS PER VMP	As Shown	6
COR GUM	Corymbia gummifera	Red Bloodwood	30m	AS PER VMP	As Shown	4
EUC RES	Eucalyptus resinifera	Red Mahogany	25m	AS PER VMP	As Shown	3
SYN GLO	Syncarpia glomulifera	Turpentine tree	25m	AS PER VMP	As Shown	3
Sub-canopy trees						
ACA PAR	Acacia parramattensis	Parramatta Wattle	12m	AS PER VMP	As Shown	10
ALL LIT	Allocasuarina littoralis	Black Sheoak	10m	AS PER VMP	As Shown	9
ELA ret	Elaeocarpus reticulatus	Blueberry Ash	10m	AS PER VMP	As Shown	6
MEL LIN	Melaleuca linariifolia	Snow in Summer	8m	AS PER VMP	As Shown	10
Shrubs 1 per 30m2						
ACA flo	Acacia floribunda	Sally Wattle	6m	AS PER VMP	As Shown	49
BRE obl	Breynia oblongifolia	Coffee Bush	6m	AS PER VMP	As Shown	34
BUR spi	Bursaria spinosa subsp. spinosa	Blackthorn	6m	AS PER VMP	As Shown	33
DOD tri	Dodonaea triquetra	Common Hop Bush	2m	AS PER VMP	As Shown	36
KUN amb	Kunzea ambigua	Tick Bush	2m	AS PER VMP	As Shown	35
MEL thy	Melaleuca thymifolia	Thyme Honey myrtle	2m	AS PER VMP	As Shown	33
TRE tom	Trema tomentosa	Native peach	2m	AS PER VMP	As Shown	26
Groundcovers 4 per 1m2						
BLE car	Blechnum cartilagineum	Gristle Fern	0.4m	AS PER VMP	As per VMP	271
CEN asi	Centella asiatica	Asiatic pennywort	0.2m	AS PER VMP	As per VMP	2086
COM cya	Commelina cyanea	Scurvy weed	1m	AS PER VMP	As per VMP	2086
DIP var	Dipodium variegatum	Blotched hyacinth orchid	1m	AS PER VMP	As per VMP	2294
ECH cae	Echinopogon caespitosus	Hedgehog Grass	0.75m	AS PER VMP	As per VMP	2294
ENT mar	Entolasia marginata	Panic Grass	0.3m	AS PER VMP	As per VMP	2149
ENT str	Entolasia stricta	Right angled grass	0.8m	AS PER VMP	As per VMP	2149
IMP cyl	Imperata cylindrica	Cogongrass	0.6m	AS PER VMP	As per VMP	2439
JUN usi	Juncus usitatus	Common Rush	0.6m	AS PER VMP	As per VMP	2439
LOM lon	Lomandra longifolia	Spiny Head mat rush	0.8m	AS PER VMP	As per VMP	145
MIC sti	Microlaena stipoides	Weeping Grass	0.8m	AS PER VMP	As per VMP	2439
OPL aem	Oplismenus aemulus	Basket grass	0.3m	AS PER VMP	As per VMP	2086
OPL imb	Oplismenus imbecillis	Basket grass	0.3m	AS PER VMP	As per VMP	2086
THE tri	Themeda triandra	Kangaroo Grass	0.7m	AS PER VMP	As per VMP	2411

SMOOTH-BARKED APPLE - RED BLOODWOOD OPEN FOREST						
CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	SIZE	PLANTING DENSITY	QTY*
Shrubs 1 per 5m2						
ACA lin	Acacia linifolia	White Wattle	5m	AS PER VMP	As Shown	25
ACA lon	Acacia longifolia	Sydney golden wattle	8m	AS PER VMP	As Shown	25
BRE obo	Breynia oblongifolia	Coffee Bush	6m	AS PER VMP	As Shown	25
DOD tri	Dodonaea triquetra	Common Hop Bush	2m	AS PER VMP	As Shown	25
GRE bux	Grevillea buxifolia	Grey spider flower	2m	AS PER VMP	As Shown	25
GRE ser	Grevillea sericea	Silky Grevillea	2m	AS PER VMP	As Shown	25
KUN amb	Kunzea ambigua	Tick Bush	3m	AS PER VMP	As Shown	25
LEP tri	Leptospermum trinervium	Paperbark Teatree	2m	AS PER VMP	As Shown	25
LEP pol	Leptospermum polygalifolium	Tantoon	3m	AS PER VMP	As Shown	25
OZO dio	Ozothamnus diosmifolius	Rice flower	2m	AS PER VMP	As Shown	25
PER pin	Persoonia pinifolia	Pine leaved Geebung	3m	AS PER VMP	As Shown	25
PER lin	Persoonia linearis	Narrow leaved Geebung	5m	AS PER VMP	As Shown	25
WOO pun	Woolisia pungens	Snow Wreath	2m	AS PER VMP	As Shown	25
ZIE pil	Zieria pilosa	Hairy Zieria	1.5m	AS PER VMP	As Shown	25
Groundcovers 4 per 1m2						
ARI vag	Aristida vagans	Threeawn speargrass	0.80m	AS PER VMP	As per VMP	580
AUS pub	Austrostipa pubescens	Speargrass	1.0m	AS PER VMP	As per VMP	580
BLE car	Blechnum cartilagineum	Gristle fern	1.0m	AS PER VMP	As per VMP	580
CEN asi	Centella asiatica	Asiatic pennywort	0.2m	AS PER VMP	As per VMP	543
DIA cae	Dianella caerulea	Blue flax Lily	0.5m	AS PER VMP	As per VMP	580
DIP var	Dipodium variegatum	Blotched hyacinth orchid	1.0m	AS PER VMP	As per VMP	543
ENT str	Entolasia stricta	Right angled grass	0.8m	AS PER VMP	As per VMP	543
IMP cyl	Imperata cylindrica	Cogongrass	0.6m	AS PER VMP	As per VMP	543
LOM lon	Lomandra longifolia	Spiny head Mat rush	0.8m	AS PER VMP	As per VMP	580
MIC sti	Microlaena stipoides	Weeping Grass	0.8m	AS PER VMP	As per VMP	543
OPL aem	Oplismenus aemulus	Basket grass	0.3m	AS PER VMP	As per VMP	543
OPL imb	Oplismenus imbecillis	Basket grass	0.3m	AS PER VMP	As per VMP	543
THE tri	Themeda triandra	Kangaroo Grass	0.7m	AS PER VMP	As per VMP	580

SWAMP OAK FLOODPLAIN FOREST						
CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	SIZE	PLANTING DENSITY	QTY*
Shrubs 1 per 3m2						
BRE obl	Breynia oblongifolia	Coffee Bush	6m	AS PER VMP	As Shown	210
BUR spi	Bursaria spinosa subsp. spinosa	Native Blackthorn	3m	AS PER VMP	As Shown	210
DOD tri	Dodonaea triquetra	Common Hop Bush	5m	AS PER VMP	As Shown	210
MEL thy	Melaleuca thymifolia	Thyme Honey myrtle	2m	AS PER VMP	As Shown	210
TRE tom	Trema tomentosa	Native peach	1.5m	AS PER VMP	As Shown	210
Groundcovers 6 per 1m2						
ARI vag	Aristida vagans	Threeawn speargrass	0.80m	AS PER VMP	As per VMP	1227
AUS pub	Austrostipa pubescens	Speargrass	1.0m	AS PER VMP	As per VMP	1227
BLE ind	Blechnum indicum	Swamp water fern	1.0m	AS PER VMP	As per VMP	1227
CEN asi	Centella asiatica	Asiatic pennywort	0.2m	AS PER VMP	As per VMP	1227
COM cya	Commelina cyanea	Scurvy weed	1m	AS PER VMP	As per VMP	1227
DIA cae	Dianella caerulea	Blue flax Lily	0.5m	AS PER VMP	As per VMP	1227
ECH cae	Echinopogon caespitosus	Hedgehog Grass	0.8m	AS PER VMP	As per VMP	1227
ENT mar	Entolasia marginata	Panic Grass	0.6m	AS PER VMP	As per VMP	1227
FIC nod	Ficinia nodosa	Knobby club rush	0.8m	AS PER VMP	As per VMP	1227
GAH cla	Gahnia clarkiei	Tall Sawsedge	0.8m	AS PER VMP	As per VMP	1227
IMP cyl	Imperata cylindrica	Cogongrass	0.6m	AS PER VMP	As per VMP	1227
JUN usi	Juncus usitatus	Common Rush	0.6m	AS PER VMP	As per VMP	1227
LOM lon	Lomandra longifolia	Spiny head Mat rush	0.8m	AS PER VMP	As per VMP	1227
MIC sti	Microlaena stipoides	Weeping Grass	0.8m	AS PER VMP	As per VMP	1227
OPL imb	Oplismenus imbecillis	Basket grass	0.3m	AS PER VMP	As per VMP	1227
THE tri	Themeda triandra	Kangaroo Grass	0.7m	AS PER VMP	As per VMP	1227



