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KINLEA - MILPERRA WSU (WESTERN SYDNEY UNIVERSITY)

STAGE 2 - SITE 2.1
LOTS: 2101-2109

SHEET NO.	DRAWING TITLE	REV
S2-2.1-DA000	COVER SHEET	C
S2-2.1-DA001	THERMAL PERFORMANCE & SUSTAINABILITY SPECIFICATIONS - LOTS 2101-2109	B
S2-2.1-DA050	LOCATION & SITE ANALYSIS PLAN	B
S2-2.1-DA100	EROSION, BENCHING & SEDIMENT CONTROL PLAN - LOT2101	B
S2-2.1-DA101	EROSION, BENCHING & SEDIMENT CONTROL PLAN - LOT2102-2105	B
S2-2.1-DA102	EROSION, BENCHING & SEDIMENT CONTROL PLAN - LOT2106-2109	B
S2-2.1-DA140	HYDRAULIC CONCEPT PLAN - LOT2101	B
S2-2.1-DA141	HYDRAULIC CONCEPT PLAN - LOT2102-2105	B
S2-2.1-DA142	HYDRAULIC CONCEPT PLAN - LOT2106-2109	B
S2-2.1-DA210	GROUND FLOOR PLANS - LOT 2101	B
S2-2.1-DA211	GROUND FLOOR PLANS - LOT 2102-2105	B
S2-2.1-DA212	GROUND FLOOR PLANS - LOT 2106-2109	B
S2-2.1-DA220	FIRST FLOOR PLANS - LOT 2101	B
S2-2.1-DA221	FIRST FLOOR PLANS - LOT 2102-2105	B
S2-2.1-DA222	FIRST FLOOR PLANS - LOT 2106-2109	B
S2-2.1-DA230	ROOF PLANS - LOT 2101	B
S2-2.1-DA231	ROOF PLANS - LOT 2102-2105	B
S2-2.1-DA232	ROOF PLANS - LOT 2106-2109	B
S2-2.1-DA300	ELEVATIONS AND SECTIONS - LOT 2101	C
S2-2.1-DA301	ELEVATIONS AND SECTIONS - LOT 2102	C
S2-2.1-DA302	ELEVATIONS AND SECTIONS - LOT 2103	C
S2-2.1-DA303	ELEVATIONS AND SECTIONS - LOT 2104	C
S2-2.1-DA304	ELEVATIONS AND SECTIONS - LOT 2105	C
S2-2.1-DA305	ELEVATIONS AND SECTIONS - LOT 2106	C
S2-2.1-DA306	ELEVATIONS AND SECTIONS - LOT 2107	C
S2-2.1-DA307	ELEVATIONS AND SECTIONS - LOT 2108	C
S2-2.1-DA308	ELEVATIONS AND SECTIONS - LOT 2109	C
S2-2.1-DA320	COLOURED STREETSCAPES	C
S2-2.1-DA321	COLOURED PERSPECTIVES	C
S2-2.1-DA322	EXTERNAL FINISHES	C
S2-2.1-DA400	SHADOW DIAGRAM & ANALYSIS - 21 JUNE - 9AM (LOT 2101-2109)	B
S2-2.1-DA401	SHADOW DIAGRAM & ANALYSIS - 21 JUNE - 12PM (LOT 2101-2109)	B
S2-2.1-DA402	SHADOW DIAGRAM & ANALYSIS - 21 JUNE - 3PM (LOT 2101-2109)	B
S2-2.1-DA410	SUN EYE VIEW - 21 JUNE - 8AM/9PM/10PM	B
S2-2.1-DA411	SUN EYE VIEW - 21 JUNE - 11AM/12PM/1PM	B
S2-2.1-DA412	SUN EYE VIEW - 21 JUNE - 2PM/3PM/4PM	B
S2-2.1-DA420	LANDSCAPED AREA PLANS	B
S2-2.1-DA421	GFA AREA AND POS AREA PLANS	B
S2-2.1-DA800	METAL BATTEN FENCE DETAILS	C



Department of Planning,
Housing and Infrastructure

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Approved Application No: SSD-97092958
Approved on: 6 August 2026
Signed: MG
Sheet No: 1 of 39

12.03.26	C	RE ISSUE TO SSDA FOR APPROVAL: EXTERNAL COLOUR & FINISHES REVISED.
31.10.25	B	ISSUE TO SSDA FOR APPROVAL
08.08.25	A	PRELIMINARY ISSUE FOR CONSULTANT
date	rev	amendment

MIRVAC
DESIGN

architect
urban designer
interior designer
landscape architect

Mirvac Design Nominated / Responsible Architects
Andra Verroa Andra La Chaud Herz Michael Milner
https://www.mirvacdesign.com/nominated-architects

Level 20 200 George St
Sydney NSW 2000
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mirvacdesign.com.au



project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
COVER SHEET

job no: MB-10418
drawing no: S2-2.1-DA000
scale @ A1 :
date: 12.03.26 rev: C

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Thermal Comfort Inclusions

Floors

Waffle pod slab 85mm concrete and 300mm waffle pods
Timber frame between levels, no insulation required between conditioned areas.
Suspended timber frame, with an R4.0 insulation lined where open below

External Walls

75mm Hebel panel 35mm air gap sarking, R2.5 insulation (insulation only value) and plasterboard lined
50mm Hebel panel 35mm air gap sarking, R2.5 insulation (insulation only value) and plasterboard lined
Brick Veneer, R2.5 insulation (insulation only value) and plasterboard lined
Lightweight cladding 20mm air gap sarking, R2.5 insulation (insulation only value) and plasterboard lined
Note: No insulation is required to external garage walls

External Colour:

Light (SA < 0.475)
Medium (SA >0.475<0.7)
Dark (SA > 0.7)

Walls within dwellings

Plasterboard on studs, no insulation required.
R2.5 insulation between unconditioned and conditioned areas (around Laundry, Bathrooms, and Garage)

Glazing Doors/Windows

Casement (Entry Door): U 3.0 (equal to or lower than) and SHGC 0.48 (±5%)
Fixed (Entry Sidelight): U 3.0 (equal to or lower than) and SHGC 0.56 (±5%)
Glazing Option 2
Awning: U 3.3 (equal to or lower than) and SHGC 0.38 (±5%)
Fixed: U2.4 (equal to or lower than) and SHGC 0.48 (±5%)
Sliding door: U 3.2 (equal to or lower than) and SHGC 0.42 (±5%)
Glazing Option 3
Awning: U 2.9 (equal to or lower than) and SHGC 0.35 (±5%)
Fixed: U2.0 (equal to or lower than) and SHGC 0.44 (±5%)
Sliding door: U 2.8 (equal to or lower than) and SHGC 0.39 (±5%)

Window frame colour

Dark (SA > 0.7)

Roof Windows/Skylights

2101 and 2102: Solar tube

Roof and Ceilings

Metal roof with anticon blanket (R_u1.3 and R_d1.3)
Concrete tiles with sarking
R4.0 ceiling insulation (R3.0 perimeter batts where required, pitched roof only) and plasterboard lining, where roof above
Garage ceiling with R3.0 insulation and plasterboard lining, where conditioned area above
No insulation to garage ceiling where roof above.

External Colour

Metal roof Light (SA < 0.475)
Tile roof Dark (SA > 0.7)

Ceiling Penetrations

Sealed and insulated LED downlights as per the lighting plan
Sealed exhaust fans as per plans

Floor coverings

As per plans

External Shading

Shading as per stamped drawings

Ventilation

All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings

BASIX Inclusions Summary

BASIX Water Commitments

Fixtures

Showerheads: 4 star (medium flow >6.0 and ≤7.5 L/min)
Toilet flushing system: 4 star
Kitchen taps: 5 star
Bathroom taps: 5 star
Alternative water
Minimum 70m² of harvested roof area connected to rainwater tank, minimum capacity of 2,000L.
Rainwater tank connected to at least one outdoor tap, toilets and laundry

BASIX Energy Commitments

Hot water system
Electric heat pump – 21 to 25 STCs
HVAC cooling and heating
Cooling and heating: three phase air-conditioning to living areas and bedrooms: EER 3.0-3.5
Ventilation
Bathrooms – individual fan, externally ducted to façade or roof, interlocked to light, timer off
Kitchen – individual fan, externally ducted to façade or roof, manual on/off switch
Laundry room – individual fan, externally ducted to façade or roof, manual on/off switch
Other
Electric cooktop, electric oven
Outdoor clothes drying line
Alternative energy
Photovoltaic system: rated electrical output (min.) 2 peak kW
Installed at >10° to ≤25° pitch, north orientation

Lot number Upgrades required

2101

R2.7 insulation to external walls and internal walls between garage, bathroom and laundry
(naturally ventilated only)
R6.0 insulation to ceiling where roof above
R6.0 insulation to suspended open floor
Glazing option 3
1x 1300mm ceiling fans to family, multi-purpose, sitting and bedrooms

2102

R2.7 insulation to external walls and internal walls between garage, bathroom and laundry
(naturally ventilated only)
R6.0 insulation to ceiling where roof above
R6.0 insulation to suspended open floor
Glazing option 3

2103

R2.7 insulation to external walls and internal walls between garage, bathroom and laundry
(naturally ventilated only)
R6.0 insulation to ceiling where roof above
R6.0 insulation to suspended open floor
Glazing option 3
1x 1300mm ceiling fans to Living, family and bedrooms

2104

R2.7 insulation to external walls and internal walls between garage, bathroom and laundry
(naturally ventilated only)
R6.0 insulation to ceiling where roof above
R6.0 insulation to suspended open floor
Glazing option 3
1x 1300mm ceiling fans to Living, family and bedrooms

2105

R2.7 insulation to external walls and internal walls between garage, bathroom and laundry
(naturally ventilated only)
R6.0 insulation to ceiling where roof above
R6.0 insulation to suspended open floor
Glazing option 3
1x 1300mm ceiling fans to Living, family and bedrooms

2106

R2.7 insulation to external walls and internal walls between garage, bathroom and laundry
(naturally ventilated only)
Glazing option 2

2107

R2.7 insulation to external walls and internal walls between garage, bathroom and laundry
(naturally ventilated only)
R6.0 insulation to ceiling where roof above
Glazing option 3
1x 1300mm ceiling fans to bedrooms

2108

R2.7 insulation to external walls and internal walls between garage, bathroom and laundry
(naturally ventilated only)
R6.0 insulation to ceiling where roof above
Glazing option 2

2109

Glazing option 2
1x 1300mm ceiling fan to living and family room



Department of Planning,
Housing and Infrastructure

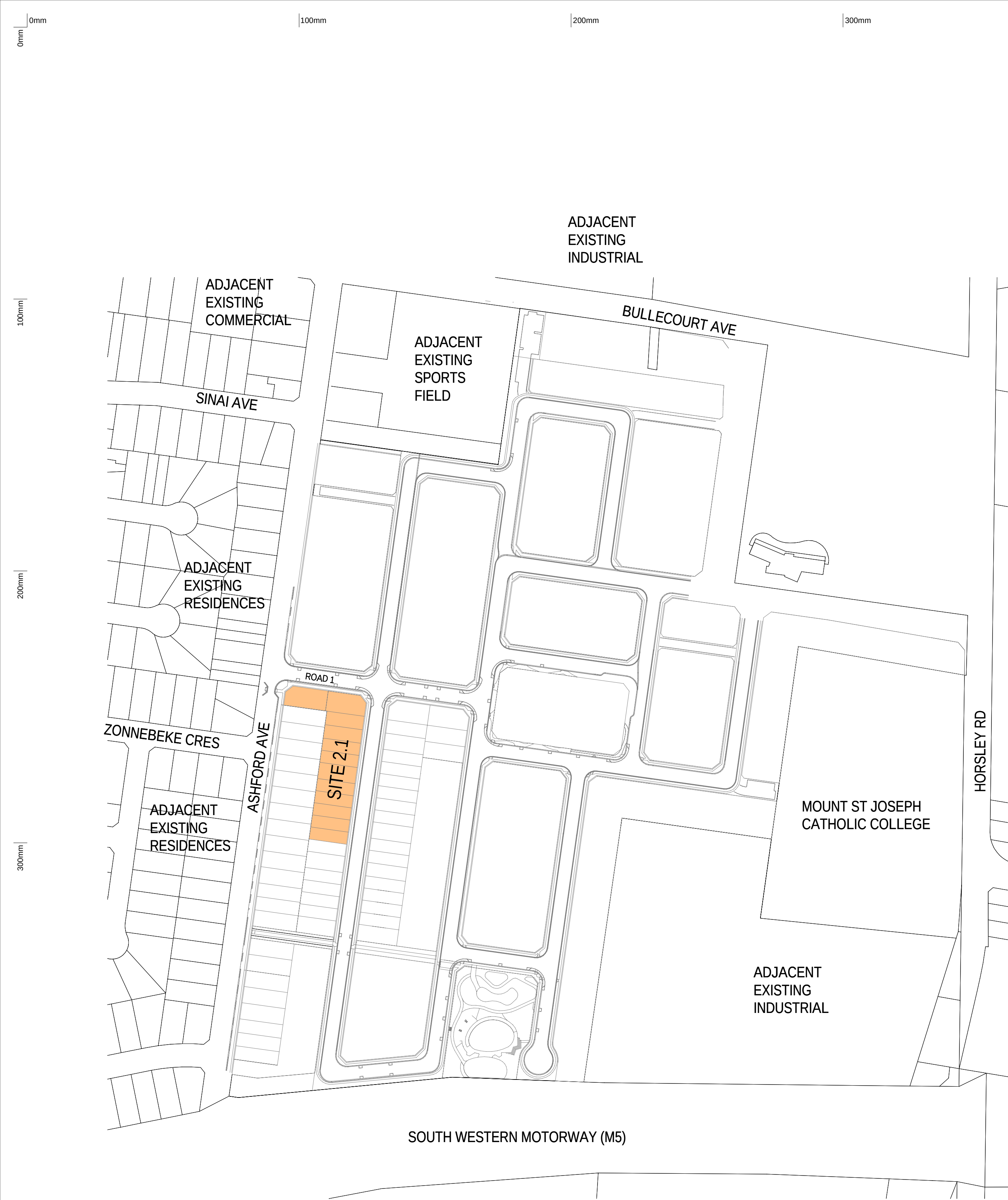
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Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 2 of 39



1 LOCATION PLAN
1 : 2000



Department of Planning,
Housing and Infrastructure

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Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 3 of 39

DISTANCES TO NEARBY LANDMARKS

- | | |
|------------------------------------|-----------------------|
| • Mount St Joseph Catholic College | - Approx 5 min walk |
| • Bankstown Golf Club | - Approx 5 min walk |
| • Panania Train Station | - Approx 6 min drive |
| • Bankstown Aerodrome | - Approx 10 min drive |
| • Liverpool Hospital | - Approx 15 min drive |
| • Parramatta City CBD | - Approx 40 min drive |
| • Sydney City CBD | - Approx 30 min drive |

