

KINLEA - MILPERRA WSU (WESTERN SYDNEY UNIVERSITY)

STAGE 2 - SITE 2.2
LOTS: 2201-2210

SHEET NO.	DRAWING TITLE	REV
S2-2.2-DA000	COVER SHEET	C
S2-2.2-DA001	THERMAL PERFORMANCE & SUSTAINABILITY SPECIFICATIONS - LOTS 2201-2210	B
S2-2.2-DA050	LOCATION & SITE ANALYSIS PLAN	B
S2-2.2-DA100	EROSION, BENCHING & SEDIMENT CONTROL PLAN - LOT 2201-2205	B
S2-2.2-DA101	EROSION, BENCHING & SEDIMENT CONTROL PLAN - LOT 2206-2210	B
S2-2.2-DA140	HYDRAULIC CONCEPT PLAN - LOT2201-2205	B
S2-2.2-DA141	HYDRAULIC CONCEPT PLAN - LOT2206-2210	B
S2-2.2-DA210	GROUND FLOOR PLANS - LOT 2201-2205	B
S2-2.2-DA211	GROUND FLOOR PLANS - LOT 2206-2210	C
S2-2.2-DA220	FIRST FLOOR PLANS - LOT 2201-2205	B
S2-2.2-DA221	FIRST FLOOR PLANS - LOT 2206-2210	B
S2-2.2-DA230	ROOF PLANS - LOT 2201-2205	B
S2-2.2-DA231	ROOF PLANS - LOT 2206-2210	B
S2-2.2-DA300	ELEVATIONS AND SECTION - LOT 2201	C
S2-2.2-DA301	ELEVATIONS AND SECTION - LOT 2202	C
S2-2.2-DA302	ELEVATIONS AND SECTION - LOT 2203	C
S2-2.2-DA303	ELEVATIONS AND SECTION - LOT 2204	C
S2-2.2-DA304	ELEVATIONS AND SECTION - LOT 2205	C
S2-2.2-DA305	ELEVATIONS AND SECTION - LOT 2206	C
S2-2.2-DA306	ELEVATIONS AND SECTION - LOT 2207	C
S2-2.2-DA307	ELEVATIONS AND SECTION - LOT 2208	C
S2-2.2-DA308	ELEVATIONS AND SECTION - LOT 2209	C
S2-2.2-DA309	ELEVATIONS AND SECTION - LOT 2210	C
S2-2.2-DA320	COLOURED STREETSCAPES	C
S2-2.2-DA321	COLOURED PERSPECTIVES	C
S2-2.2-DA322	EXTERNAL FINISHES	C
S2-2.2-DA400	SHADOW & ANALYSIS DIAGRAM - 21 JUNE - 9AM/12PM	B
S2-2.2-DA401	SHADOW & ANALYSIS DIAGRAM 21 JUNE - 3PM	B
S2-2.2-DA410	SUN EYE VIEWS - 8AM/9AM/10AM/11AM/12PM	B
S2-2.2-DA411	SUN EYE VIEWS - 1PM/2PM/3PM/4PM	B
S2-2.2-DA420	LANDSCAPED AREA PLANS	B
S2-2.2-DA421	GFA AREA AND POS AREA PLANS	B
S2-2.2-DA800	METAL BATTERN FENCE DETAILS	C



Department of Planning,
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 1 of 33

12.03.26	C	RE ISSUE TO SSDA FOR APPROVAL. EXTERNAL COLOUR & FINISHES REVISED, CORNER HOMES ADJACENT PUBLIC PATH UPDATED WITH WINDOW ACCESS
31.10.25	B	ISSUE FOR SSDA APPROVAL
14.08.25	A	PRELIMINARY ISSUE TO CONSULTANT
08/08	REV	amendment

MIRVAC
DESIGN

architect
urban design
interior design
landscape design

Mirvac Design Nominees / Responsible Architects
Anda Verma, Andrew La, David Hirst, Michael Milner
https://www.mirvacdesign.com/nominees-and-teams

Level 20 200 George St
Sydney NSW 2000
T 61 2 9866 9000

Mirvac Design Pty Ltd
ABN 70 007 959 531

client



project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
COVER SHEET

job no: MB-10418
drawing no: S2-2.2-DA000
scale @ A1 :
date: 12.03.26 rev: C

0mm

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200mm

300mm

100mm

200mm

300mm

Thermal Comfort Inclusions

Floors

Waffle pod slab 85mm concrete and 300mm waffle pods
Timber frame between levels, no insulation required between conditioned areas.
Suspended timber frame, with an R4.0 insulation lined where open below

External Walls

75mm Hebel panel 35mm air gap sarking, R2.5 insulation (insulation only value) and plasterboard lined
50mm Hebel panel 35mm air gap sarking, R2.5 insulation (insulation only value) and plasterboard lined
Brick Veneer, R2.5 insulation (insulation only value) and plasterboard lined
Lightweight cladding 20mm air gap sarking, R2.5 insulation (insulation only value) and plasterboard lined
Note: No insulation is required to external garage walls

External Colour:

Light (SA < 0.475)
Medium (SA >0.475<0.7)
Dark (SA > 0.7)

Walls within dwellings

Plasterboard on studs, no insulation required.
R2.5 insulation between unconditioned and conditioned areas (around Laundry, Bathrooms, and Garage)

Glazing Doors/Windows

Casement (Entry Door): U 3.0 (equal to or lower than) and SHGC 0.48 (±5%)
Fixed (Entry Sidelight): U 3.0 (equal to or lower than) and SHGC 0.56 (±5%)
Glazing Option 2
Awning: U 3.3 (equal to or lower than) and SHGC 0.38 (±5%)
Fixed: U2.4 (equal to or lower than) and SHGC 0.48 (±5%)
Sliding door: U 3.2 (equal to or lower than) and SHGC 0.42 (±5%)
Glazing Option 3
Awning: U 2.9 (equal to or lower than) and SHGC 0.35 (±5%)
Fixed: U2.0 (equal to or lower than) and SHGC 0.44 (±5%)
Sliding door: U 2.8 (equal to or lower than) and SHGC 0.39 (±5%)

Window frame colour

Dark (SA > 0.7)

Roof Windows/Skylights

2205: Solar tube

Roof and Ceilings

Metal roof with anticon blanket (R_u1.3 and R_d1.3)
Concrete tiles with sarking
R4.0 ceiling insulation (R3.0 perimeter batts where required, pitched roof only) and plasterboard lining, where roof above
Garage ceiling with R3.0 insulation and plasterboard lining, where conditioned area above
No insulation to garage ceiling where roof above.

External Colour

Metal roof Light (SA < 0.475)
Tile roof Dark (SA > 0.7)

Ceiling Penetrations

Sealed and insulated LED downlights as per the lighting plan
Sealed exhaust fans as per plans

Floor coverings

As per plans

External Shading

Shading as per stamped drawings

Ventilation

All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings

BASIX Inclusions Summary

BASIX Water Commitments

Fixtures

Showerheads: 4 star (medium flow >6.0 and ≤7.5 L/min)
Toilet flushing system: 4 star
Kitchen taps: 5 star
Bathroom taps: 5 star
Alternative water
Minimum 70m² of harvested roof area connected to rainwater tank, minimum capacity of 2,000L.
Rainwater tank connected to at least one outdoor tap, toilets and laundry

BASIX Energy Commitments

Hot water system
Electric heat pump – 21 to 25 STCs
HVAC cooling and heating
Cooling and heating: three phase air-conditioning to living areas and bedrooms: EER 3.0-3.5
Ventilation
Bathrooms – individual fan, externally ducted to façade or roof, interlocked to light, timer off
Kitchen – individual fan, externally ducted to façade or roof, manual on/off switch
Laundry room – individual fan, externally ducted to façade or roof, manual on/off switch
Other
Electric cooktop, electric oven
Outdoor clothes drying line
Alternative energy
Photovoltaic system: rated electrical output (min.) 2 peak kW
Installed at >10° to ≤25° pitch, north orientation

Lot number Upgrades required

2201

Glazing option 3
1x 1300mm ceiling fans to family, and bedrooms at the first floor.

2202

Glazing option 3

2203

R2.7 insulation to external walls and internal walls between garage, bathroom and laundry
(naturally ventilated only)
R6.0 insulation to ceiling where roof above
R6.0 insulation to suspended open floor
Glazing option 3

2204

Glazing option 3
1x 1300mm ceiling fans to living, family, sitting room and bedrooms.

2205

R5.0 insulation to ceiling where roof above
Glazing option 3
1x 1300mm ceiling fans to bedrooms
2206 GL 2
1x 1300mm ceiling fans to living, family, sitting room and bedrooms.

2207

Glazing option 3
1x 1300mm ceiling fans to living, family, sitting room and bedrooms.

2208

Glazing option 2

2209

Glazing option 3
1x 1300mm ceiling fans to bedrooms

2210

Glazing option 3
1x 1300mm ceiling fans to living, family, sitting room and bedrooms.



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Sheet No: 2 of 33

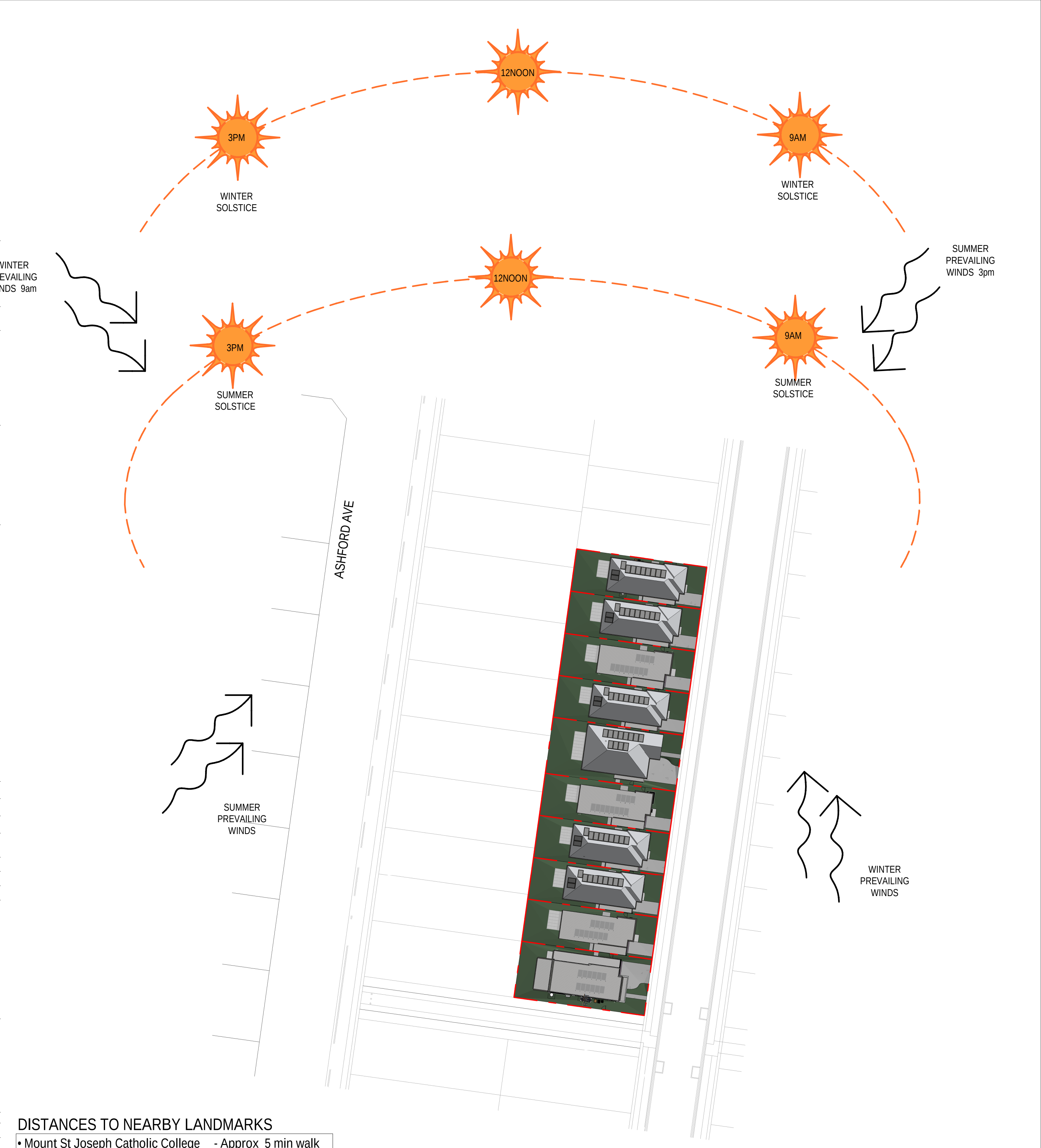
31.10.25	B	ISSUE FOR SSDA APPROVAL
14.08.25	A	PRELIMINARY ISSUE TO CONSULTANT
086	REV	amendment



project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
THERMAL PERFORMANCE &
SUSTAINABILITY SPECIFICATIONS -
LOTS 2201-2210

job no: MB-10418
drawing no: S2-2.2-DA001
scale @ A1 :
date: 31.10.25 rev: B



DISTANCES TO NEARBY LANDMARKS	
• Mount St Joseph Catholic College	- Approx 5 min walk
• Bankstown Golf Club	- Approx 5 min walk
• Panania Train Station	- Approx 6 min drive
• Bankstown Aerodrome	- Approx 10 min drive
• Liverpool Hospital	- Approx 15 min drive
• Parramatta City CBD	- Approx 40 min drive
• Sydney City CBD	- Approx 30 min drive

2 SITE ANALYSIS
1:500

1 LOCATION PLAN
1:2000



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Sheet No: 3 of 33

31.10.25	B	ISSUE FOR SSDA APPROVAL	Client: 201 200 George St
14.08.25	A	PRELIMINARY ISSUE TO CONSULTANT	Sydney NSW 2000
08/26	REV	amendment	Mirvac Design Pty Ltd
			ABN 70 003 959 931
			Mirvac Design Nominees / Responsible Architects
			Anda Verma, Andrew La, David Hest, Michael Milner
			https://www.mirvacdesign.com/ourteam/andabest



project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
LOCATION & SITE ANALYSIS PLAN

job no: MB-10418
drawing no: S2-2.2-DA050
scale @ A1 : As indicated
date: 31.10.25 rev: B





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Sheet No: 4 of 33

The main site plan illustrates five residential lots, numbered 2201 to 2205, arranged in a row. Each lot contains a house and a garage. Lot 2205 (leftmost) has a house area of 335.1 m² and a garage area of 220AR-DF40-B1.1. Lot 2204 has a house area of 251.3 m² and a garage area of 217V-SF40-P2.3. Lot 2203 has a house area of 251.3 m² and a garage area of 217V-SF40-P2.1. Lot 2202 has a house area of 251.3 m² and a garage area of 217V-SF40-B1.2. Lot 2201 (rightmost) has a house area of 251.3 m² and a garage area of 217V-SF40-B2.2. The plan shows various retaining walls, some to be constructed by a civil engineer, and drainage features including driveway ramps and stock piles. Level markers (FSL and SRL) are provided for numerous points across the site. The plan is bounded by a road at the bottom, labeled 'ROAD 2'.

1 EROSION/SEDIMENT CONTROL & BENCHING PLAN - LOT 2201-2205
1 : 100

SITEWORK	
A/C	AIR CONDITIONER CONDENSER
BOW	BOTTOM OF WALL LEVEL
ESL	EXISTING GROUND LEVEL
FSL	FINISHED SURFACE LEVEL
GM	GAS METER
HC	HOSE COCK
HCR	HOSE COCK RECYCLE
HMU	HOT WATER UNIT
KO	KERB OUTLET
LB	LETTER BOX
MB	ELECTRICAL METERBOX
NBN	NATIONAL BROADBAND NETWORK
POD	PREMISES CONNECTION DEVICE
PWM	NON POTABLE RECYCLED WATER METER
RL	REARVED LEVEL
RWT	RAINWATER TANK
SRL	STRUCTURAL RELATIVE LEVEL
TOW	TOP OF WALL LEVEL
WCL	WALL MOUNTED CLOTHES LINE
WM	WATER METER
NATURE STRIP CONCEPT DIAGRAM	
RETAINING WALLS	
BLOCK WORK RETAINING WALL	
BLOCK WORK FEATURE RETAINING WALL	
CROP EDGE BEAM	
HEAVY CONCRETE SLEEPER WALL	
LOG SLEEPER RETAINING WALL	
WET WALL	

This inset site plan shows the location of the subject lots (2201-2205) within the context of the surrounding area. The lots are highlighted in blue. The plan shows Ashford Avenue to the north, Road 1 to the east, and Road 2 to the south. The subject lots are situated between Road 1 and Road 2.

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31.10.25
14.08.25
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amendment

MIRVAC DESIGN

Level 20 200 George St
Sydney NSW 2000
Tel: 02 9550 0000
Mirvac Design Pty Ltd
ABN 70 003 959 931
Mirvac Design Nominees / Responsible Architects
Anda Verru, Andrew La, David Hest, Michael Weiner
http://www.mirvacdesign.com/mirvacdesign-architects

dent



project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
EROSION, BENCHING & SEDIMENT
CONTROL PLAN - LOT 2201-2205

job no: MB-10418
drawing no: S2-2.2-DA100
scale @ A1 : 1 : 100
date: 31.10.25 rev: B

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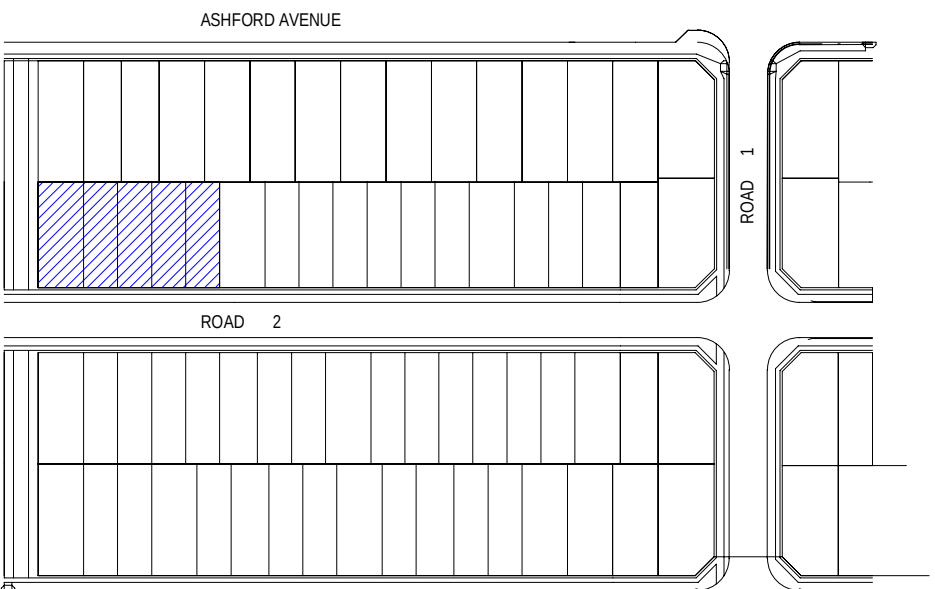
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PUBLIC RESERVE



1 EROSION/SEDIMENT CONTROL & BENCHING PLAN - LOT 2206-2210
1 : 100

SITEWORK	
A/C	AIR CONDITIONER CONDENSER
BOW	BOTTOM OF WALL LEVEL
EG	EXISTING GROUND LEVEL
FSL	FINISHED SURFACE LEVEL
GM	GAS METER
HC	HOSE COCK
HCR	HOSE COCK RECYCLE
HMU	HOT WATER UNIT
KO	KERB OUTLET
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PCD	PREMISES CONNECTION DEVICE
PWM	NON POTABLE RECYCLED WATER METER
RL	REARVED LEVEL
RWT	RAINWATER TANK
SRL	STRUCTURAL RELATIVE LEVEL
TOW	TOP OF WALL LEVEL
WCL	WALL MOUNTED CLOTHES LINE
WM	WATER METER
DIRECTION OF FLOW	
PIPELINE CONNECTION TO RWT	
PIPELINE STORMWATER OVERFLOW	
POTABLE WATER	
STORMWATER DRAINAGE PIT	
GRATED DRAIN	
NATURE STRIP CONCEPT DIAGRAM	
RETAINING WALLS	
BLOCK WORK RETAINING WALL	
BLOCK WORK FEATURE RETAINING WALL	
CROP EDGE BEAM	
HEAVY CONCRETE SLEEPER WALL	
LOG SLEEPER RETAINING WALL	
WET WALL	



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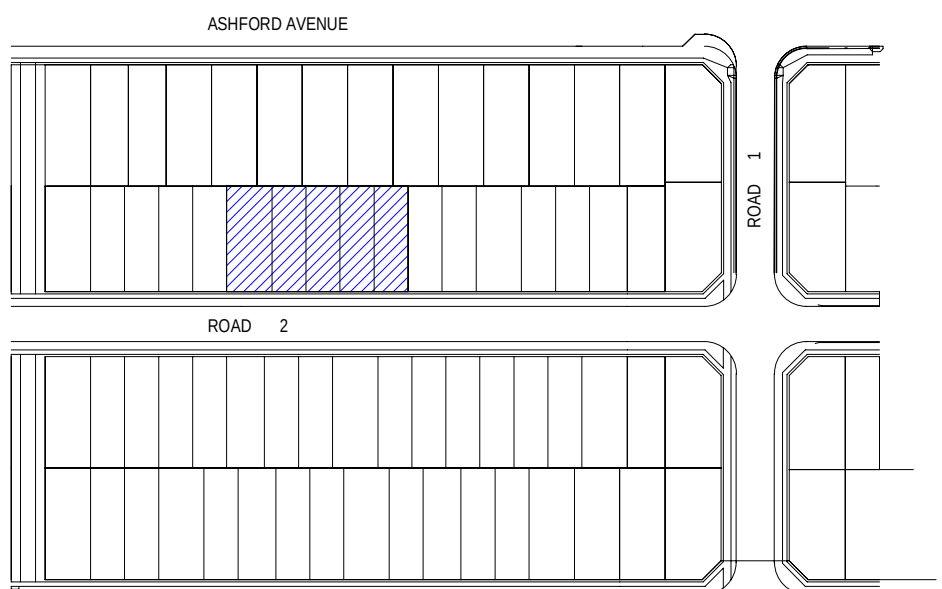
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Sheet No: 6 of 33



ROAD 2

1 HYDRAULIC CONCEPT PLAN - LOTS 2201-2205



31.10.25
14.08.25
086

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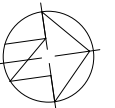
MIRVAC
DESIGN
Level 20 200 George St
Sydney NSW 2000
Tel: 02 9550 0000
Mirvac Design Pty Ltd
ABN 70 003 959 931
Mirvac Design Nominees / Responsible Architects
Anda Verena, Andrew La, David Hest, Michael Weller
http://www.mirvacdesign.com/mirvacdesign-architects



project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
HYDRAULIC CONCEPT PLAN -
LOT2201-2205

job no: MB-10418
drawing no: S2-2.2-DA140
scale @ A1 : 1 : 100
date: 31.10.25 rev: B



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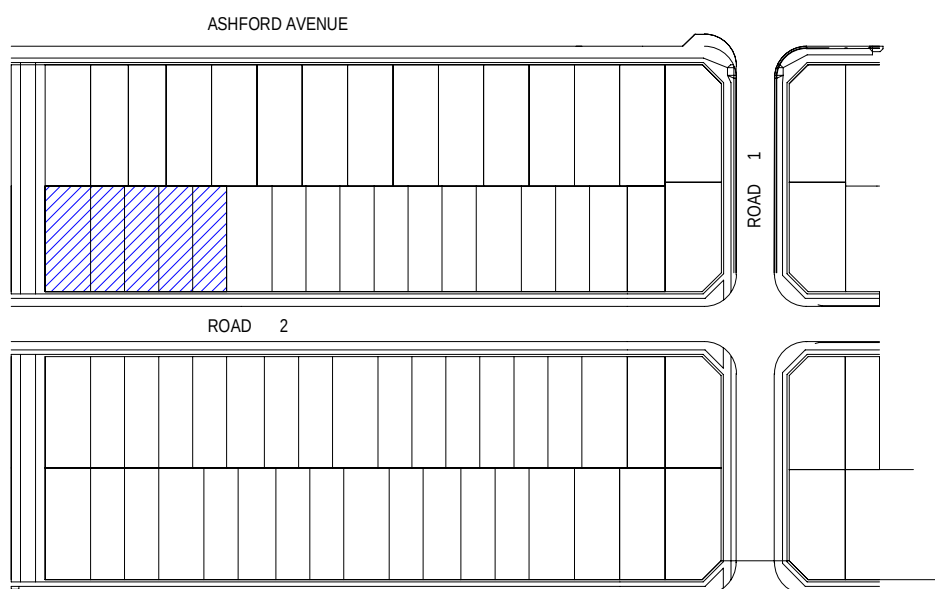
Sheet No: 7 of 33

SITEWORK	
A/C	AIR CONDITIONER CONDENSER
BOW	BOTTOM OF WALL LEVEL
ESL	EXISTING GROUND LEVEL
FSL	FINISHED SURFACE LEVEL
GM	GAS METER
HC	HOSE COCK
HCR	HOSE COCK RECYCLE
HMU	HOT WATER UNIT
KO	KEYS OUTLET
LB	LETTER BOX
MB	ELECTRICAL METERBOX
NBN	NATIONAL BROADBAND NETWORK
PCD	PREMISES CONNECTION DEVICE
PWM	NON POTABLE RECYCLED WATER METER
RL	REDUCED LEVEL
RWT	RAINWATER TANK
SRL	STRUCTURAL RELATIVE LEVEL
TOW	TOP OF WALL LEVEL
WCL	WALL MOUNTED CLOTHES LINE
WM	WATER METER
DIRECTION OF FLOW	
→	PIPELINE CONNECTION TO RWT
→	PIPELINE STORMWATER OVERFLOW
→	POTABLE WATER
→	STORMWATER DRAINAGE PIT
→	GRATED DRAIN
RETAINING WALLS	
■	BLOCK WORK RETAINING WALL
■	BLOCK WORK FEATURE RETAINING WALL
■	DROP EDGE BEAM
■	H-BEAM CONCRETE SLEEPER WALL
■	LOG SLEEPER RETAINING WALL
■	WET WALL

PUBLIC RESERVE

ROAD 2

1 HYDRAULIC CONCEPT PLAN - LOTS 2206-2210



WINDOW SCHEDULE - LOT 2201					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		5
W-04_OBS	SA1006 OBS	1030	610	OBSURE	2
W-05L	SKD2116_L	2100	1570		1
W-07	SSD2426	2400	2685		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-18	SA1308	1370	850		1
W-23R	SA1318_R	1370	1810		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208 OBS	1200	850	OBSURE	1
W-27	SA1207	1200	730		1