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Approved Application No SSD- 9741

Granted on 15/11/2019

Signed H

Sheet No 18 of 26

Drawing Title:
Planting Schedule

DWG No:

LDA-07



Suite 215, 284 Victoria Av, Chatswood NSW 2067 Ph. (02) 9411 1485
www.geoscapes.com.au ABN 84 620 205 781 ACN 620 205 781
Registered Landscape Architect #5868

Client:

GREENBOX

Scale: N/A Date: 26.08.19 Job Number: 181108 North: N/A
Project: Proposed Data Centre Lane Cove West NSW 2066

Revision			FOR DEVELOPMENT APPROVAL		
Rev	Date	Description	Drawn	Checked	
C	26.08.19	FOR SSD SUBMISSION	SW	BG	
B	03.07.19	FOR SSD SUBMISSION	SW	BG	
A	18.12.18	FOR SSD SUBMISSION	CC	BG	



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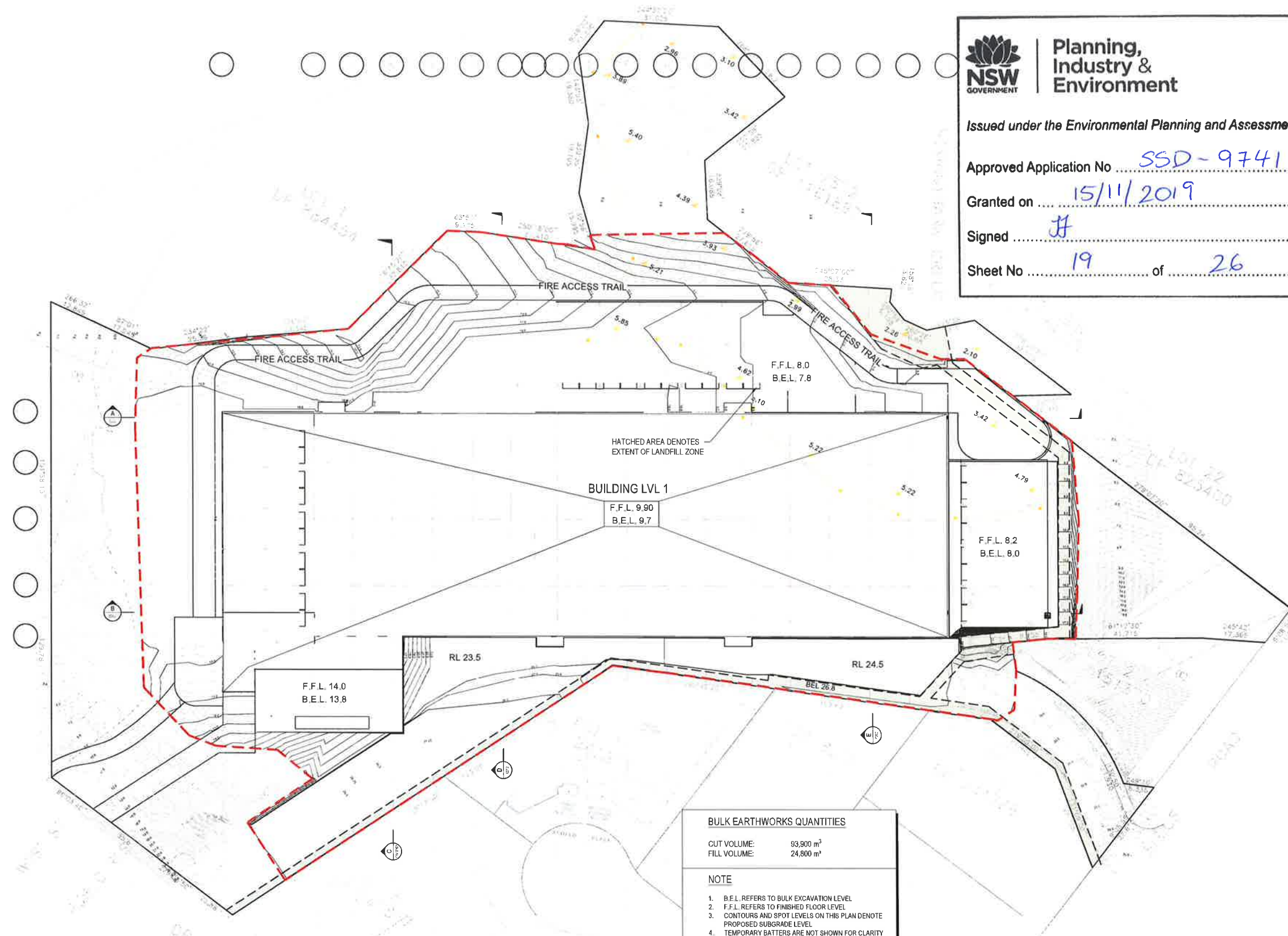
Approved Application No SSD-9741