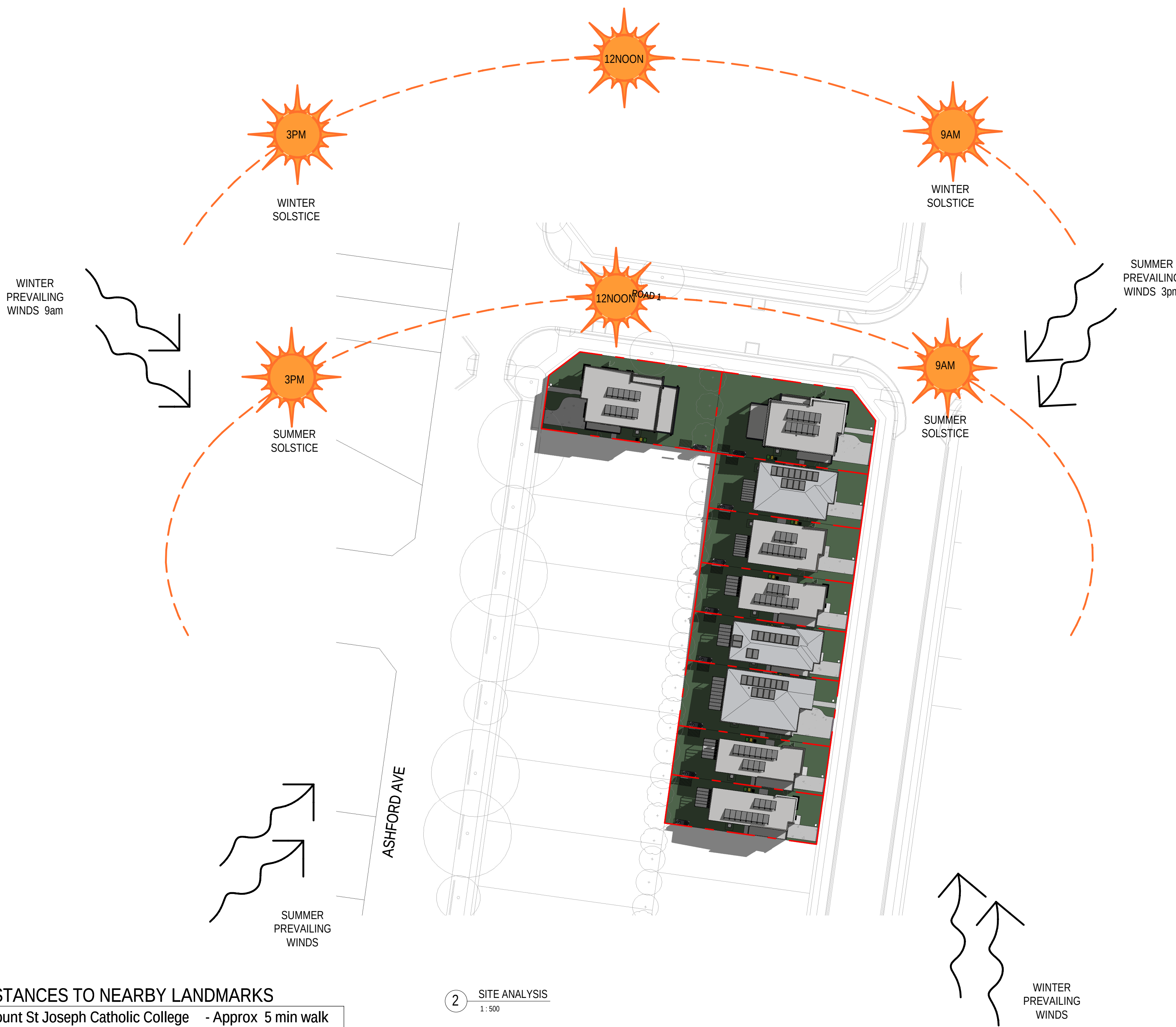
MIRVAC DESIGN
Lvl 4/10 200 George St
Sydney NSW 2000
Tel: 02 9550 0000
Mirvac Design Pty Ltd
ABN 70 003 959 931
Mirvac Design Nominated / Responsible Architects
Anda Verma, Andrew La, David Hest, Michael Wilson
http://www.mirvacdesign.com/contacts/andabos



project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
LOCATION & SITE ANALYSIS PLAN

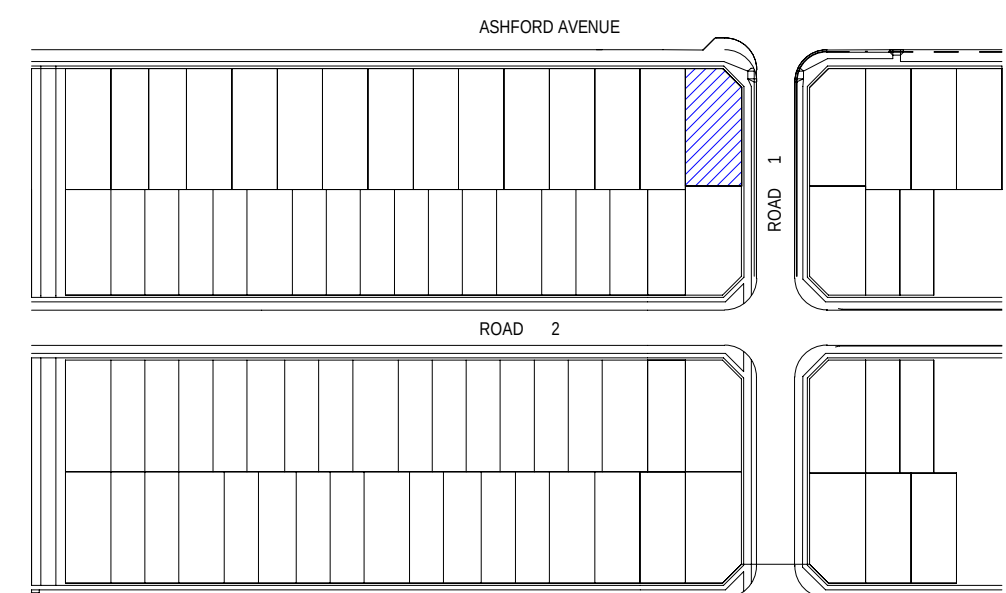
job no: MB-10418
drawing no: S2-2.1-DA050
scale @ A1 : As indicated
date: 31.10.25 rev: B



2 SITE ANALYSIS
1 : 500



Sheet No: 4 of 39

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Department of Planning,
Housing and Infrastructure

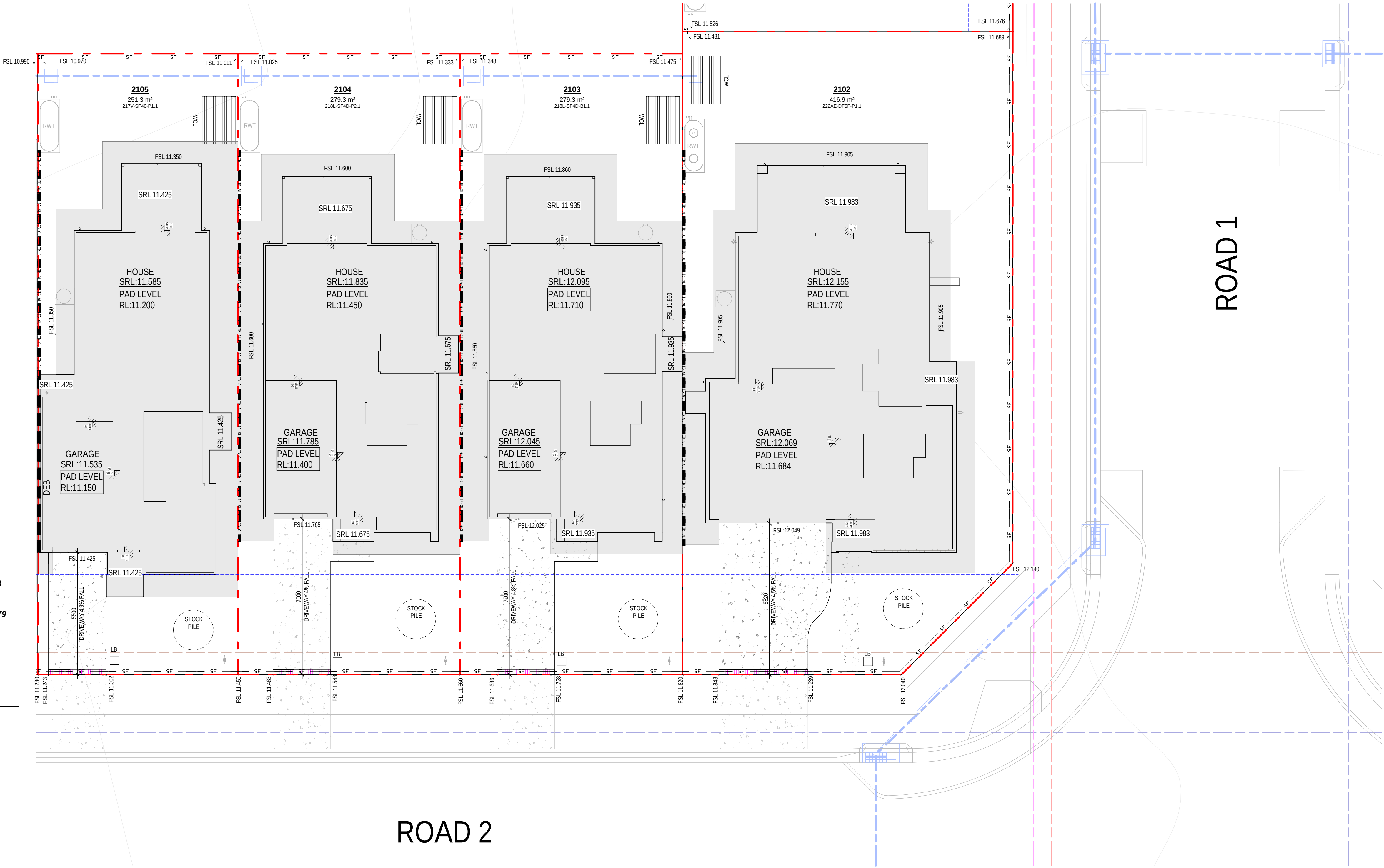
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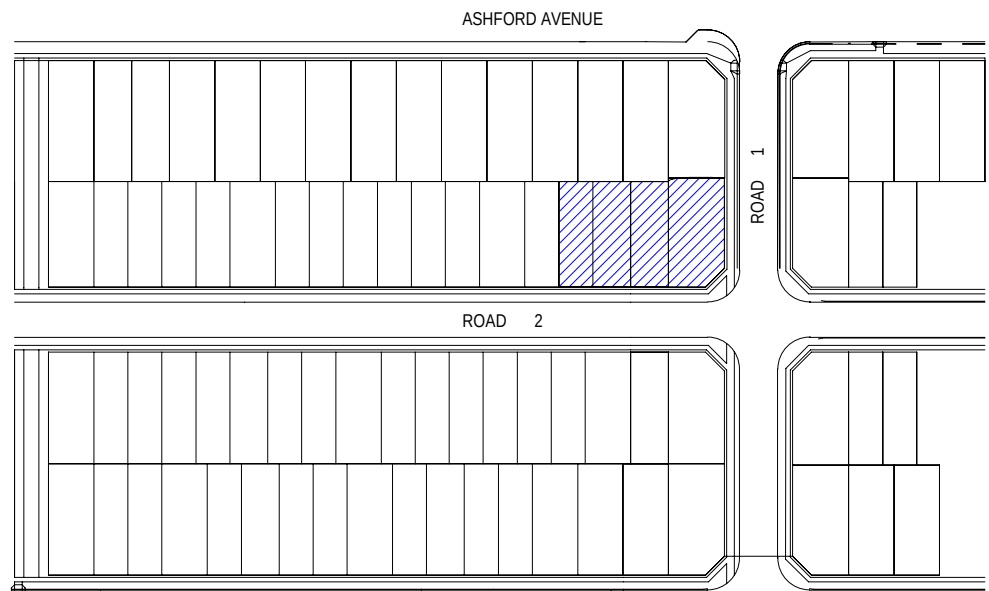
Approved on: 6 August 2026

Signed: MG

Sheet No: 5 of 39



1 EROSION/SEDIMENT CONTROL & BENCHING PLAN - LOT 2102-2105



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Housing and Infrastructure

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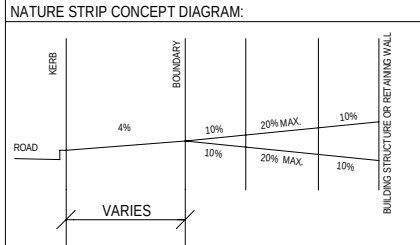
Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 6 of 39

1 EROSION/SEDIMENT CONTROL & BENCHING PLAN - LOT 2106-2109

SITework	
A/C	AIR CONDITIONER CONDENSER
BOW	BOTTOM OF WALL LEVEL
EG	EXISTING GROUND LEVEL
FSL	FINISHED SURFACE LEVEL
GM	GAS METER
HC	HOSE COCK
HCR	HOSE COCK RECYCLE
HMU	HOT WATER UNIT
KD	KERB OUTLET
LB	LETTER BOX
MB	ELECTRICAL METERBOX
NBN	NATIONAL BROADBAND NETWORK
PDD	PREMISES CONNECTION DEVICE
PWM	NON POTABLE RECYCLED WATER METER
RL	REDAUCED LEVEL
RWT	RAINWATER TANK
SRL	STRUCTURAL RELATIVE LEVEL
TOW	TOP OF WALL LEVEL
WCL	WALL MOUNTED CLOTHES LINE
WM	WATER METER
DIRECTION OF FLOW	
PIPELINE CONNECTION TO RWT	
PIPELINE STORMWATER OVERFLOW	
POTABLE WATER	
STORMWATER DRAINAGE PIT	
GRATED DRAIN	
NATURE STRIP CONCEPT DIAGRAM	
	
RETAINING WALLS	
BLOCK WORK RETAINING WALL	
BLOCK WORK FEATURE RETAINING WALL	
CROP EDGE BEAM	
REAM CONCRETE SLEEPER WALL	
LOG SLEEPER RETAINING WALL	
WET WALL	

12/03/2026 12:05:20
P4

Autodesk Docs\Milperra WSU\WSU-AR-S2-Site 2.1-R24.n

31.10.25
08.08.25
date

B
A
rev

ISSUE TO SSDA FOR APPROVAL
PRELIMINARY ISSUE FOR CONSULTANT
amendment

MIRVAC DESIGN
Level 28 200 George St
Sydney NSW 2000
Tel: 02 9550 0000
Mirvac Design Pty Ltd
ABN 70 007 959 531
Mirvac Design Nominees / Responsible Architects
Anda Verena, Andrew La, David Hest, Michael Winter
http://www.mirvacdesign.com/consultants-and-architects

dent
mirvac

project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
EROSION, BENCHING & SEDIMENT
CONTROL PLAN - LOT2106-2109

job no: MB-10418
drawing no: S2-2.1-DA102
scale @ A1 : 1 : 100
date: 31.10.25 rev: B