WINDOW SCHEDULE - LOT 2202					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		3
W-04_OBS	SA1006 OBS	1030	610	OBSURE	2
W-05L	SKD2116_L	2100	1570		1
W-06	SSD2432	2400	3160		1
W-10R	SA0616_R	600	1570		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-17	SA1306	1370	2650		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208 OBS	1200	850	OBSURE	1
W-27	SA1207	1200	730		1

WINDOW SCHEDULE - LOT 2203					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		5
W-04_OBS	SA1006 OBS	1030	610	OBSURE	2
W-05L	SKD2116_L	2100	1570		1
W-07	SSD2426	2400	2685		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-16	SA1317_R	1370	1700		1
W-18	SA1308	1370	850		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208 OBS	1200	850	OBSURE	1
W-27	SA1207	1200	730		1

WINDOW SCHEDULE - LOT 2204					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		5
W-04_OBS	SA1006 OBS	1030	610	OBSURE	2
W-05L	SKD2116_L	2100	1570		1
W-07	SSD2426	2400	2685		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-18	SA1308	1370	850		1
W-23R	SA1318_R	1370	1810		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208 OBS	1200	850	OBSURE	1
W-27	SA1207	1200	730		1

WINDOW SCHEDULE - LOT 2205					
Window No.	Type	Height	Width	Description	Count
W-02R	SA2018T_R SPECIAL	2035	1570	2035H x 1570W SA2007T WITHIN	1
W-03	SA2007T	2035	730		5
W-05L	SKD2116_L	2100	1570		1
W-08L	SA2018T_L	2035	1810		1
W-09	SSD2436	2400	3580		1
W-20	SA1307	1370	730		1
W-22	SA1326 SPECIAL	1370	2650	1200H x 2650W SA1207 WITHIN	1
W-23L	SKD2122_L	2100	2170		1
W-24L	SA1218_L	1200	1810		1
W-24R	SA1218_R	1200	1810		2
W-27	SA1207	1200	730		1
W-28	SF1208	1200	850		1
W-29_OBS	SA1010 OBS	1030	970	OBSURE	1
W-30_OBS	SA1007 OBS	1030	730	OBSURE	1

DOOR SCHEDULE - LOT 2201			
Door No.	Height	Leaf Width	O/A Frame Width
D-02_GG	2400	920	1450
D-05R	2100	820	900

DOOR SCHEDULE - LOT 2202			
Door No.	Height	Leaf Width	O/A Frame Width
D-03_GG	2400	920	1000
D-05R	2100	820	900

DOOR SCHEDULE - LOT 2203			
Door No.	Height	Leaf Width	O/A Frame Width
D-02_GG	2400	920	1450
D-05R	2100	820	900

DOOR SCHEDULE - LOT 2204			
Door No.	Height	Leaf Width	O/A Frame Width
D-02_GG	2400	920	1000
D-05R	2100	820	900

DOOR SCHEDULE - LOT 2205			
Door No.	Height	Leaf Width	O/A Frame Width
D-04R_GG	2400	920	1500
D-05L	2100	820	900



1 GROUND FLOOR PLAN - LOT 2201-2205
1:100

ROAD 2



Department of Planning,
Housing and Infrastructure

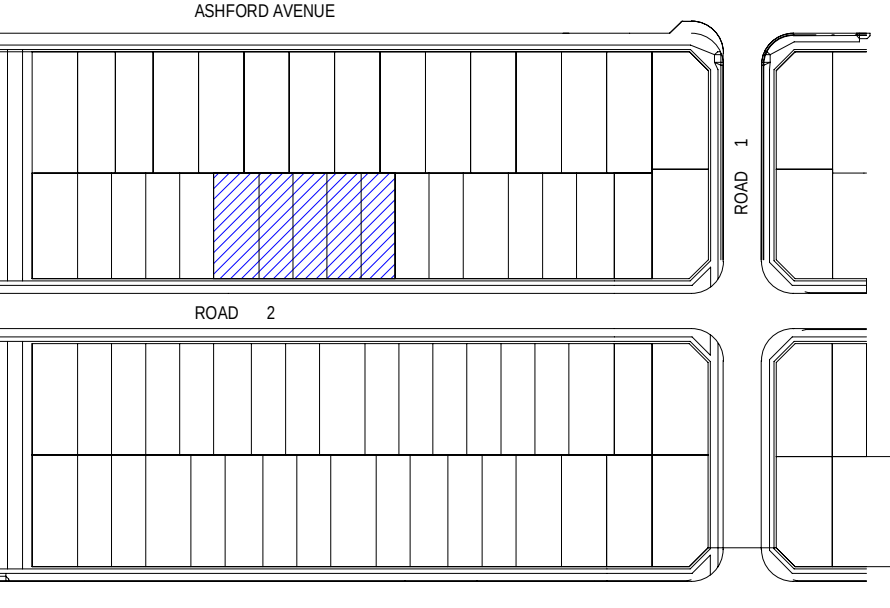
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WINDOW SCHEDULE - LOT 2206					
Window No.	Type	Height	Width	Description	Count
W-02L	SA2018T_L SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		5
W-04_OBS	SA1006 OBS	1030	610	OBSCUR	2
W-05L	SXD2116_L	2100	1570		1
W-07	SSD2426	2400	2685		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-20	SA1307	1370	730		1
W-21L	SA1320_L SPECIAL	1370	2080	1370H x 2080W SA1308 WITHIN	1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208 OBS	1200	850	OBSCUR	1
W-27	SA1207	1200	730		1

WINDOW SCHEDULE - LOT 2207					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		5
W-04_OBS	SA1006 OBS	1030	610	OBSCUR	2
W-05L	SXD2116_L	2100	1570		1
W-07	SSD2426	2400	2685		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-18	SA1308	1370	850		1
W-23R	SA1318_R	1370	1810		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208 OBS	1200	850	OBSCUR	1
W-27	SA1207	1200	730		1

WINDOW SCHEDULE - LOT 2208					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		3
W-04_OBS	SA1006 OBS	1030	610	OBSCUR	2
W-05L	SXD2116_L	2100	1570		1
W-06	SSD2432	2400	3160		1
W-10R	SA0616_R	600	1570		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-16	SA1317_R	1370	1700		1
W-18	SA1308	1370	850		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208 OBS	1200	850	OBSCUR	1
W-27	SA1207	1200	730		1

WINDOW SCHEDULE - LOT 2209					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		3
W-04_OBS	SA1006 OBS	1030	610	OBSCUR	2
W-05L	SXD2116_L	2100	1570		1
W-06	SSD2432	2400	3160		1
W-10R	SA0616_R	600	1570		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-16	SA1317_R	1370	1700		1
W-18	SA1308	1370	850		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208 OBS	1200	850	OBSCUR	1
W-27	SA1207	1200	730		1

WINDOW SCHEDULE - LOT 2210					
Window No.	Type	Height	Width	Description	Count
W-03	SA2007T	2035	730		3
W-08L	SA2018T_L	2035	1810		1
W-09	SSD2436	2400	3580		1
W-11	SA1206	1200	610		2
W-12_OBS	SA1206 OBS	1200	610	OBSCUR	2
W-13R	SXD2118	2100	1810		1
W-14	SA2006T	2035	610		1
W-24L	SA1218_L	1200	1810		3
W-24R	SA1218_R	1200	1810		1
W-27	SA1207	1200	730		2
W-30_OBS	SA1007 OBS	1030	730	OBSCUR	1
W-31	SF1007	1030	730		1

DOOR SCHEDULE - LOT 2206				
Door No.	Height	Leaf Width	O/A Frame Width	
D-03_BG	2400	920	1000	
D-05R	2100	820	900	

DOOR SCHEDULE - LOT 2207				
Door No.	Height	Leaf Width	O/A Frame Width	
D-02_BG	2400	920	1000	
D-05R	2100	820	900	

DOOR SCHEDULE - LOT 2208				
Door No.	Height	Leaf Width	O/A Frame Width	
D-03_BG	2400	920	1000	
D-05R	2100	820	900	

DOOR SCHEDULE - LOT 2209				
Door No.	Height	Leaf Width	O/A Frame Width	
D-02_BG	2400	920	1000	
D-05R	2100	820	900	

DOOR SCHEDULE - LOT 2210				
Door No.	Height	Leaf Width	O/A Frame Width	
D-01L_BG	2400	920	1690	
D-05R	2100	820	900	



1 GROUND FLOOR PLAN - LOT 2206-2210
1 : 100



Department of Planning,
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 9 of 33



MIRVAC DESIGN

Level 28 200 George St
Sydney NSW 2000
Tel: 02 9550 0000

Mirvac Design Pty Ltd
ABN 70 007 959 531

Mirvac Design Nominees / Responsible Architects:
Ando Verre, Andrea La Chaud-Her, Michael Winter
http://www.mirvacdesign.com/contact-us-and-branch



project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
**GROUND FLOOR PLANS - LOT
2206-2210**

job no: MB-10418
drawing no: S2-2.2-DA211
scale at A1 : 1 : 100
date: 12.03.26 rev: C



WINDOW SCHEDULE - LOT 2201					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		5
W-04_OBS	SA1006_OBS	1030	610	OBSCUR	2
W-05L	SKD2116_L	2100	1570		1
W-07	SSD2426	2400	2685		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-18	SA1308	1370	850		1
W-23R	SA1318_R	1370	1810		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208_OBS	1200	850	OBSCUR	1
W-27	SA1207	1200	730		1

DOOR SCHEDULE - LOT 2201			
Door No.	Height	Leaf Width	O/A Frame Width
D-02_6G	2400	920	1450
D-05R	2100	820	900

WINDOW SCHEDULE - LOT 2202					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		3
W-04_OBS	SA1006_OBS	1030	610	OBSCUR	2
W-05L	SKD2116_L	2100	1570		1
W-06	SSD2432	2400	3160		1
W-10R	SA0616_R	600	1570		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-17	SA1306	1370	2650		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208_OBS	1200	850	OBSCUR	1
W-27	SA1207	1200	730		1

DOOR SCHEDULE - LOT 2202			
Door No.	Height	Leaf Width	O/A Frame Width
D-03_8G	2400	920	1000
D-05R	2100	820	900

WINDOW SCHEDULE - LOT 2203					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		5
W-04_OBS	SA1006_OBS	1030	610	OBSCUR	2
W-05L	SKD2116_L	2100	1570		1
W-07	SSD2426	2400	2685		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-16	SA1317_R	1370	1700		1
W-18	SA1308	1370	850		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208_OBS	1200	850	OBSCUR	1
W-27	SA1207	1200	730		1

DOOR SCHEDULE - LOT 2203			
Door No.	Height	Leaf Width	O/A Frame Width
D-02_6G	2400	920	1450
D-05R	2100	820	900

WINDOW SCHEDULE - LOT 2204					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		5
W-04_OBS	SA1006_OBS	1030	610	OBSCUR	2
W-05L	SKD2116_L	2100	1570		1
W-07	SSD2426	2400	2685		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-18	SA1308	1370	850		1
W-23R	SA1318_R	1370	1810		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208_OBS	1200	850	OBSCUR	1
W-27	SA1207	1200	730		1

DOOR SCHEDULE - LOT 2204			
Door No.	Height	Leaf Width	O/A Frame Width
D-02_6G	2400	920	1000
D-05R	2100	820	900

WINDOW SCHEDULE - LOT 2205					
Window No.	Type	Height	Width	Description	Count
W-02R	SA2018T_R SPECIAL	2035	1570	2026H x 1570W SA2007T WITHIN	1
W-03	SA2007T	2035	730		5
W-05L	SKD2116_L	2100	1570		1
W-08L	SA2018T_L	2035	1810		1
W-09	SSD2436	2400	3580		1
W-20	SA1307	1370	730		1
W-22	SA1326 SPECIAL	1370	2650	1200H x 2650W SA1207 WITHIN	1
W-23L	SKD2122_L	2100	2170		1
W-24L	SA1218_L	1200	1810		1
W-24R	SA1218_R	1200	1810		2
W-27	SA1207	1200	730		1
W-28	SF1208	1200	850		1
W-29_OBS	SA1010_OBS	1030	970	OBSCUR	1
W-30_OBS	SA1007_OBS	1030	730	OBSCUR	1

DOOR SCHEDULE - LOT 2205			
Door No.	Height	Leaf Width	O/A Frame Width
D-04R_8G	2400	920	1500
D-05L	2100	820	900

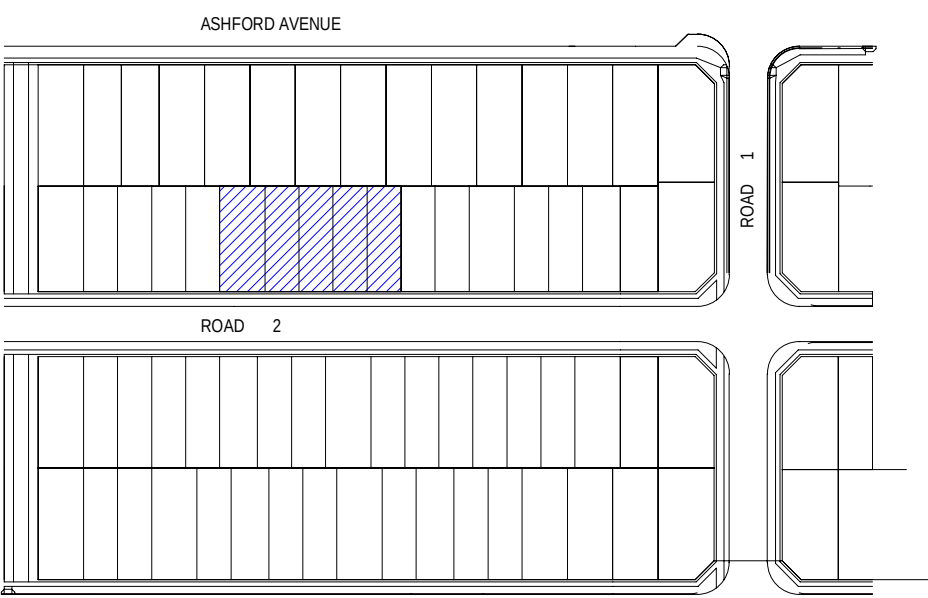


FLOOR PLAN	
720	DOOR LEAF SIZE - AS SHOWN @ 2340mm HIGH UNO
720L	DOOR LEAF SIZE - DOOR WITH LIFT OFF HINGES
AC	AIRCON CONDENSER
ACD	AIRCON DUCT
ACE	AIRCON EVAPORATOR
APD	ALUMINUM PERGOLA TO DETAIL
BAL	BALUSTRADE
BAT	BATTERY STORAGE UNIT
BH	BULKHEAD OVER
BO	STRUCTURAL BEAM OVER TO ENGINEER'S DETAIL
BOW	BOTTOM OF WALL LEVEL
BS	STRUCTURAL BEAM IN WALL OVER
C	CUPBOARD
CSD	CAVITY SLIDER DOOR
CT	COOKTOP
D	DOOR
DP	DOWNPipe
DPS	DOWNPipe & SPREADER
DS	DRYER SPACE
DW	DISHWASHER SPACE
EEL	EXISTING GROUND LEVEL
EXH	EXHAUST TO BAY/ES OR SOFFIT
EXHR	EXHAUST TO ROOF
EXHW	EXHAUST TO WALL
F	REFRIGERATOR SPACE
FRL	FINISHED RELATIVE LEVEL
FSC	FREE STANDING COOKER
FW	FLOOR WASTE
GD	GARAGE DOOR OPENING AS SPECIFIED
GM	GAS METER
HC	HOSE COCK
HCR	HOSE COCK RECYCLE
HDC	HARDWARE DISTRIBUTION CABINET
HH	HEAD OF OPENING - HEIGHT AS NOTED
HRL	HANDRAIL - 1000mm HIGH MIN.
HWU	HOT WATER UNIT
HWU	INSTANTANEOUS HOT WATER UNIT
INS	INSULATION
INW	INVERTER
L	LINEN
LB	LETTER BOX
LHW	LOW HEIGHT WALL - HEIGHT AS NOTED
LWD	LINE OF WALL OVER
MB	ELECTRICAL METERBOX
MH	MANHOLE ACCESS PANEL
MR	METAL ROOF - PITCHES NOTED
MW	MICROWAVE SPACE
NBN	NATIONAL BROADBAND NETWORK
NCOP	NON COMBUSTIBLE DOWNPIPE (NSW ONLY)
OFW	OVERFLOW FLOOR WASTE
PAINT	PAINT
PCD	PRIMARIES CONNECTION DEVICE
PDM	NON POTABLE RECYCLED WATER METER
RH	RANGHOOD
RL	RECEIVED LEVEL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
S	STORAGE
SD	STEPODOWN
SA	SMOKE ALARM
SCR	SCREEN
SK	SINK
SL	SKYLIGHT OVER
SN	SHOWER NICH
SP	STRUCTURAL POST TO ENGINEER'S DETAIL
SRL	STRUCTURAL RELATIVE LEVEL
SS	SERVICE STACK
ST	STORAGE
TOW	TOP OF WALL LEVEL
TP	TIMBER POST - SIZE AS NOTED
TPG	TIMBER PERGOLA TO DETAIL
TR	TILED ROOF - PITCH AS NOTED
UBD	UNDER BENCH OVER
VJ	VERTICAL JOINT
W	WINDOW
WCL	WALL MOUNTED CLOTHES LINE
WIP	WALK-IN PANTRY
WMS	WASHING MACHINE SPACE
WM	WATER METER
WIO	WALL OVEN
WTC	RAINWATER TANK CONTROL
XXXP	ENGAGED PERS SPACINGS VARIES CENTRES TO ENG'S DESIGN

LEGEND	
LIABLE HOUSING	THESE DESIGNS MEET COUNCIL'S CONTROLS AS OUTLINES IN SECTION 11.1 LIABLE HOUSING OF THE RESIDENTIAL ACCOMMODATION ACT ONLY
INDICATES WALL WITH REINFORCEMENT TO	
ENABLE INSTALLATION OF FUTURE	
GREEN DIMENSIONS INDICATE MINIMUM	
CLEARANCES	
WET AREA WALLS:	
WALLS AROUND THE TOILET, SHOWER AND BATH TO	
BE REINFORCED TO SUPPORT SAFE INSTALLATION OF	
FUTURE GRABBARLS BY OCCUPANTS	
OBSCUR	
WXXX_OBS	WINDOWS TAGGED WITH SUFFIX OBS INDICATES OBSCUR GLAZING

1 FIRST FLOOR PLAN - LOT 2201-2205
1:100

ROAD 2





**Department of Planning,
Housing and Infrastructure**

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 10 of 33

WINDOW SCHEDULE - LOT 2206					
Window No.	Type	Height	Width	Description	Count
W-02L	SA2018T_L SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		5
W-04_OBS	SA1006 OBS	1030	610	OBSCUR	2
W-05L	SKD2116_L	2100	1570		1
W-07	SSD2426	2400	2685		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-20	SA1307	1370	730		1
W-21L	SA1320_L SPECIAL	1370	2080	1370H x 2080W SA1308 WITHIN	1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208 OBS	1200	850	OBSCUR	1
W-27	SA1207	1200	730		1

WINDOW SCHEDULE - LOT 2207					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		5
W-04_OBS	SA1006 OBS	1030	610	OBSCUR	2
W-05L	SKD2116_L	2100	1570		1
W-07	SSD2426	2400	2685		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-18	SA1308	1370	850		1
W-23R	SA1318_R	1370	1810		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208 OBS	1200	850	OBSCUR	1
W-27	SA1207	1200	730		1

WINDOW SCHEDULE - LOT 2208					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		3
W-04_OBS	SA1006 OBS	1030	610	OBSCUR	2
W-05L	SKD2116_L	2100	1570		1
W-06	SSD2432	2400	3160		1
W-10R	SA0616_R	600	1570		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-17	SA1326	1370	2650		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208 OBS	1200	850	OBSCUR	1
W-27	SA1207	1200	730		1

WINDOW SCHEDULE - LOT 2209					
Window No.	Type	Height	Width	Description	Count
W-01R	SA2018T_R SPECIAL	2035	1810	2035H x 1810W SA2008T WITHIN	1
W-03	SA2007T	2035	730		3
W-04_OBS	SA1006 OBS	1030	610	OBSCUR	2
W-05L	SKD2116_L	2100	1570		1
W-06	SSD2432	2400	3160		1
W-10R	SA0616_R	600	1570		1
W-15	SA1305 SPECIAL	1370	550	1370H x 550W	1
W-16	SA1317_R	1370	1700		1
W-18	SA1308	1370	850		1
W-24L	SA1218_L	1200	1810		3
W-25_OBS	SA1208 OBS	1200	850	OBSCUR	1
W-27	SA1207	1200	730		1

WINDOW SCHEDULE - LOT 2210					
Window No.	Type	Height	Width	Description	Count
W-03	SA2007T	2035	730		3
W-08L	SA2018T_L	2035	1810		1
W-09	SSD2436	2400	3580		1
W-11	SA1206	1200	610		2
W-12_OBS	SA1206 OBS	1200	610	OBSCUR	2
W-13R	SKD2118	2100	1810		1
W-14	SA2006T	2035	610		1
W-24L	SA1218_L	1200	1810		1
W-24R	SA1218_R	1200	1810		3
W-27	SA1207	1200	730		2
W-30_OBS	SA1007 OBS	1030	730	OBSCUR	1
W-31	SF1007	1030	730		1

DOOR SCHEDULE - LOT 2206			
Door No.	Height	Leaf Width	O/A Frame Width
D-03_BG	2400	920	1000
D-05R	2100	820	900

DOOR SCHEDULE - LOT 2207			
Door No.	Height	Leaf Width	O/A Frame Width
D-02_BG	2400	920	1000
D-05R	2100	820	900

DOOR SCHEDULE - LOT 2208			
Door No.	Height	Leaf Width	O/A Frame Width
D-03_BG	2400	920	1000
D-05R	2100	820	900

DOOR SCHEDULE - LOT 2209			
Door No.	Height	Leaf Width	O/A Frame Width
D-02_BG	2400	920	1000
D-05R	2100	820	900

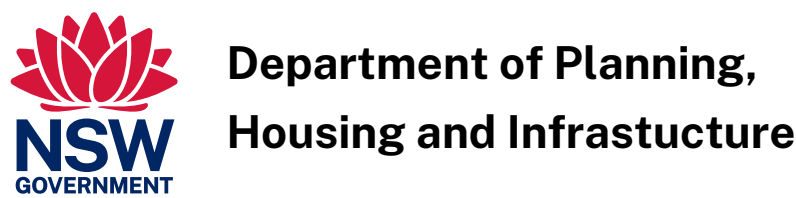
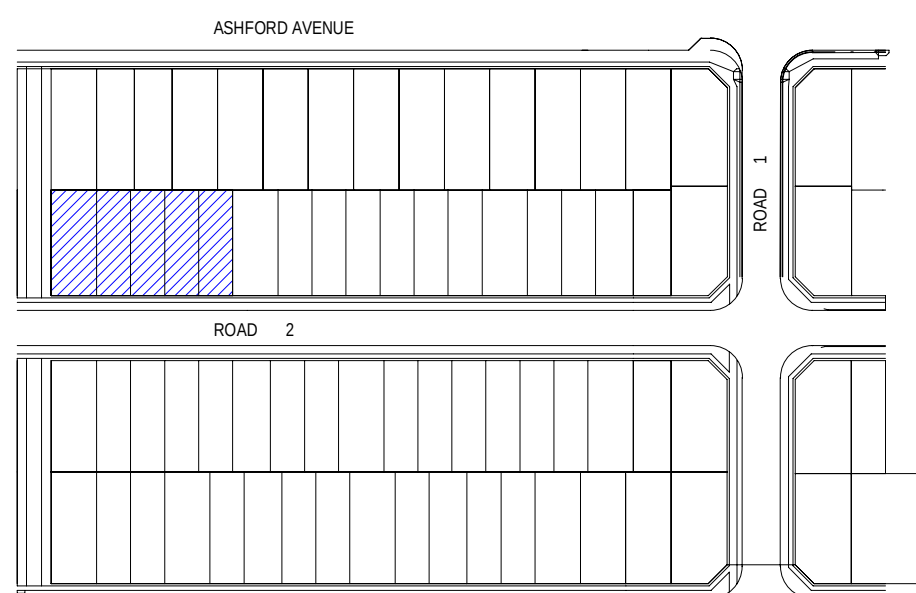
DOOR SCHEDULE - LOT 2210			
Door No.	Height	Leaf Width	O/A Frame Width
D-01L_BG	2400	920	1690
D-05R	2100	820	900