Granted on 15/11/2019

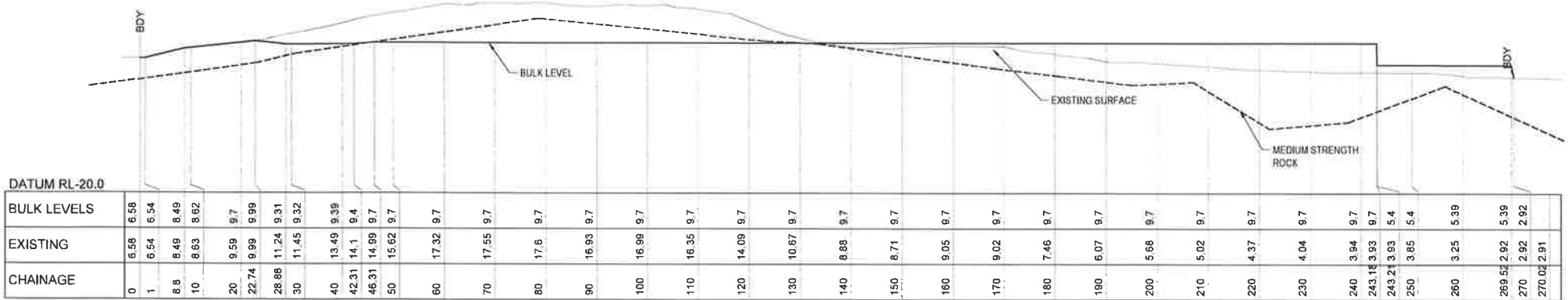
Signed JH

Sheet No 19 of 26

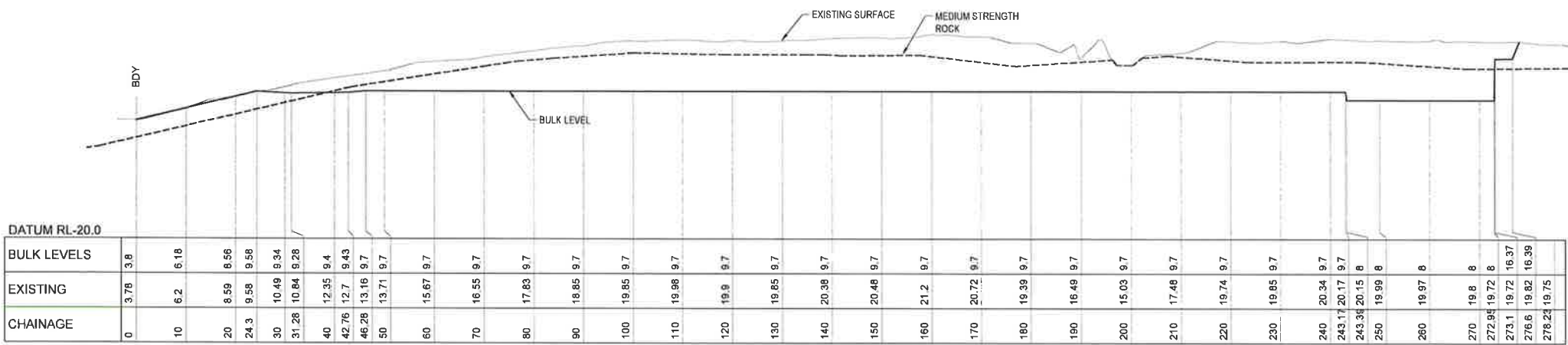
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2	12/02/19	FOR INFORMATION
3	14/08/19	FOR APPROVAL
4	20/08/19	REQUESTED FOR APPROVAL
5	20/08/19	REQUESTED FOR APPROVAL



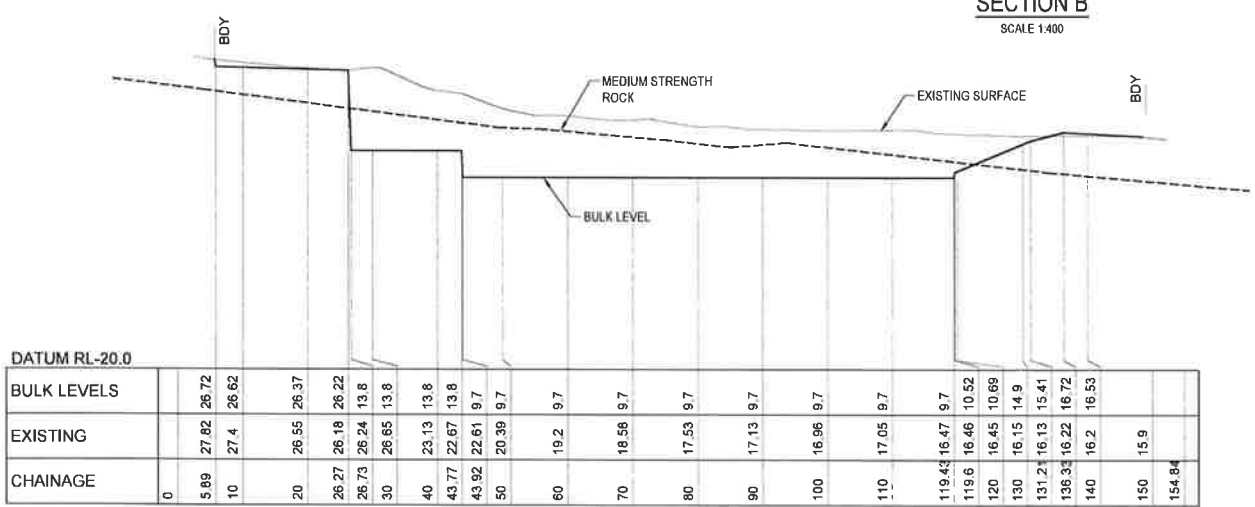
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1	20.08.18	FOR INFORMATION
2	14.08.18	FOR INFORMATION
3	20.08.18	RECEIVED FOR APPROVAL
4	20.08.18	RECEIVED FOR APPROVAL



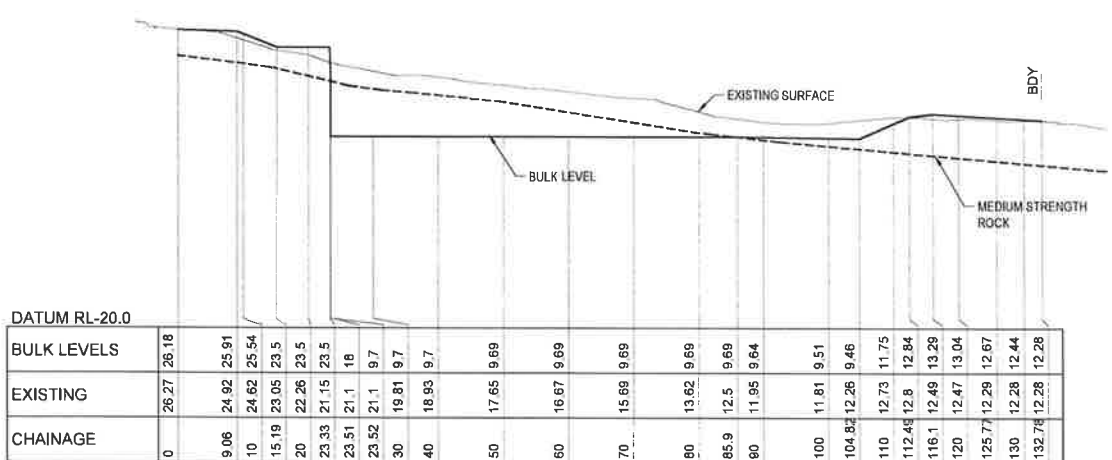
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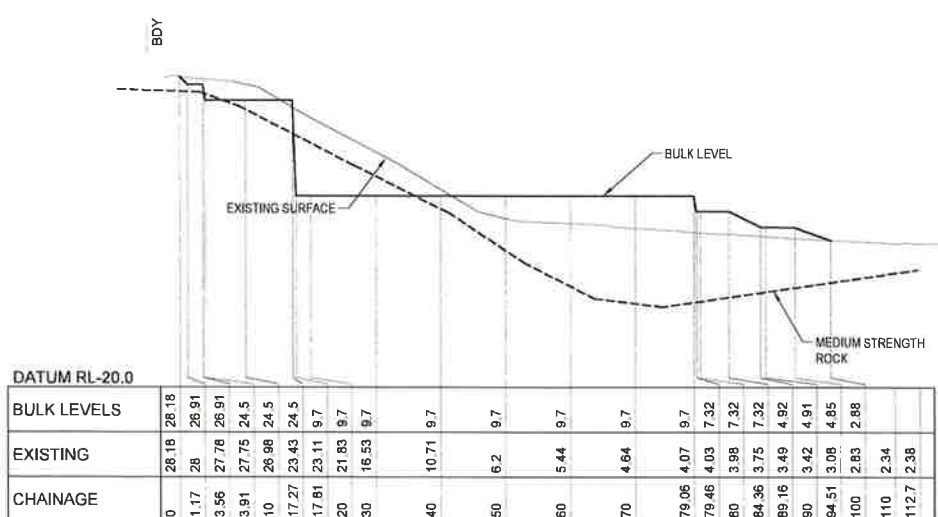
SECTION B
SCALE 1:400



SECTION C
SCALE 1:400



SECTION D
SCALE 1:400



SECTION E
SCALE 1:400

NSW GOVERNMENT | **Planning, Industry & Environment**

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Granted on 15/11/2019

Signed [Signature]