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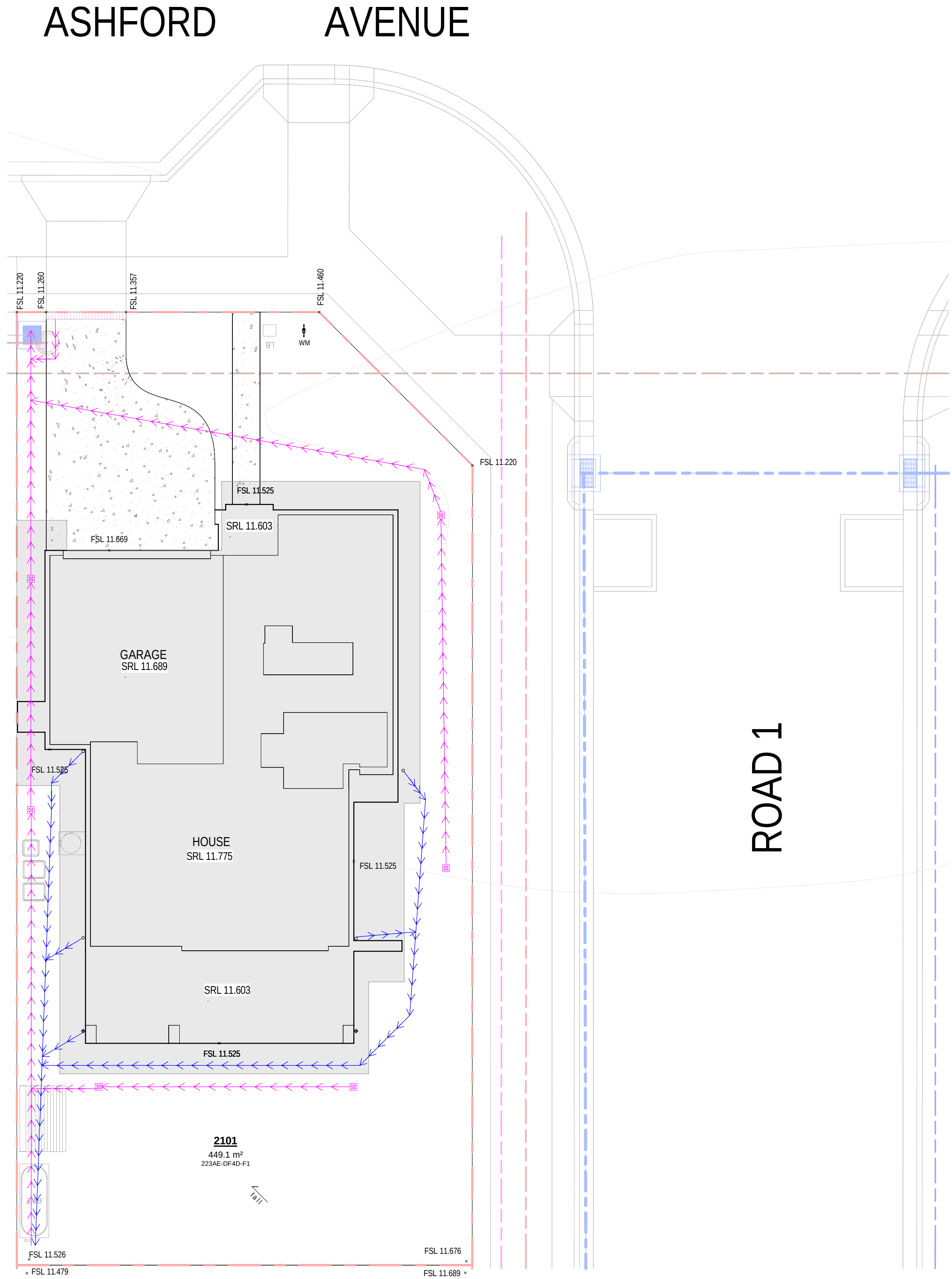
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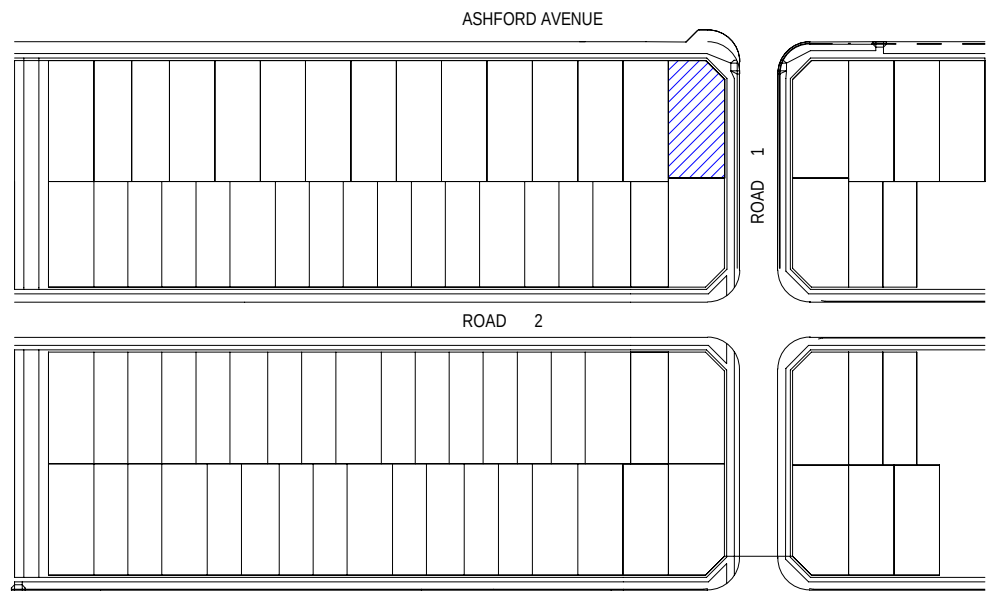
Signed: MG

Sheet No: 7 of 39



1 HYDRAULIC CONCEPT PLAN - LOT2101

SITework	
BOW	BOTTOM OF WALL LEVEL
CL	CLOTHES LINE
EGL	EXISTING GROUND LEVEL
FSL	FINISHED SURFACE LEVEL
GM	GAS METER
HC	HOSE COCK
HCR	HOSE COCK RECYCLE
HMU	HOT WATER UNIT
HMU	INSTANTANEOUS HOT WATER UNIT
KO	KERB OUTLET
LB	LETTER BOX
MB	ELECTRICAL METERBOX
NBN	NATIONAL BROADBAND NETWORK
PCD	PREMISES CONNECTION DEVICE
PWM	NON POTABLE RECYCLED WATER METER
RL	REDUCED LEVEL
RWT	RAINWATER TANK
SRL	STRUCTURAL RELATIVE LEVEL
TOW	TOP OF WALL LEVEL
WM	WATER METER
DIRECTION OF FLOW	
→	PIPELINE CONNECTION TO RWT
→	PIPELINE STORMWATER OVERFLOW
→	POTABLE WATER
→	STORMWATER DRAINAGE PIT
→	GRATED DRAIN
RETAINING WALLS	
■ ■ ■ ■ ■	BLOCK WORK RETAINING WALL
■ ■ ■ ■ ■	BLOCK WORK FEATURE RETAINING WALL
■ ■ ■ ■ ■	DROP EDGE BEAM
■ ■ ■ ■ ■	HEAVY CONCRETE SLEEPER WALL
■ ■ ■ ■ ■	LOG SLEEPER RETAINING WALL
■ ■ ■ ■ ■	WET WALL
HYDRAULIC NOTE	
NOTE: THIS STORMWATER SCHEMATIC DRAWING BY MIRVAC DESIGN IS PRODUCED AS A GUIDE ONLY FOR PLUMBERS ON SITE TO INDICATE LOCATION OF LINES AND PITS WITHIN BOUNDARIES. THIS DRAWING IS ONLY TO INDICATE PIPE, PIT AND CONNECTIONS AND LOCATIONS. THIS DRAWING IS NOT TO INDICATE ANY PIPE OR PIT SIZES. ANY FURTHER INFORMATION RELATING TO SIZES AND EQUIPMENT COMPONENTS SHOULD BE CONFIRMED WITH A PLUMBER OR SUITABLY QUALIFIED HYDRAULIC ENGINEER.	



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Department of Planning,
Housing and Infrastructure

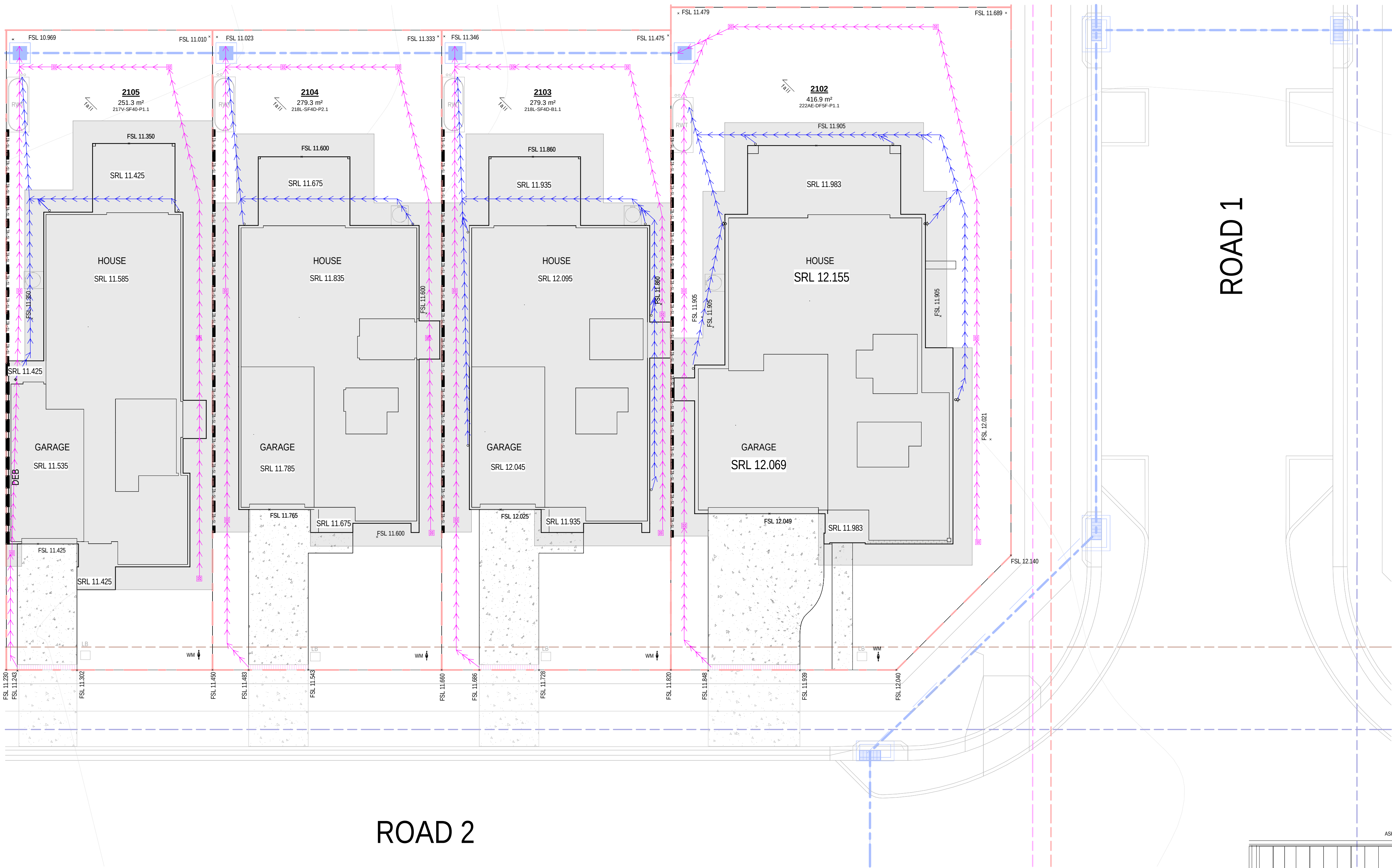
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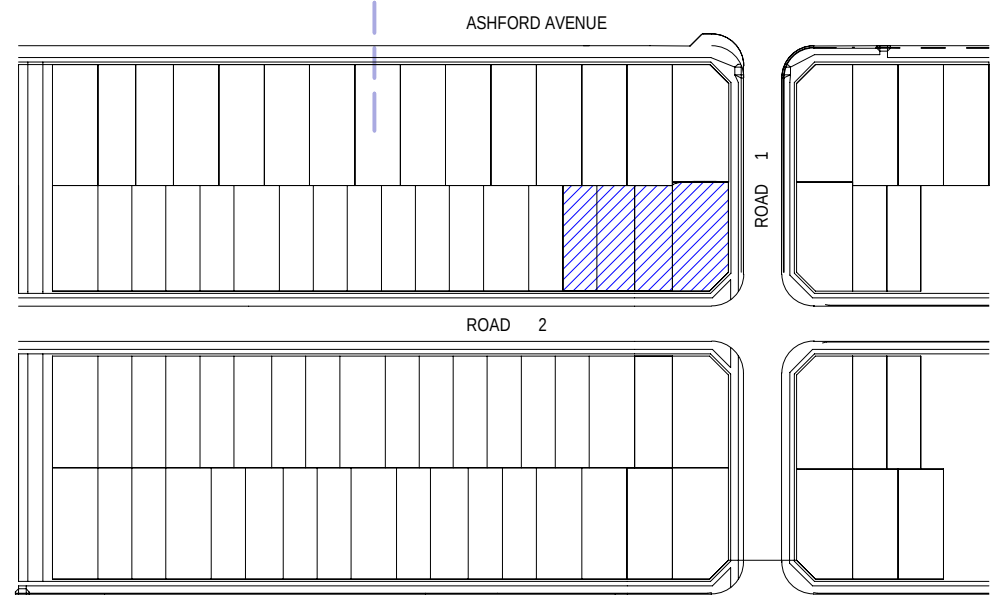
Approved on: 6 August 2026

Signed: MG

Sheet No: 8 of 39



1 HYDRAULIC CONCEPT PLAN - LOT2102-2105



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Housing and Infrastructure

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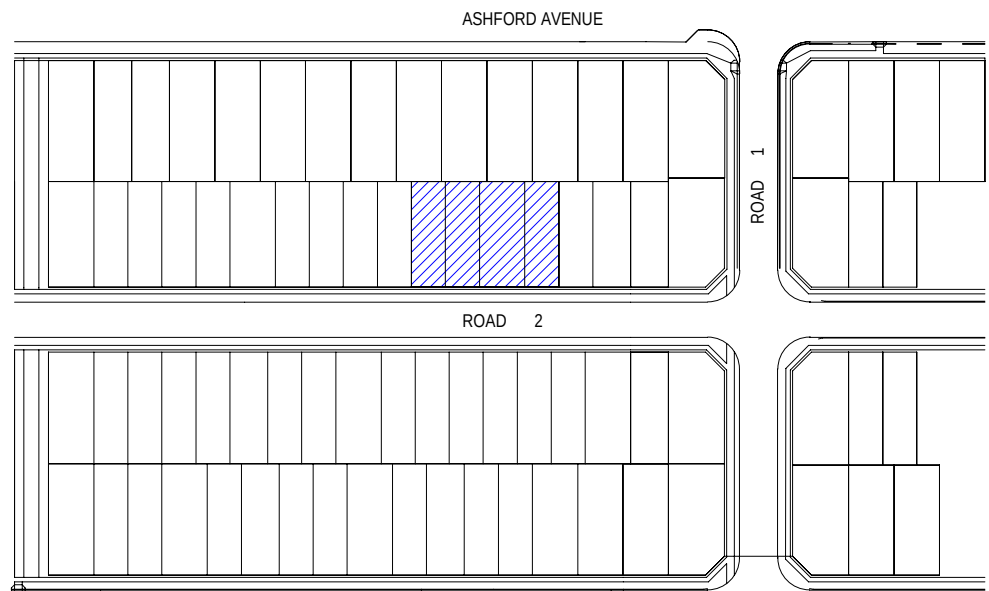
Sheet No: 9 of 39