PUBLIC RESERVE



1 FIRST FLOOR PLAN - LOT 2206-2210
1:100

ROAD 2



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Approved on: 6 August 2026

Signed: MG

Sheet No: 11 of 33

MIRVAC DESIGN
Level 20 200 George St
Sydney NSW 2000
Tel: 002 959 9351
Mirvac Design Pty Ltd
ABN 70 002 959 9351
Mirvac Design Nominees / Responsible Architects
Anda Verma, Andrew La, David Hoz, Michael Winter
https://www.mirvacdesign.com/ourteam/andabosch



project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
FIRST FLOOR PLANS - LOT
2206-2210

job no: MB-10418
drawing no: S2-2.2-DA221
scale at A1 : 1:100
date: 31.10.25

rev: B



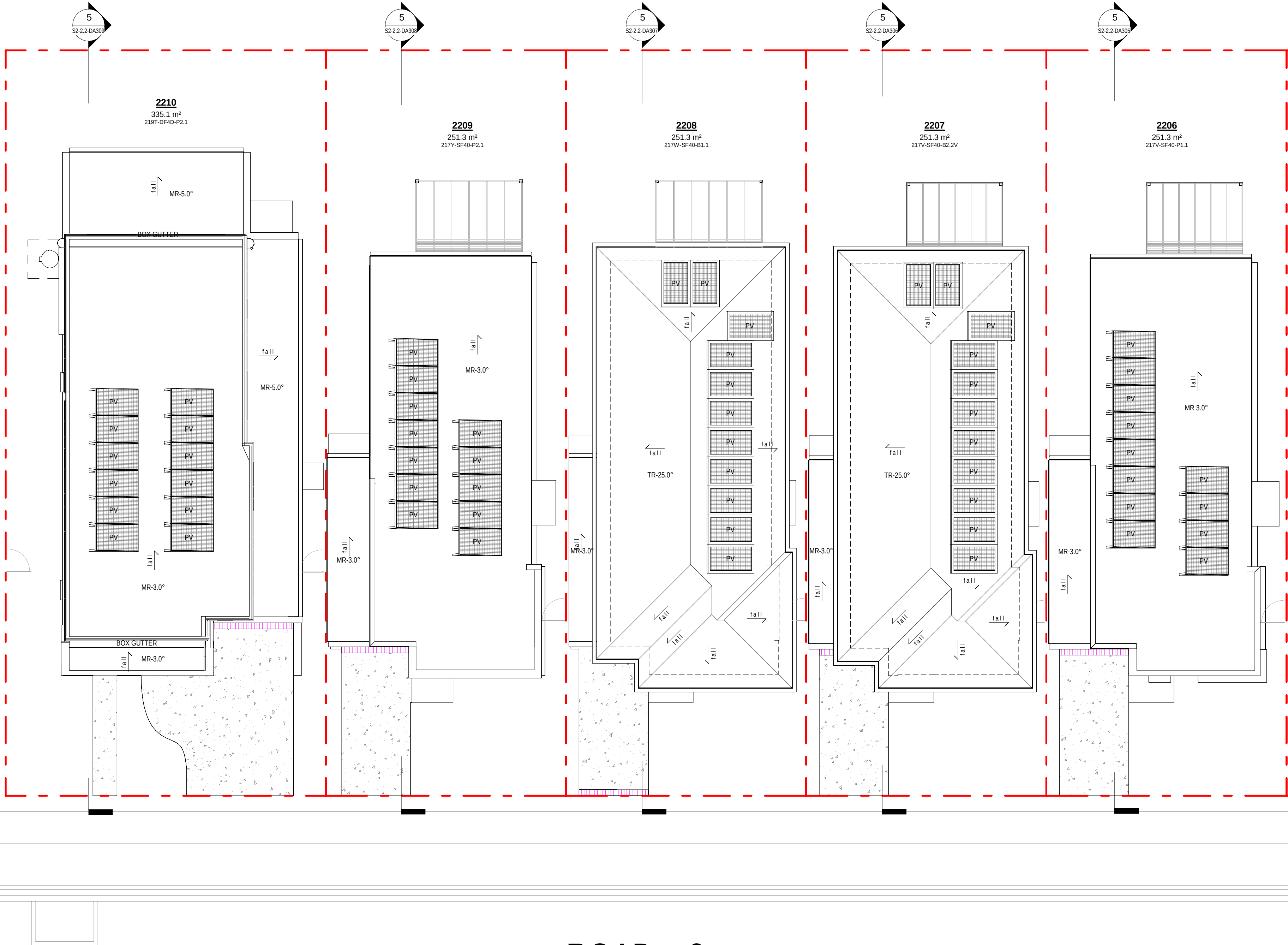
0mm 100mm 200mm 300mm

100mm

200mm

300mm

PUBLIC RESERVE



1 ROOF PLAN - LOT 2206-2210
1:100

ROOF PLAN		
APG	ALUMINUM PERGOLA TO DETAIL	
BG	BOX GUTTER	
DP	DOWNSPIPE	
GPS	DOWNSPIPE & SPREADER	
DP-100	DOWNSPIPE 100mm DIA	
EXHR	EXHAUST TO ROOF	
MR	METAL ROOF	
OF	OVERFLOW	
PV	PHOTOVOLTAC SOLAR PANEL	
RWH	RAINWATER HEAD	
SHMP	SOLAR HOT WATER PANEL	
SL	SKY LIGHT	
TPE	TIMBER PERGOLA TO DETAIL	
TR	TILED ROOF - PITCH AS NOTED	
TR	RAISED SUFFIT	
TR	FIRE RATED SAVERS/OFFIT	
ROOF COLOUR		
SOLAR REFLECTIVE INDEX (SRI)		
ROOF PITCH	COLOUR	SRI
< 15°	SHALE GREY	66



Department of Planning,
Housing and Infrastructure

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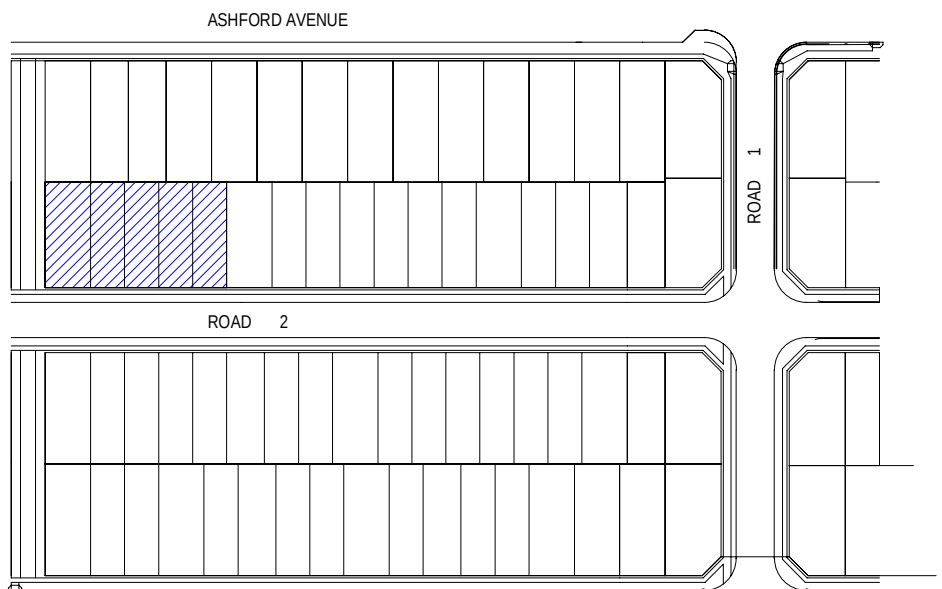
Approved Application No: SSD-97092958

Approved on: 6 August 2026

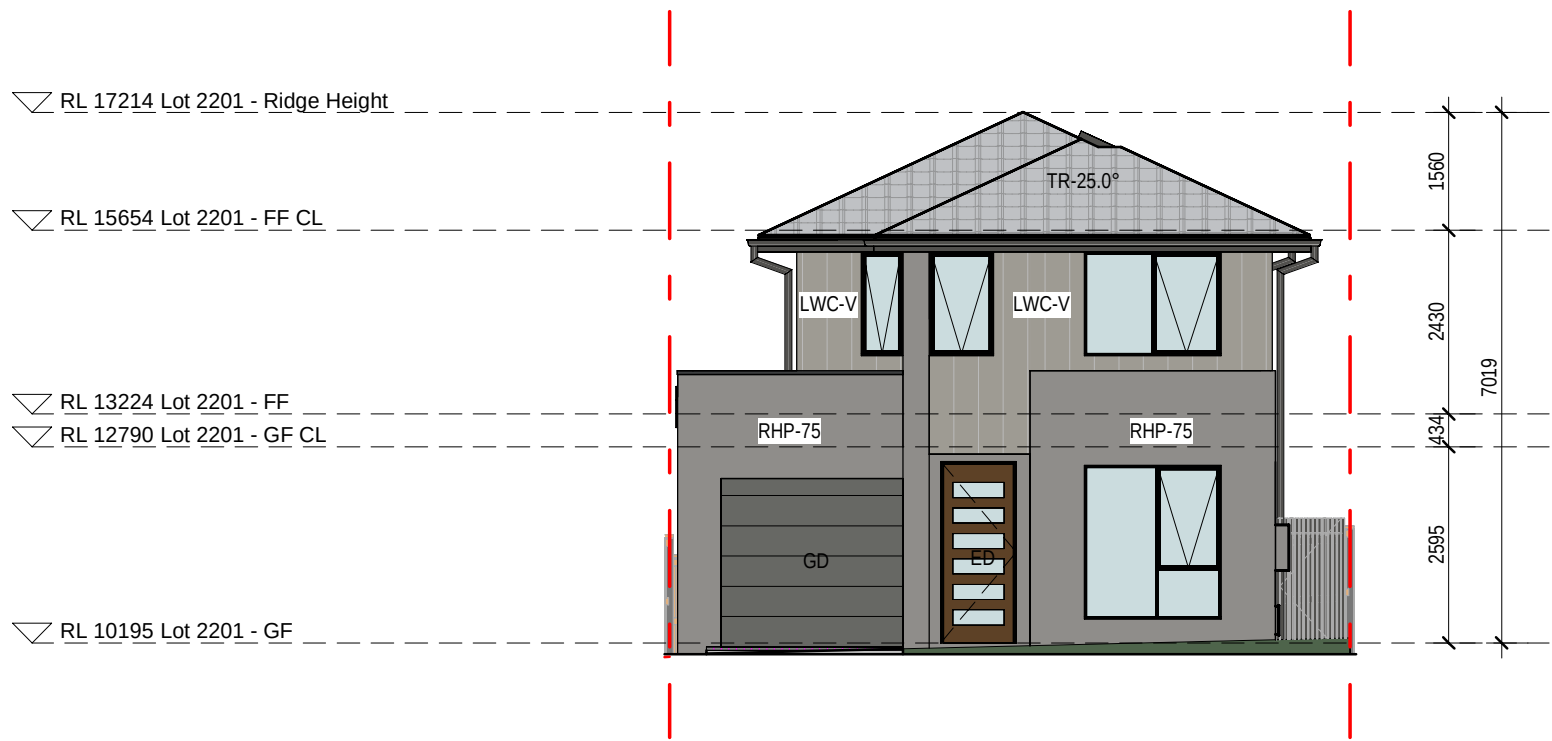
Signed: MG

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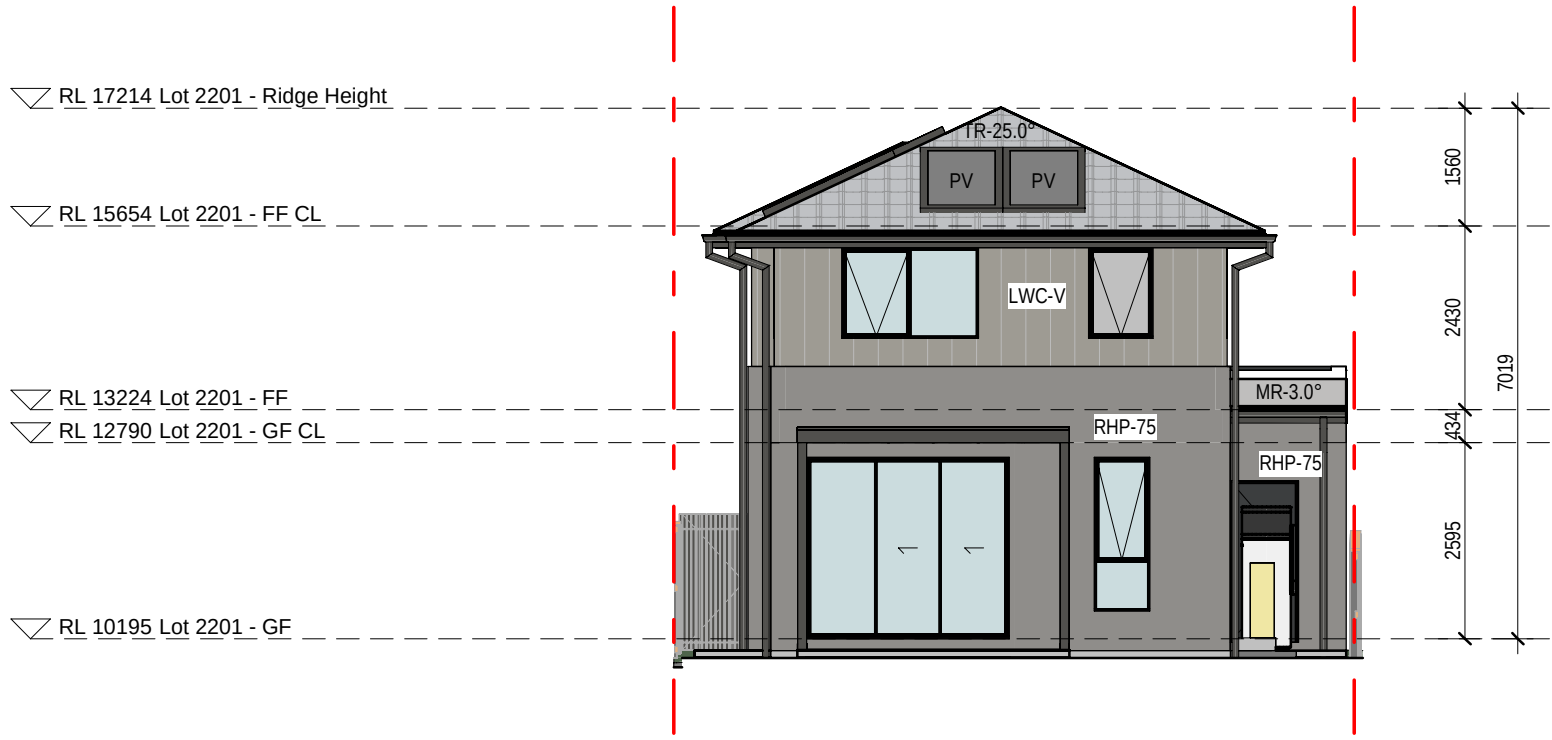
ROAD 2



0mm
100mm
200mm
300mm



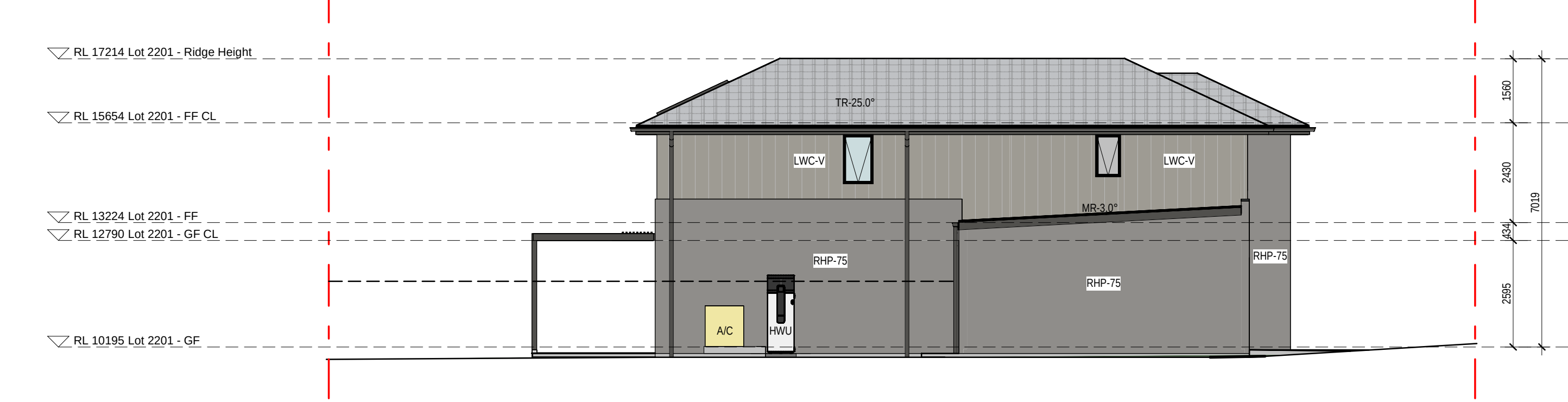
1 2201 - EAST ELEVATION
1:100



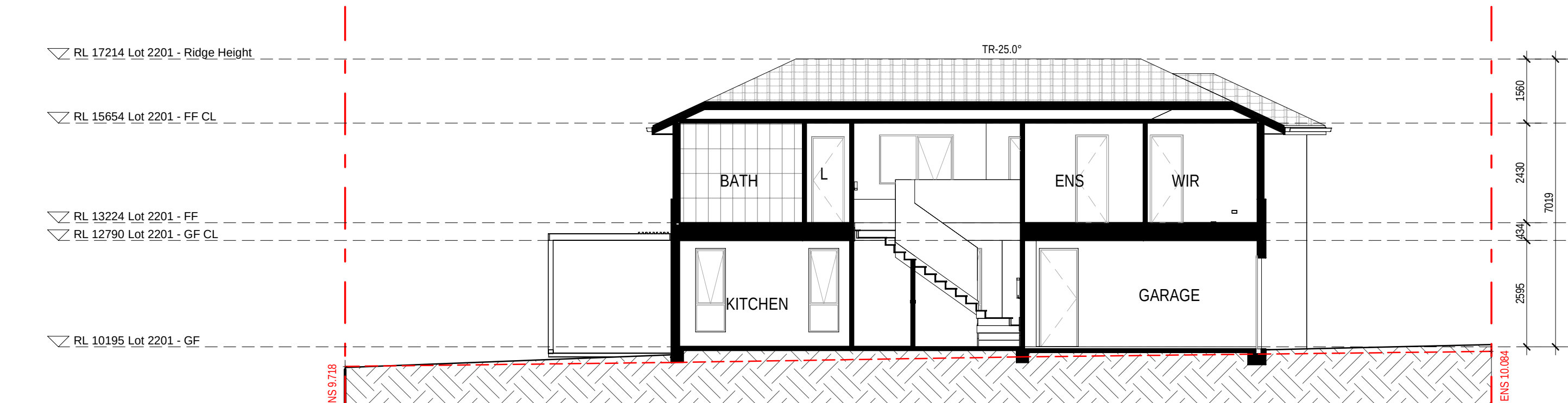
3 2201 - WEST ELEVATION
1:100



2 2201 - NORTH ELEVATION
1:100



4 2201 - SOUTH ELEVATION
1:100



5 2201 - SECTION 1
1:100

EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RHP - 75	RENDERED HEBEL PANEL 75
RHP - 50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RIB
TL	TILE FEATURE CLADDING
LWC - V	LIGHT WEIGHT CLADDING - VERTICAL
LWC - H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWS - B	PAINTED LIGHTWEIGHT SHEET CLADDING WITH FEATURE BATTENS
MC	COLORBOND METAL CLADDING
VBS	VERTICAL BLADE SCREEN
HBS	HORIZONTAL BATTEN SCREEN
ED	ENTRY DOOR
GD	GARAGE DOOR
OBSCURE WINDOWS	
	GREY SHADING TO WINDOWS INDICATES OBSCURE GLAZING
PROPOSED INTERLOT FENCE 1800mm HEIGHT	
EXISTING NATURAL SURFACE LINE	
EXISTING NATURAL SURFACE SPOT LEVEL	
ENS xxxxx	
NOTES:	
THE RLS (REDUCED LEVELS) SHOWN ON THIS DRAWING ARE SUBJECT TO A TOLERANCE OF ±300MM FROM THE FINAL CONSTRUCTED RLS.	



Department of Planning,
Housing and Infrastructure

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Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 14 of 33

0mm

100mm

200mm

300mm

100mm

200mm

300mm

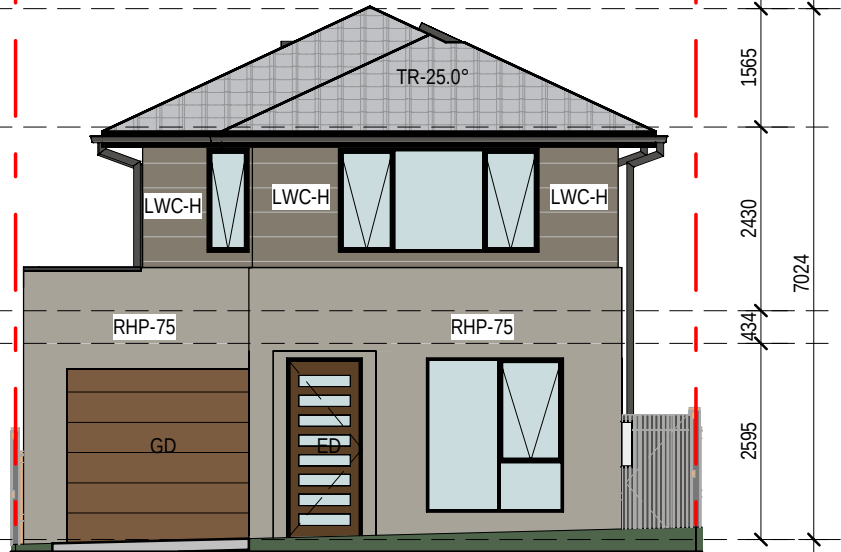
▽ RL 16899 Lot 2202 - Ridge Height

▽ RL 15334 Lot 2202 - FF CL

▽ RL 12904 Lot 2202 - FF

▽ RL 12470 Lot 2202 - GF CL

▽ RL 9875 Lot 2202 - GF



1 2202 - EAST ELEVATION

1 : 100

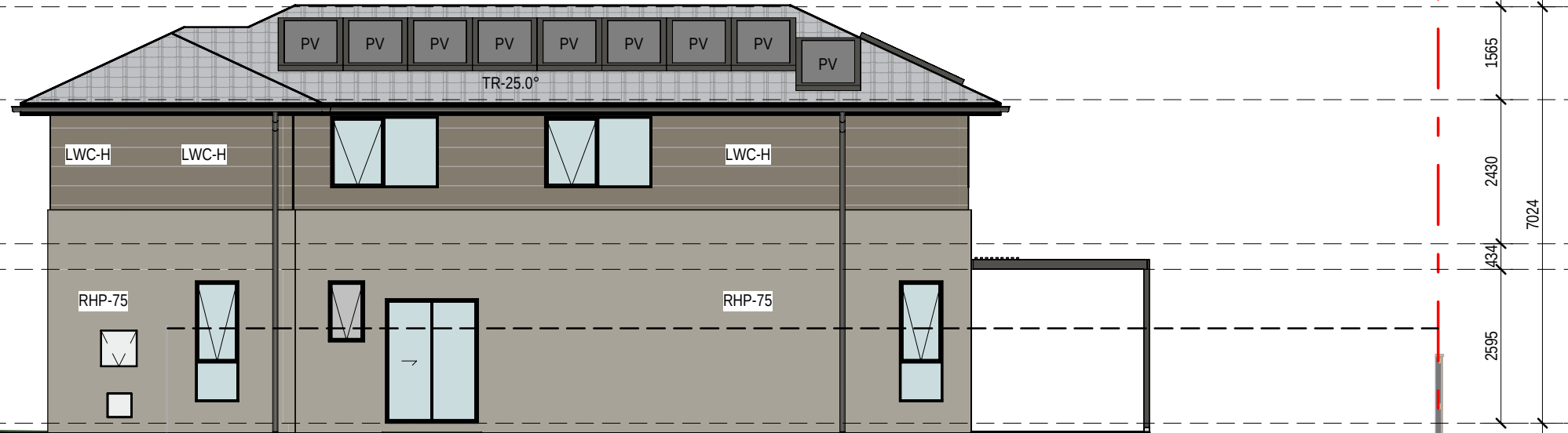
▽ RL 16899 Lot 2202 - Ridge Height

▽ RL 15334 Lot 2202 - FF CL

▽ RL 12904 Lot 2202 - FF

▽ RL 12470 Lot 2202 - GF CL

▽ RL 9875 Lot 2202 - GF



2 2202 - NORTH ELEVATION

1 : 100

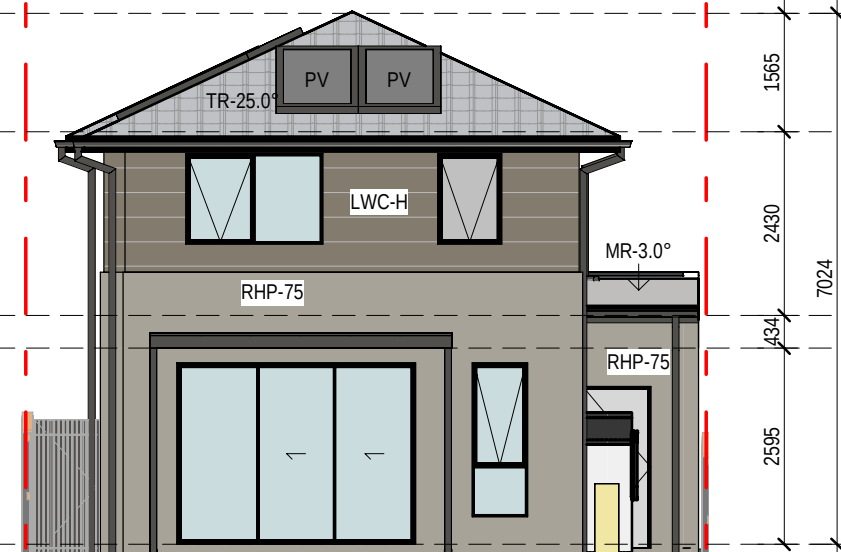
▽ RL 16899 Lot 2202 - Ridge Height

▽ RL 15334 Lot 2202 - FF CL

▽ RL 12904 Lot 2202 - FF

▽ RL 12470 Lot 2202 - GF CL

▽ RL 9875 Lot 2202 - GF



3 2202 - WEST ELEVATION

1 : 100

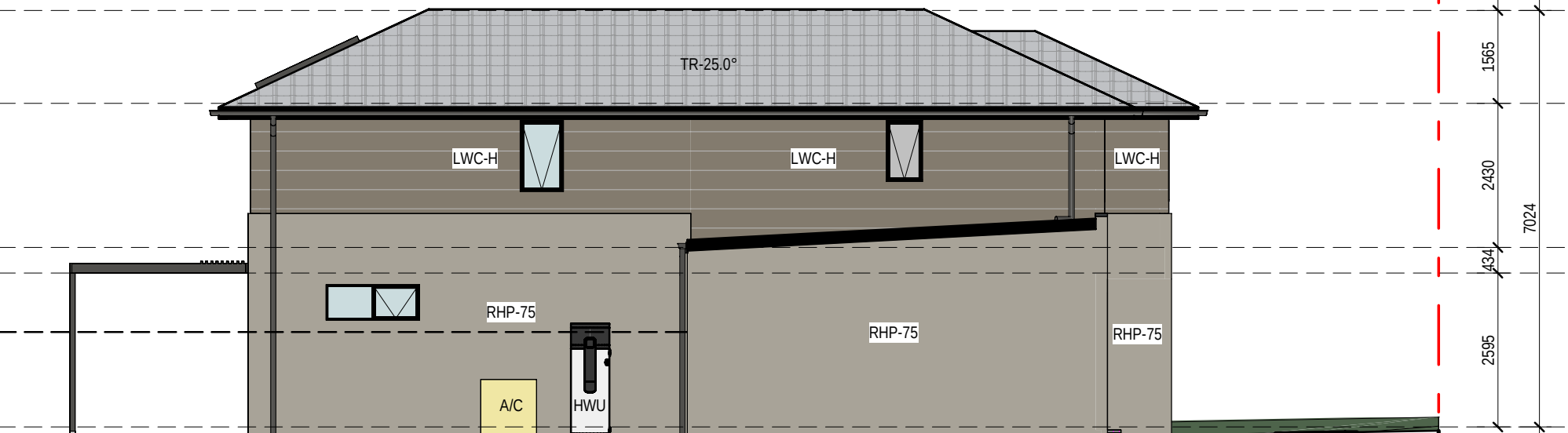
▽ RL 16899 Lot 2202 - Ridge Height

▽ RL 15334 Lot 2202 - FF CL

▽ RL 12904 Lot 2202 - FF

▽ RL 12470 Lot 2202 - GF CL

▽ RL 9875 Lot 2202 - GF



4 2202 - SOUTH ELEVATION

1 : 100

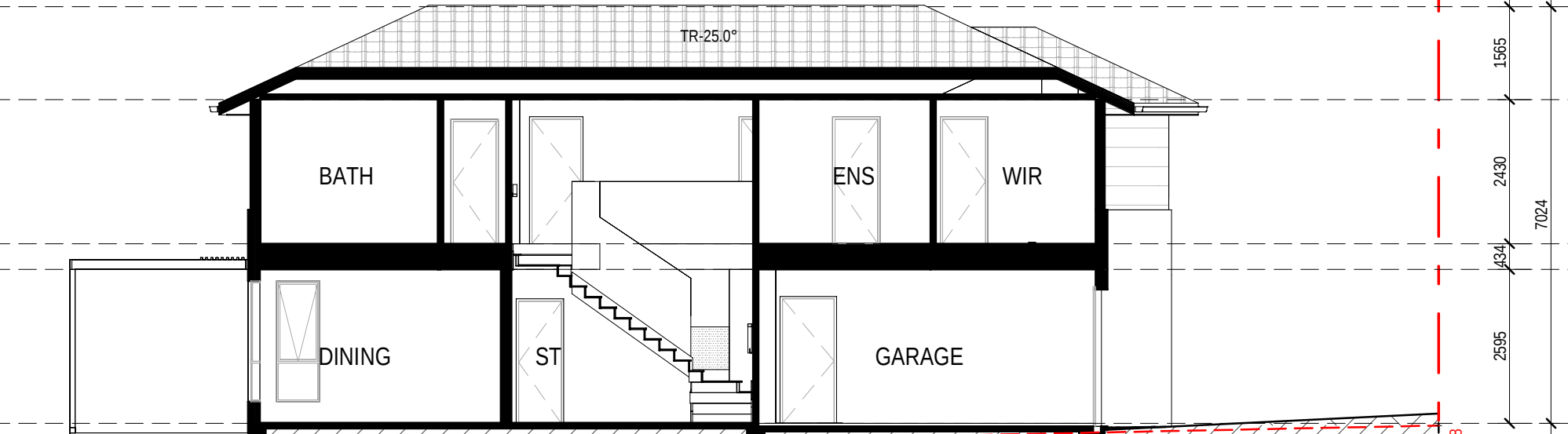
▽ RL 16899 Lot 2202 - Ridge Height

▽ RL 15334 Lot 2202 - FF CL

▽ RL 12904 Lot 2202 - FF

▽ RL 12470 Lot 2202 - GF CL

▽ RL 9875 Lot 2202 - GF



5 2202 - SECTION 1

1 : 100



Department of Planning,
Housing and Infrastructure

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Approved on: 6 August 2026

Signed: MG

Sheet No: 15 of 33

12.03.26

C

RE ISSUE TO SSDA FOR APPROVAL. EXTERNAL
COLOUR & FINISHES REVISED. CORNER HOMES
ADJACENT PUBLIC PATH UPDATED WITH WINDOW
ADDED