Sheet No. 20 of 26



AW EDWARDS

van der Meer Consulting

AIRTRUNK

GREENBOX

ATSVD2
1 SURUS ROAD
LANE COVE WEST, NSW 2065

FOR APPROVAL

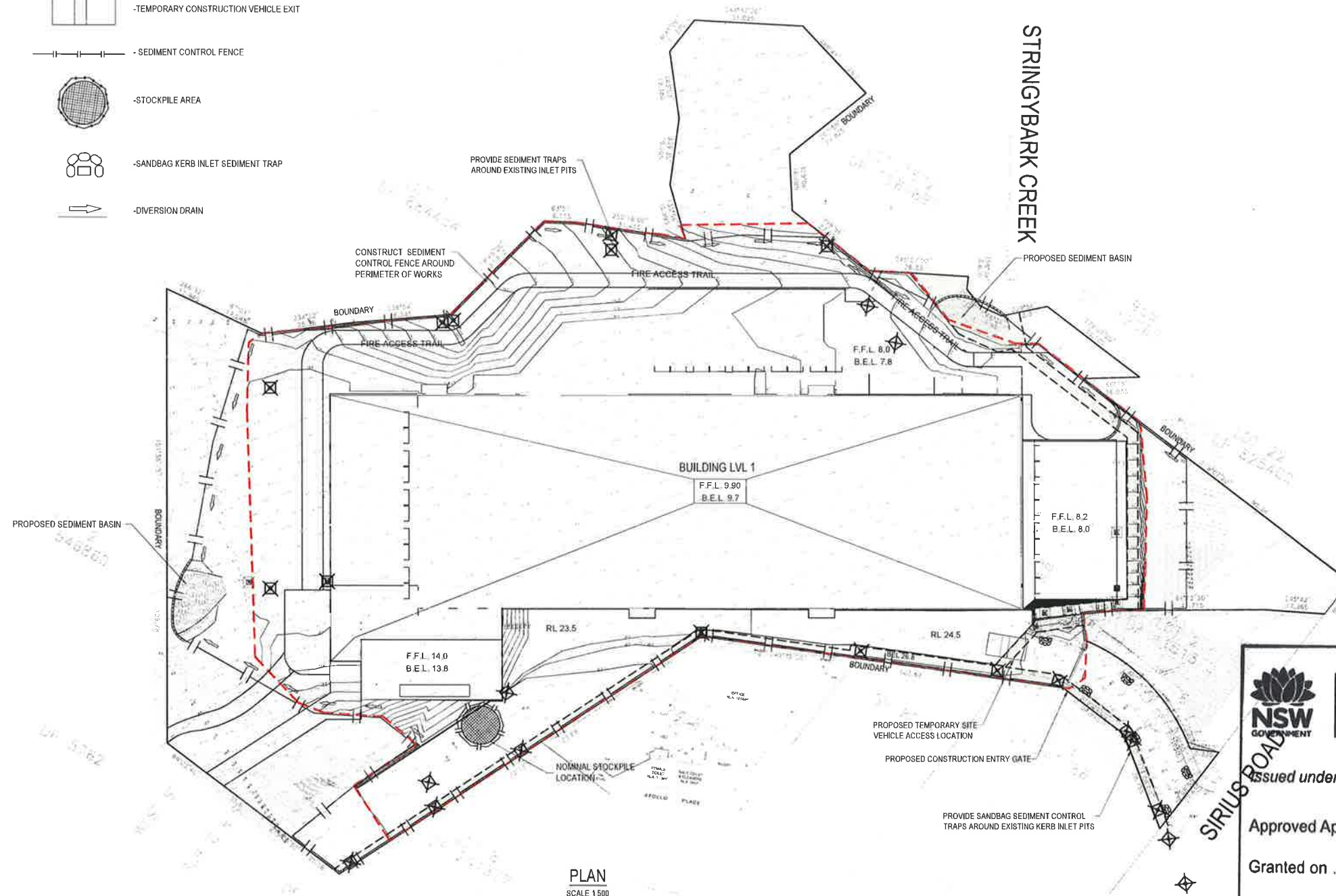
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ATSVD2-DRG-VDM

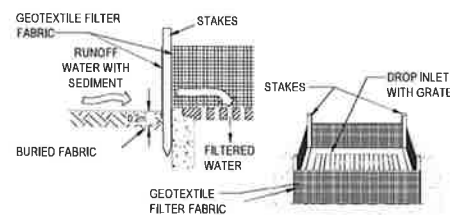
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LEGEND

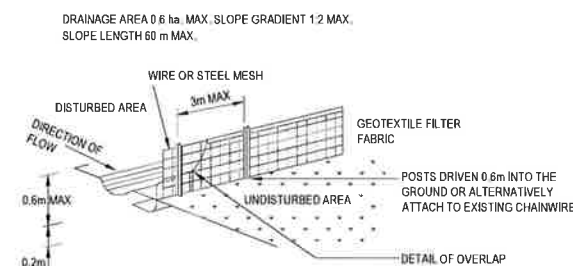
-  -STORMWATER SEDIMENT TRAPS AT ALL PROPOSED PIT INLETS
-  -TEMPORARY CONSTRUCTION VEHICLE EXIT
-  - SEDIMENT CONTROL FENCE
-  -STOCKPILE AREA
-  -SANDBAG KERB INLET SEDIMENT TRAP
-  -DIVERSION DRAIN



PLAN
SCALE 1:500



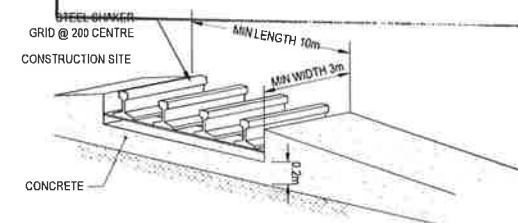
GEOTEXTILE FILTER FABRIC INLET
SEDIMENT TRAP
N.T.S.



SEDIMENT CONTROL FENCE
N.T.S.



SANDBAG KERB INLET SEDIMENT TRAP
N.T.S.



TEMPORARY CONSTRUCTION
VEHICLE EXIT
N.T.S.

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES ARE
APPROXIMATE ONLY AND THEIR EXACT POSITION
SHOULD BE PROVIDED ON SITE. NO GUARANTEE IS
GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

EROSION AND SEDIMENT NOTES

- B1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH EROSION AND SEDIMENT CONTROL DETAILS AS SHOWN
- B2. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY AND TO THE SATISFACTION OF COUNCIL PRIOR TO THE COMMENCEMENT OF AND DURING CONSTRUCTION. NO DISTURBANCE TO THE SITE SHALL BE PERMITTED OTHER THAN IN THE IMMEDIATE AREA OF THE WORKS AND NO MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT COUNCIL'S APPROVAL. ALL EROSION AND SEDIMENT CONTROL DEVICES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH STANDARDS OUTLINED IN NSW DEPARTMENT OF HOUSING'S 'MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTIONS'.
- B3. TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (I.E. ALL FOOTPATHS, BATTERS, SITE REGARDING AREAS, BASINS AND CATCHDRAINS). TOPSOIL SHALL NOT BE RESPREAD ON ANY OTHER AREAS UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SILT LADEN RUNOFF.
- B4. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL EROSION AND SEDIMENT CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM DEVICES SUCH THAT NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED OR AS DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- B5. VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO NOMINATED STABILISED ACCESS POINTS.
- B6. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL BY REGULAR WETTING DOWN (BUT NOT SATURATING) DISTURBED AREA.
- B7. PROVIDE AND MAINTAIN SILT TRAPS AROUND ALL SURFACE INLET PITS UNTIL CATCHMENTS ARE REVEGETATED OR PAVED.
- B8. REVEGETATE ALL TRENCHES IMMEDIATELY UPON COMPLETION OF BACKFILLING.
- B9. ALL DRAINAGE PIPE INLETS TO BE CAPPED UNTIL :
A) DOWNPIPES CONNECTED
B) PITS CONSTRUCTED AND PROTECTED WITH SILT BARRIER
- B10. SILT FENCE MAINTENANCE INSPECTION TO BE CARRIED OUT EVERY 3 MONTHS AND AFTER EACH RAINFALL EVENT.
- B11. EROSION & SEDIMENT CONTROL SIGNAGE AVAILABLE FROM COUNCIL MUST BE ATTACHED TO THE MOST PROMINENT AVAILABLE STRUCTURE AND BE VISIBLE AT ALL TIMES WHEN ENTERING THE SITE FOR THE DURATION OF CONSTRUCTION.