1 HYDRAULIC CONCEPT PLAN - LOT2106-2109

ROAD 2

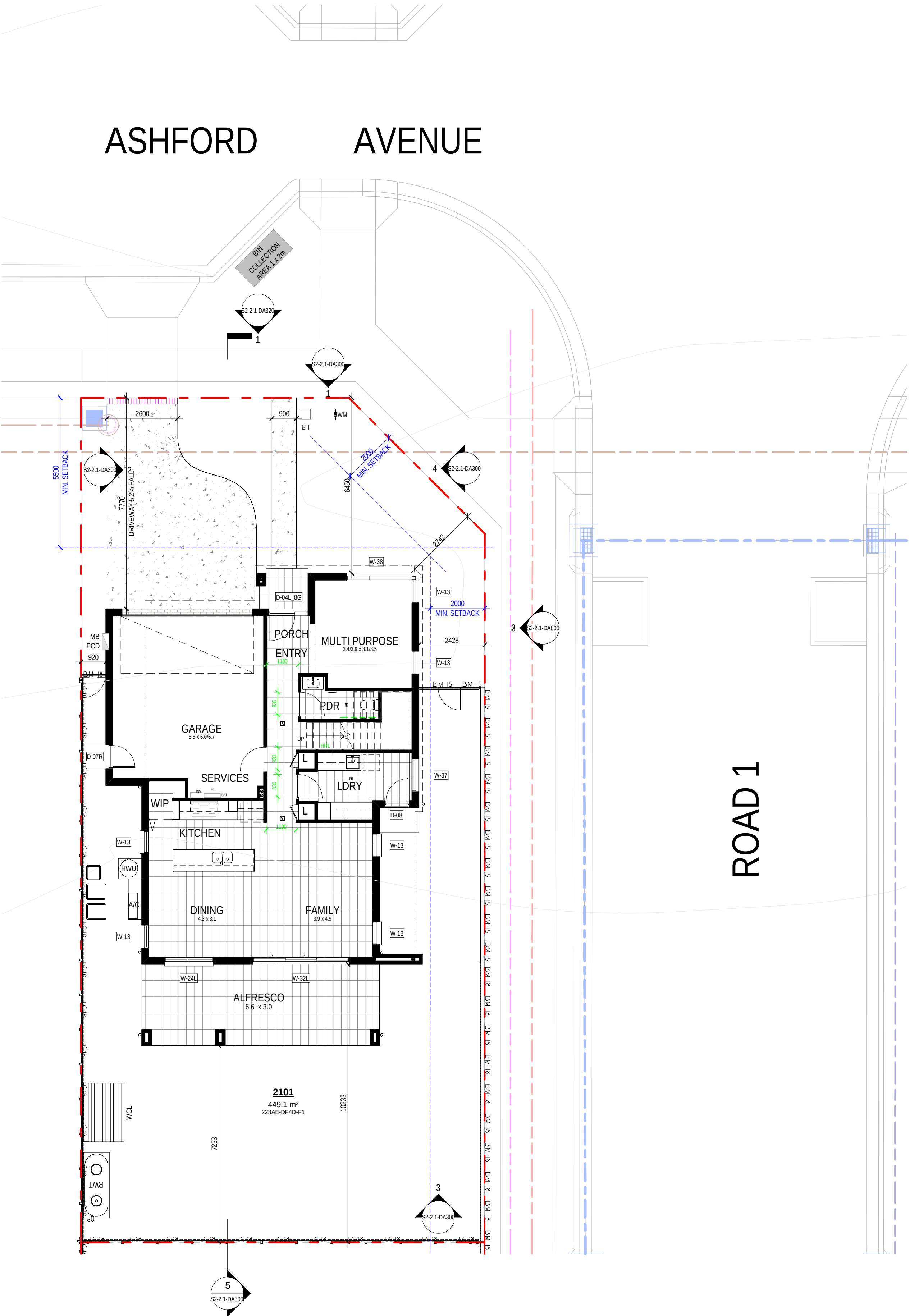
SITework	
BOW	BOTTOM OF WALL LEVEL
CL	CLOTHES LINE
EGL	EXISTING GROUND LEVEL
FSL	FINISHED SURFACE LEVEL
GM	GAS METER
HC	HOSE COCK
HCR	HOSE COCK RECYCLE
HMU	HOT WATER UNIT
HMU	INSTANTANEOUS HOT WATER UNIT
KO	KERB OUTLET
LB	LETTER BOX
MB	ELECTRICAL METERBOX
NBN	NATIONAL BROADBAND NETWORK
PCD	PREMISES CONNECTION DEVICE
PWM	NON POTABLE RECYCLED WATER METER
RL	REDUCED LEVEL
RWT	RAINWATER TANK
SRL	STRUCTURAL RELATIVE LEVEL
TOW	TOP OF WALL LEVEL
WM	WATER METER
DIRECTION OF FLOW	
PIPELINE CONNECTION TO RWT	
PIPELINE STORMWATER OVERFLOW	
POTABLE WATER	
STORMWATER DRAINAGE PIT	
GRATED DRAIN	
RETAINING WALLS	
BLOCK WORK RETAINING WALL	
BLOCK WORK FEATURE RETAINING WALL	
DROP EDGE BEAM	
HEAVY CONCRETE SLEEPER WALL	
LOG SLEEPER RETAINING WALL	
WET WALL	
HYDRAULIC NOTE	
NOTE: THIS STORMWATER SCHEMATIC DRAWING BY MRVAC DESIGN IS PRODUCED AS A GUIDE ONLY FOR PLUMBERS ON SITE TO INDICATE LOCATION OF LINES AND PITS WITHIN BOUNDARIES. THIS DRAWING IS ONLY TO INDICATE PIPE, PIT AND CONNECTIONS AND LOCATIONS. THIS DRAWING IS NOT TO INDICATE ANY PIPE OR PIT SIZES. ANY FURTHER INFORMATION RELATING TO SIZES AND EQUIPMENT COMPONENTS SHOULD BE CONFIRMED WITH A PLUMBER OR SUITABLY QUALIFIED HYDRAULIC ENGINEER.	



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WINDOW SCHEDULE 2101				
Window No.	Type	Width	Height	Count
W-03	SA1007	730	1030	1
W-03_OBS	SA1007_OBS	730	1030	1
W-05	SA1307	730	1370	2
W-07	SA1807T	730	1800	1
W-12	SA1308	850	1370	2
W-13	SA2008T	850	2035	6
W-24L	SA2018T_L SPECIAL	1810	2035	1
W-29	SA1326 SPECIAL	2650	1370	1
W-31	SA1308	850	1370	1
W-32L	SA20436_L	3580	2400	1
W-37	SA0612	1210	650	1
W-38	SA2024T_R SPECIAL	2410	2035	1
W-39	SA1324_R SPECIAL	2410	1370	1
W-40	SA02119_R	1810	2100	2
W-42_OBS	SA1014_R_OBS	1450	1030	1
W-43	SA1322_L	2170	1370	1

DOOR SCHEDULE 2101				
Door No.	Height	Leaf Width	O/A Frame Width	
D-07R	2100	820	900	
D-04L_8G	2400	920	1450	
D-08	2400	820	900	



1 GROUND FLOOR PLAN - LOT 2101

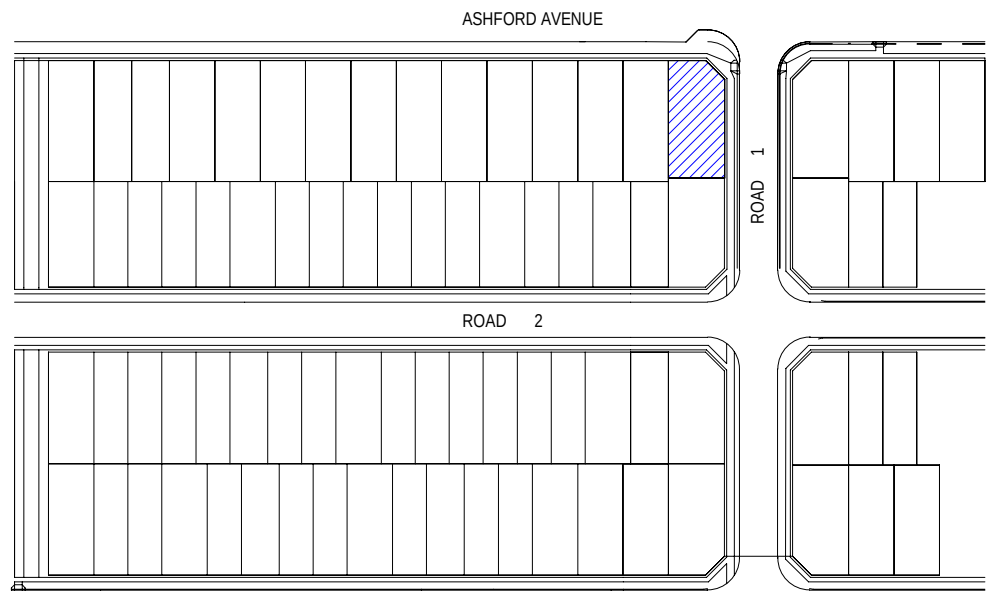
FLOOR PLAN	
720	DOOR LEAF SIZE - AS SHOWN @ 2340mm HIGH UNO
720L	DOOR LEAF SIZE - DOOR WITH LIFT OFF HINGES
AC	AIRCON CONDENSER
ACD	AIRCON DUCT
ACE	AIRCON EVAPORATOR
APG	ALUMINUM PERGOLA TO DETAIL
BAL	BALUSTRADE
BAT	BATTERY STORAGE UNIT
BH	BULKHEAD OVER
BO	STRUCTURAL BEAM OVER TO ENGINEER'S DETAIL
BOW	BOTTOM OF WALL LEVEL
BPW	STRUCTURAL BEAM IN WALL OVER
C	CUPBOARD
CSD	CAVITY SLIDER DOOR
CT	COOKTOP
D	DOOR
DP	DOWNSPIPE
DPS	DOWNSPIPE & SPREADER
DS	DETER SPACE
DW	DISHWASHER SPACE
EOL	EXISTING GROUND LEVEL
EDME	EXHAUST TO DANCES OR SOFFIT
EXHR	EXHAUST TO ROOF
EXHW	EXHAUST TO WALL
F	REFRIGERATOR SPACE
FRL	FINISHED RELATIVE LEVEL
FSC	FREE STANDING COOKER
FW	FLOOR WASTE
GD	GARAGE DOOR OPENING AS SPECIFIED
GM	GAS METER
HC	HOSE COCK
HCR	HOSE COCK RECYCLE
HDC	HARDWARE DISTRIBUTION CABINET
HH	HEAD OF OPENING - HEIGHT AS NOTED
HSL	HANDRAIL - 1000mm HIGH MIN.
HWU	HOT WATER UNIT
HWU	INSTANTANEOUS HOT WATER UNIT
INS	INSULATION
INW	INVERTER
L	LINEN
LB	LETTER BOX
LHW	LOW HEIGHT WALL - HEIGHT AS NOTED
LWD	LINE OF WALL OVER
MB	ELECTRICAL METERBOX
MH	MAHLED ACCESS PANEL
MR	METAL ROOF - PITCHES AS NOTED
MW	MICROWAVE SPACE
NBN	NATIONAL BROADBAND NETWORK
NCOP	NON COMBUSTIBLE DOWNSPIPE (NSW ONLY)
OPW	OVERFLOW FLOOR WASTE
P	PANTRY
PCD	PREMISES CONNECTION DEVICE
PWM	NON POTABLE RECYCLED WATER METER
RH	RANGEHOOD
RL	RENDERED LEVEL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
S	STORAGE
SD	STEPODOWN
SA	SHAKE ALARM
SCR	SCREEN
SK	SINK
SL	SKYLIGHT OVER
SN	SHOWER NOSE
SP	STRUCTURAL POST TO ENGINEER'S DETAIL
SRL	STRUCTURAL RELATIVE LEVEL
SS	SERVICE STACK
ST	STORAGE
TOW	TOP OF WALL LEVEL
TP	TIMBER POST - SIZE AS NOTED
TPG	TIMBER PERGOLA TO DETAIL
TR	TILED ROOF - PITCH AS NOTED
URD	UNDER BENCH OVER
VJ	VERTICAL JOINT
W	WINDOW
WCL	WALL MOUNTED CLOTHES LINE
WIP	WALK-IN PANTRY
WMS	WASHING MACHINE SPACE
WM	WATER METER
WO	WALL OVEN
WTC	RAINWATER TANK CONTROL
XOXP	ENGAGED PERS. SPACINGS VARIES CENTRES TO END'S DESIGN

LIABLE HOUSING
THESE DESIGNS MEET COUNCIL'S CONTROLS AS OUTLINES IN SECTION 11.1 LIABLE HOUSING OF THE RESIDENTIAL ACCOMMODATION TOP ONLY

INDICATES WALL WITH REINFORCEMENT TO
ENABLE INSTALLATION OF FUTURE GRABRAILS
GREEN DIMENSIONS INDICATE MINIMUM CLEARANCES

WET AREA WALLS
WALLS AROUND THE TOILET, SHOWER AND BATH TO BE REINFORCED TO SUPPORT SAFE INSTALLATION OF FUTURE GRABRAILS BY OCCUPANTS

OBSCURE WINDOWS
W-XX_OBS WINDOWS TAGGED WITH SUFFIX OBS INDICATES OBSCURE GLAZING



WINDOW SCHEDULE 2106					
Window No.	Type	Width	Height	Description	Count
W-01	SA1305 SPECIAL	500	1370		1
W-02_OBS	SA1006 OBS	610	1030	OBSOLETE	2
W-04	SA1207	730	1200		1
W-08	SA2007T	730	2035		3
W-10_OBS	SA1208 OBS	850	1200	OBSOLETE	1
W-12	SA1308	850	1370		1
W-17	SA1606	1570	600		1
W-19L	SKD2116_L	1570	2100		1
W-21L	SA1218_L	1810	1200		3
W-22R	SA1318_R	1810	1370		1
W-24R	SA2018T_R SPECIAL	1810	2035	2035H x 1810W SA2008T WITHIN	1
W-36	SSD2432_R	3160	2400		1

DOOR SCHEDULE 2106			
Door No.	Height	Leaf Width	O/A Frame Width
D-07R	2100	820	900
D-04_6G	2400	920	1000

WINDOW SCHEDULE 2107					
Window No.	Type	Width	Height	Description	Count
W-03_OBS	SA1007 OBS	730	1030	OBSOLETE	1
W-04	SA1207	730	1200		1
W-05	SA1307	730	1370		1
W-08	SA2007T	730	2035		5
W-11	SF1208	850	1200		1
W-15_OBS	SA1010 OBS	970	1030	OBSOLETE	1
W-18	SA2010T_R SPECIAL	1570	2035	2035H x 1570W SA2007T WITHIN	1
W-19R	SKD2116_R	1570	2100		1
W-21L	SA1218_L	1810	1200		2
W-21R	SA1218_R	1810	1200		1
W-23	SA2018T_L	1810	2035		1
W-27L	SKD2122_L	2170	2100		1
W-29	SA1326 SPECIAL	2650	1370	1370H x 2650W SA1307 WITHIN	1
W-32L	SSD2436_L	3580	2400		1

DOOR SCHEDULE 2107			
Door No.	Height	Leaf Width	O/A Frame Width
D-07L	2100	820	900
D-03R_6G	2400	920	1500

WINDOW SCHEDULE 2108					
Window No.	Type	Width	Height	Description	Count
W-01	SA1305 SPECIAL	500	1370		1
W-02_OBS	SA1006 OBS	610	1030	OBSOLETE	2
W-04	SA1207	730	1200		1
W-08	SA2007T	730	2035		5
W-10_OBS	SA1208 OBS	850	1200	OBSOLETE	1
W-12	SA1308	850	1370		1
W-19L	SKD2116_L	1570	2100		1
W-21L	SA1218_L	1810	1200		3
W-24L	SA2018T_L SPECIAL	1810	2035	2035H x 1810W SA2008T WITHIN	1
W-30	SSD2426_R	2685	2400		1
W-33	SA1317_R SPECIAL	1700	1370		1

DOOR SCHEDULE 2108			
Door No.	Height	Leaf Width	O/A Frame Width
D-07R	2100	820	900
D-04_6G	2400	920	1000

WINDOW SCHEDULE 2109					
Window No.	Type	Width	Height	Description	Count
W-01	SA1305 SPECIAL	500	1370		1
W-02_OBS	SA1006 OBS	610	1030	OBSOLETE	2
W-04	SA1207	730	1200		1
W-05	SA1307	730	1370		1
W-08	SA2007T	730	2035		3
W-10_OBS	SA1208 OBS	850	1200	OBSOLETE	1
W-17	SA1606	1570	600		1
W-19L	SKD2116_L	1570	2100		1
W-21L	SA1218_L	1810	1200		3
W-24R	SA2018T_R SPECIAL	1810	2035	2035H x 1810W SA2008T WITHIN	1
W-26	SA1320_L SPECIAL	2080	1370	1370H x 2080W SA1308 WITHIN	1
W-36	SSD2432_R	3160	2400		1

DOOR SCHEDULE 2109			
Door No.	Height	Leaf Width	O/A Frame Width
D-07R	2100	820	900
D-05_9G	2400	920	1000



FLOOR PLAN	
720	DOOR LEAF SIZE - AS SHOWN @ 2340mm HIGH UNO
720L	DOOR LEAF SIZE - DOOR WITH LIFT OFF HINGES
AC	AIRCON CONDENSER
ACD	AIRCON DUCT
ACE	AIRCON EVAPORATOR
APD	ALUMINUM PERGOLA TO DETAIL
BAL	BALUSTRADE
BAT	BATTERY STORAGE UNIT
BH	BULKHEAD OVER
BS	STRUCTURAL BEAM OVER TO ENGINEER'S DETAIL
BOW	BOTTOM OF WALL LEVEL
BS	STRUCTURAL BEAM IN WALL OVER
C	CUPBOARD
CSD	CAVITY SLIDER DOOR
CT	COOKTOP
D	DOOR
DP	DOWNSPIPE
DPS	DOWNSPIPE & SPREADER
DS	DETER SPACE
DW	DEWASHER SPACE
EOL	EXISTING GROUND LEVEL
EDME	EXHAUST TO DRAINS OR ROOF
EXHR	EXHAUST TO ROOF
EXHW	EXHAUST TO WALL
F	REFRIGERATOR SPACE
FRL	FINISHED RELATIVE LEVEL
FSC	FREE STANDING COOKER
FW	FLOOR WASTE
GD	GARAGE DOOR OPENING AS SPECIFIED
GM	GAS METER
HC	HOSE COCK
HCR	HOSE COCK RECYCLE
HDC	HARDWARE DISTRIBUTION CABINET
HH	HEAD OF OPENING - HEIGHT AS NOTED
HSL	HANDRAIL - 1000mm HIGH MIN.
HWU	HOT WATER UNIT
HWU	INSTANTANEOUS HOT WATER UNIT
INS	INSULATION
IN	INVERTER
L	LINEN
LB	LETTER BOX
LHW	LOW HEIGHT WALL - HEIGHT AS NOTED
LWD	LINE OF WALL OVER
MB	ELECTRICAL METERBOX
MH	MAINTENANCE ACCESS PANEL
MR	METAL ROOF - PITCHES NOTED
MW	MICROWAVE SPACE
NBN	NATIONAL BROADBAND NETWORK
NCOP	NON COMBUSTIBLE DOWNSPIPE (NSW ONLY)
OPW	OVERFLOW FLOOR WASTE
P	PANTRY
PCD	PROMENADE CONNECTION DEVICE
PWM	NON POTABLE RECYCLED WATER METER
RH	RANGEHOOD
RL	REAR LANDING LEVEL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
S	STORAGE
SD	STEPODOWN
SA	SMOKE ALARM
SCR	SCREEN
SK	SINK
SL	SKYLIGHT OVER
SN	SHOWER NICHES
SP	STRUCTURAL POST TO ENGINEER'S DETAIL
SRL	STRUCTURAL RELATIVE LEVEL
SS	SERVICE STACK
ST	STORAGE
TOW	TOP OF WALL LEVEL
TP	TIMBER POST - SIZE AS NOTED
TPG	TIMBER PERGOLA TO DETAIL
TR	TILED ROOF - PITCH AS NOTED
UBD	UNDER BENCH OVER
VJ	VERTICAL JOINT
W	WINDOW
WCL	WALL MOUNTED CLOTHES LINE
WIP	WALK-IN PANTRY
WMS	WASHING MACHINE SPACE
WM	WATER METER
WO	WALL OVEN
WTC	RAINWATER TANK CONTROL
XXP	ENGAGED PERS. SPACINGS VARIES CENTRES TO ENG'S DESIGN