31.10.25

B

ISSUE FOR SSDA APPROVAL

14.08.25

A

PRELIMINARY ISSUE TO CONSULTANT

086

REV

AMENDMENT

MIRVAC
DESIGN

architects
urban design
interior design
landscape design

Mirvac Design Pty Ltd
ABN 70 007 959 531

Mirvac Design Nominees / Responsible Architects
Andra Verma Andra La Claud Heng Michael Mirvac

https://www.mirvacdesign.com/our-teams-and-projects

Level 20 200 George St
Sydney NSW 2000
T 02 9866 0000

dent



project:

KINLEA - MILPERRA

2 Bullecourt Avenue, Milperra NSW 2214

Stage: 2

Site: 2.2

Lot: 2201-2210

title:

ELEVATIONS AND SECTION - LOT
2202

job no:

MB-10418

drawing no:

S2-2.2-DA301

scale @ A1 : 1 : 100

date: 12.03.26

rev: C

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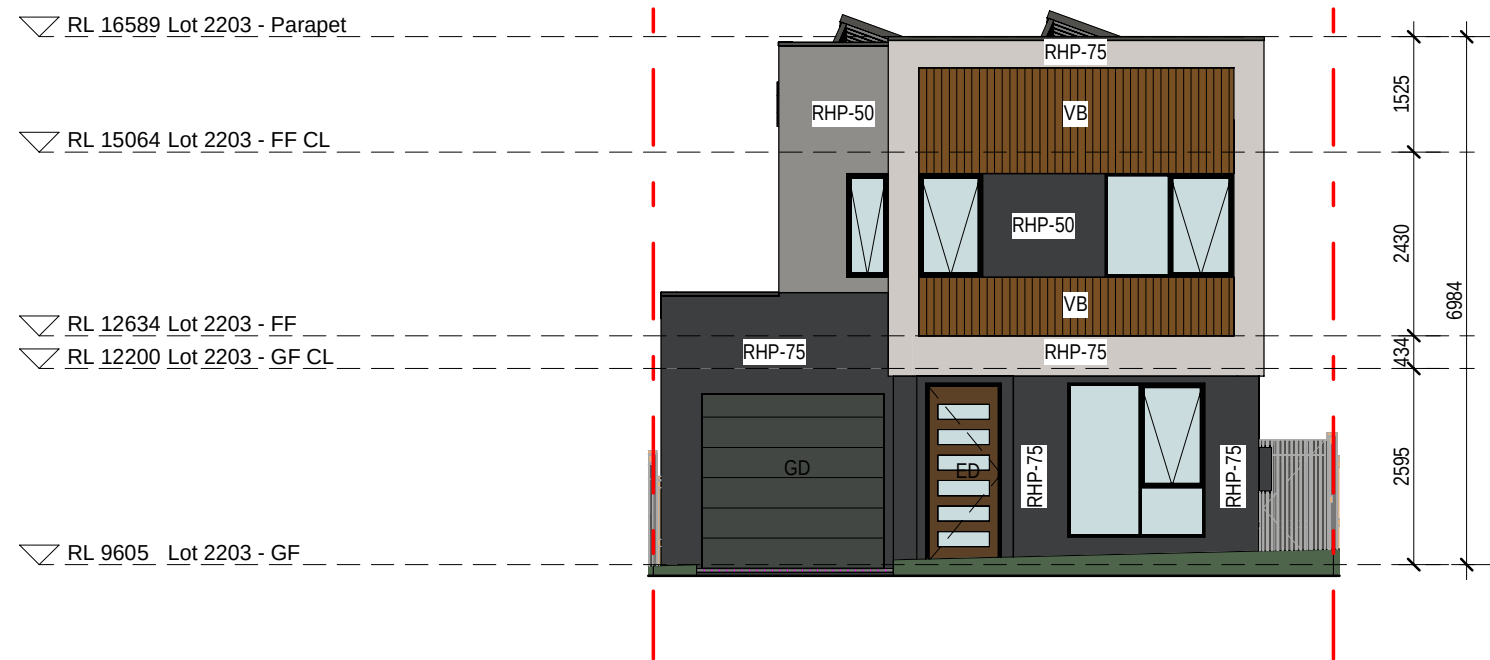
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300mm

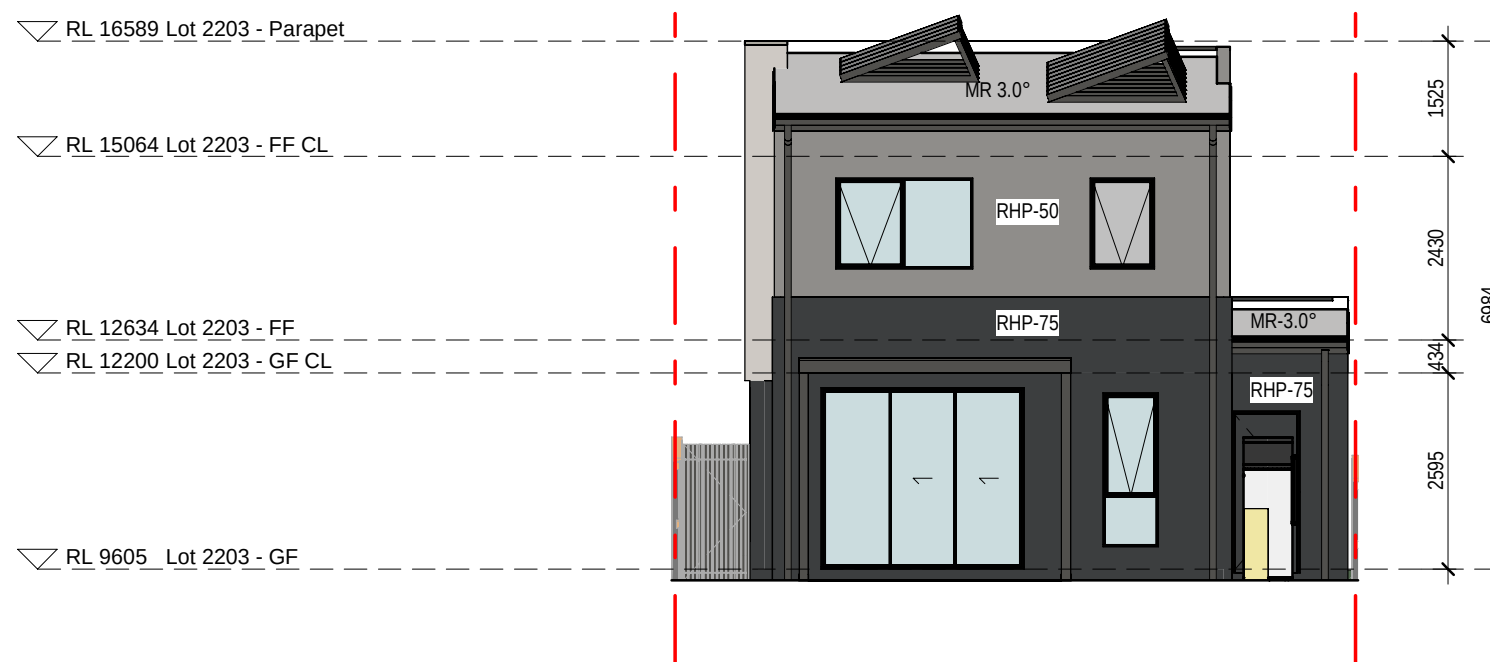
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200mm

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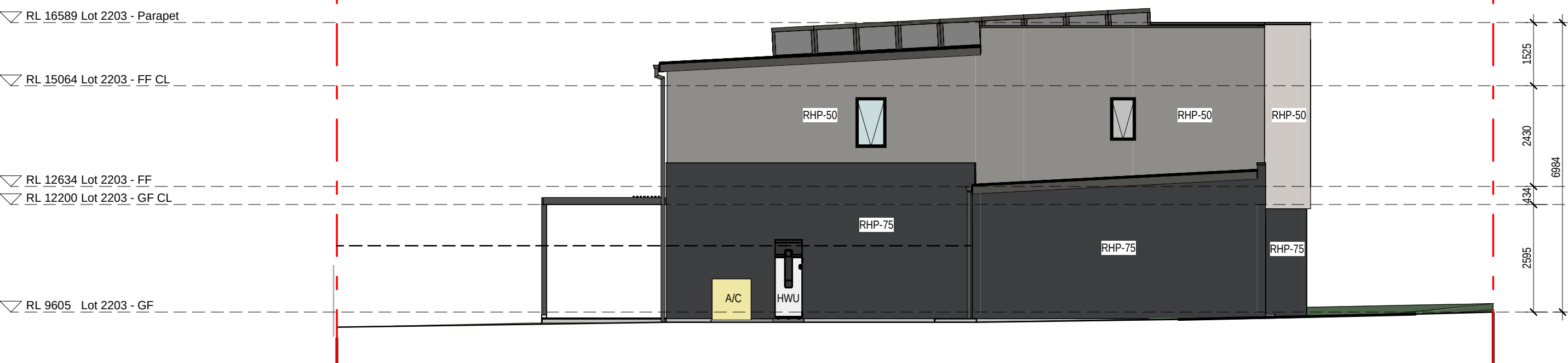
1 2203 - EAST ELEVATION
1:100



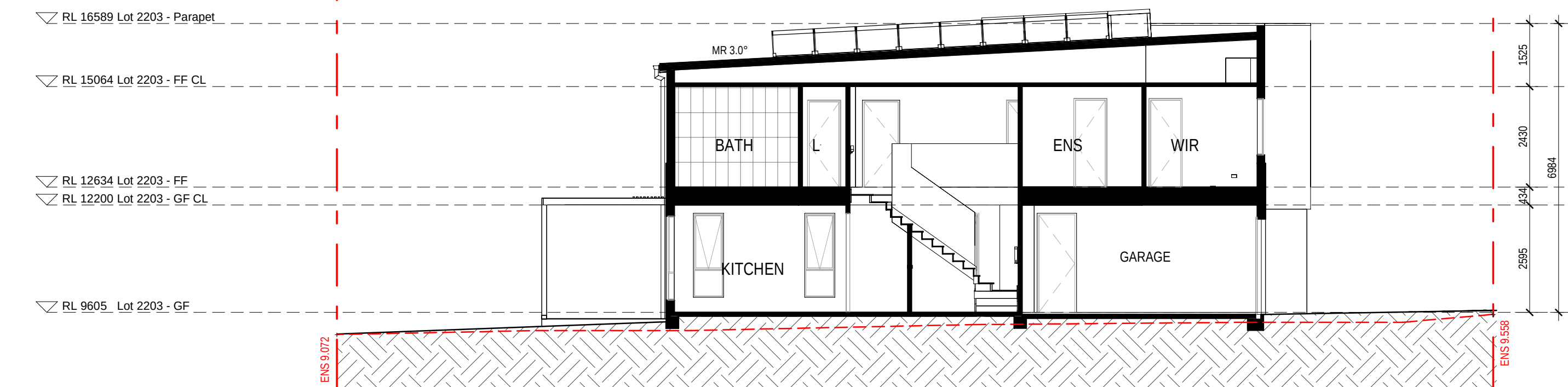
3 2203 - WEST ELEVATION
1:100



2 2203 - NORTH ELEVATION
1:100



4 2203 - SOUTH ELEVATION
1:100



5 2203 - SECTION 1
1:100

EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RHP - 75	RENDERED HEBEL PANEL 75
RHP - 50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RIB
TL	TILE FEATURE CLADDING
LWC - V	LIGHT WEIGHT CLADDING - VERTICAL
LWC - H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWS - B	PAINTED LIGHTWEIGHT SHEET CLADDING WITH FEATURE BATTENS
MC	COLORBOND METAL CLADDING
VBS	VERTICAL BLADE SCREEN
HBS	HORIZONTAL BATTEN SCREEN
ED	ENTRY DOOR
GD	GARAGE DOOR
OBSCURE WINDOWS	
	GREY SHADING TO WINDOWS INDICATES OBSCURE GLAZING
PROPOSED INTERLOT FENCE 1800mm HEIGHT	

EXISTING NATURAL SURFACE LINE	

EXISTING NATURAL SURFACE SPOT LEVEL	
ENS xxxxx	
NOTES:	
THE RLS (REDUCED LEVELS) SHOWN ON THIS DRAWING ARE SUBJECT TO A TOLERANCE OF ±300MM FROM THE FINAL CONSTRUCTED RLS.	

 **Department of Planning,
Housing and Infrastructure**

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Signed: MG

Sheet No: 16 of 33

12.03.26	C	RE ISSUE TO SSDA FOR APPROVAL. EXTERNAL COLOUR & FINISHES REVISED. CORNER HOMES ADJACENT PUBLIC PATH UPDATED WITH WINDOW ADDED
31.10.25	B	ISSUE FOR SSDA APPROVAL
14.08.25	A	PRELIMINARY ISSUE TO CONSULTANT
08/08	REV	amendment

MIRVAC DESIGN
architects
interior design
landscape design
project management

Milvack Design Pty Ltd
Sydney NSW 2000
Tel: 02 9550 1000
ABN 70 003 959 531

Milvack Design Nominated / Responsible Architects
Anita Verma, Andrew La, David Hest, Michael Milvack
https://www.milvackdesign.com/nominated-architects

dent
mrvac

project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
ELEVATIONS AND SECTION - LOT 2203

job no: MB-10418
drawing no: S2-2.2-DA302
scale @ A1 : 1:100
date: 12.03.26 rev: C

0mm

100mm

200mm

300mm

100mm

200mm

300mm

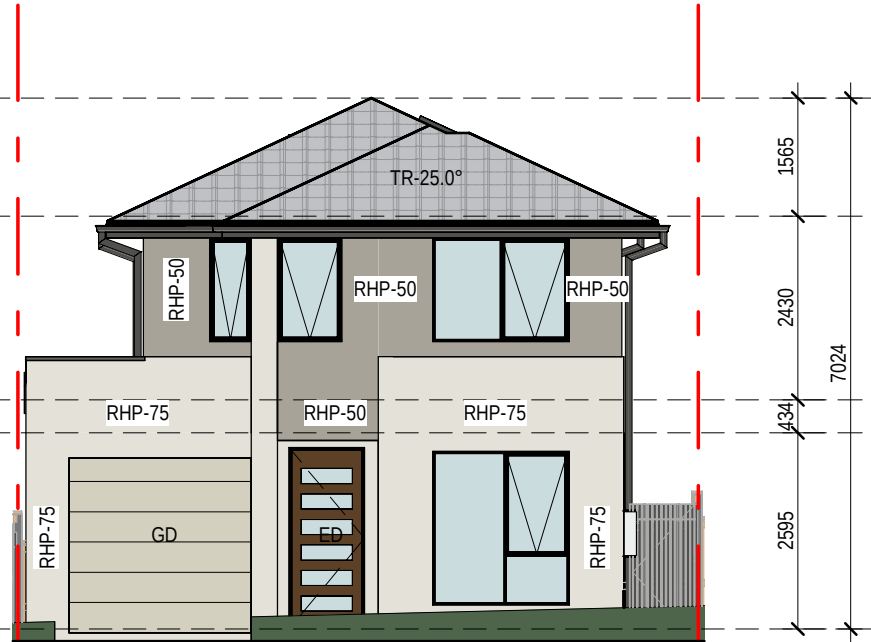
▽ RL 16309 Lot 2204 - Ridge Height

▽ RL 14744 Lot 2204 - FF CL

▽ RL 12314 Lot 2204 - FF

▽ RL 11880 Lot 2204 - GF CL

▽ RL 9285 Lot 2204 - GF



1 2204 - EAST ELEVATION

1:100

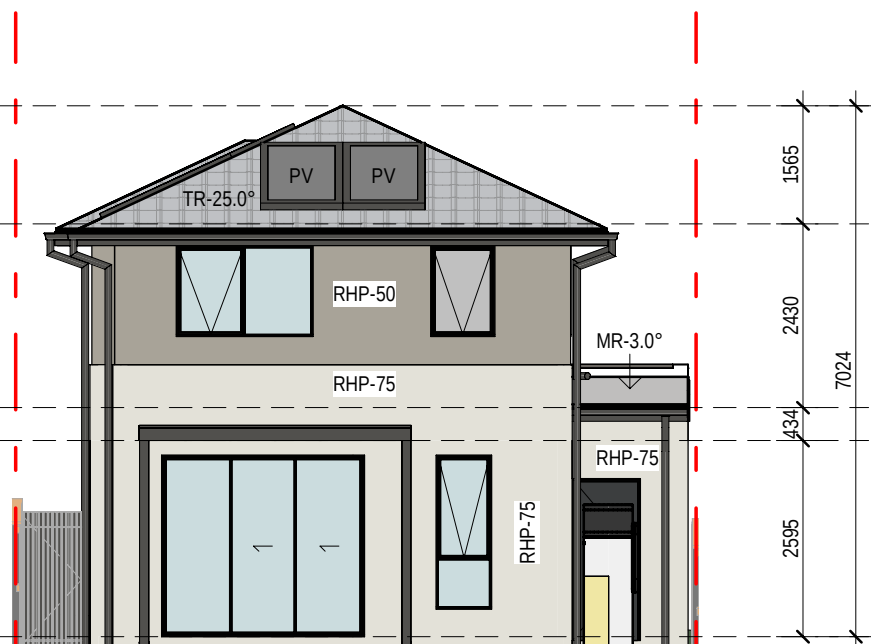
▽ RL 16309 Lot 2204 - Ridge Height

▽ RL 14744 Lot 2204 - FF CL

▽ RL 12314 Lot 2204 - FF

▽ RL 11880 Lot 2204 - GF CL

▽ RL 9285 Lot 2204 - GF



3 2204 - WEST ELEVATION

1:100

▽ RL 16309 Lot 2204 - Ridge Height

▽ RL 14744 Lot 2204 - FF CL

▽ RL 12314 Lot 2204 - FF

▽ RL 11880 Lot 2204 - GF CL

▽ RL 9285 Lot 2204 - GF



2 2204 - NORTH ELEVATION

1:100

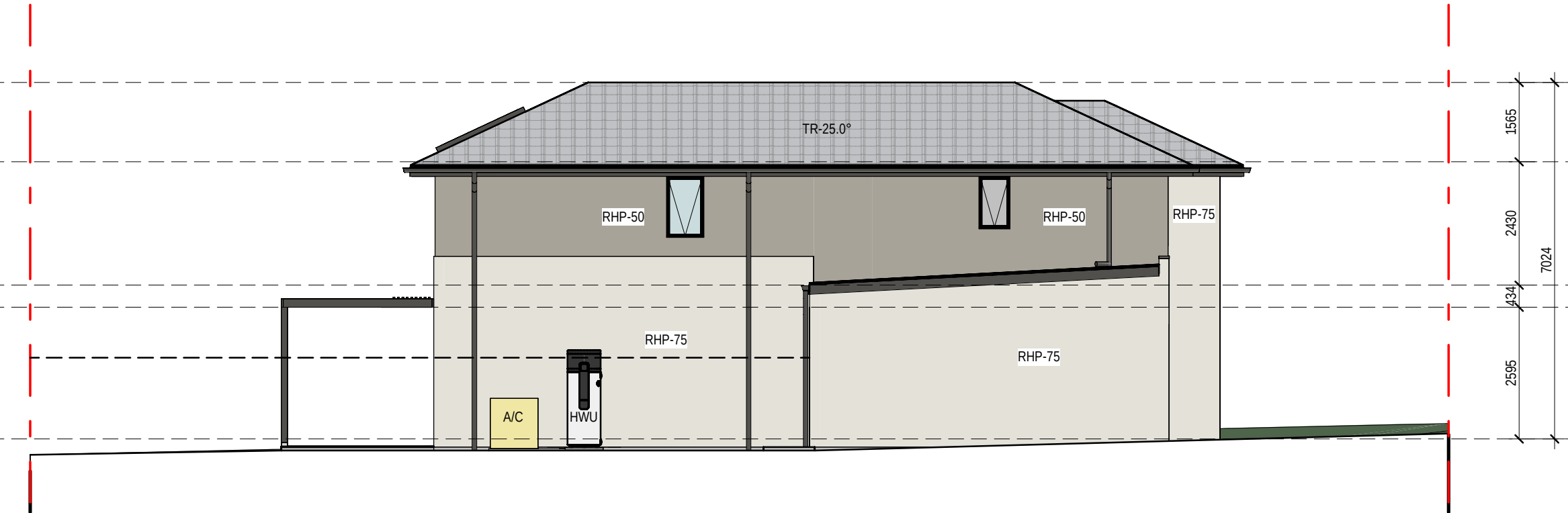
▽ RL 16309 Lot 2204 - Ridge Height

▽ RL 14744 Lot 2204 - FF CL

▽ RL 12314 Lot 2204 - FF

▽ RL 11880 Lot 2204 - GF CL

▽ RL 9285 Lot 2204 - GF



4 2204 - SOUTH ELEVATION

1:100

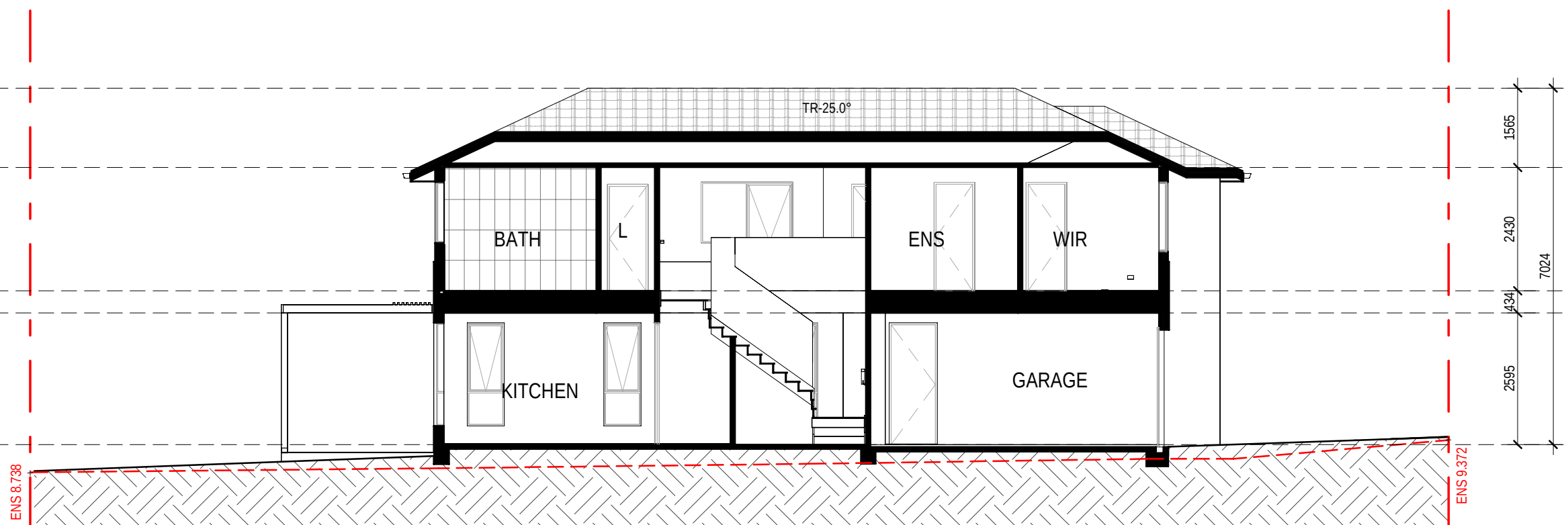
▽ RL 16309 Lot 2204 - Ridge Height

▽ RL 14744 Lot 2204 - FF CL

▽ RL 12314 Lot 2204 - FF

▽ RL 11880 Lot 2204 - GF CL

▽ RL 9285 Lot 2204 - GF



5 2204 - SECTION 1

1:100



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Signed: MG

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12.03.26	C	RE ISSUE TO SSDA FOR APPROVAL. EXTERNAL COLOUR & FINISHES REVISED, CORNER HOMES ADJACENT PUBLIC PATH UPDATED WITH WINDOW ADDED
31.10.25	B	ISSUE FOR SSDA APPROVAL
14.08.25	A	PRELIMINARY ISSUE TO CONSULTANT
08/08	rev	amendment

MIRVAC
DESIGN

Level 28 200 George St
Sydney NSW 2000
Tel: 02 9550 0000

Mirvac Design Pty Ltd
ABN 70 003 959 531

Mirvac Design Nominees / Responsible Architects:
Anda Verina, Andrew La, David Hest, Michael Milner
http://www.mirvacdesign.com/nominees-and-architects



project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
ELEVATIONS AND SECTION - LOT 2204

job no: MB-10418
drawing no: S2-2.2-DA303
scale @ A1 : 1:100
date: 12.03.26 rev: C