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Granted on 15/11/2019

Signed JH

Sheet No 21 of 26

Issue	Date	Description
1	14/08/19	FOR APPROVAL
2	20/08/19	REISSUED FOR APPROVAL
3	29/08/19	REISSUED FOR APPROVAL

AW EDWARDS

van der Meer Consulting

van der meer

LEVEL 6, 28 CHANDOS STREET
ST LEONARDS NSW 2060
Telephone 61 2 438 0123 Fax 61 2 438 1370
www.vandermeer.com.au
van der Meer (NSW) Pty Ltd
A.B.N. 56 158 288 387

AIRTRUNK

GREENBOX

ATSYD2
1 SIRIUS ROAD
LANE COVE WEST, NSW 2066

Item	Qty	Unit	AS SHOWN @ AS
RUB			
BY182-185			

FOR APPROVAL

EROSION AND SEDIMENT CONTROL

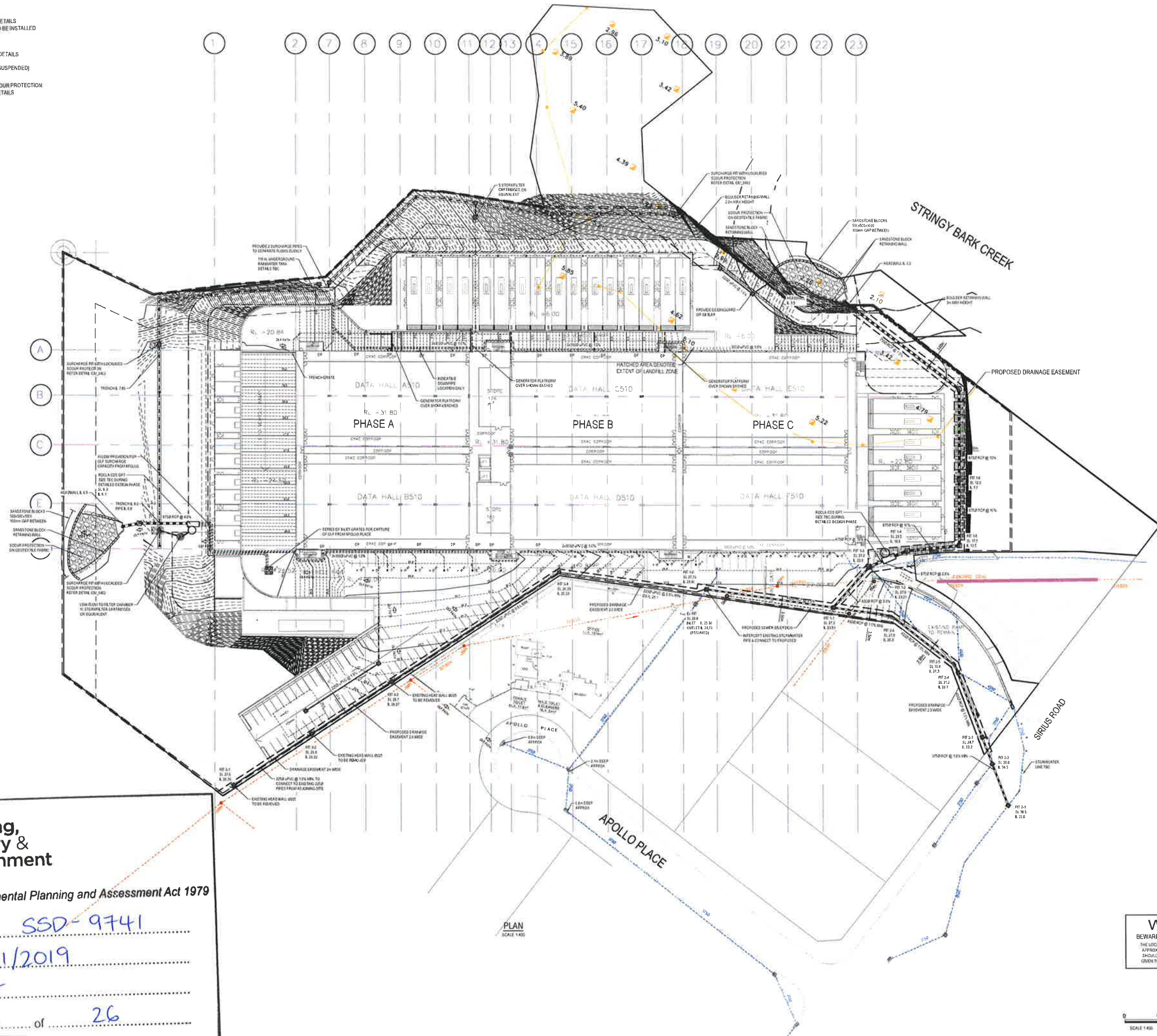
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CR-02/10/19

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SCALE 1:100

LEGEND

- STORMWATER PIT
REFER DWG CIV-0402 FOR DETAILS
ALL SURFACE WILET PITS TO BE INSTALLED
WITH ENVIROPOD UNO
- STORMWATER PIPE
REFER DWG CIV-0402 FOR DETAILS
- STORMWATER DRAINAGE (SUSPENDED)
- ROCK HEADWALL WITH SCOUR PROTECTION
REFER TO CIV-0402 FOR DETAILS



Issue	Date	Description
1	15 Oct 18	FOR INFORMATION
2	14 Oct 18	FOR APPROVAL
3	29 Oct 18	REISSUED FOR APPROVAL
4	29 Oct 18	REISSUED FOR APPROVAL

AW EDWARDS

van der Meer Consulting

LEVEL 18 CHANDOS STREET
ST LEONARDS NSW 2060
Telephone 61-0-2146 0432 Fax 61-0-2146 1370
www.vandermeer.com.au
van der Meer (NSW) Pty Ltd
A.B.N. 58 158 265 301

AIRTRUNK

GREENBOX

ATSYD2
1 SIRIUS ROAD
LANE COVE WEST, NSW 2066

Drawn By	AS SHOWN @ AI
Checked By	BY182-105
Project Name	FOR APPROVAL
Project No.	DRAINAGE LAYOUT
Project Date	ATSYD2-DRG-02M
Project Status	CN-0401 04