LIVABLE HOUSING	
THESE DESIGNS MEET COUNCIL'S CONTROLS AS OUTLINES IN SECTION 11.1 LIVABLE HOUSING OF THE RESIDENTIAL ACCOMMODATION TOP ONLY	
INDICATES WALL WITH REINFORCEMENT TO	ENABLE INSTALLATION OF FUTURE GRABRAILS
GREEN DIMENSIONS INDICATE MINIMUM CLEARANCES	
OBSCURE WINDOWS	
W-XX_OBS	WINDOWS TAGGED WITH SUPPLY OBS INDICATES OBSCURE GLAZING



Department of Planning,
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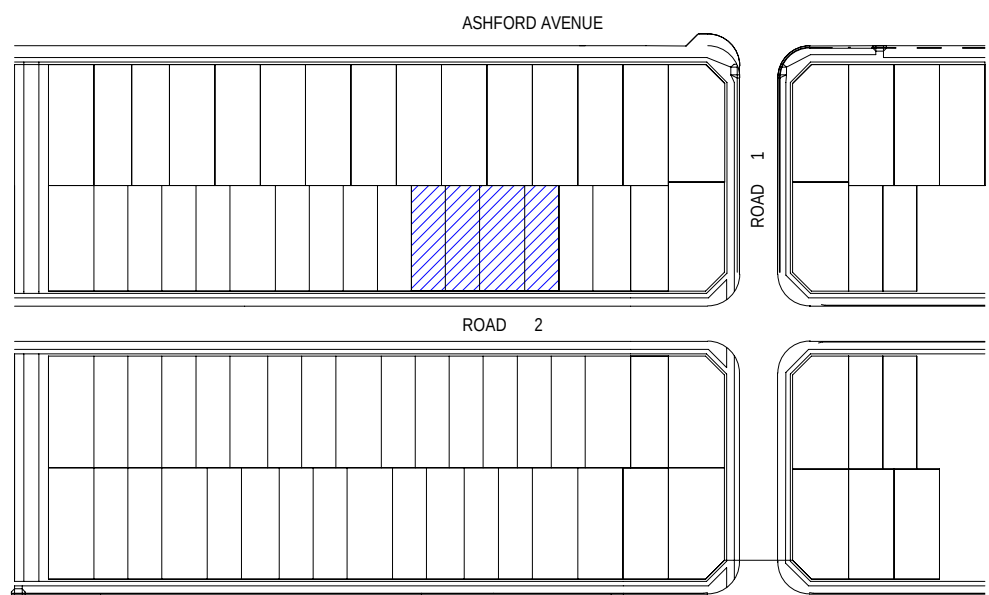
Approved on: 6 August 2026

Signed: MG

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1 GROUND FLOOR PLAN - LOT 2106-2109

ROAD 2



0mm 100mm 200mm 300mm

WINDOW SCHEDULE 2101					
Window No.	Type	Width	Height	Description	Count
W-03	SA1007	730	1030		1
W-03_OBS	SA1007_OBS	730	1030	OBSOLETE	1
W-05	SA1307	730	1370		2
W-07	SA1307T	730	1800		1
W-12	SA1308	850	1370		2
W-13	SA2008T	850	2035		6
W-24L	SA2018T_L SPECIAL	1810	2035	2035H x 1810W SA2008T WITHIN	1
W-29	SA1326 SPECIAL	2650	1370	1370H x 2650W SA1307 WITHIN	1
W-31	SF1308	850	1370		1
W-32L	SSD2436_L	3580	2400		1
W-37	SA0612	1210	600		1
W-38	SA2024T_R SPECIAL	2410	2035	2035H x 2410W SA2008T WITHIN	1
W-39	SA1324_R SPECIAL	2410	1370	1370H x 2410W SA1308 WITHIN	1
W-40	SXD2118_R	1810	2100		2
W-42_OBS	SA1014_R_OBS	1450	1030	OBSOLETE	1
W-43	SA1322_L	2170	1370		1

DOOR SCHEDULE 2101			
Door No.	Height	Leaf Width	O/A Frame Width
D-07R	2100	820	900
D-04L_8G	2400	920	1450
D-08	2400	820	900

100mm

200mm

300mm



Department of Planning,
Housing and Infrastructure

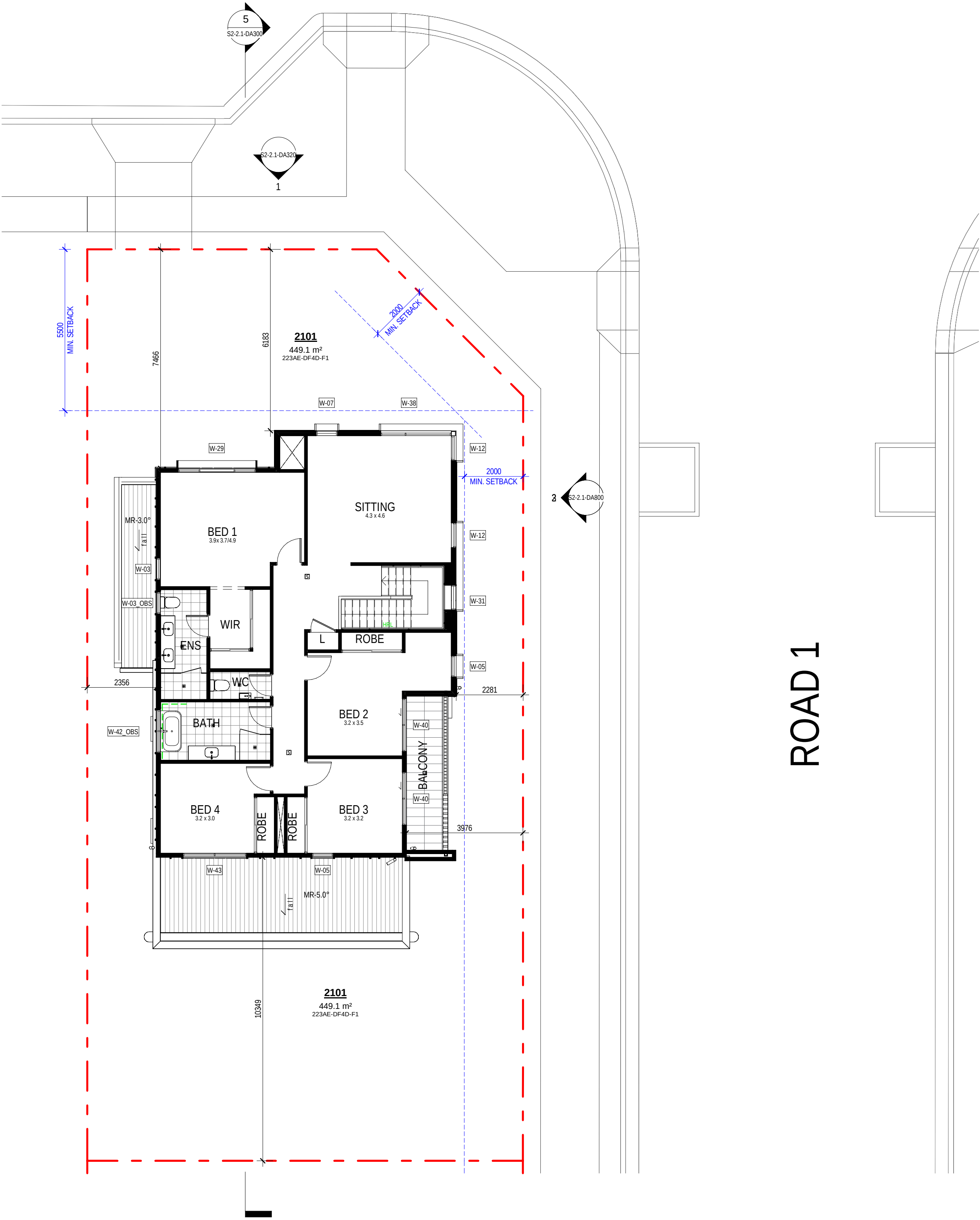
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

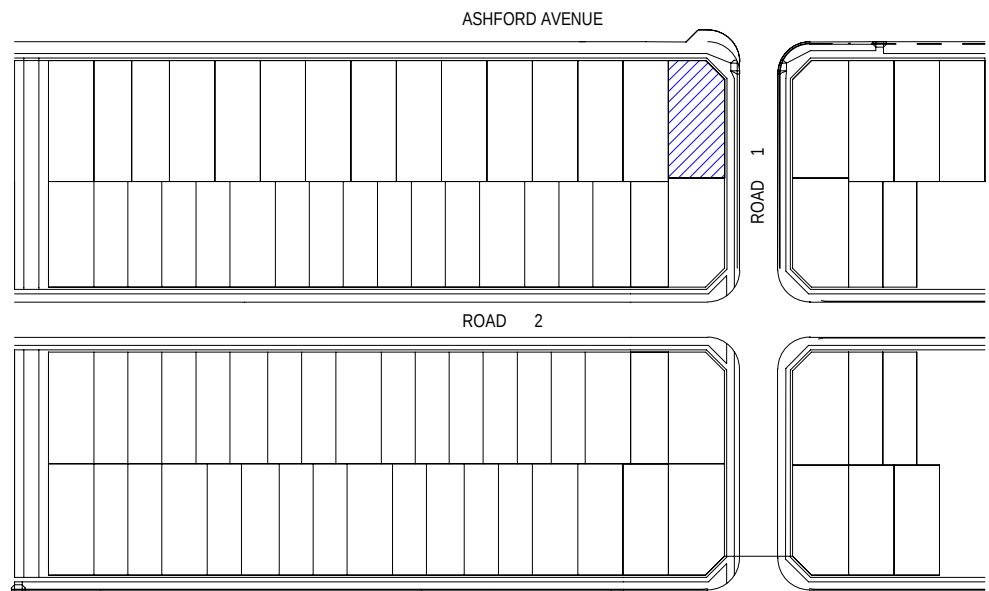
Approved on: 6 August 2026

Signed: MG

Sheet No: 13 of 39



1 FIRST FLOOR PLAN - LOT 2101



FLOOR PLAN	
720	DOOR LEAF SIZE - AS SHOWN @ 2340mm HIGH UNO
720L	DOOR LEAF SIZE - DOOR WITH LIFT OFF HINGES
AC	AIRCON CONDENSER
ACD	AIRCON DUCT
ACE	AIRCON EVAPORATOR
APG	ALUMINUM PERGOLA TO DETAIL
BAL	BALUSTRADE
BAT	BATTERY STORAGE UNIT
BH	BULKHEAD OVER
BO	STRUCTURAL BEAM OVER TO ENGINEER'S DETAIL
BOW	BOTTOM OF WALL LEVEL
BS	STRUCTURAL BEAM IN WALL OVER
C	CUPBOARD
CSD	CAVITY SLIDER DOOR
CT	COOKTOP
D	DOOR
DP	DOWNSPIRE
DPS	DOWNSPIRE & SPREADER
DS	DRYER SPACE
DW	DISHWASHER SPACE
EOL	EXISTING GROUND LEVEL
EDME	EXHAUST TO RAISES OR SOFFIT
EXHR	EXHAUST TO ROOF
EXHW	EXHAUST TO WALL
F	REFRIGERATOR SPACE
FRL	FINISHED RELATIVE LEVEL
FSC	FIRE STANDING COOKER
FW	FLOOR WASTE
GD	GARAGE DOOR OPENING AS SPECIFIED
GM	GAS METER
HC	HOSE COCK
HCR	HOSE COCK RECYCLE
HDC	HARDWARE DISTRIBUTION CABINET
HH	HEAD OF OPENING - HEIGHT AS NOTED
HSL	HANDRAIL - 1000mm HIGH MIN.
HMU	HOT WATER UNIT
HMU	INSTANTANEOUS HOT WATER UNIT
INS	INSULATION
INW	INVERTER
L	LINEN
LB	LETTER BOX
LHW	LOW HEIGHT WALL - HEIGHT AS NOTED
LWD	LINE OF WALL OVER
MB	ELECTRICAL METERBOX
MH	MANHOLE ACCESS PANEL
MR	METAL ROOF - PITCH AS NOTED
MW	MICROWAVE SPACE
NBN	NATIONAL BROADBAND NETWORK
NCOP	NON COMBUSTIBLE DOWNSPIRE (NSW ONLY)
OPW	OVERFLOW FLOOR WASTE
P	PANTRY
PCD	PROMISES CONNECTION DEVICE
PWM	NON POTABLE RECYCLED WATER METER
RH	RANGEHOOD
RL	RENDERED LEVEL
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
S	STORAGE
SD	STEPODOWN
SA	SMOKE ALARM
SCR	SCREEN
SK	SINK
SL	SKYLIGHT OVER
SN	SHOWER NICH
SP	STRUCTURAL POST TO ENGINEER'S DETAIL
SRL	STRUCTURAL RELATIVE LEVEL
SS	SERVICE STACK
ST	STORAGE
TOW	TOP OF WALL LEVEL
TP	TIMBER POST - SIZE AS NOTED
TPG	TIMBER PERGOLA TO DETAIL
TR	TILED ROOF - PITCH AS NOTED
UBO	UNDER BENCH OVEN
VJ	VERTICAL JOINT
W	WINDOW
WCL	WALL MOUNTED CLOTHES LINE
WIP	WALK-IN PANTRY
WMS	WASHING MACHINE SPACE
WM	WATER METER
WO	WALL OVEN
WTC	RAINWATER TANK CONTROL
XOX	ENGAGED PERS. SPACINGS VARIES
	CENTRES TO END'S DESIGN
LIVABLE HOUSING	
THESE DESIGNS MEET COUNCIL'S CONTROLS AS OUTLINES IN SECTION 11.1 LIVABLE HOUSING OF THE RESIDENTIAL ACCOMMODATION TOP ONLY	
INDICATES WALL WITH REINFORCEMENT TO	
ENABLE INSTALLATION OF FUTURE	
GRABRAILS	
GREEN DIMENSIONS INDICATE MINIMUM	
CLEARANCES	
WET AREA WALLS:	
WALLS AROUND THE TOILET, SHOWER AND BATH TO BE REINFORCED TO SUPPORT SAFE INSTALLATION OF FUTURE GRABRAILS BY OCCUPANTS	
OBSOLETE WINDOWS	
W-XX_OBS	WINDOWS TAGGED WITH SUFFIX OBS INDICATES OBSOLETE GLAZING