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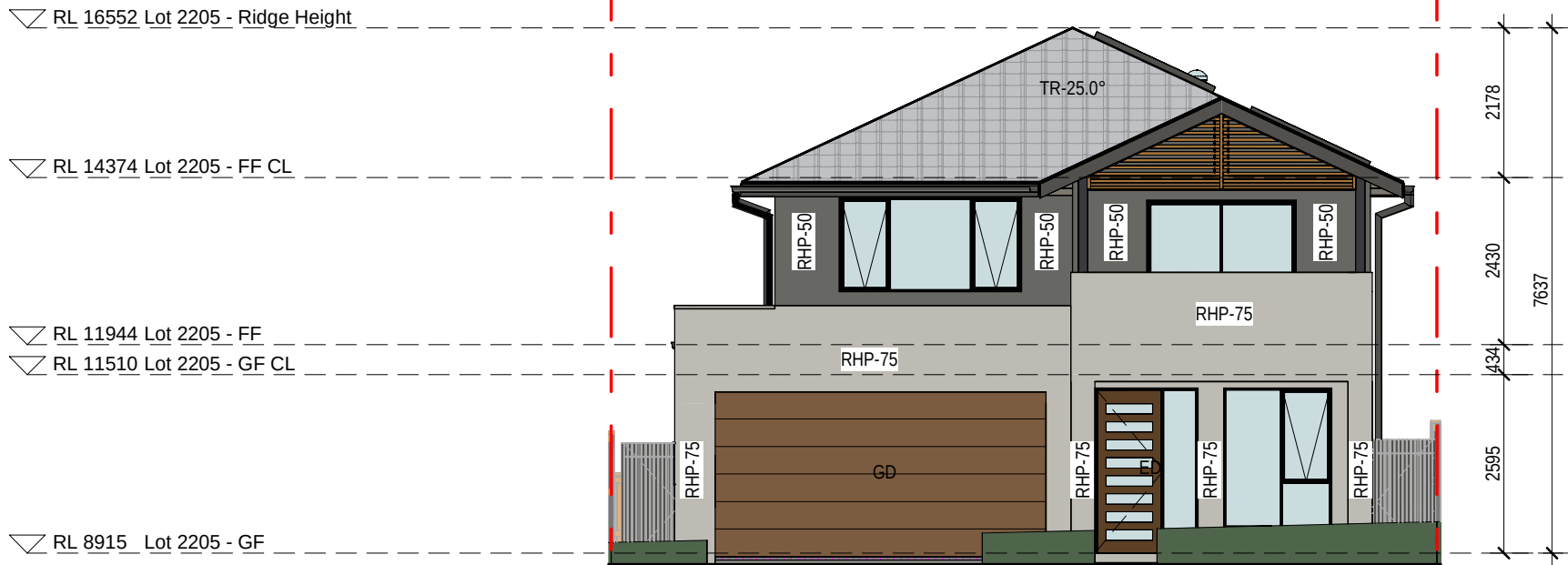
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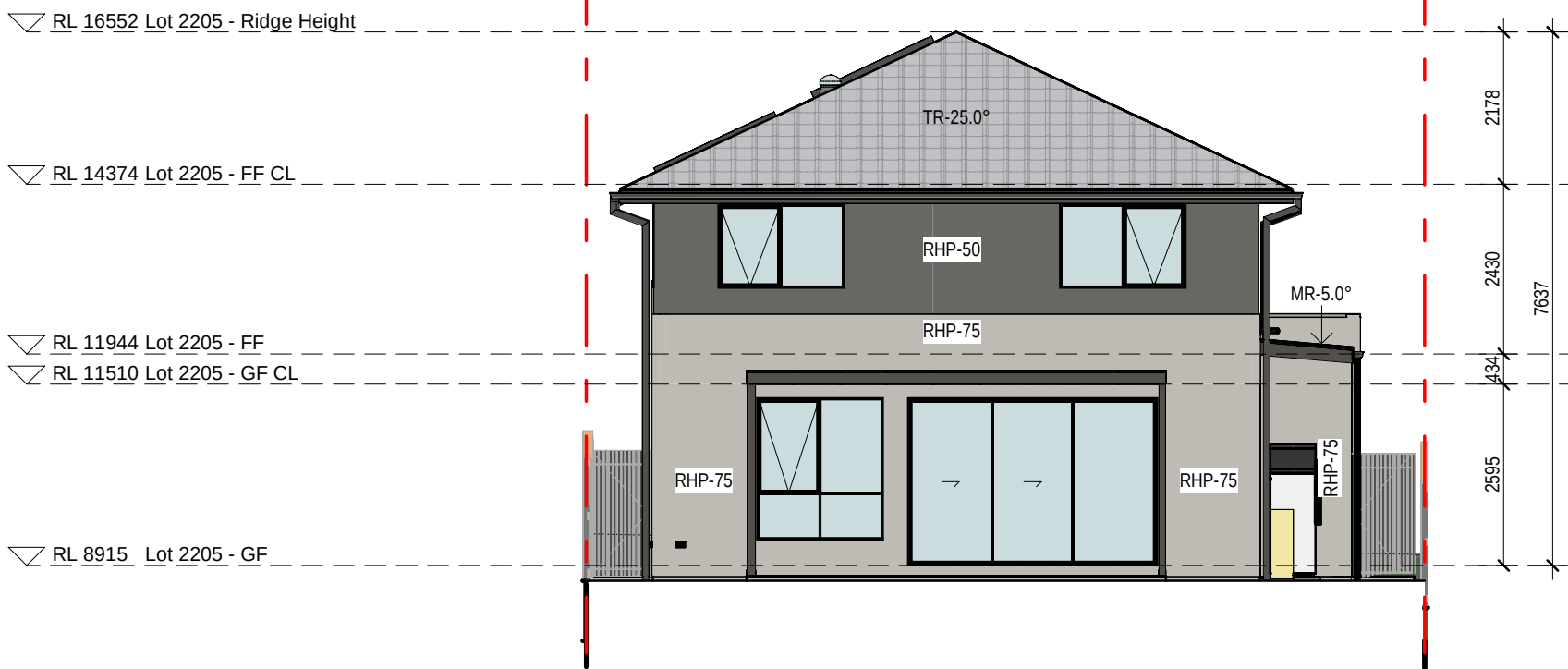
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200mm

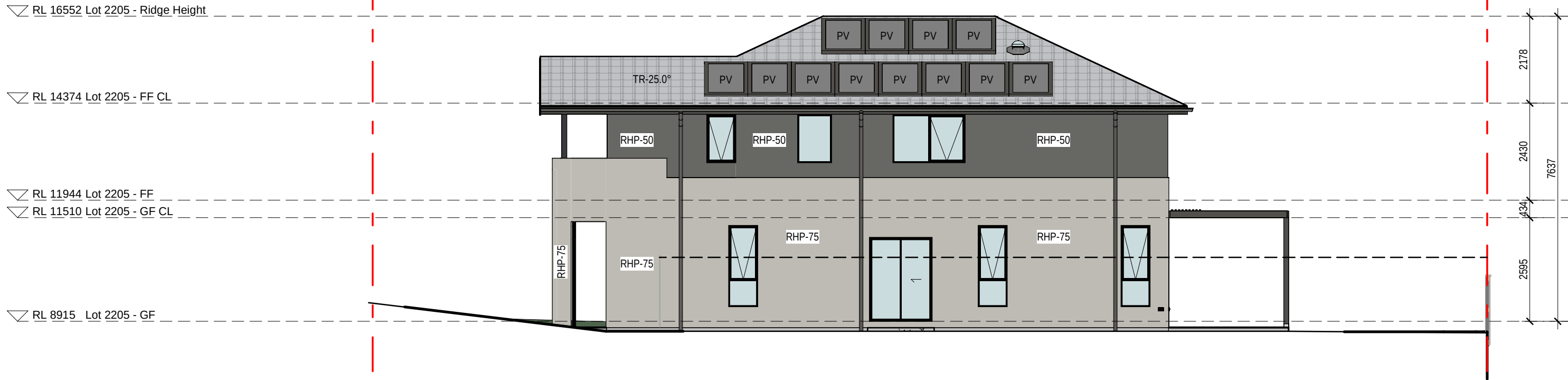
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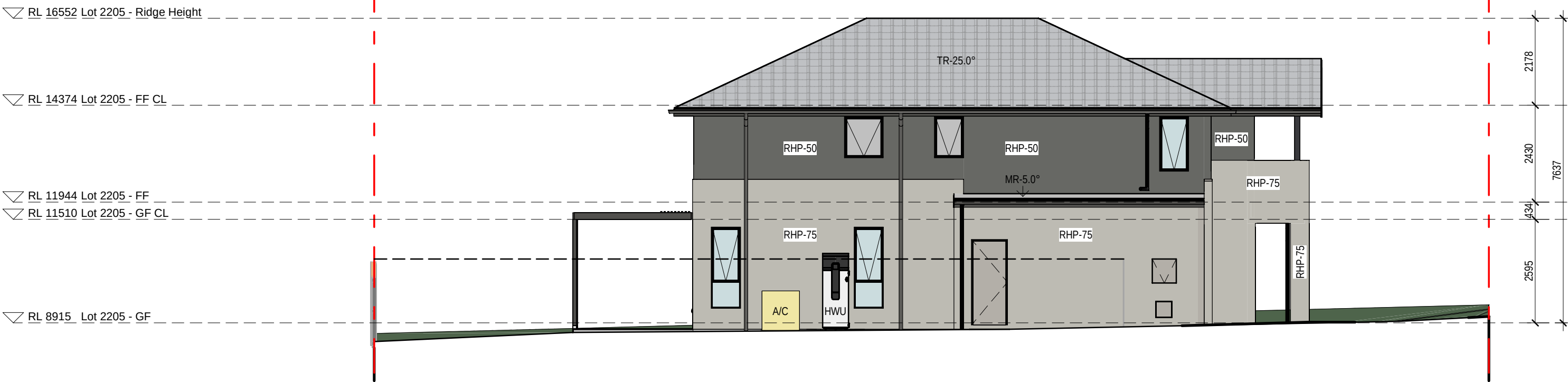
1 2205 - EAST ELEVATION
1 : 100



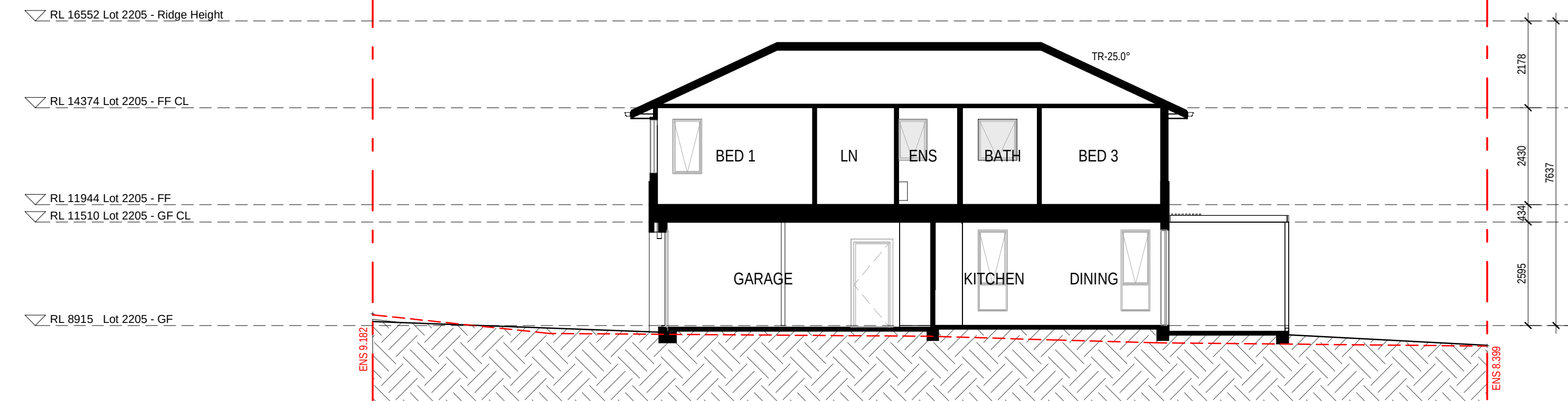
3 2205 - WEST ELEVATION
1 : 100



2 2205 - NORTH ELEVATION
1 : 100



4 2205 - SOUTH ELEVATION
1 : 100



5 2205 - SECTION 1
1 : 100



Department of Planning,
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Approved on: 6 August 2026

Signed: MG

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31.10.25	B	ISSUE FOR SSDA APPROVAL
14.08.25	A	PRELIMINARY ISSUE TO CONSULTANT
08/08	REV	amendment

MIRVAC
DESIGN

Level 20 200 George St
Sydney NSW 2000
Tel: 02 9550 0000
Mirvac Design Pty Ltd
ABN 70 003 959 531
Mirvac Design Nominees / Responsible Architects
Andra Verro, Andrew La, David Hest, Michael Winter
http://www.mirvacdesign.com/mirvacdesign/

dent
mirvac

project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
ELEVATIONS AND SECTION - LOT
2205

job no: MB-10418
drawing no: S2-2.2-DA304
scale @ A1 : 1 : 100
date: 12.03.26 rev: C

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100mm

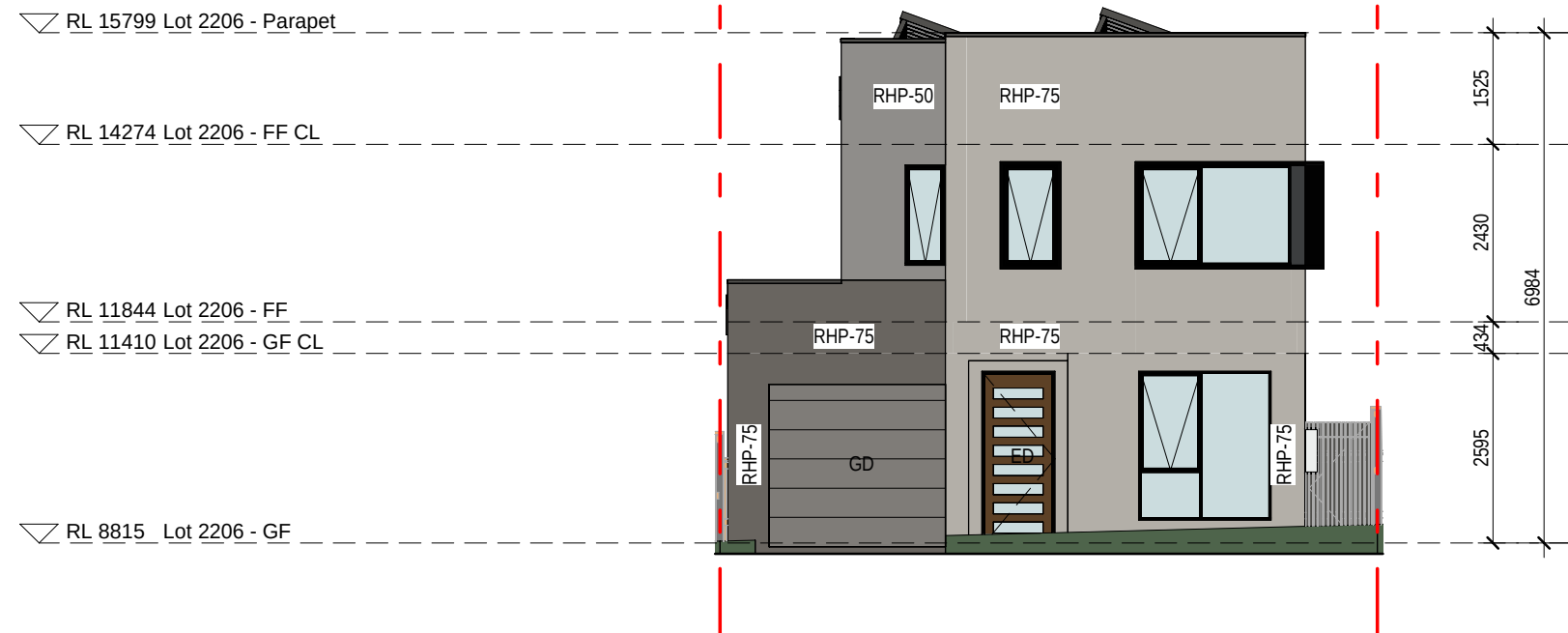
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300mm

100mm

200mm

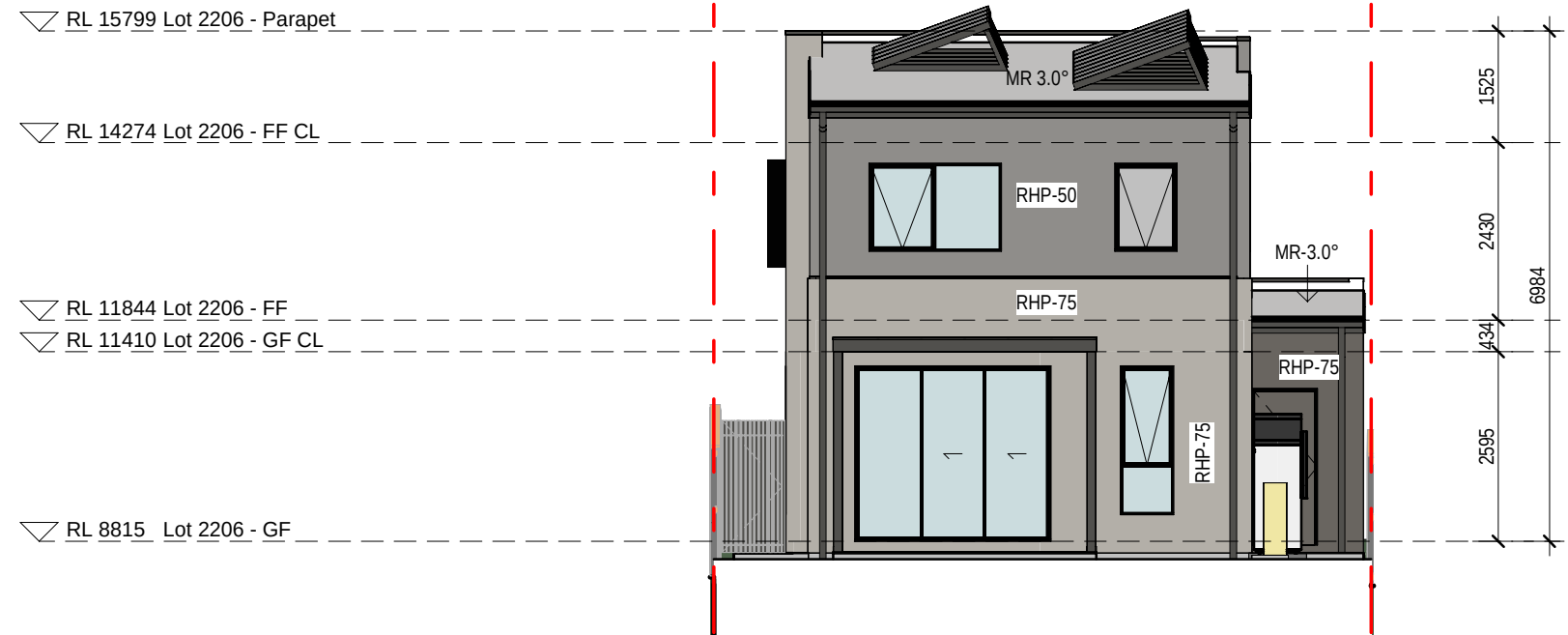
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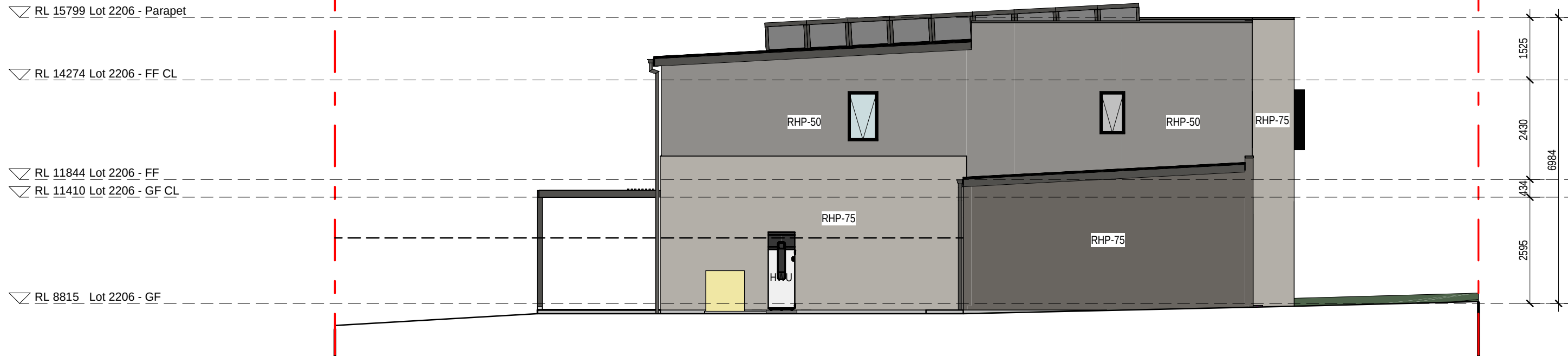
2206 - EAST ELEVATION
1:100



2206 - NORTH ELEVATION
1:100

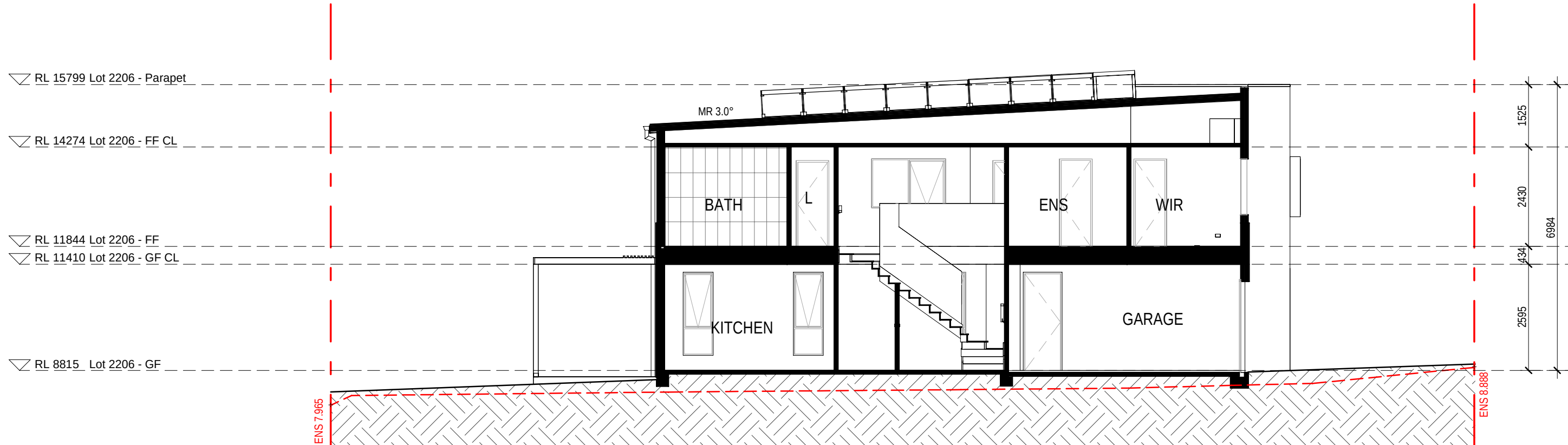


2206 - WEST ELEVATION
1:100



2206 - SOUTH ELEVATION
1:100

**Department of Planning,
Housing and Infrastructure**
NSW GOVERNMENT
Issued under the Environmental Planning and Assessment Act 1979
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Signed: MG
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2206 - SECTION 1
1:100

EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
RHP - 75	FACE BRICKWORK
RHP - 75	RENDERED REBEL PANEL 75
RHP - 50	RENDERED REBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RIB
VB	TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC - V	LIGHT WEIGHT CLADDING - VERTICAL
LWC - H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWS - B	PAINTED LIGHTWEIGHT SHEET CLADDING WITH FEATURE BATTENS
MC	COLORBOND METAL CLADDING
VBS	VERTICAL BLADE SCREEN
HBS	HORIZONTAL BATTEN SCREEN
ED	ENTRY DOOR
GD	GARAGE DOOR
OBSCURE WINDOWS	
	GREY SHADING TO WINDOWS INDICATES OBSCURE GLAZING
PROPOSED INTERLOT FENCE 1800mm HEIGHT	

EXISTING NATURAL SURFACE LINE	

EXISTING NATURAL SURFACE SPOT LEVEL	
ENS xxxxx	
NOTES:	
THE RLS (REDUCED LEVELS) SHOWN ON THIS DRAWING ARE SUBJECT TO A TOLERANCE OF ±300MM FROM THE FINAL CONSTRUCTED RLS.	