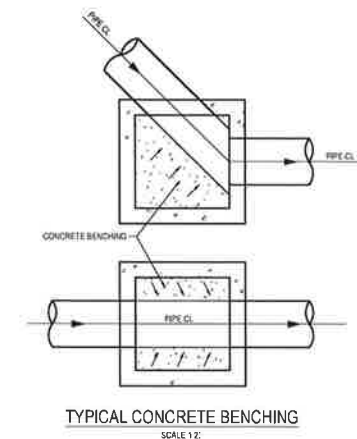
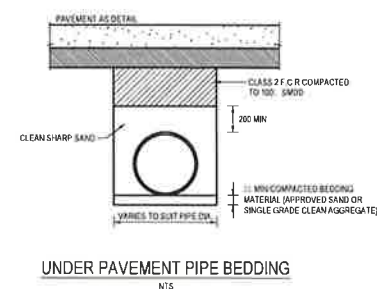
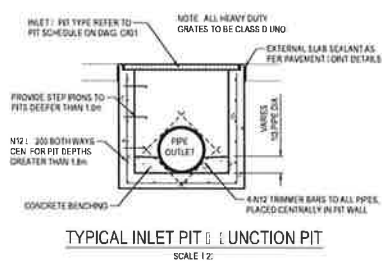
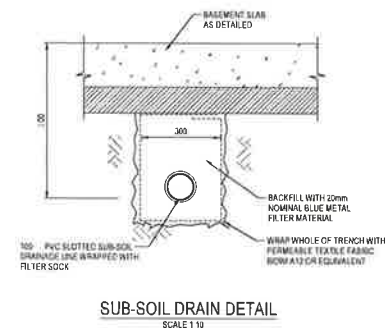
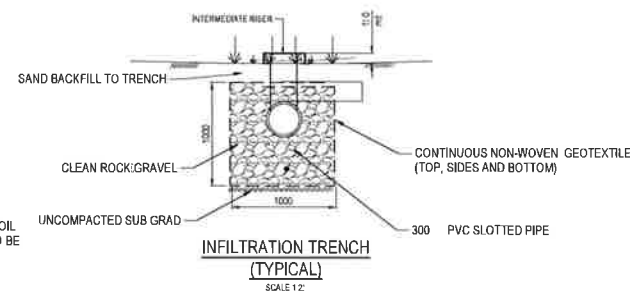
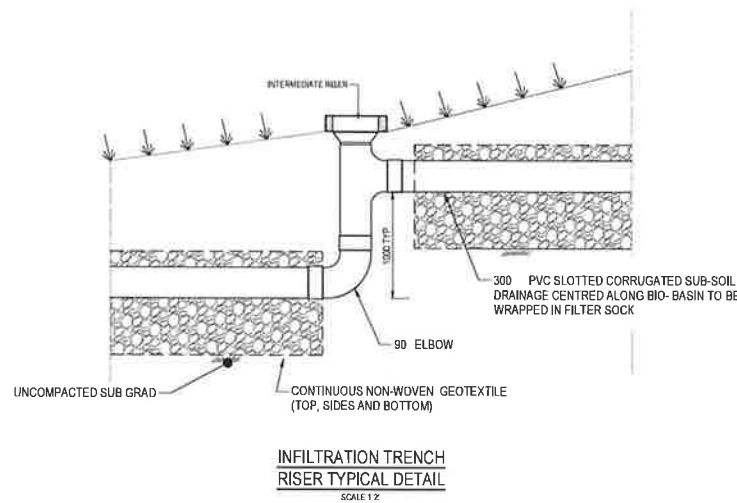
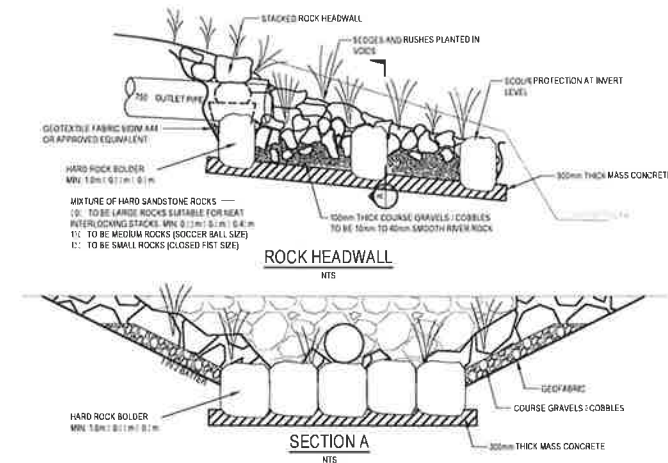
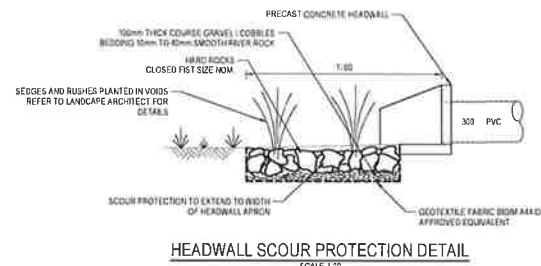
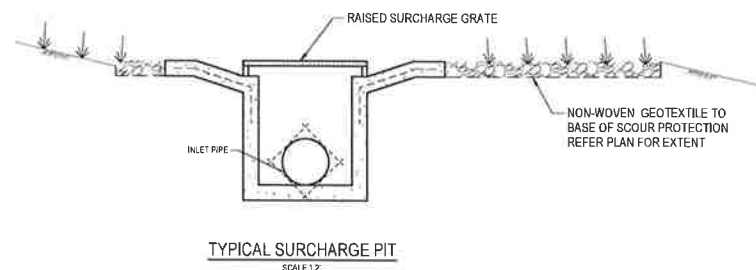
WARNING
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SHOULD BE PROVEN ON SITE. NO GUARANTEE IS
GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

0 10 20 30 40m
SCALE 1:400

NSW
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Planning,
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Environment

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Approved Application No SSD-9741
Granted on 15/11/2019
Signed JH
Sheet No 22 of 26



NSW GOVERNMENT | **Planning, Industry & Environment**

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Approved Application No SSD-9741

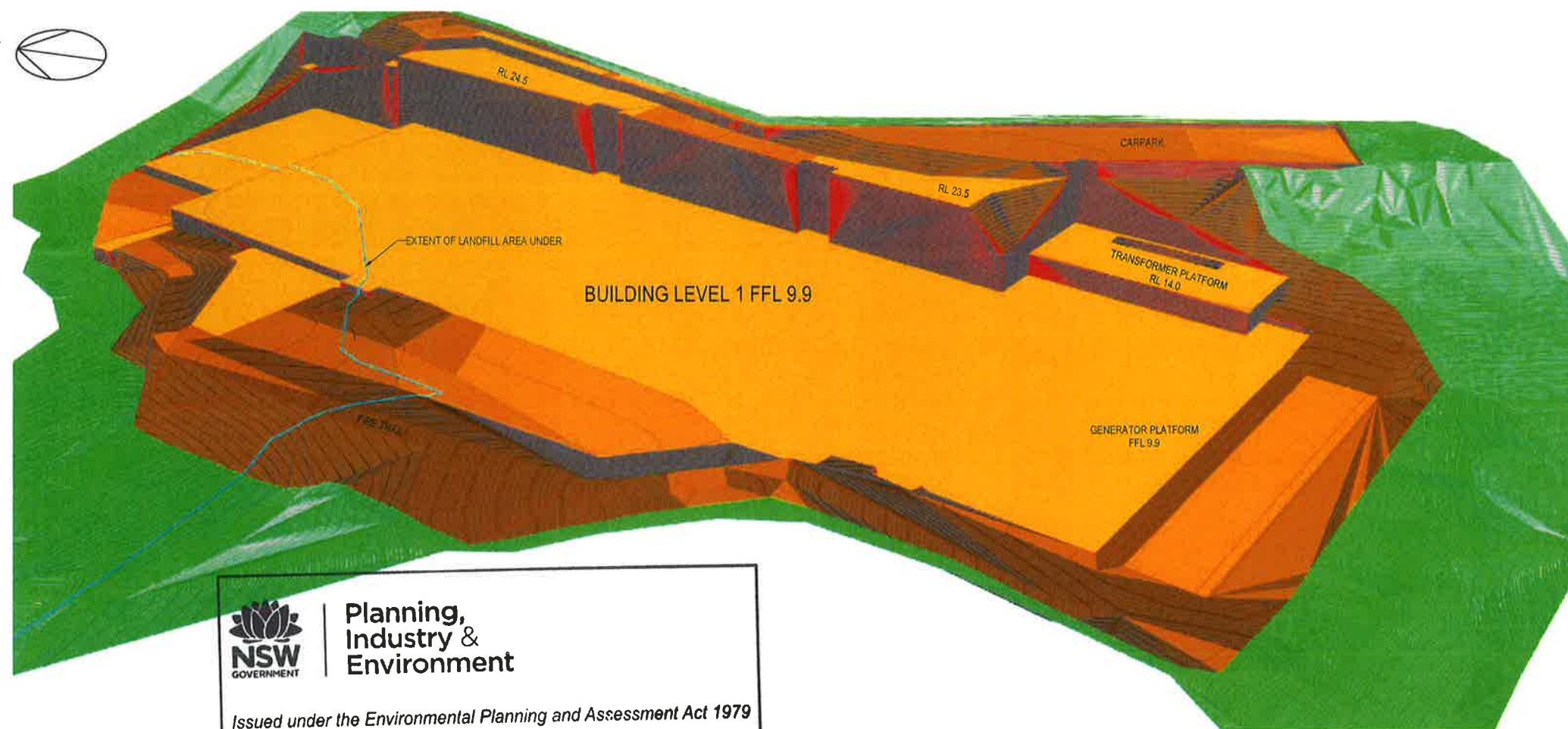
Granted on 15/11/2019

Signed JH

Sheet No 23 of 26

Rev	Date	Description
1	12.06.15	FOR INFORMATION
2	14.06.15	FOR APPROVAL
3	20.08.16	REISSUED FOR APPROVAL