WINDOW SCHEDULE 2102					
Window No.	Type	Width	Height	Description	Count
W-03_OBS	SA1007 OBS	730	1030	OBSURE	1
W-04	SA1207	730	1200		2
W-05	SA1307	730	1370		3
W-06	SP3307	730	1370		1
W-07	SA1807T	730	1800		1
W-08	SA2007T	730	2035		1
W-14_OBS	SA1009 OBS	950	1030	OBSURE	1
W-20	SDX2416_R	1570	2400		1
W-21L	SA1218_R	1810	1200		1
W-22L	SA1318_L SPECIAL	1810	1370	1370H x 1810W SA1308 WITHIN	1
W-24L	SA208T_L SPECIAL	1810	2035	2035H x 1810W SA2008T WITHIN	1
W-27R	SDX2122_R	2170	2100		1
W-29	SA1326 SPECIAL	2650	1370	1370H x 2650W SA1307 WITHIN	1
W-32R	SDS2436_R	3580	2400		1
W-41	SA2016T_R	1570	2035		1

WINDOW SCHEDULE 2106					
Window No.	Type	Width	Height	Description	Count
W-01	SA1305 SPECIAL	500	1370		1
W-02_OBS	SA1006 OBS	610	1030	OBSCUR	2
W-04	SA1207	730	1200		1
W-08	SA2007T	730	2035		3
W-10_OBS	SA1208 OBS	850	1200	OBSCUR	1
W-12	SA1308	850	1370		1
W-17	SA1606	1570	600		1
W-19L	SXD2116_L	1570	2100		1
W-21L	SA1218_L	1810	1200		3
W-22R	SA1318_R SPECIAL	1810	1370		1
W-24R	SA2018T_R SPECIAL	1810	2035	2035H x 1810W SA2008T WITHIN	1
W-36	SSD2432_R	3160	2400		1

DOOR SCHEDULE 2106			
Door No.	Height	Leaf Width	O/A Frame Width
D-07R	2100	820	900
D-04_6G	2400	920	1000

WINDOW SCHEDULE 2107					
Window No.	Type	Width	Height	Description	Count
W-03_OBS	SA1007 OBS	730	1030	OBSCUR	1
W-04	SA1207	730	1200		1
W-05	SA1307	730	1370		1
W-08	SA2007T	730	2035		5
W-11	SF1208	850	1200		1
W-15_OBS	SA1010 OBS	970	1030	OBSCUR	1
W-18	SA2010T_R SPECIAL	1570	2035	2035H x 1570W SA2007T WITHIN	1
W-19R	SXD2116_R	1570	2100		1
W-21L	SA1218_L	1810	1200		2
W-21R	SA1218_R	1810	1200		1
W-23	SA2018T_L	1810	2035		1
W-27L	SXD2122_L	2170	2100		1
W-29	SA1326 SPECIAL	2650	1370	1370H x 2650W SA1307 WITHIN	1
W-32L	SSD2436_L	3580	2400		1

DOOR SCHEDULE 2107			
Door No.	Height	Leaf Width	O/A Frame Width
D-07L	2100	820	900
D-03R_6G	2400	920	1500

WINDOW SCHEDULE 2108					
Window No.	Type	Width	Height	Description	Count
W-01	SA1305 SPECIAL	500	1370		1
W-02_OBS	SA1006 OBS	610	1030	OBSCUR	2
W-04	SA1207	730	1200		1
W-08	SA2007T	730	2035		5
W-10_OBS	SA1208 OBS	850	1200	OBSCUR	1
W-12	SA1308	850	1370		1
W-19L	SXD2116_L	1570	2100		1
W-21L	SA1218_L	1810	1200		3
W-24L	SA2018T_L SPECIAL	1810	2035	2035H x 1810W SA2008T WITHIN	1
W-30	SSD2426_R	2685	2400		1
W-33	SA1317_R SPECIAL	1700	1370		1

DOOR SCHEDULE 2108			
Door No.	Height	Leaf Width	O/A Frame Width
D-07R	2100	820	900
D-04_6G	2400	920	1000

WINDOW SCHEDULE 2109					
Window No.	Type	Width	Height	Description	Count
W-01	SA1305 SPECIAL	500	1370		1
W-02_OBS	SA1006 OBS	610	1030	OBSCUR	2
W-04	SA1207	730	1200		1
W-05	SA1307	730	1370		1
W-08	SA2007T	730	2035		3
W-10_OBS	SA1208 OBS	850	1200	OBSCUR	1
W-17	SA1606	1570	600		1
W-19L	SXD2116_L	1570	2100		1
W-21L	SA1218_L	1810	1200		3
W-24R	SA2018T_R SPECIAL	1810	2035	2035H x 1810W SA2008T WITHIN	1
W-26	SA1320_L SPECIAL	2080	1370	1370H x 2080W SA1308 WITHIN	1
W-36	SSD2432_R	3160	2400		1

DOOR SCHEDULE 2109			
Door No.	Height	Leaf Width	O/A Frame Width
D-07R	2100	820	900
D-05_6G	2400	920	1000



1 FIRST FLOOR PLAN - LOT 2106-2109



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ROAD 2



0mm
100mm
200mm
300mm

100mm

200mm

300mm

ASHFORD AVENUE

ROAD 1

ROOF PLAN		
APG	ALUMINIUM PERGOLA TO DETAIL	
BG	BOX GUTTER	
DP	DOWNPipe	
DPS	DOWNPipe & SPREADER	
DP-100	DOWNPipe 100mm DIA	
EXHR	EXHAUST TO ROOF	
MR	METAL ROOF	
OF	OVERFLOW	
PV	PHOTOVOLTAIC SOLAR PANEL	
RWH	RAINFALL WATER HEAD	
SHMP	SOLAR HOT WATER PANEL	
SL	SKY LIGHT	
TYPE	TIMBER PERGOLA TO DETAIL	
TR	TILED ROOF - PITCH AS NOTED	
XX	RAISED SUFFIT	
XX	FIRE RATED JAWERSOFFIT	
ROOF COLOUR		
SOLAR REFLECTIVE INDEX (SRI)		
ROOF PITCH	COLOUR	SRI
< 15°	SHALE GREY	66



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Housing and Infrastructure

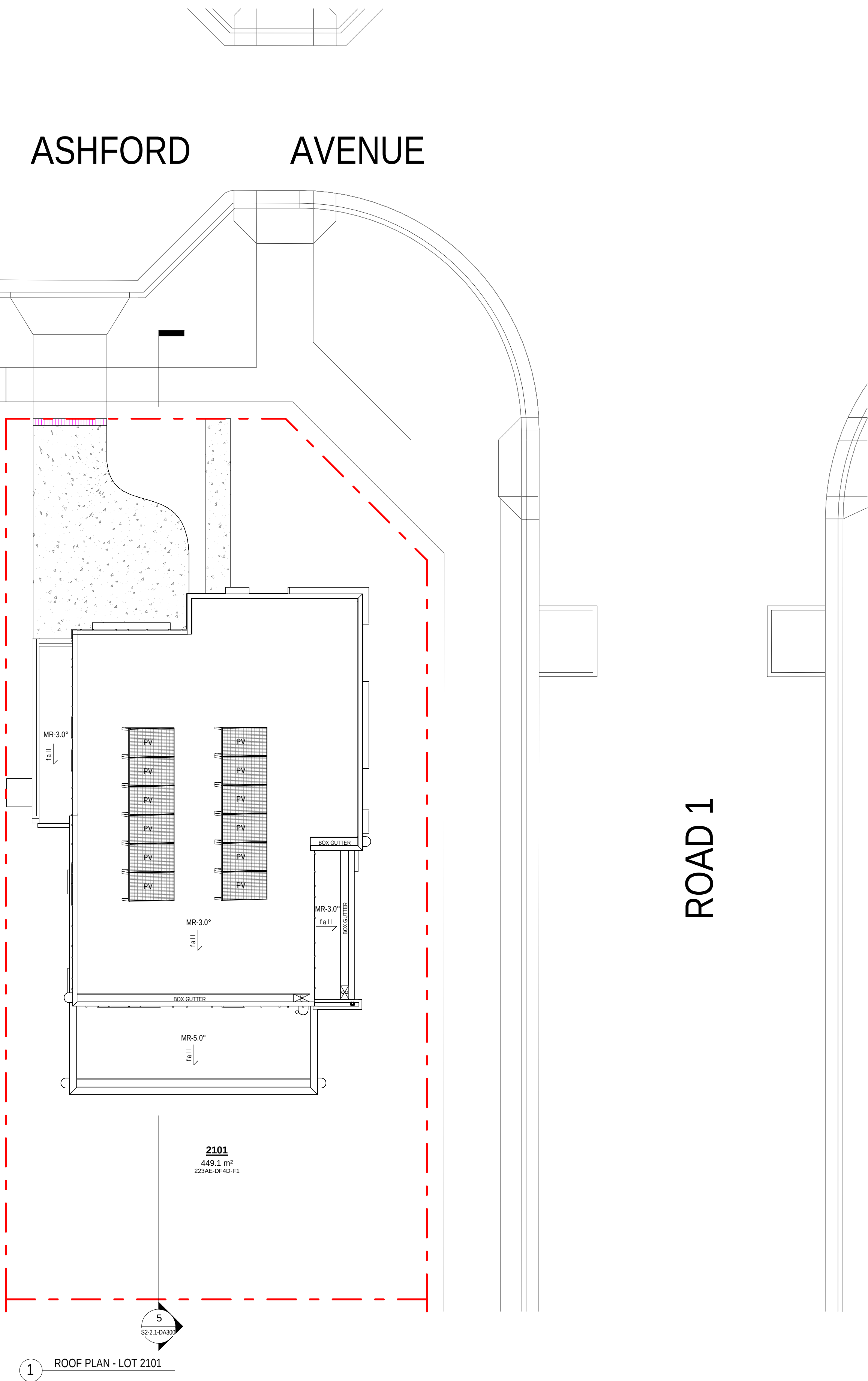
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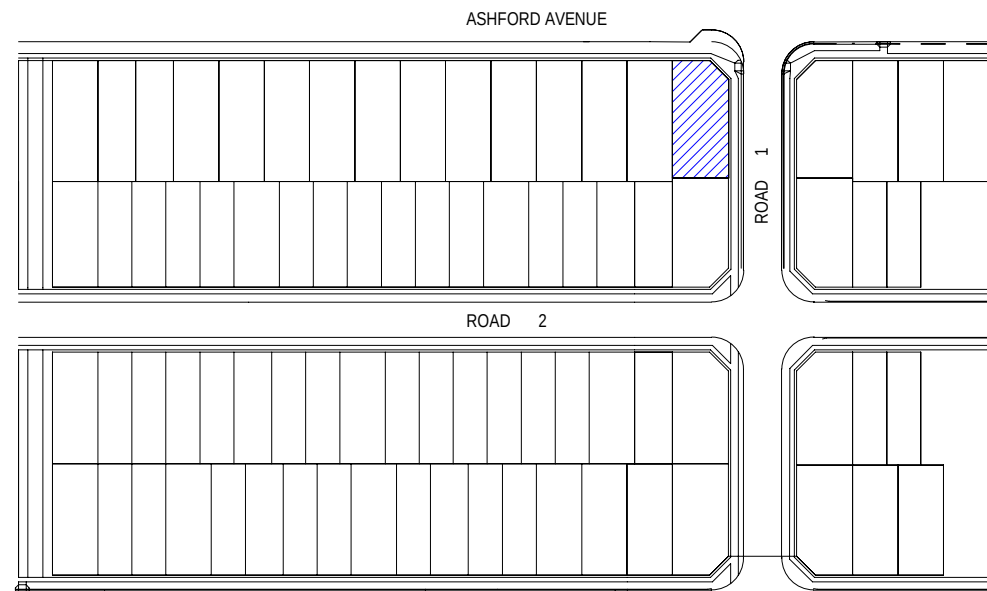
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1 ROOF PLAN - LOT 2101



31.10.25	B	ISSUE TO SSDA FOR APPROVAL
08.08.25	A	PRELIMINARY ISSUE FOR CONSULTANT
date	rev	amendment

MIRVAC DESIGN
Level 28 200 George St
Sydney NSW 2000
Tel: 02 9550 1000
Mirvac Design Pty Ltd
ABN 70 007 959 931
Mirvac Design Nominees / Responsible Architects
Anda Verma, Andrew La, David Hest, Michael Wilson
http://www.mirvacdesign.com/mirvacdesign/andabest



project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
ROOF PLANS - LOT 2101

job no: MB-10418
drawing no: S2-2.1-DA230
scale @ A1 : 1 : 100
date: 31.10.25 rev: B



100mm

200mm

300mm



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1 ROOF PLAN - LOT 2102-2105

ROAD 2

**MIRVAC
DESIGN**

Level 28 200 George St
Sydney NSW 2000
T (2) 9060 8000

architecture
urban design
interior design
graphic design

Mirvac Design Pty Ltd
ABN 78 003 359 153

Mirvac Design Nominated / Responsible Architects
Amita Verma, Andrew La, David Hirst, Michael Wines
<https://www.mirvacdesign.com/nominated-architects>

client:


mirvac

project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
ROOF PLANS - LOT 2102-2105

job no: MB-10418
drawing no: S2-2.1-DA231
scale @ A1 : 1 : 100
date: 31.10.25 rev: B

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0mm
100mm
200mm
300mm



Department of Planning,
Housing and Infrastructure

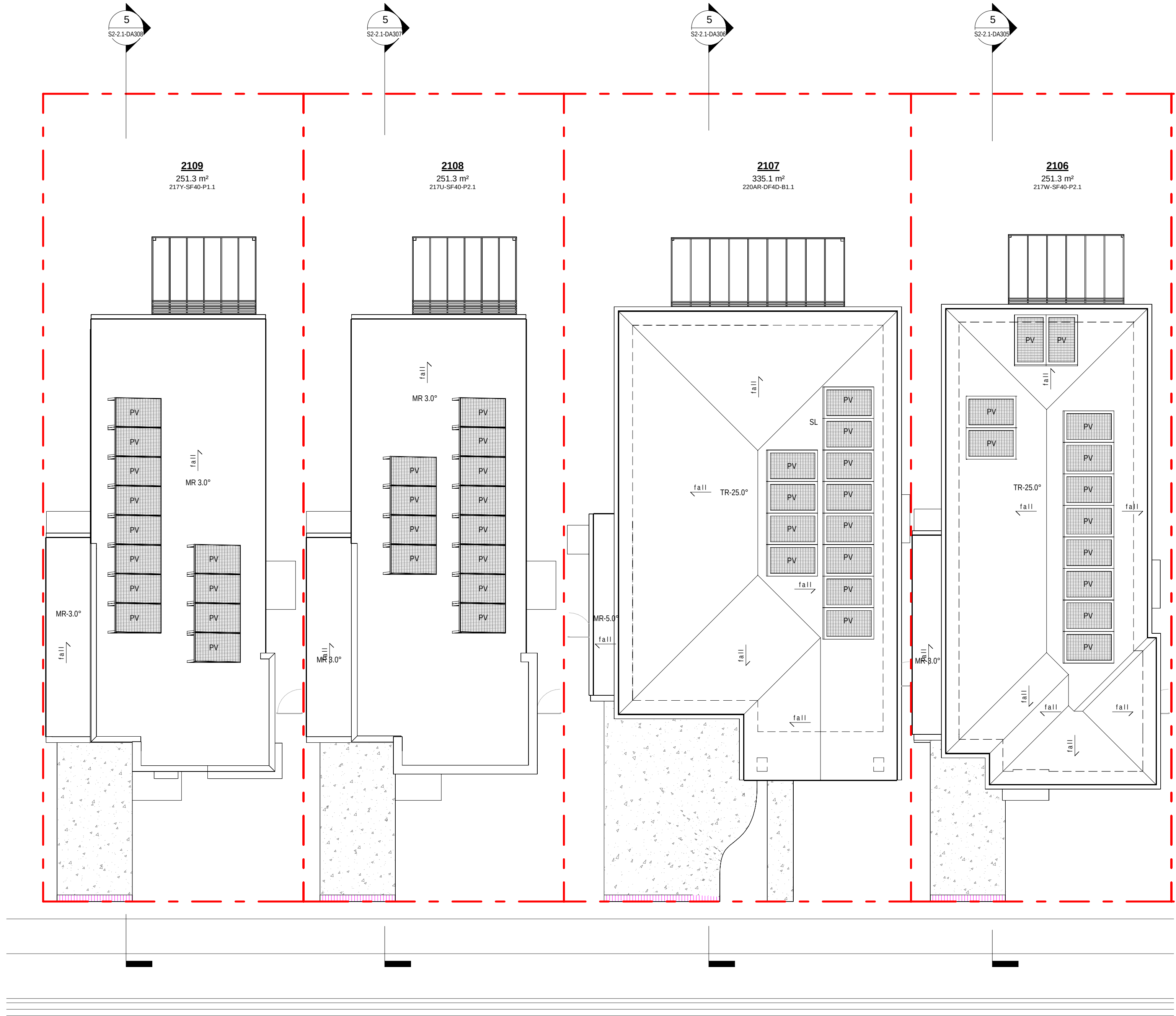
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