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14.08.25	A	PRELIMINARY ISSUE TO CONSULTANT
08/	REV	amendment

MIRVAC DESIGN
architects
interior design
landscape design
project management
Lvl 28 200 George St
Sydney NSW 2000
Tel: 02 9550 0000
Mirvac Design Pty Ltd
ABN 70 007 997 937
Mircac Design Nominees / Responsible Architects
Anda Verma, Andrew La, David Hest, Michael Winer
http://www.mirvacdesign.com/mirvacdesign/

dent
mirvac

project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
ELEVATIONS AND SECTION - LOT 2206

job no: MB-10418
drawing no: S2-2.2-DA305
scale @ A1 : 1 : 100
date: 12.03.26 rev: C

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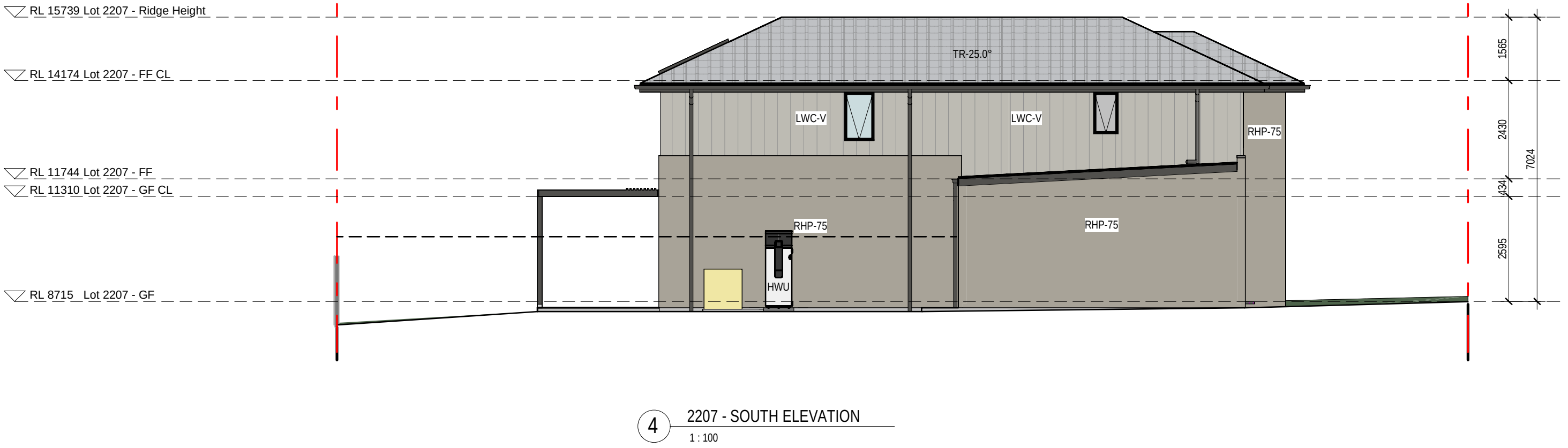
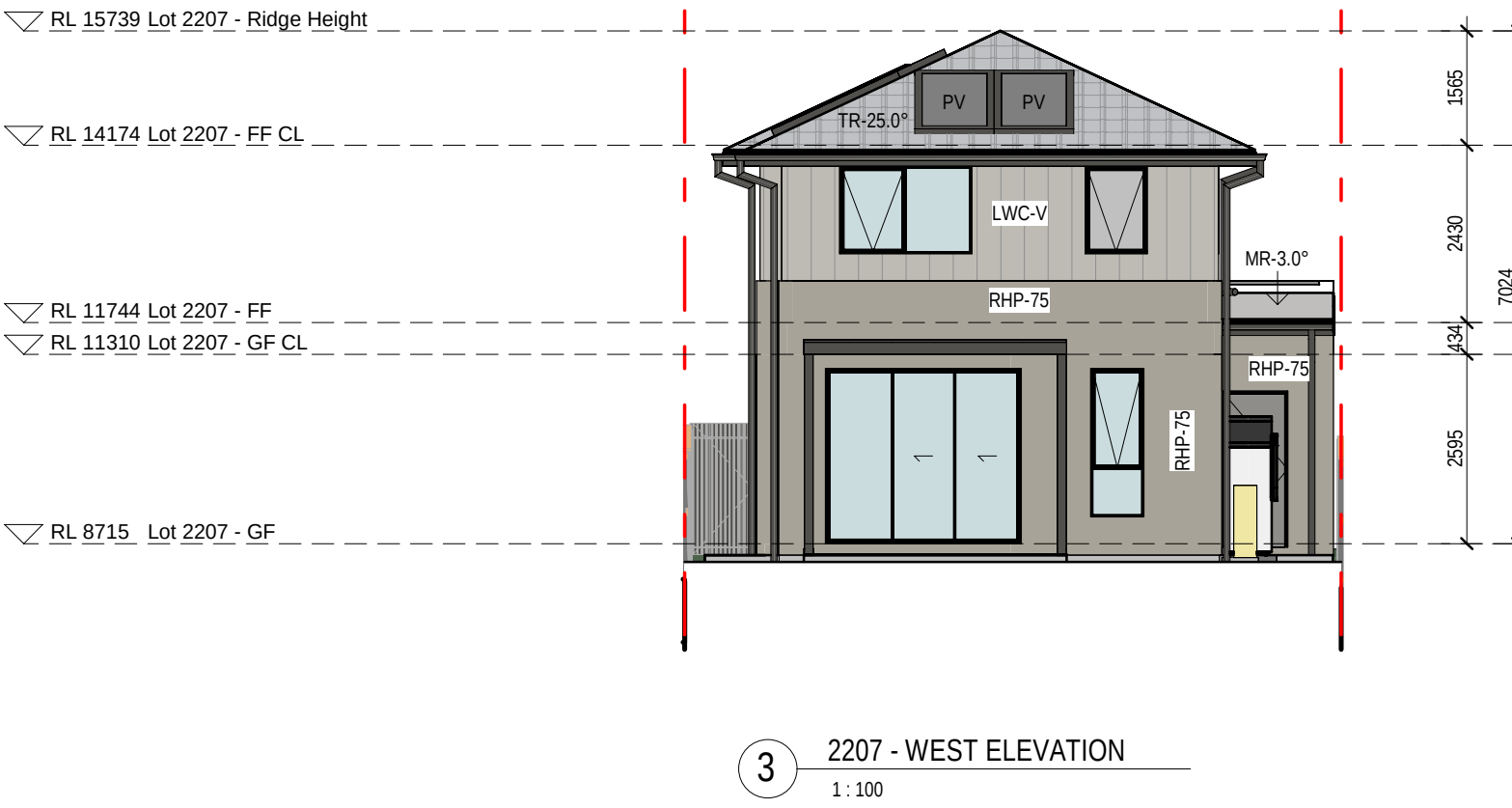
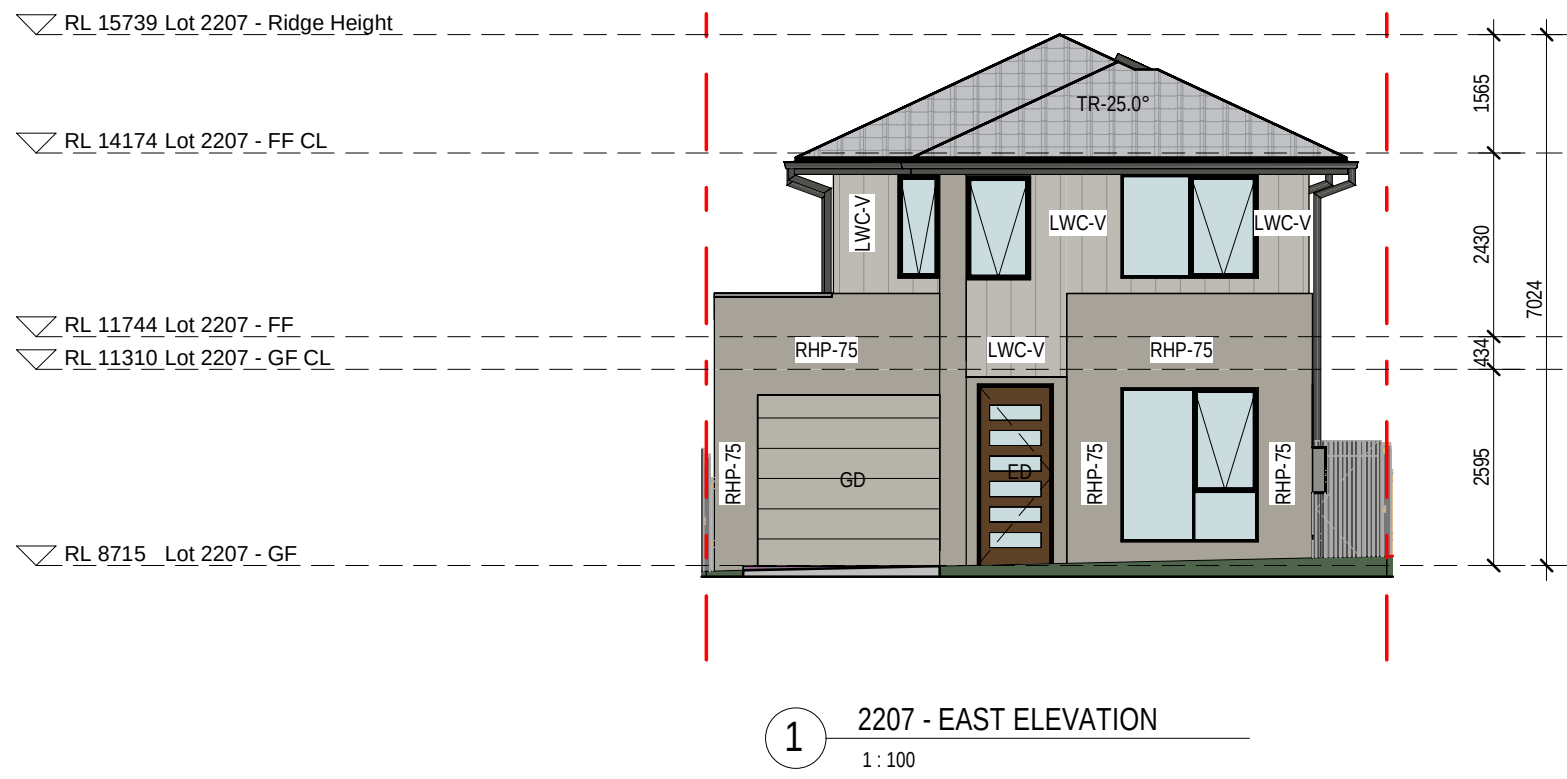
200mm

300mm

100mm

200mm

300mm



 **Department of Planning,
Housing and Infrastructure**

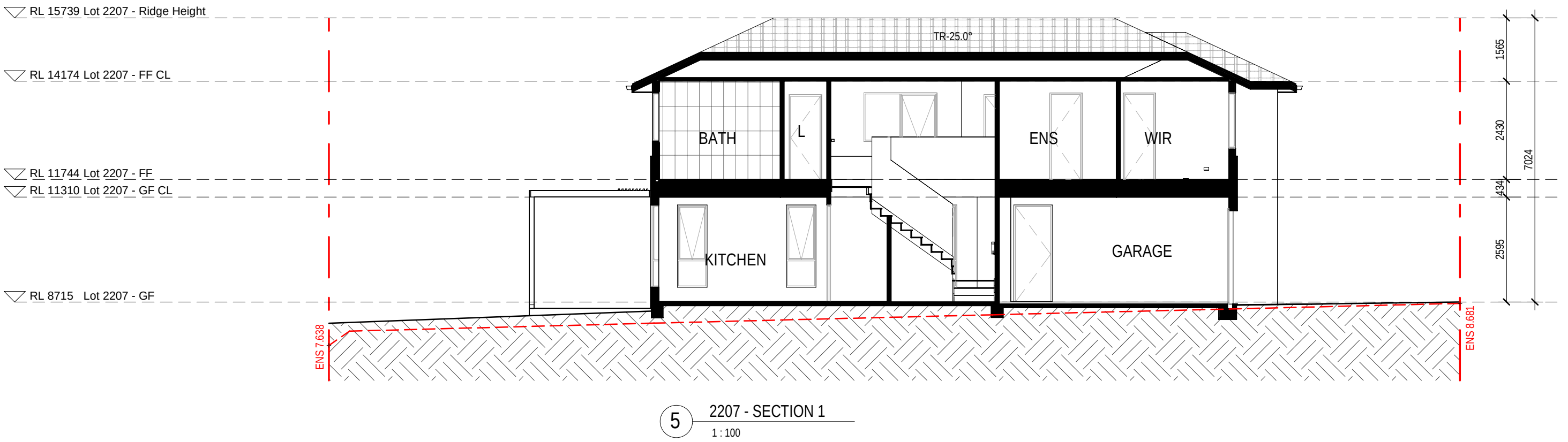
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Approved on: 6 August 2026

Signed: MG

Sheet No: 20 of 33



EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RHP - 75	RENDERED REBEL PANEL 75
RHP - 50	RENDERED REBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RIB TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC - V	LIGHT WEIGHT CLADDING - VERTICAL
LWC - H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWS - B	PAINTED LIGHTWEIGHT SHEET CLADDING WITH FEATURE BATTENS
MC	COLORBOND METAL CLADDING
VBS	VERTICAL BLADE SCREEN
HBS	HORIZONTAL BATTEN SCREEN
ED	ENTRY DOOR
GD	GARAGE DOOR
OBSCURE WINDOWS	
	GREY SHADING TO WINDOWS INDICATES OBSCURE GLAZING
PROPOSED INTERLOT FENCE 1800mm HEIGHT	

EXISTING NATURAL SURFACE LINE	

EXISTING NATURAL SURFACE SPOT LEVEL	
ENS xxxxx	
NOTES:	
THE RLS (REDUCED LEVELS) SHOWN ON THIS DRAWING ARE SUBJECT TO A TOLERANCE OF ±300MM FROM THE FINAL CONSTRUCTED RLS.	

12.03.26	C	RE ISSUE TO SSDA FOR APPROVAL. EXTERNAL COLOUR & FINISHES REVISED. CORNER HOMES ADJACENT PUBLIC PATH UPDATED WITH WINDOW ADDED
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08/	REV	amendment

MIRVAC DESIGN
architects
interior design
landscape design
project management
planning & design

Level 28 200 George St
Sydney NSW 2000
Tel: 02 9550 0000
Mirvac Design Pty Ltd
ABN 70 007 959 531

Mirvac Design Nominees / Responsible Architects
Anda Verma, Andrew La, David Hest, Michael Milner
http://www.mirvacdesign.com/nominees-and-architects



project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
ELEVATIONS AND SECTION - LOT 2207

job no: MB-10418
drawing no: S2-2.2-DA306
scale @ A1 : 1 : 100
date: 12.03.26 rev: C

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100mm

200mm

300mm

100mm

200mm

300mm

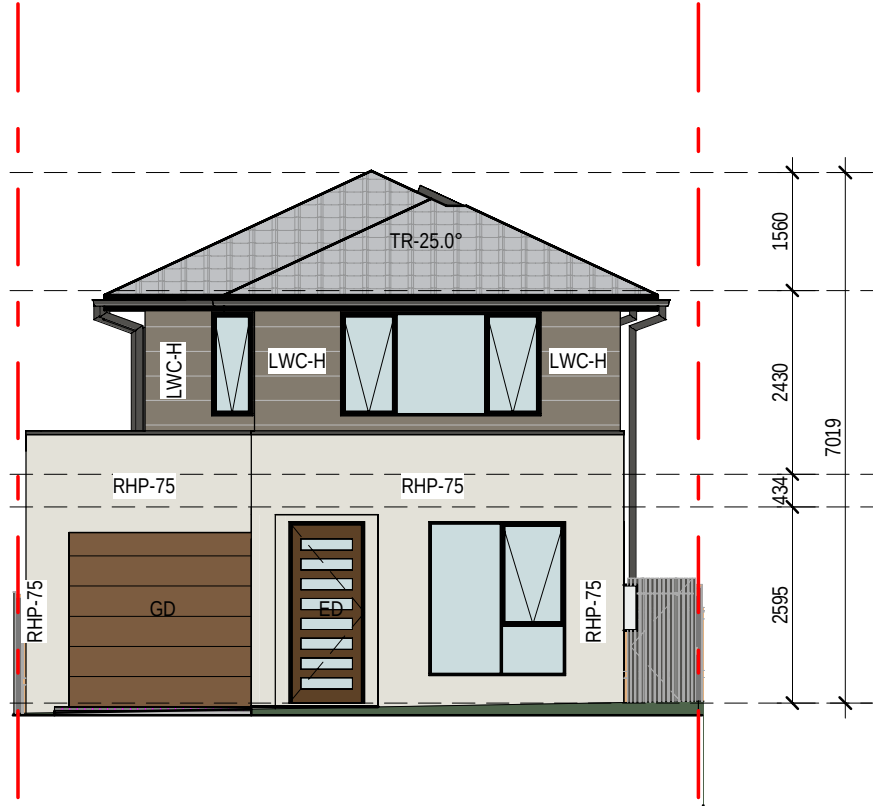
▽ RL 15634 Lot 2208 - Ridge Height

▽ RL 14074 Lot 2208 - FF CL

▽ RL 11644 Lot 2208 - FF

▽ RL 11210 Lot 2208 - GF CL

▽ RL 8615 Lot 2208 - GF



1 2208 - EAST ELEVATION
1 : 100

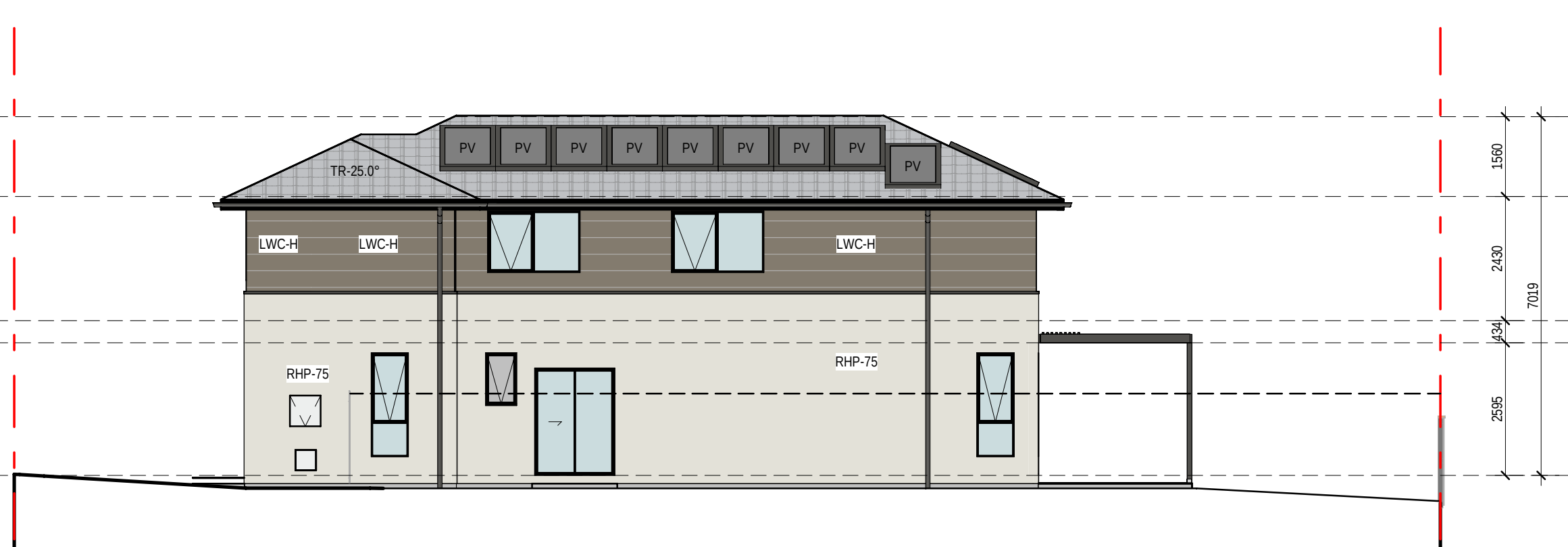
▽ RL 15634 Lot 2208 - Ridge Height

▽ RL 14074 Lot 2208 - FF CL

▽ RL 11644 Lot 2208 - FF

▽ RL 11210 Lot 2208 - GF CL

▽ RL 8615 Lot 2208 - GF



2 2208 - NORTH ELEVATION
1 : 100

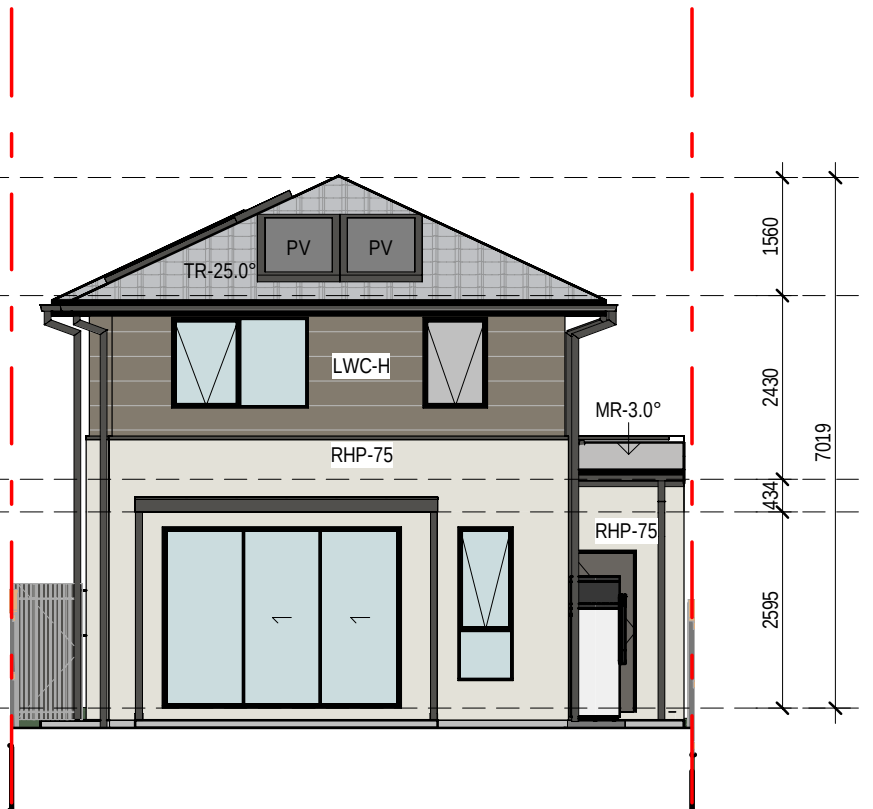
▽ RL 15634 Lot 2208 - Ridge Height

▽ RL 14074 Lot 2208 - FF CL

▽ RL 11644 Lot 2208 - FF

▽ RL 11210 Lot 2208 - GF CL

▽ RL 8615 Lot 2208 - GF



3 2208 - WEST ELEVATION
1 : 100

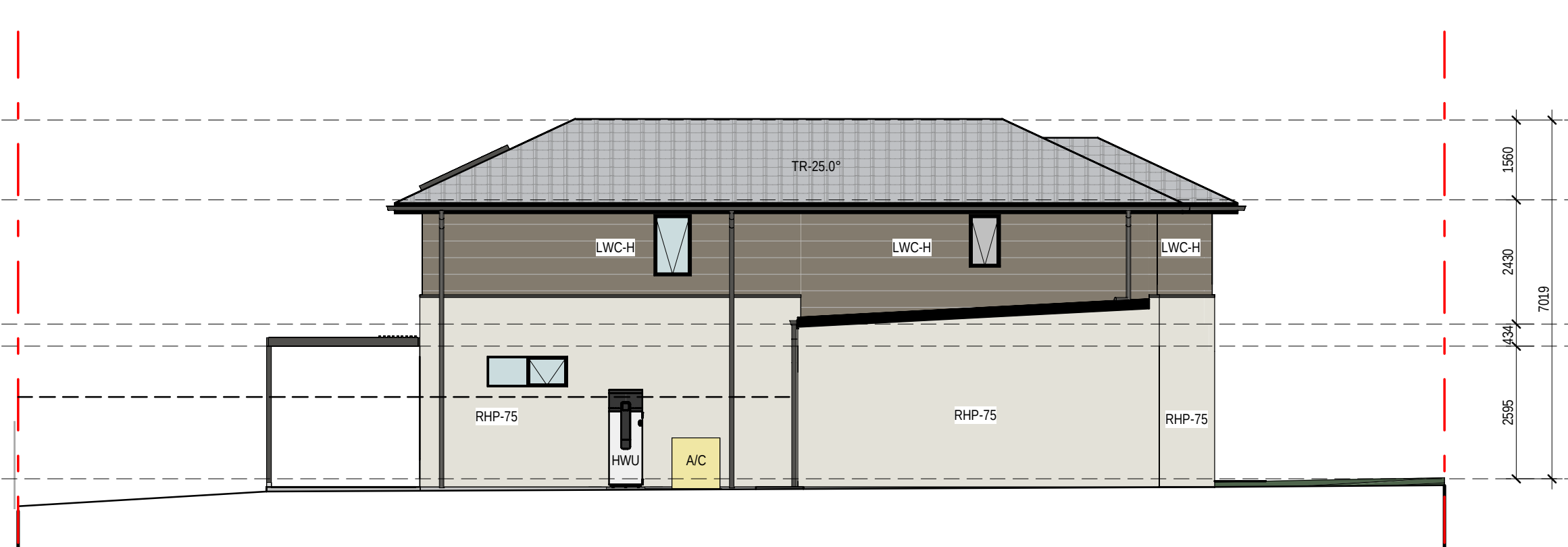
▽ RL 15634 Lot 2208 - Ridge Height

▽ RL 14074 Lot 2208 - FF CL

▽ RL 11644 Lot 2208 - FF

▽ RL 11210 Lot 2208 - GF CL

▽ RL 8615 Lot 2208 - GF



4 2208 - SOUTH ELEVATION
1 : 100

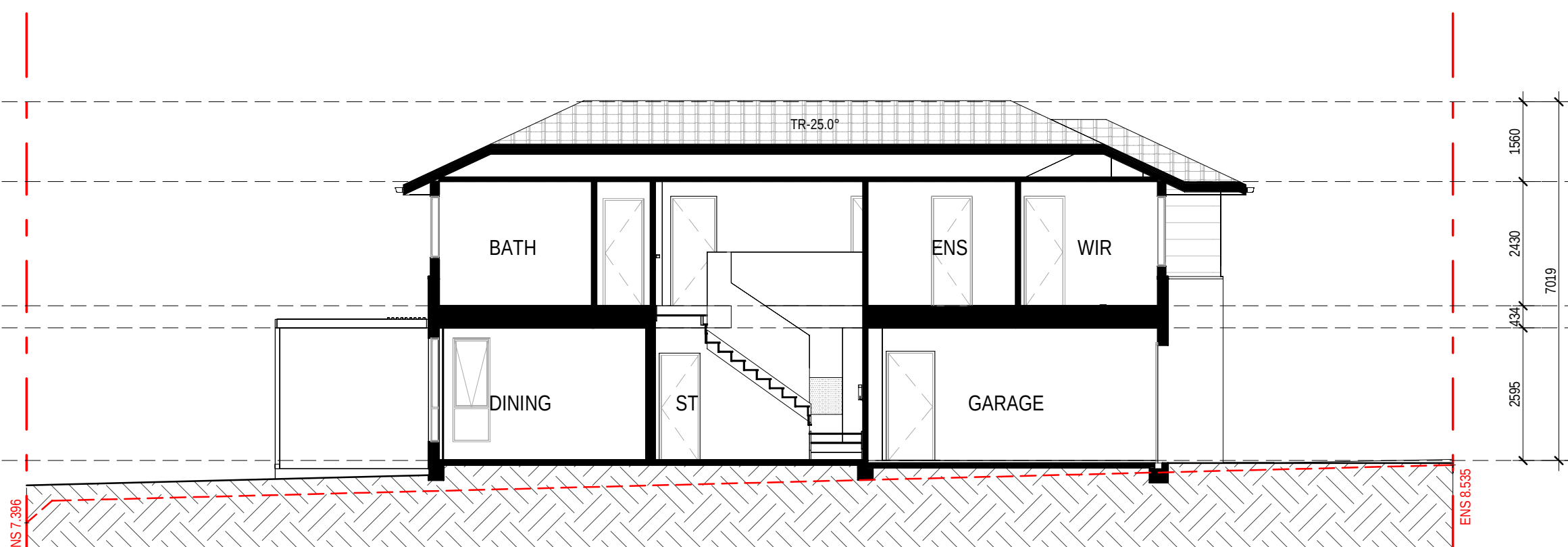
▽ RL 15634 Lot 2208 - Ridge Height

▽ RL 14074 Lot 2208 - FF CL

▽ RL 11644 Lot 2208 - FF

▽ RL 11210 Lot 2208 - GF CL

▽ RL 8615 Lot 2208 - GF



5 2208 - SECTION 1
1 : 100



Department of Planning,
Housing and Infrastructure

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Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