AW EDWARDS van der Meer Consulting van der meer LEVEL 6, 38 CHANDOS STREET 51 LEONARDS NSW 2055 Telephone 61-02-9436 0153 Fax 61-02-9436 1370 www.vandermeer.com.au van der Meer (NSW) Pty Ltd A.B.N. 56 156 255 231	GREENBOX ATSYD2 1 SIMBA ROAD LANE COVE WEST, NSW 2066 NT AS SHOWN @ AS RUB 03 68 2519 SV102-105 FOR APPROVAL ATSYD2 ATSYD2-DRG-4/DM CN-2402 (3)
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Planning,
Industry &
Environment

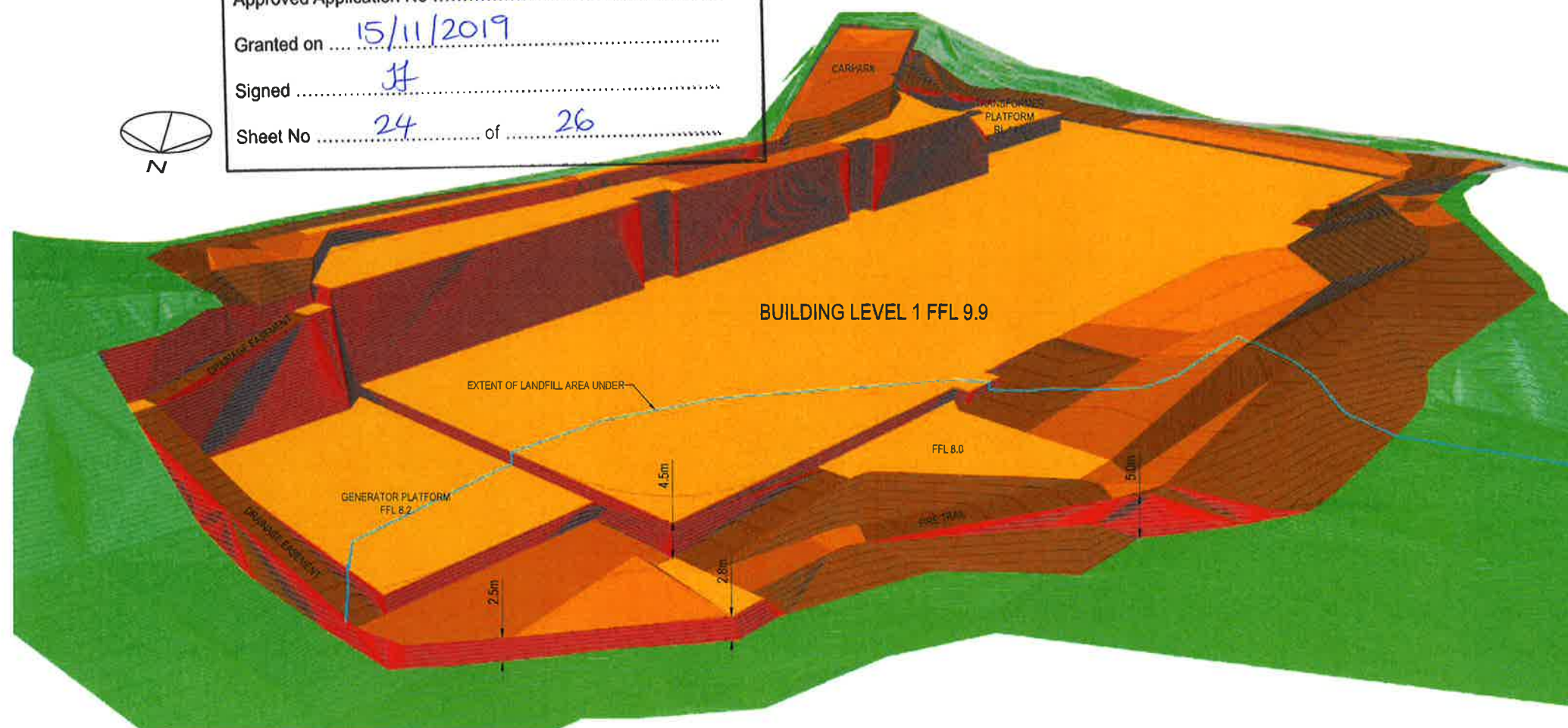
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Approved Application No. SSD-9741

Granted on 15/11/2019

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Sheet No. 24 of 26



Issue	Date	Description
1	05/05/19	FOR INFORMATION
2	14/06/19	FOR APPROVAL
3	20/09/19	ISSUED FOR APPROVAL
4	25/09/19	RESOLVED FOR APPROVAL

AW EDWARDS
CONSULTANTS
20/21 ST. JOHN'S STREET
SYDNEY NSW 2000
TEL: 02 9231 1234
WWW.AWEDWARDS.COM.AU

van der Meer Consulting
van der Meer
LEVEL 6, 39 CHANDOS STREET
ST LEONARDS NSW 2055
Telephone: 02 9438 9433 Fax: 02 9438 1370
www.vandermeer.com.au
van der Meer (NSW) Pty Ltd
A.B.N. 16 126 005 201

AIRTRUNK

GREENBOX

ATSYD2
1 SIRIUS ROAD
LANE COVE WEST, NSW 2066

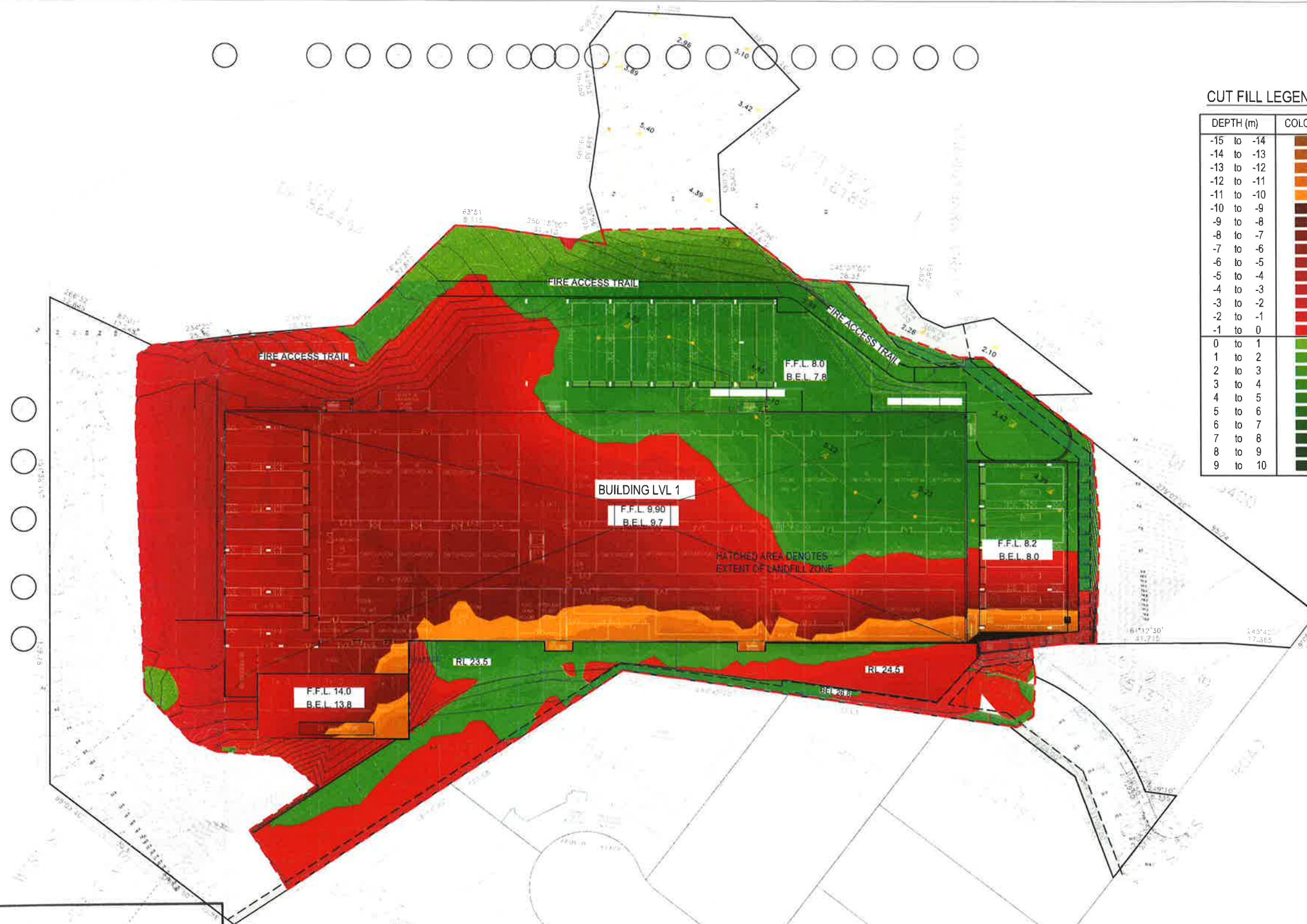
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RTB	
SY102-105	
3D VISUALISATION	
ATSYD2-ORO-VDM	
SK0204	