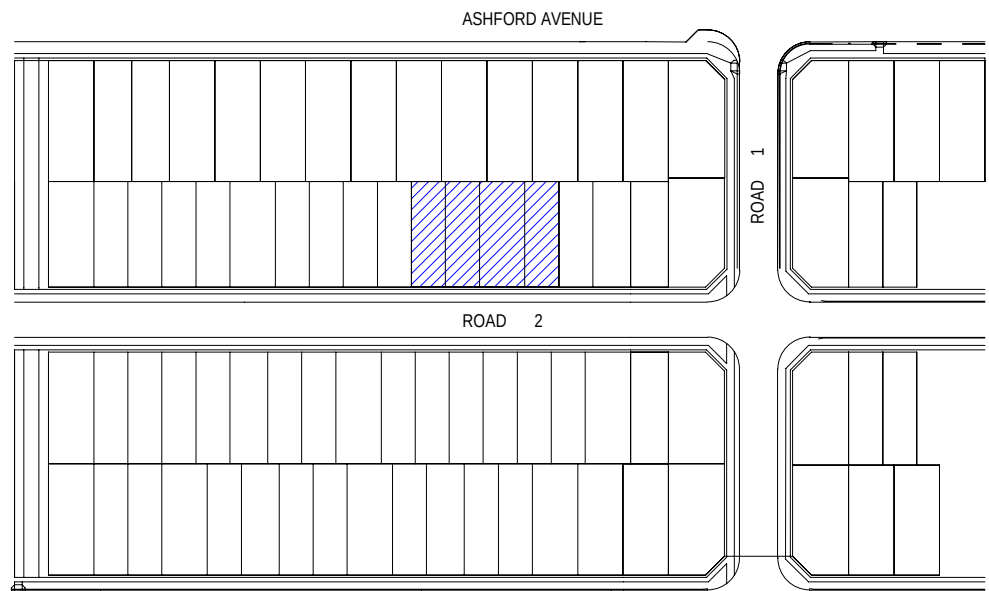
Sheet No: 18 of 39



ROAD 2

1 ROOF PLAN - LOT 2106-2109

ROOF PLAN		
APG	ALUMINUM PERGOLA TO DETAIL	
BG	BOX GUTTER	
DP	DOWNPipe	
DPS	DOWNPipe & SPREADER	
DP-100	DOWNPipe 100mm DIA	
EXHR	EXHAUST TO ROOF	
MR	METAL ROOF	
OF	OVERFLOW	
PV	PHOTOVOLTAIC SOLAR PANEL	
RWH	RAINWATER HEAD	
SHMP	SOLAR HOT WATER PANEL	
SL	SKY LIGHT	
TYPE	TIMBER PERGOLA TO DETAIL	
TR	TILED ROOF - PITCH AS NOTED	
XXXX	RAISED SUFFIT	
XXXX	FIRE RATED JAWERSOFFIT	
ROOF COLOUR		
SOLAR REFLECTIVE INDEX (SRI)		
ROOF PITCH	COLOUR	SRI
< 15°	SHALE GREY	66



0mm

100mm

200mm

300mm

100mm

200mm

300mm

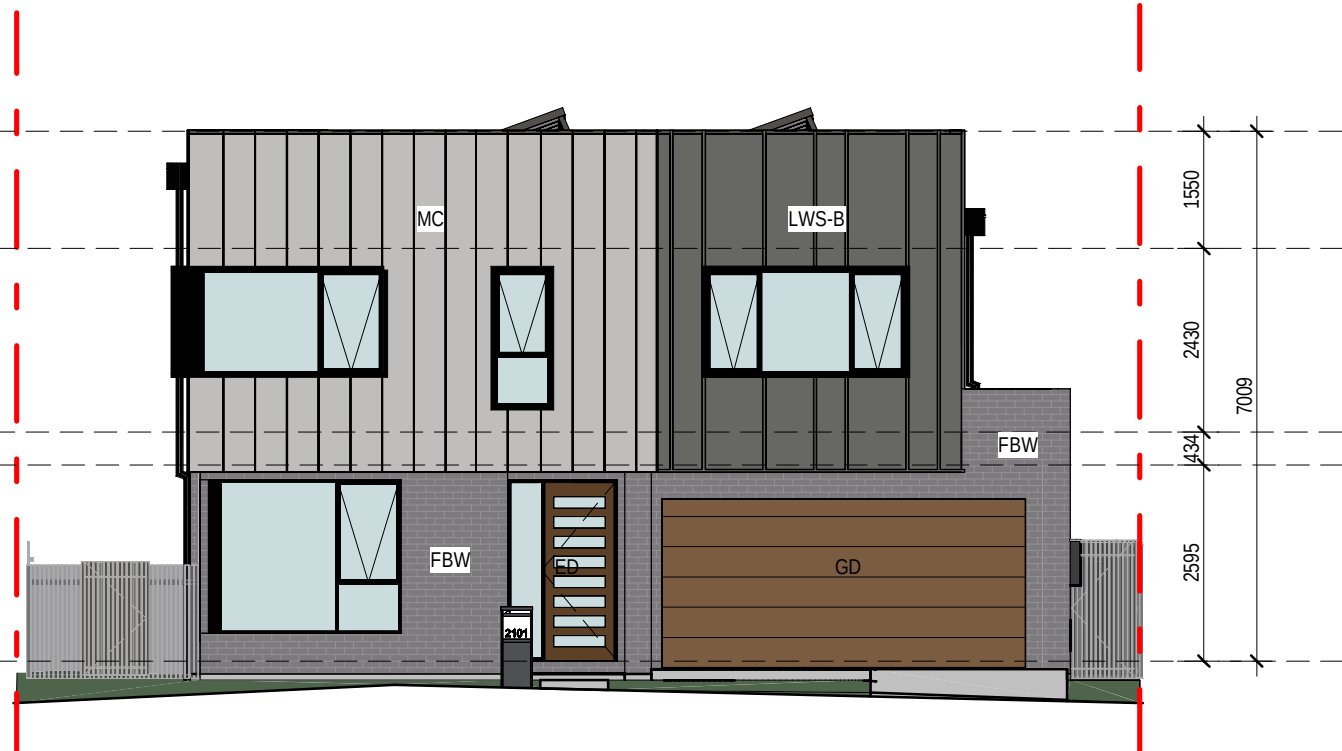
▽ RL 18784 Lot 2101 - Parapet

▽ RL 17234 Lot 2101 - FF CL

▽ RL 14804 Lot 2101 - FF

▽ RL 14370 Lot 2101 - GF CL

▽ RL 11775 Lot 2101 - GF



1 2101 - WEST ELEVATION
1:100

▽ RL 18784 Lot 2101 - Parapet

▽ RL 17234 Lot 2101 - FF CL

▽ RL 14804 Lot 2101 - FF

▽ RL 14370 Lot 2101 - GF CL

▽ RL 11775 Lot 2101 - GF



2 2101 - SOUTH ELEVATION
1:100

▽ RL 18784 Lot 2101 - Parapet

▽ RL 17234 Lot 2101 - FF CL

▽ RL 14804 Lot 2101 - FF

▽ RL 14370 Lot 2101 - GF CL

▽ RL 11775 Lot 2101 - GF



3 2101 - EAST ELEVATION
1:100

▽ RL 18784 Lot 2101 - Parapet

▽ RL 17234 Lot 2101 - FF CL

▽ RL 14804 Lot 2101 - FF

▽ RL 14370 Lot 2101 - GF CL

▽ RL 11775 Lot 2101 - GF



4 2101 - NORTH ELEVATION
1:100

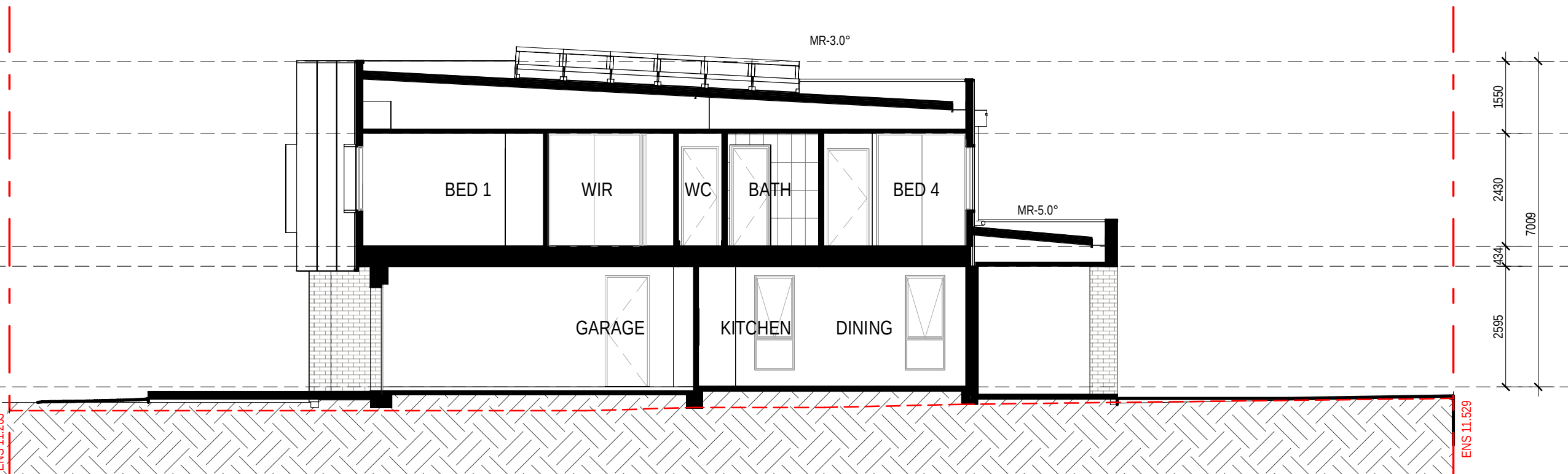
▽ RL 18784 Lot 2101 - Parapet

▽ RL 17234 Lot 2101 - FF CL

▽ RL 14804 Lot 2101 - FF

▽ RL 14370 Lot 2101 - GF CL

▽ RL 11775 Lot 2101 - GF



5 2101 - SECTION 1
1:100



Department of Planning,
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 19 of 39

12.03.26
31.10.25
08.08.25
date

C
B
A
rev

RE ISSUE TO SSDA FOR APPROVAL: EXTERNAL
COLOUR & FINISHES REVISED.
ISSUE TO SSDA FOR APPROVAL
PRELIMINARY ISSUE FOR CONSULTANT
amendment

MIRVAC
DESIGN
Level 28 200 George St
Sydney NSW 2000
Tel: 02 9550 0000
Mirvac Design Pty Ltd
ABN 70 007 959 531
Mirvac Design Nominees / Responsible Architects
Andra Verrea Andra La Cleud Herz Michael Winer
http://www.mirvacdesign.com/mirvacdesign/

dent
mirvac

project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
ELEVATIONS AND SECTIONS - LOT
2101

job no: MB-10418
drawing no: S2-2.1-DA300
scale @ A1 : 1:100
date: 12.03.26 rev: C

0mm

100mm

200mm

300mm

100mm

200mm

300mm

▽ RL 19164 Lot 2102 - Parapet

▽ RL 17614 Lot 2102 - FF CL

▽ RL 15184 Lot 2102 - FF

▽ RL 14750 Lot 2102 - GF CL

▽ RL 12155 Lot 2102 - GF

1 2102 - EAST ELEVATION

▽ RL 19164 Lot 2102 - Parapet

▽ RL 17614 Lot 2102 - FF CL

▽ RL 15184 Lot 2102 - FF

▽ RL 14750 Lot 2102 - GF CL

▽ RL 12155 Lot 2102 - GF

3 2102 - WEST ELEVATION



Department of Planning,
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 20 of 39

▽ RL 19164 Lot 2102 - Parapet

▽ RL 17614 Lot 2102 - FF CL

▽ RL 15184 Lot 2102 - FF

▽ RL 14750 Lot 2102 - GF CL

▽ RL 12155 Lot 2102 - GF

2 2102 - NORTH ELEVATION

1 : 100

▽ RL 19164 Lot 2102 - Parapet

▽ RL 17614 Lot 2102 - FF CL

▽ RL 15184 Lot 2102 - FF

▽ RL 14750 Lot 2102 - GF CL

▽ RL 12155 Lot 2102 - GF

4 2102 - SOUTH ELEVATION

1 : 100

▽ RL 19164 Lot 2102 - Parapet

▽ RL 17614 Lot 2102 - FF CL

▽ RL 15184 Lot 2102 - FF

▽ RL 14750 Lot 2102 - GF CL

▽ RL 12155 Lot 2102 - GF

5 2102 - SECTION 1

1 : 100

EXTERNAL FINISHES WALL TYPE

EXTENT OF FINISHES INDICATED ONLY.

REFER TO FINISHES SCHEDULE

FBW FACE BRICKWORK

RHP - 75 RENDERED HEBEL PANEL 75

RHP - 50 RENDERED HEBEL PANEL 50

VB LIGHTWEIGHT CLADDING - VERTICAL RIB

TIMBER LOOK

TL TILE FEATURE CLADDING

LWC - V LIGHT WEIGHT CLADDING - VERTICAL

LWC - H LIGHT WEIGHT CLADDING - HORIZONTAL

LWS RENDERED LIGHTWEIGHT SHEET CLADDING

LWS - B PAINTED LIGHTWEIGHT SHEET CLADDING

WITH FEATURE BATTENS

MC COLORBOND METAL CLADDING

VBS VERTICAL BLADE SCREEN

HBS HORIZONTAL BATTEN SCREEN

ED ENTRY DOOR

GD GARAGE DOOR

OBSCURE WINDOWS

GREY SHADING TO WINDOWS

INDICATES OBSCURE GLAZING

PROPOSED INTERLOT FENCE 1800mm HEIGHT

EXISTING NATURAL SURFACE LINE

EXISTING NATURAL SURFACE SPOT LEVEL

ENS xxxxx

NOTES:

THE RLS (REDUCED LEVELS) SHOWN ON THIS

DRAWING ARE SUBJECT TO A TOLERANCE OF

±300MM FROM THE FINAL CONSTRUCTED

RLS.

12.03.26

C

RE ISSUE TO SSDA FOR APPROVAL: EXTERNAL

COLOR & FINISHES REVISED.