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14.08.25	A	PRELIMINARY ISSUE TO CONSULTANT
08/08	REV	amendment

MIRVAC
DESIGN

Level 28 208 George St
Sydney NSW 2000
Tel: 02 9550 0000
Mirvac Design Pty Ltd
ABN 70 003 959 531
Mirvac Design Nominees / Responsible Architects
Anda Verma, Andrew La, David Hest, Michael Weller
http://www.mirvacdesign.com/mirvacdesign/andbca

mirvac

project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
ELEVATIONS AND SECTION - LOT
2208

job no: MB-10418
drawing no: S2-2.2-DA307
scale @ A1 : 1 : 100
date: 12.03.26 rev: C

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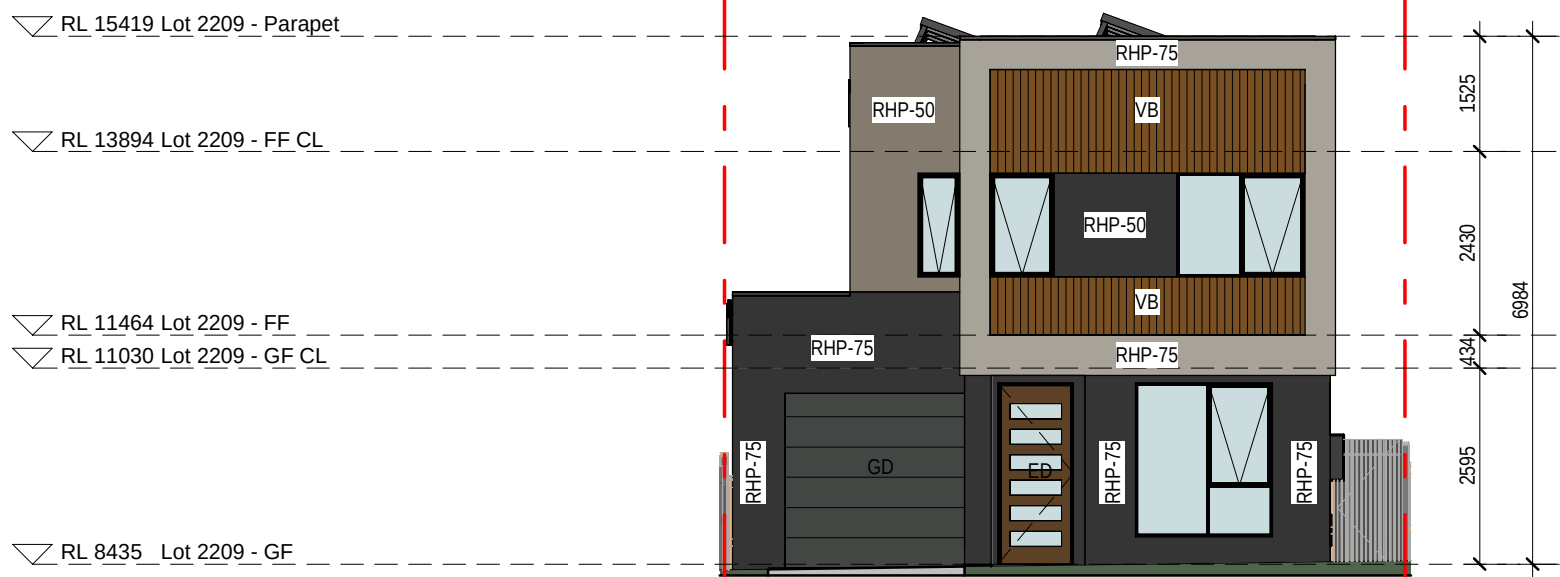
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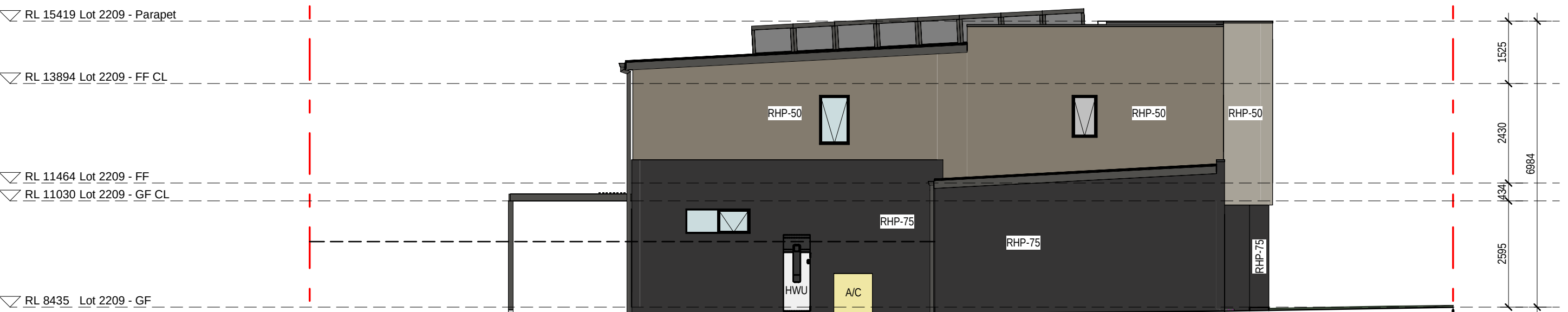
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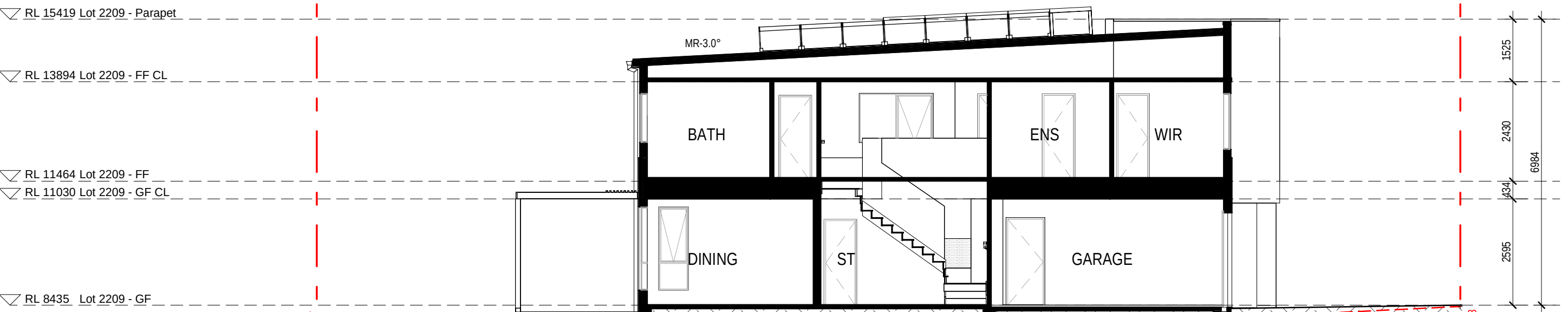
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1 : 100



3 2209 - WEST ELEVATION
1 : 100



4 2209 - SOUTH ELEVATION
1 : 100



5 2209 - SECTION 1
1 : 100

EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RHP - 75	RENDERED REBEL PANEL 75
RHP - 50	RENDERED REBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RIB
TL	TILE FEATURE CLADDING
LWC - V	LIGHT WEIGHT CLADDING - VERTICAL
LWC - H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWS - B	PAINTED LIGHTWEIGHT SHEET CLADDING WITH FEATURE BATTENS
MC	COLORBOND METAL CLADDING
VBS	VERTICAL BLADE SCREEN
HBS	HORIZONTAL BATTEN SCREEN
ED	ENTRY DOOR
GD	GARAGE DOOR
OBSCURE WINDOWS	
	GREY SHADING TO WINDOWS INDICATES OBSCURE GLAZING
PROPOSED INTERLOT FENCE 1800mm HEIGHT	
EXISTING NATURAL SURFACE LINE	
EXISTING NATURAL SURFACE SPOT LEVEL	
ENS xxxxx	
NOTES:	
THE RLS (REDUCED LEVELS) SHOWN ON THIS DRAWING ARE SUBJECT TO A TOLERANCE OF ±300MM FROM THE FINAL CONSTRUCTED RLS.	



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Approved on: 6 August 2026

Signed: MG

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12.03.26	C	RE ISSUE TO SSDA FOR APPROVAL. EXTERNAL COLOUR & FINISHES REVISED, CORNER HOMES ADJACENT PUBLIC PATH UPDATED WITH WINDOW ADDED
31.10.25	B	ISSUE FOR SSDA APPROVAL
14.08.25	A	PRELIMINARY ISSUE TO CONSULTANT
08/08	REV	amendment

MIRVAC DESIGN

architects

interior design

landscape design

project management

planning & strategy

Lot 2209 2209 George St
Sydney NSW 2000
Tel: 02 9550 0000

Mirvac Design Pty Ltd
ABN 70 003 959 931

Mirvac Design Nominees / Responsible Architects:
Andra Verro, Andra La, David Hest, Michael Wilson
<http://www.mirvacdesign.com/nominees-andra-hest>

dent



project:

KINLEA - MILPERRA

2 Bullecourt Avenue, Milperra NSW 2214

Stage: 2 Site: 2.2 Lot: 2201-2210

title:

ELEVATIONS AND SECTION - LOT 2209

job no: MB-10418

drawing no: S2-2.2-DA308

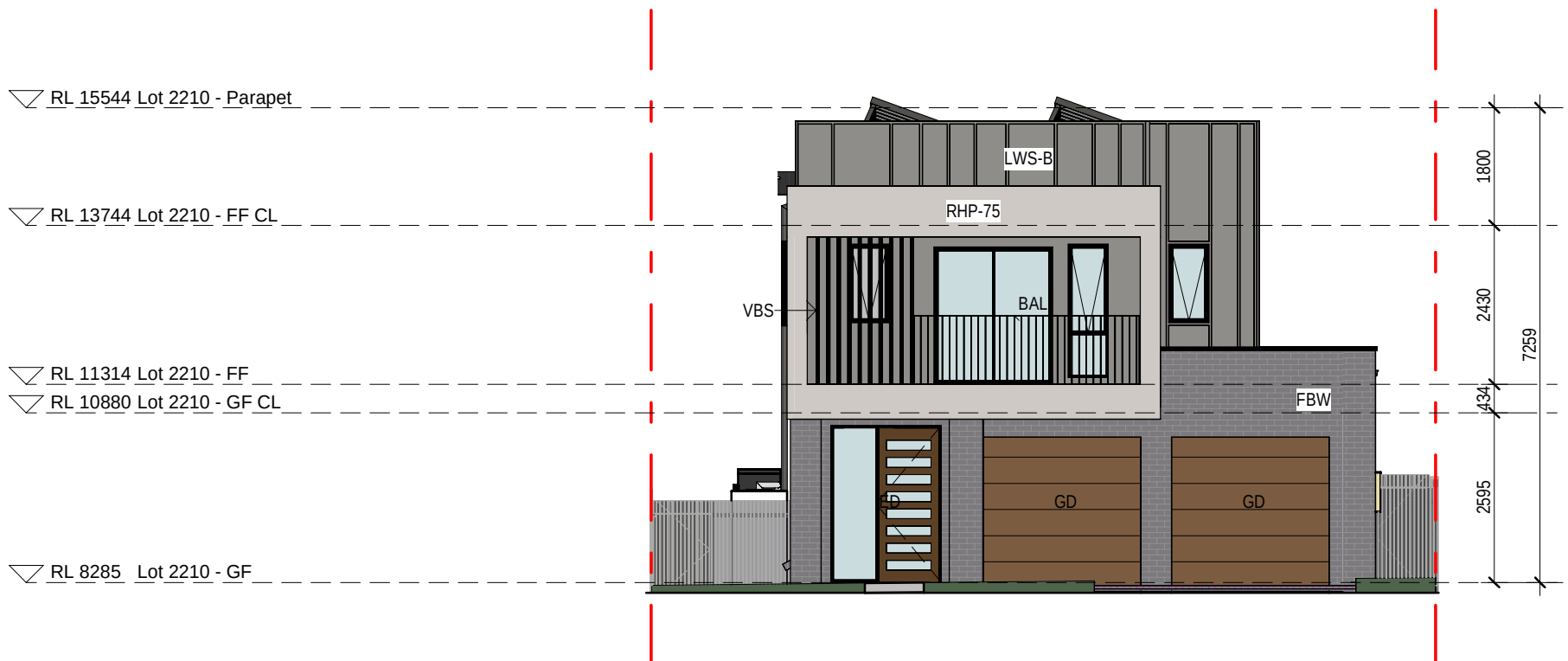
scale @ A1 : 1 : 100

date: 12.03.26 rev: C

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1 2210 - EAST ELEVATION
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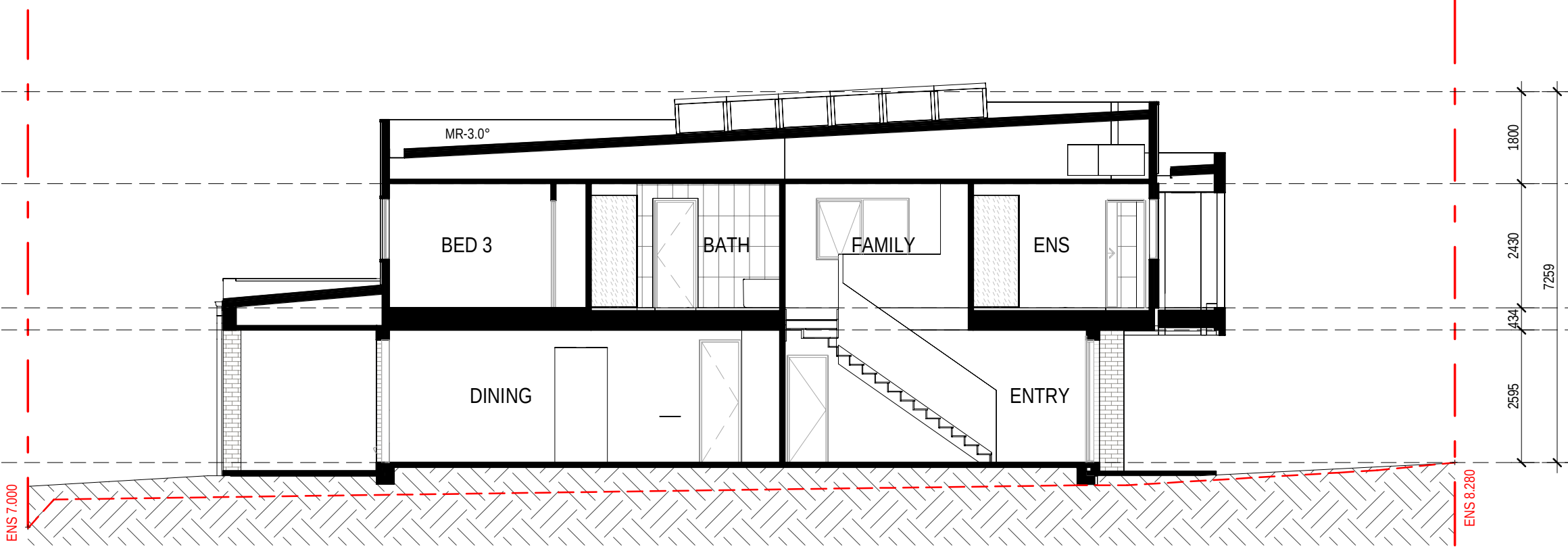
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1:100



3 2210 - WEST ELEVATION
1:100



4 2210 - WSOUTH ELEVATION
1:100



5 2210 - SECTION 1
1:100

EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RHP-75	RENDERED HEBEL PANEL 75
RHP-50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RIB
TL	TILE FEATURE CLADDING
LWC-V	LIGHT WEIGHT CLADDING - VERTICAL
LWC-H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWS-B	PAINTED LIGHTWEIGHT SHEET CLADDING WITH FEATURE BATTENS
MC	COLORBOND METAL CLADDING
VBS	VERTICAL BLADE SCREEN
HBS	HORIZONTAL BATTEN SCREEN
ED	ENTRY DOOR
GD	GARAGE DOOR
OBSCURE WINDOWS	
	GREY SHADING TO WINDOWS INDICATES OBSCURE GLAZING
PROPOSED INTERLOT FENCE 1800mm HEIGHT	
EXISTING NATURAL SURFACE LINE	
EXISTING NATURAL SURFACE SPOT LEVEL	
ENS xxxxx	
NOTES:	
THE RLS (REDUCED LEVELS) SHOWN ON THIS DRAWING ARE SUBJECT TO A TOLERANCE OF ±300MM FROM THE FINAL CONSTRUCTED RLS.	



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1 ELEVATIONS - FRONT - LOT 2201-2205
1 : 100



2 ELEVATIONS - FRONT - LOT 2206-2210



3 DATP - ELEVATIONS - SIDE - LOT 2210



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31.10.25	B
14.08.25	A
08/	REV

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ISSUE FOR SSDA APPROVAL
PRELIMINARY ISSUE TO CONSULTANT
amendment

MIRVAC
DESIGN

architect
urban design
interior design
landscape design
project manager

Mirvac Design Pty Ltd
ABN 70 007 959 531

Mirvac Design Pty Ltd
ABN 70 007 959 531

Mirvac Design Pty Ltd
ABN 70 007 959 531

Mirvac Design Pty Ltd
ABN 70 007 959 531

Level 20 200 George St
Sydney NSW 2000
Tel: 02 9550 0000

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ABN 70 007 959 531

Mirvac Design Pty Ltd
ABN 70 007 959 531

client



project:

KINLEA - MILPERRA

2 Bullecourt Avenue, Milperra NSW 2214

Stage: 2

Site: 2.2

Lot: 2201-2210

title:

COLOURED STREETSCAPES

job no:

MB-10418

drawing no:

S2-2.2-DA320

scale @ A1 : 1 : 100

date:

12.03.26

rev:

C



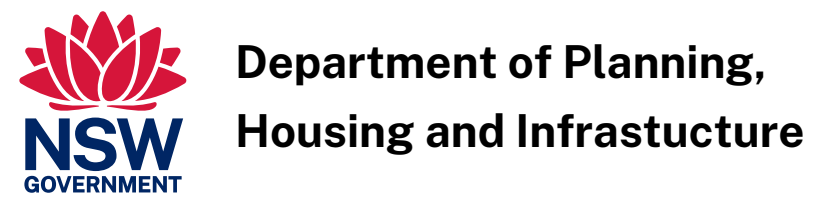
1 LOT 2201-2210



2 LOT 2201-2210



3 LOT 2201-2210



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Housing and Infrastructure

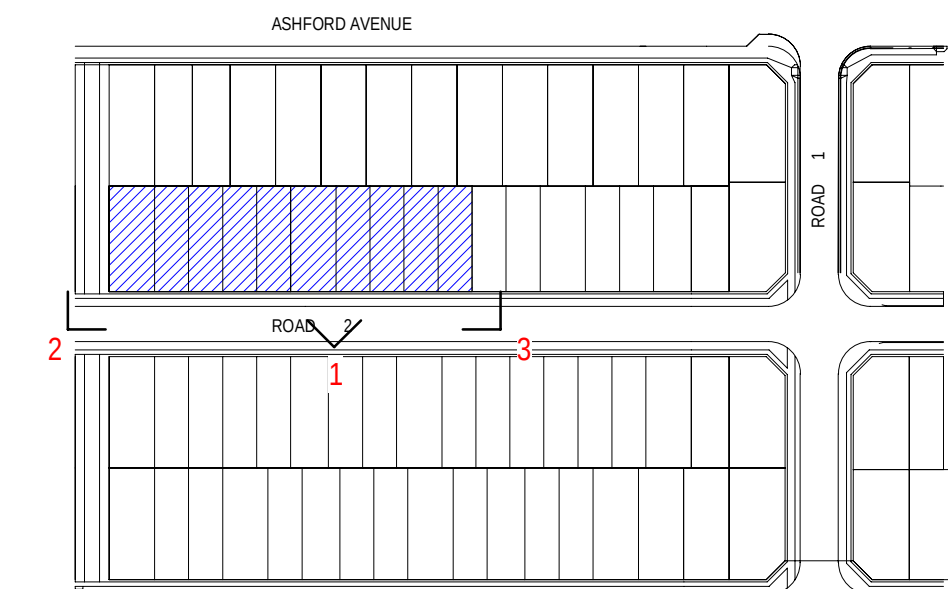
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

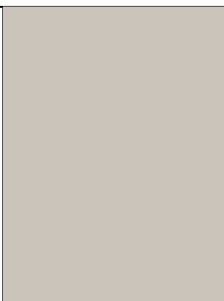
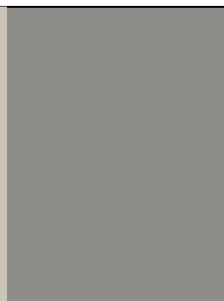
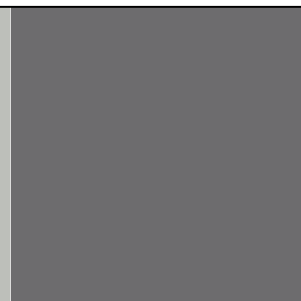
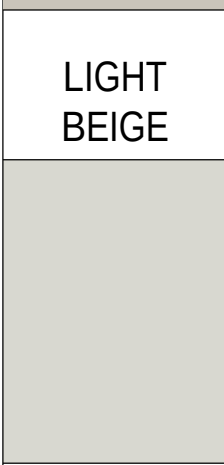
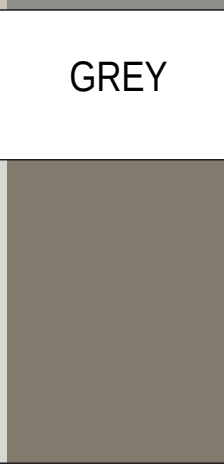
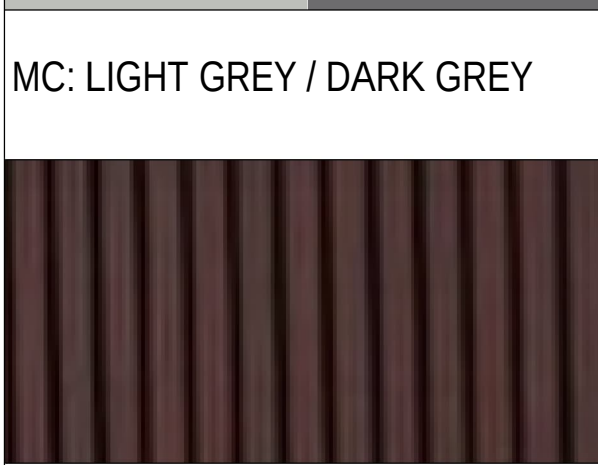
Approved on: 6 August 2026

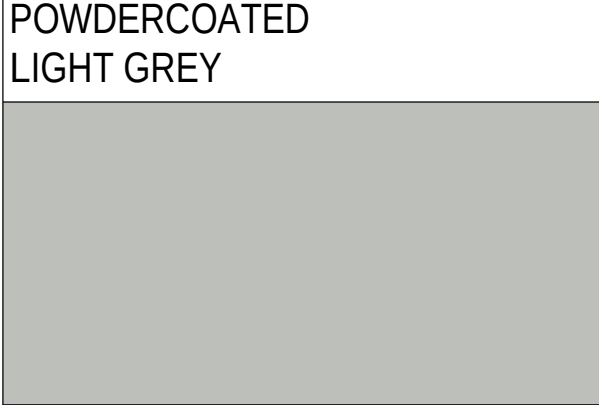
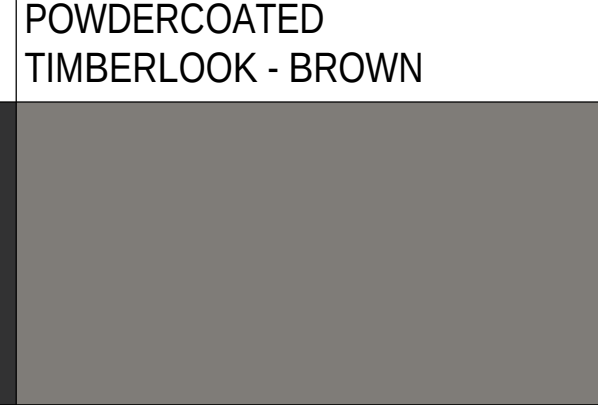
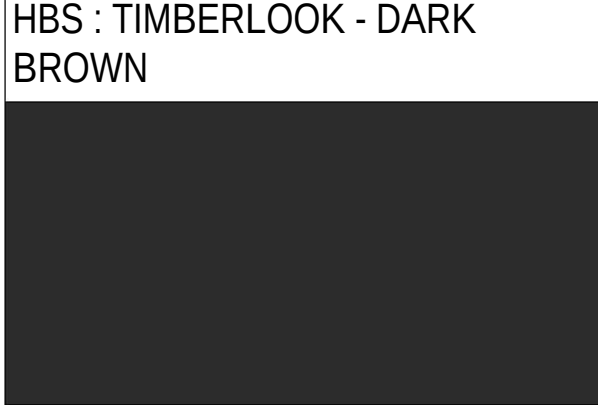
Signed: MG

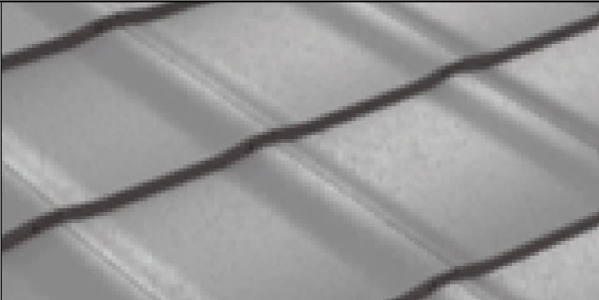
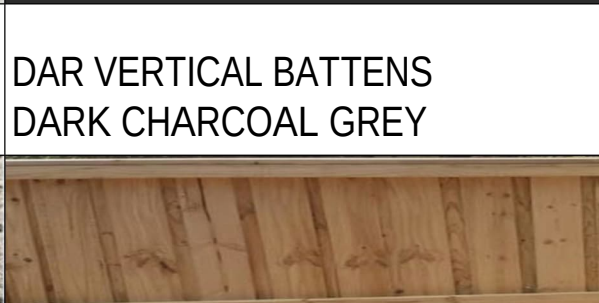
Sheet No: 25 of 33



EXTERNAL FINISHES

WALL BRICK VENEER FBW : FACE BRICK WALL		WALL AUTOCLAVED AERATED CONCRETE, RENDERED RHP-75 : 75mm HEBEL PANEL, RENDERED FINISH RHP-50 : 50mm HEBEL PANEL, RENDERED FINISH LIGHTWEIGHT CLADDING LWC-H : HORIZONTAL WEATHERBOARDS LWC-V : VERTICAL BOARDS LWS-B : SHEET CLADDING WITH EXPOSED BATTENS									WALL FEATURE CLADDING TL : WALL TILES VB : VERTICAL TIMBER LOOK BATTENS MC : VERTICAL METAL RIBBED CLADDING			
	MASONRY FACE BRICK BLUE GREY		LIGHT BEIGE	GREY	LIGHT GREY	DARK BEIGE	CHARCOAL	BEIGE	BROWN			MC: LIGHT GREY / DARK GREY		
													VB: TIMBERLOOK DARK BROWN	
	MASONRY FACE BRICK BROWN GREY		LIGHT BEIGE	DARK BEIGE	LIGHT GREY	GREY	DARK CHARCOAL	BEIGE	LIGHT BROWN					