Issue	Date	Description
1	12/08/19	FOR INFORMATION
2	14/08/19	FOR APPROVAL
3	20/08/19	RECEIVED FOR APPROVAL
4	25/08/19	RECEIVED FOR APPROVAL

CUT FILL LEGEND

DEPTH (m)	COLOUR
-15 to -14	
-14 to -13	
-13 to -12	
-12 to -11	
-11 to -10	
-10 to -9	
-9 to -8	
-8 to -7	
-7 to -6	
-6 to -5	
-5 to -4	
-4 to -3	
-3 to -2	
-2 to -1	
-1 to 0	
0 to 1	
1 to 2	
2 to 3	
3 to 4	
4 to 5	
5 to 6	
6 to 7	
7 to 8	
8 to 9	
9 to 10	



PLAN
SCALE 1:400



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Approved Application No SSD-9741

Granted on 15/11/2019

Signed JS

Sheet No 25 of 26

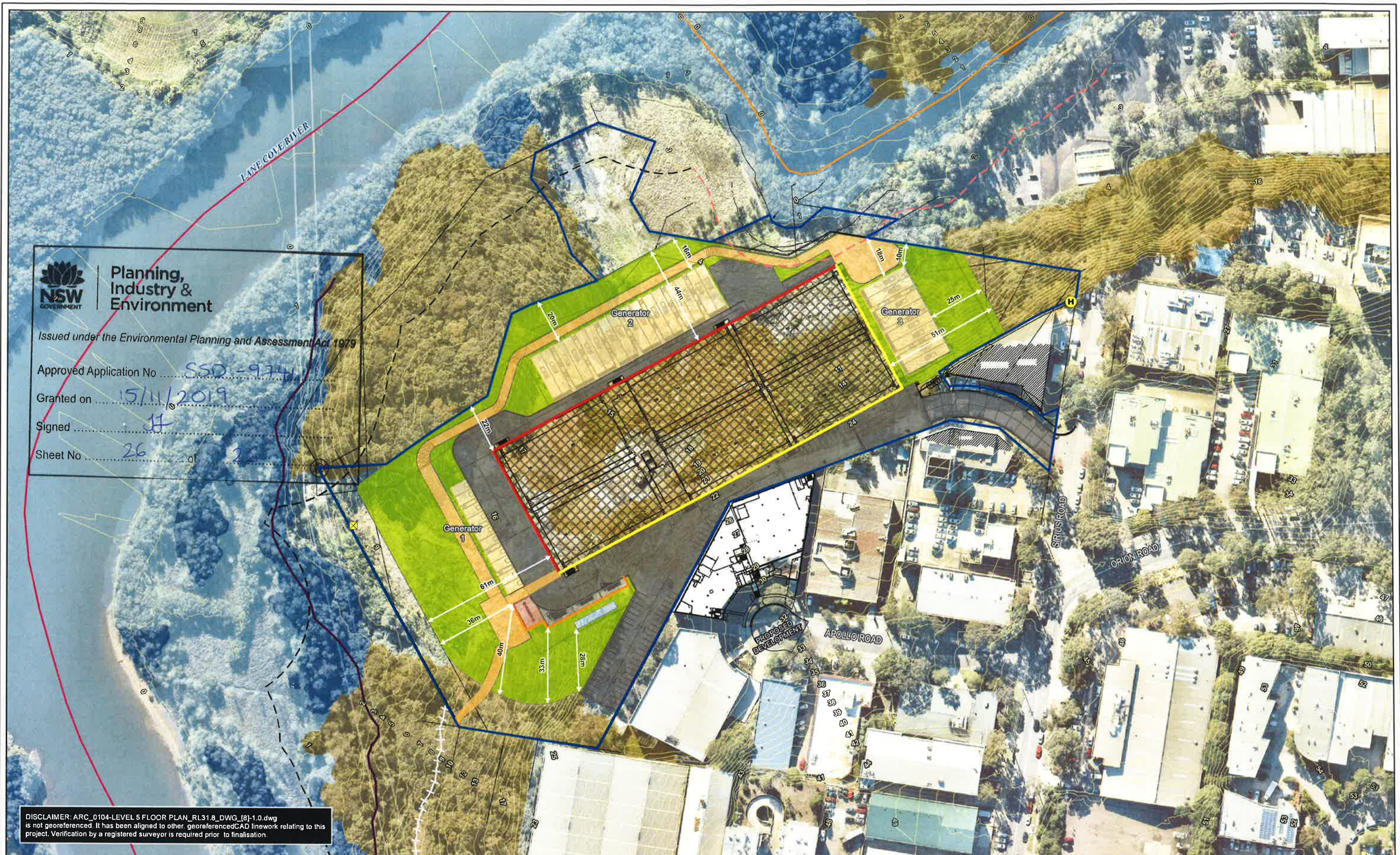


van der Meer Consulting
van der meer
LEVEL 1, 39 CHANDOS STREET
ST LEONARDS NSW 1585
Telephone 61 2 4436 0433 Fax 61 2 4436 1370
www.vandermeer.com.au
van der Meer (NSW) Pty Ltd
A B N 56 156 264 261



ATSVD2
1 STRYD ROAD
LANE COVE WEST, NSW 2186

Issue No	Issue
NT	AS SHOWN @ A1
Created By	Author
RUB	
Drawn By	SYNTHESIS
For Approval	FOR APPROVAL
Project Name	BULK EARTHWORKS DEPTH COLOUR MAP
Project No	ATSVD2-ORO-40M
Scale	SKID 01



Planning,
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Approved Application No. SSD-9341

Granted on 15/11/2019

Signed [Signature]

Sheet No. 26 of 26

DISCLAIMER: ARC_0104-LEVEL 5 FLOOR PLAN_RL31.8_DWG [8]-1.0.dwg is not georeferenced. It has been aligned to other, georeferenced CAD linework relating to this project. Verification by a registered surveyor is required prior to finalisation.

Legend	Proposed Infrastructure	Vegetation Formation	Asset Protection Zone (APZ)
Subject site (source: CAD)	Data hall	Forest	Bushfire Construction Standards AS3959 (2009)*
Contour (1m) (source: LIDAR)	Generator platform	Forested Wetland	Flame zone (FZ)
Gate (existing)	Substation	Saline Wetland (not bushfire prone)	BAL 40
Hydrant (existing)	GIS	Riparian corridor	BAL 29
Unformed road/ access to easement	Oil spill tank	20m buffer	
Walking track	Firetrail	40m buffer	
	Access driveway		

Aerial source: Bingmap

0 20 40 m

Disclaimer: The mapping is indicative of available space and location of features which may prove critical in assessing the viability of the proposed works. Mapping has been produced on a map base with an inherent level of inaccuracy; the location of all mapped features are to be confirmed by a registered surveyor.

PROJECT & MKD REFERENCE 1 Sirius Road, Lane Cove West 18AWE02_BF001	DATE & ISSUE NUMBER 23/08/2019 Issue 1 AH	SCALE & COORDINATE SYSTEM 1:1,500 @A3 GDA 1994 MGA Zone 56
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Schedule 1 - Bushfire Protection Measures

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