ENTRY DOOR ED : ENTRY DOOR		GARAGE DOOR GD : GARAGE DOOR				FEATURE ELEMENTS FEATURE SCREEN HBS : HORIZONTAL BATTEN SCREEN VBS : VERTICAL BATTEN SCREEN BALUSTRADES BAL : METAL BALUSTRADES METAL FEATURE ELEMENTS WINDOW & DOOR FRAMES WINDOW SHROUDS BALUSTRADE & ENTRY CANAPE FEATURE DETAIL		
			POWDERCOATED LIGHT GREY	POWDERCOATED DARK GREY	POWDERCOATED TIMBERLOOK - BROWN		HBS : TIMBERLOOK - DARK BROWN	VBS : BLACK
								
	TIMBER MID-BROWN		POWDERCOATED GREY	POWDERCOATED DARK CHARCOAL	POWDERCOATED DARK BEIGE		METAL FEATURE ELEMENTS : BLACK	

ROOFING CONCRETE ROOF TILE TR : CONCRETE ROOF TILE SRI 27.82. SA 0.74 (DARK) METAL SHEET ROOFING MR : COLORBOND METAL RIB ROOFING. SRI 66. SA 0.44 (LIGHT) RAINWATER GOODS & ROOF TRIM FASICA, GUTTER, BARGEBOARD, RAINWATER HEAD, DOWNPIPES		FENCING & RETAINING WALL RETAINING BLOCK WALL SPLIT FACE EARTHY NATURAL STONE RETAINING SLEEPER WALLS SANDSTONE LIGHT BEIGE		
	TR : GREY			
				
	MR : LIGHT GREY	FASICA / GUTTER / BARGEBOARD/ BARGEBOARD CAPPING / RAINWATER HEAD - DARK CHARCOAL		



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Signed: MG

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08/08	REV	amendment

MIRVAC DESIGN

architect

urban design

interior design

landscape design

Level 20 200 George St
Sydney NSW 2000
T 02 9260 4000

Mirvac Design Pty Ltd
ABN 70 003 959 531

Mirvac Design Nominees / Responsible Architects:
Andra Verro, Andra La, David Hoz, Michael Winer
<http://www.mirvacdesign.com/mirvacdesign>

dent



project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
EXTERNAL FINISHES

job no: MB-10418
drawing no: S2-2.2-DA322
scale @ A1 : NTS
date: 12.03.26 rev: C

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SHADOWS	
1	ONE STOREY BUILDING
2	TWO STOREY BUILDING
3	THREE STOREY BUILDING
PV	PHOTOVOLTAIC SOLAR PANEL
	SHADOW

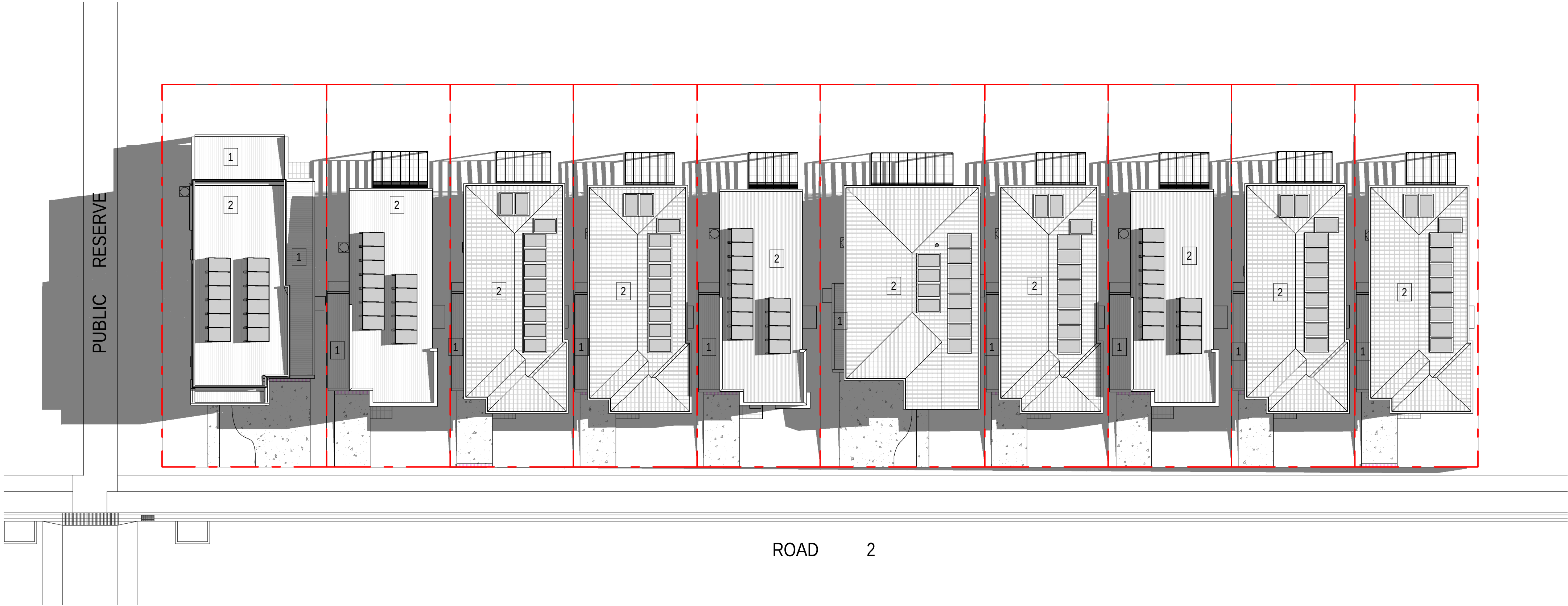
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① SHADOW PLAN - 21 JUNE 9AM - LOT 2201-2210
1 : 200



② SHADOW PLAN - 21 JUNE 12PM - LOT 2201-2210
1 : 200



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Approved on: 6 August 2026

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Sheet No: 27 of 33

31.10.25	B	ISSUE FOR SSDA APPROVAL
14.08.25	A	PRELIMINARY ISSUE TO CONSULTANT
08/08	rev	amendment

MIRVAC DESIGN
architects
urban design
interior design
landscape design
project management
Mirvac Design Pty Ltd
ABN 70 007 959 531
Mirvac Design Nominees / Responsible Architects
Andri Verrini Andriana La Cloud-Her Michael Milner
https://www.mirvacdesign.com/our-teams-and-teams



project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
SHADOW & ANALYSIS DIAGRAM - 21 JUNE - 9AM/12PM

job no: MB-10418
drawing no: S2-2.2-DA400
scale @ A1 : 1 : 200
date: 31.10.25 rev: B





200mm

**Department of Planning,
Housing and Infrastructure**

300mm

Sheet No: 28 of 33

SOLAR COVERAGE IN POS

*NOTE : CALCULATIONS OF SOLAR COVERAGE IN ACCORD WITH THE DCP MIN 3 HRS OF 50% OF THE POS FROM 8:00AM - 4:00PM

1 SUN EYE VIEW - 21 JUNE - 08_00 AM

2 SUN EYE VIEW - 21 JUNE - 09_00 AM

3 SUN EYE VIEW - 21 JUNE - 10_00 AM



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4 SUN EYE VIEW - 21 JUNE - 11_00 AM

5 SUN EYE VIEW - 21 JUNE - 12_00 PM

SOLAR ACCESS TO A LIVING AREA										
Lot No	8am	9am	10am	11am	12noon	1pm	2pm	3pm	4pm	5pm
2201	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2202	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2203	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2204	No	No	No	No	Yes	Yes	Yes	Yes	Yes	Yes
2205	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2206	No	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2207	No	No	No	No	Yes	Yes	Yes	Yes	Yes	Yes
2208	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2209	No	No	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2210	No	No	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes

*NOTE :
CALCULATIONS OF SOLAR ACCESS TO A WINDOW OF PRIMARY LIVING AREA IN ACCORD WITH THE DCP MIN 3 HRS FROM 8:00AM - 4:00PM



0mm

100mm

200mm

300mm

SUN EYE VIEWS NOTE:
GLAZING PROVIDING SUNLIGHT
TO LIVING AREAS

100mm

200mm

300mm

1 SUN EYE VIEW - 21 JUNE - 1_00 PM

2 SUN EYE VIEW - 21 JUNE - 2_00 PM

3 SUN EYE VIEW - 21 JUNE - 3_00 PM

4 SUN EYE VIEW - 21 JUNE - 4_00 PM



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LANDSCAPED AREA SCHEDULE					
Lot Number	Lot Area	Lot Landscape Area	Landscaped Area Provided (Min 25% of Lot Area)	Landscaped Area Provided (%)	Complies
2201	251.30 m ²	67.04 m ²	50.26 m ²	26.68%	Yes
2202	251.30 m ²	66.35 m ²	50.26 m ²	26.40%	Yes
2203	251.30 m ²	68.03 m ²	50.26 m ²	27.07%	Yes
2204	251.30 m ²	68.10 m ²	50.26 m ²	27.10%	Yes
2205	335.10 m ²	94.82 m ²	67.02 m ²	28.30%	Yes
2206	251.30 m ²	68.12 m ²	50.26 m ²	27.11%	Yes
2207	251.30 m ²	68.11 m ²	50.26 m ²	27.10%	Yes
2208	251.30 m ²	65.94 m ²	50.26 m ²	26.24%	Yes
2209	251.30 m ²	65.36 m ²	50.26 m ²	26.01%	Yes
2210	335.10 m ²	83.79 m ²	67.02 m ²	25.01%	Yes

FRONT LANDSCAPED AREA SCHEDULE				
Lot Number	Front yard Area	Landscaped Front yard Area	Landscaped Front yard (min 40%)	Complies
2201	42.35 m²	27.61 m²	65.18%	Yes
2202	42.16 m²	27.64 m²	65.57%	Yes
2203	42.08 m²	27.79 m²	66.03%	Yes
2204	41.91 m²	27.61 m²	65.87%	Yes
2205	41.91 m²	36.66 m²	87.47%	Yes
2206	41.91 m²	27.61 m²	65.87%	Yes
2207	41.91 m²	27.61 m²	65.87%	Yes
2208	42.16 m²	27.64 m²	65.57%	Yes
2209	42.45 m²	27.94 m²	65.81%	Yes
2210	78.00 m²	37.62 m²	48.23%	Yes



**Department of Planning,
Housing and Infrastructure**

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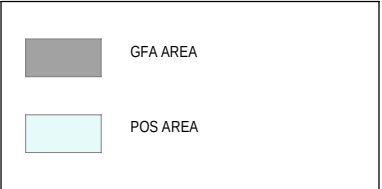
Sheet No: 31 of 33

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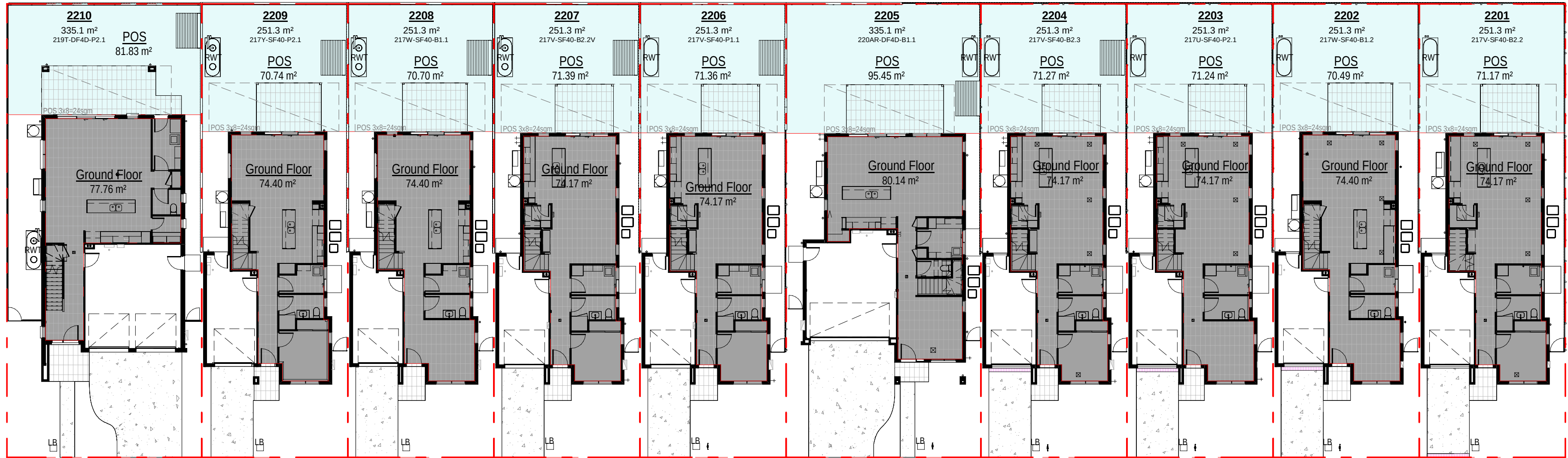
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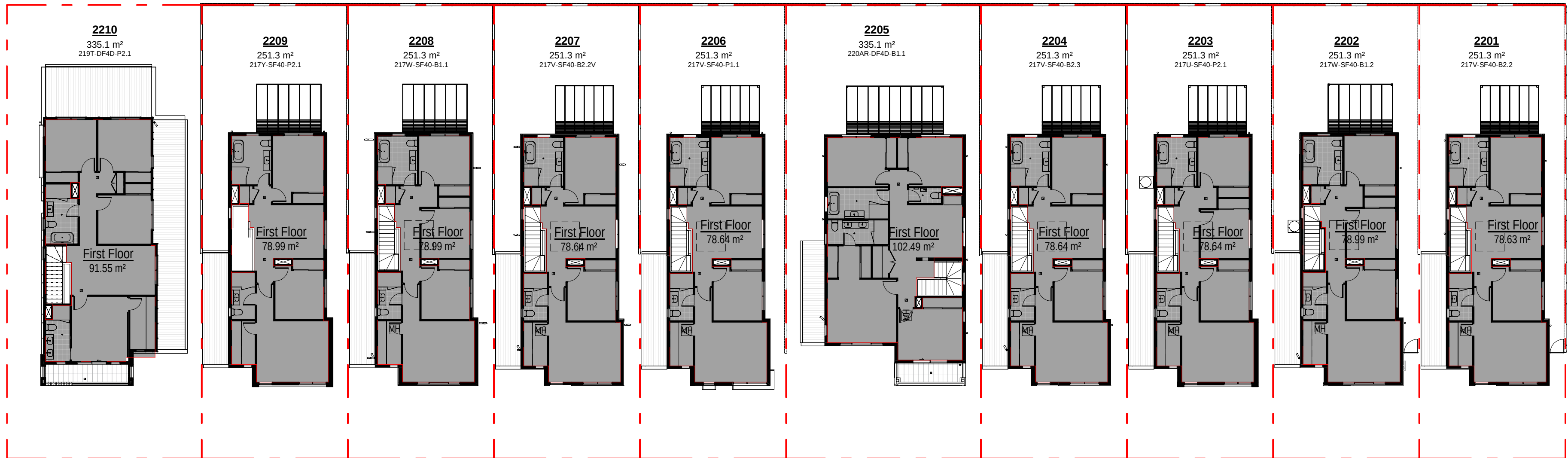
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1 GROUND FLOOR PLAN - LOT 2201-2210

300mm



2 FIRST FLOOR PLAN - LOT 2201-2210
1:200

SITE FSR				
Lot No	Lot Area	Max FSR (37% of Lot Area + 80m²)	Gross Floor Area	Complies
2201	251.3 m²	173.0 m²	152.8 m²	Yes
2202	251.3 m²	173.0 m²	153.4 m²	Yes
2203	251.3 m²	173.0 m²	152.8 m²	Yes
2204	251.3 m²	173.0 m²	152.8 m²	Yes
2205	335.1 m²	204.0 m²	182.6 m²	Yes
2206	251.3 m²	173.0 m²	152.8 m²	Yes
2207	251.3 m²	173.0 m²	152.8 m²	Yes
2208	251.3 m²	173.0 m²	153.4 m²	Yes
2209	251.3 m²	173.0 m²	153.4 m²	Yes
2210	335.1 m²	204.0 m²	169.3 m²	Yes

Site - GFA schedule for FSR calc.		
Lot No.	Name	Area*
2201	Ground Floor	74.2 m²
2201	First Floor	78.6 m²
		152.8 m²

2202	Ground Floor	74.4 m²
2202	First Floor	79.0 m²
		153.4 m²

2203	Ground Floor	74.2 m²
2203	First Floor	78.6 m²
		152.8 m²

2204	Ground Floor	74.2 m²
2204	First Floor	78.6 m²
		152.8 m²

2205	Ground Floor	80.1 m²
2205	First Floor	102.5 m²
		182.6 m²

2206	Ground Floor	74.2 m²
2206	First Floor	78.6 m²
		152.8 m²

2207	Ground Floor	74.2 m²
2207	First Floor	78.6 m²
		152.8 m²

2208	Ground Floor	74.4 m²
2208	First Floor	79.0 m²
		153.4 m²

2209	Ground Floor	74.4 m²
2209	First Floor	79.0 m²
		153.4 m²

2210	Ground Floor	77.8 m²
2210	First Floor	91.5 m²
		169.3 m²
Grand total		1576.1 m²

Area Schedule (POS)	
Lot No.	POS
2201	71.2 m²
2202	70.5 m²
2203	71.2 m²
2204	71.3 m²
2205	95.4 m²
2206	71.4 m²
2207	71.4 m²
2208	70.7 m²
2209	70.7 m²
2210	81.8 m²



Department of Planning,
Housing and Infrastructure

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Sheet No: 32 of 33

title:
GFA AREA AND POS AREA PLANS

job no: MB-10418
drawing no: S2-2.2-DA421

scale @ A1 : 1:200

date: 31.10.25

rev: B



MIRVAC
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dent



project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

0mm

100mm

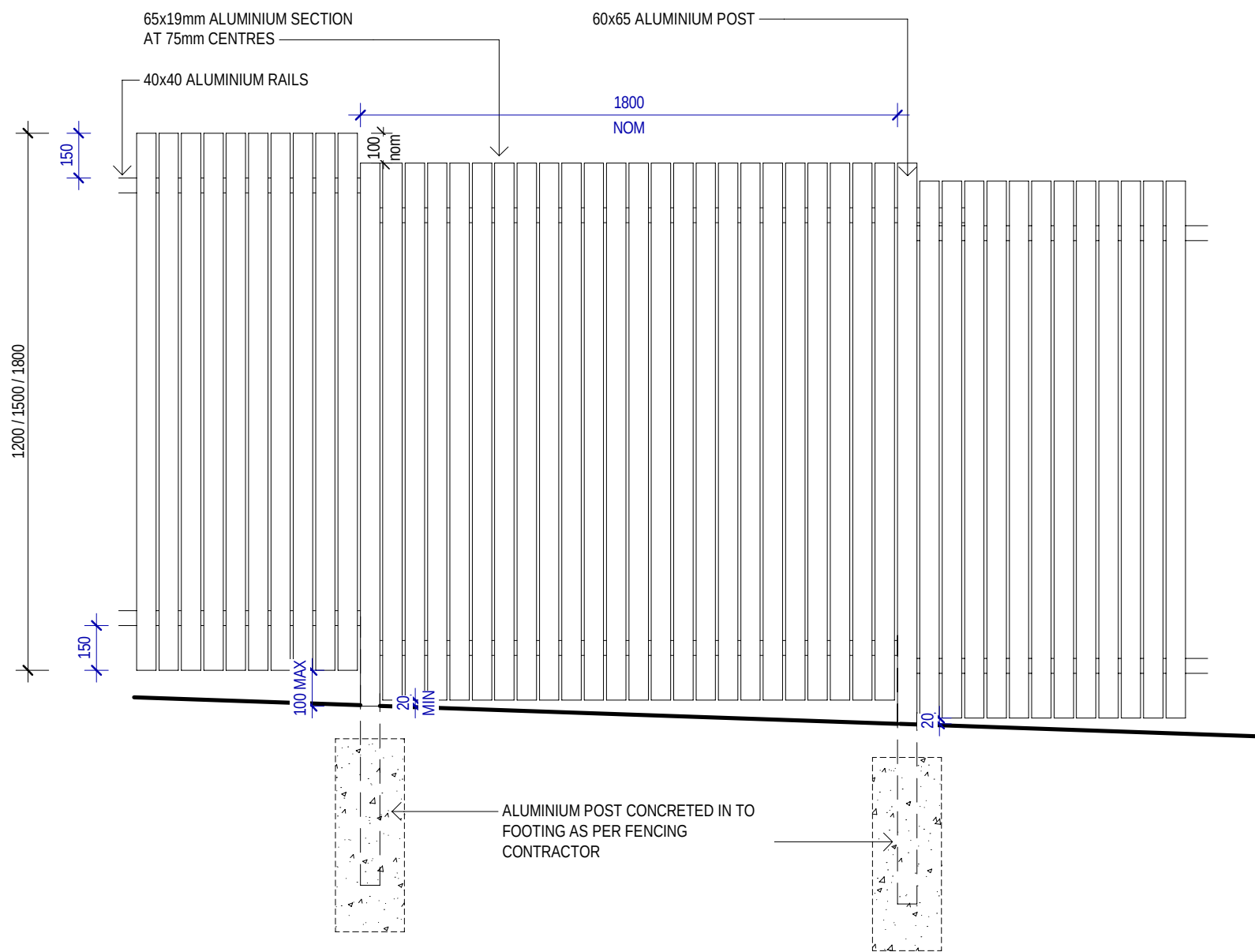
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300mm

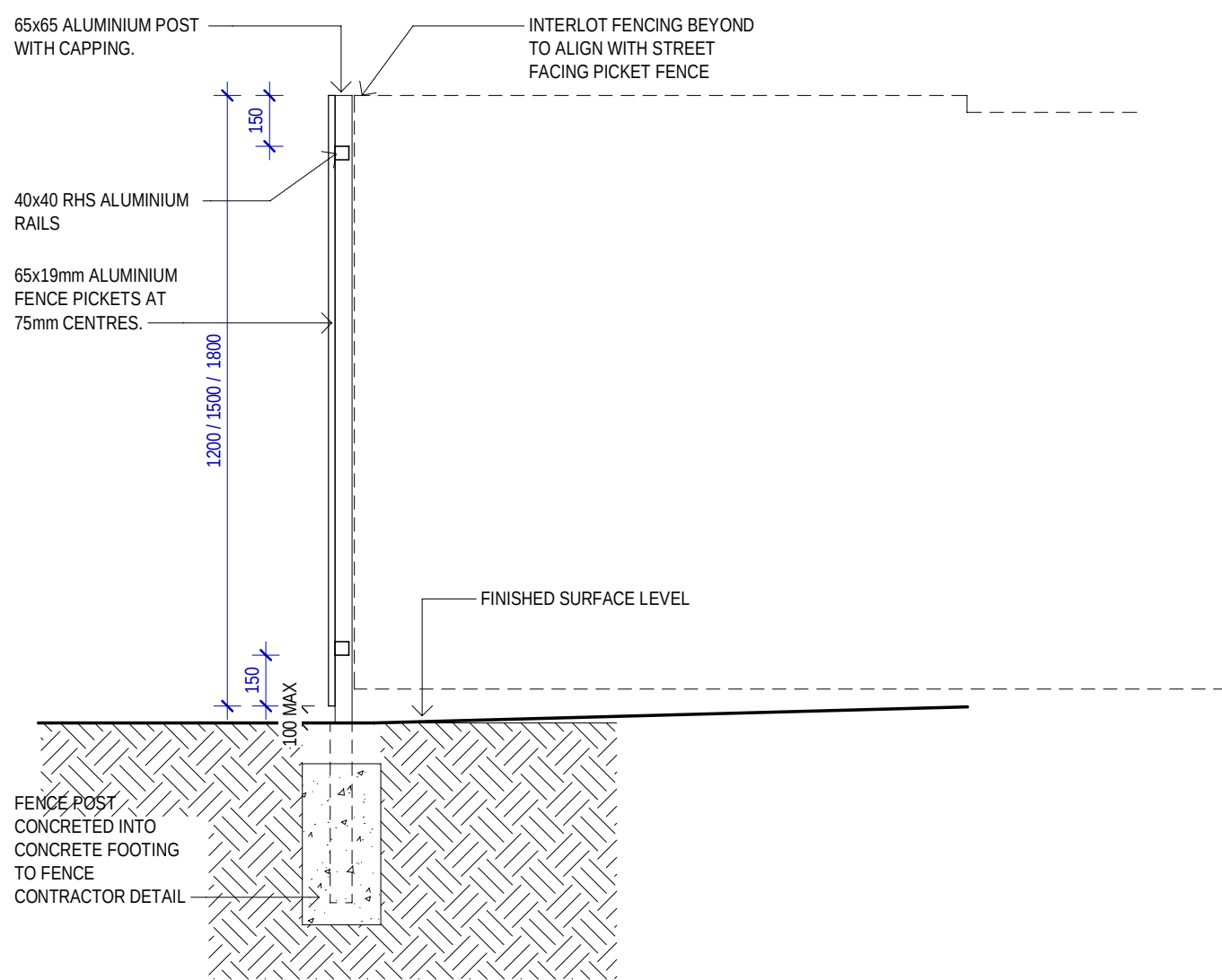
100mm

200mm

300mm



1 ELEVATION - BM-18 METAL BATTEN FENCE
1:20



2 SECTION

1.8M FROM PUBLIC RESERVE

1.8M FROM LOT 2210 GROUND LINE

PUBLIC RESERVE GROUND LINE

LOT 2210 GROUND LINE

METAL BATTEN FENCE.
REFER TO DETAIL.



2 DA/TP - ELEVATIONS - SIDE - LOT 2210 FENCE DETAIL



Department of Planning,
Housing and Infrastructure

Issued under the *Environmental Planning and Assessment Act 1979*

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 33 of 33

12.03.26	C	RE ISSUE TO SSDA FOR APPROVAL. EXTERNAL COLOUR & FINISHES REVISED, CORNER HOMES ADJACENT PUBLIC PATH UPDATED WITH WINDOW ADDED
31.10.25	B	ISSUE FOR SSDA APPROVAL
14.08.25	A	PRELIMINARY ISSUE TO CONSULTANT
08/08	REV	amendment

MIRVAC DESIGN
architects
interior design
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project:
KINLEA - MILPERRA
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.2 Lot: 2201-2210

title:
METAL BATTEN FENCE DETAILS

job no: MB-10418
drawing no: S2-2.2-DA800
scale @ A1 : As indicated
date: 12.03.26 rev: C