ISSUE TO SSDA FOR APPROVAL

PRELIMINARY ISSUE FOR CONSULTANT

amendment

31.10.25

B

ISSUE TO SSDA FOR APPROVAL

08.08.25

A

PRELIMINARY ISSUE FOR CONSULTANT

date

rev

MIRVAC
DESIGN

Level 28 200 George St
Sydney NSW 2000
Tel: (02) 9550 9000

Mirvac Design Pty Ltd
ABN 70 003 959 331

Mirvac Design Nominees / Responsible Architects

Andi Verro, Andrew La, David Hest, Michael Winter

http://www.mirvacdesign.com/mirvacdesign/

dent

mirvac

project:

KINLEA - MILPERRA (WSU)

2 Bullecourt Avenue, Milperra NSW 2214

Stage: 2

Site: 2.1

Lot: 2101-2109

title:

ELEVATIONS AND SECTIONS - LOT

2102

job no:

MB-10418

drawing no:

S2-2.1-DA301

scale @ A1 : 1 : 100

date: 12.03.26

rev: C

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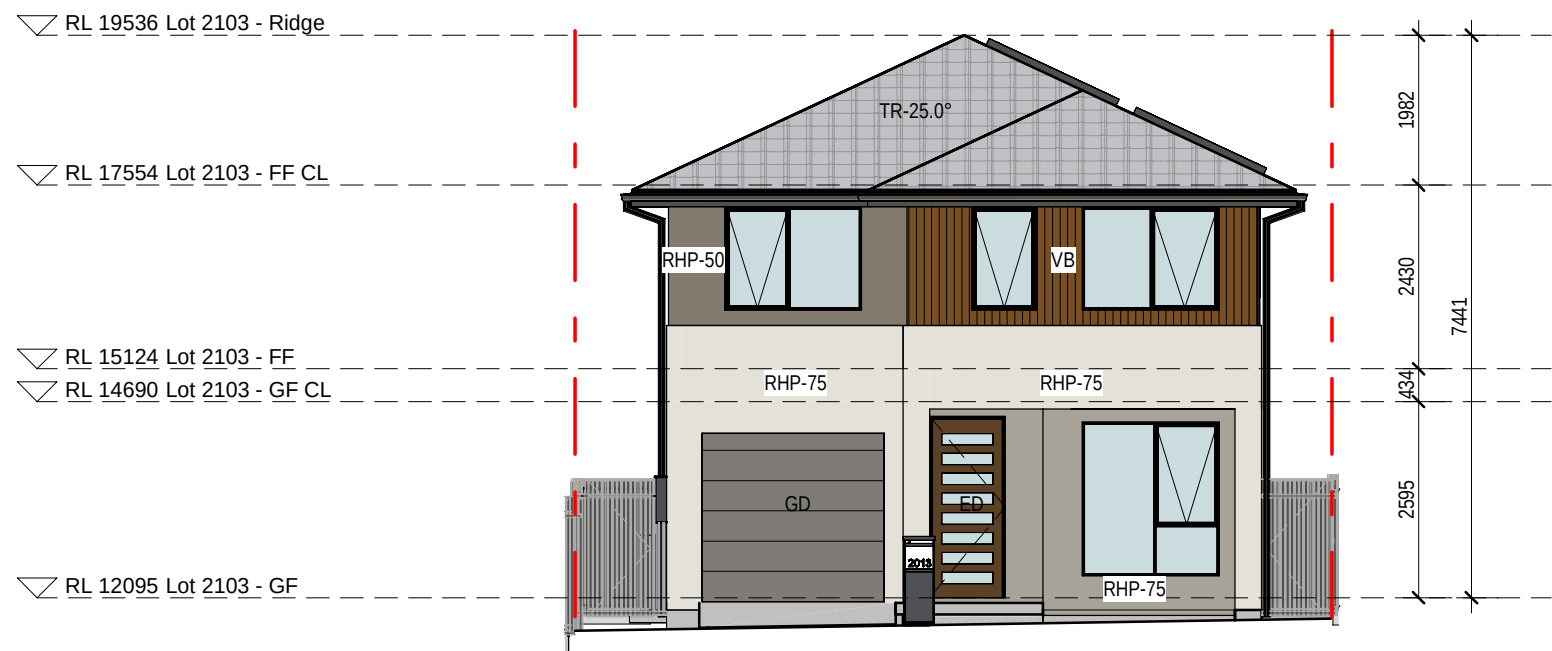
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300mm

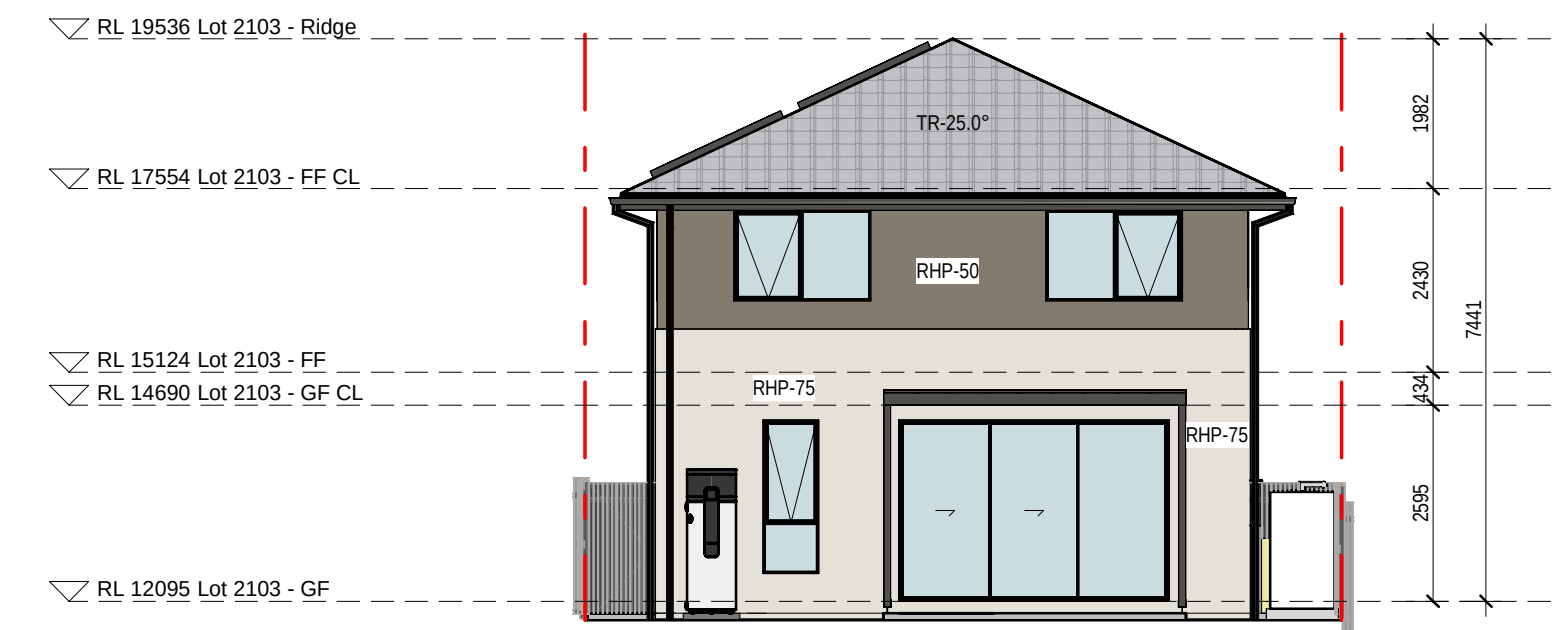
100mm

200mm

300mm



1 2103 - EAST ELEVATION
1:100



3 2103 - WEST ELEVATION
1:100

 **Department of Planning,
Housing and Infrastructure**

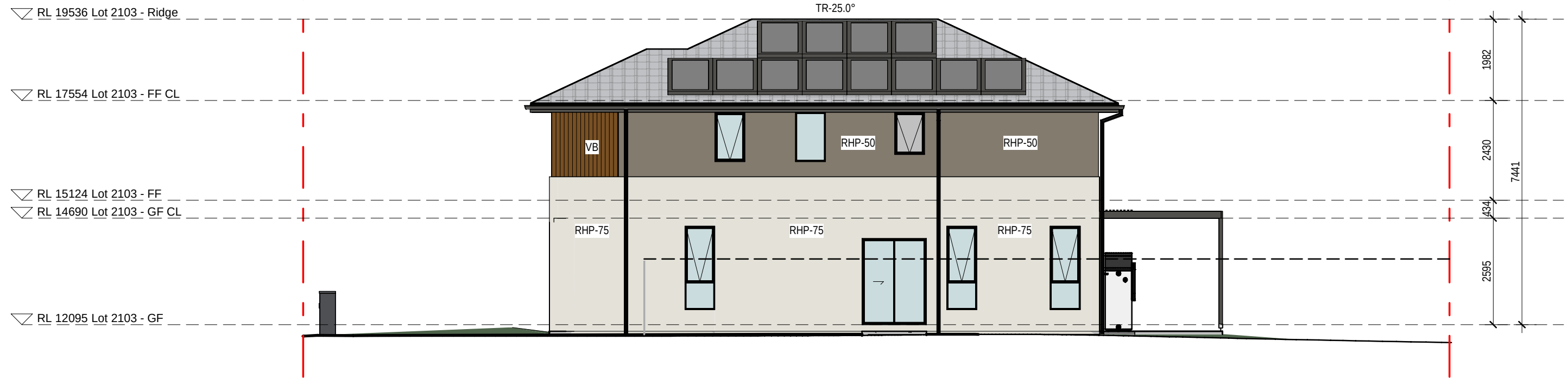
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

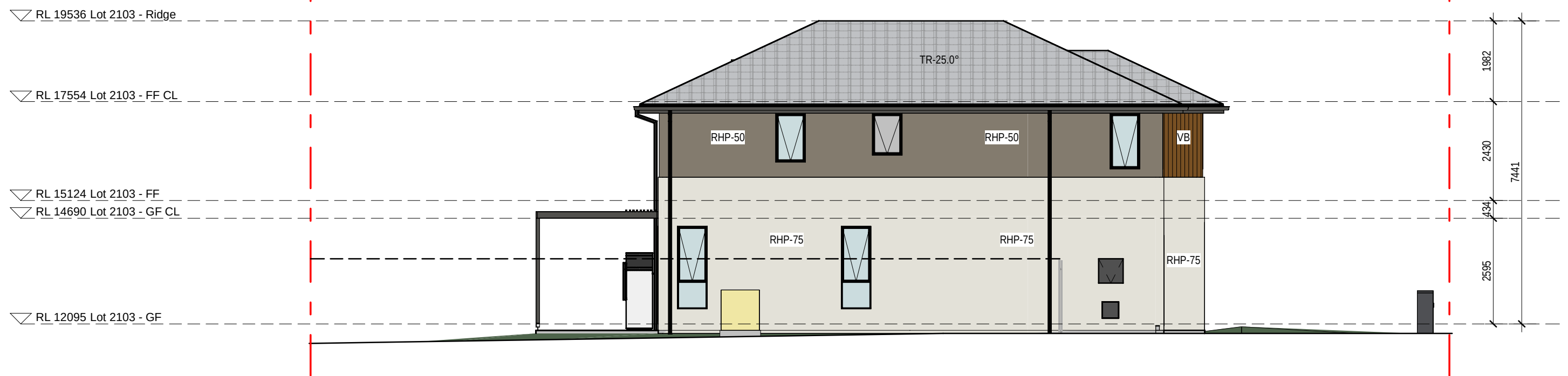
Approved on: 6 August 2026

Signed: MG

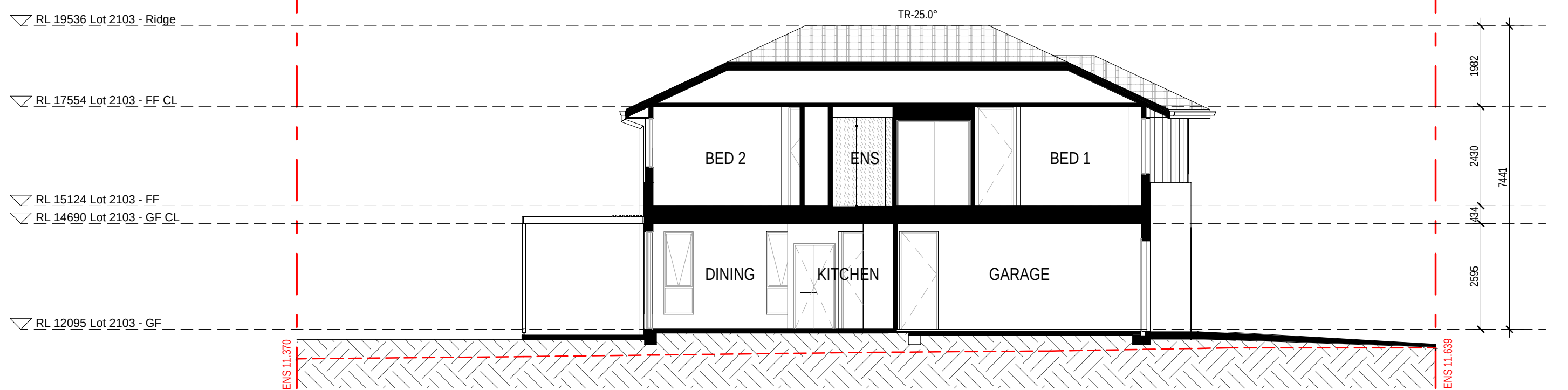
Sheet No: 21 of 39



2 2103 - NORTH ELEVATION
1:100



4 2103 - SOUTH ELEVATION
1:100



5 2103 - SECTION 1
1:100

EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RHP - 75	RENDERED HEBEL PANEL 75
RHP - 50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RIB TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC - V	LIGHT WEIGHT CLADDING - VERTICAL
LWC - H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWS - B	PAINTED LIGHTWEIGHT SHEET CLADDING WITH FEATURE BATTENS
MC	COLORBOND METAL CLADDING
VBS	VERTICAL BLADE SCREEN
HBS	HORIZONTAL BATTEN SCREEN
ED	ENTRY DOOR
GD	GARAGE DOOR
OBSCURE WINDOWS	
	GREY SHADING TO WINDOWS INDICATES OBSCURE GLAZING
PROPOSED INTERLOT FENCE 1800mm HEIGHT	

EXISTING NATURAL SURFACE LINE	

EXISTING NATURAL SURFACE SPOT LEVEL	
ENS xxxxx	
NOTES:	
THE RLS (REDUCED LEVELS) SHOWN ON THIS DRAWING ARE SUBJECT TO A TOLERANCE OF ±300MM FROM THE FINAL CONSTRUCTED RLS.	

12.03.26	C	RE ISSUE TO SSDA FOR APPROVAL: EXTERNAL COLOUR & FINISHES REVISED.
31.10.25	B	ISSUE TO SSDA FOR APPROVAL
08.08.25	A	PRELIMINARY ISSUE FOR CONSULTANT
08	REV	amendment

0mm

100mm

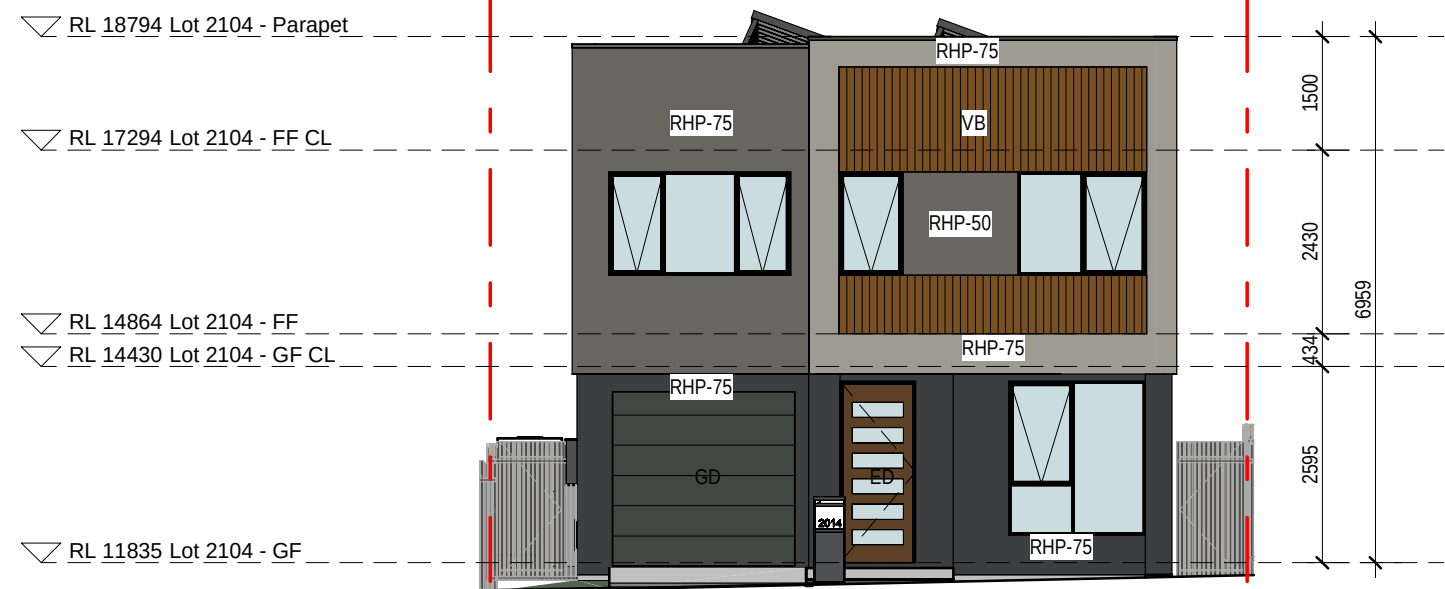
200mm

300mm

100mm

200mm

300mm



1 2104 - EAST ELEVATION



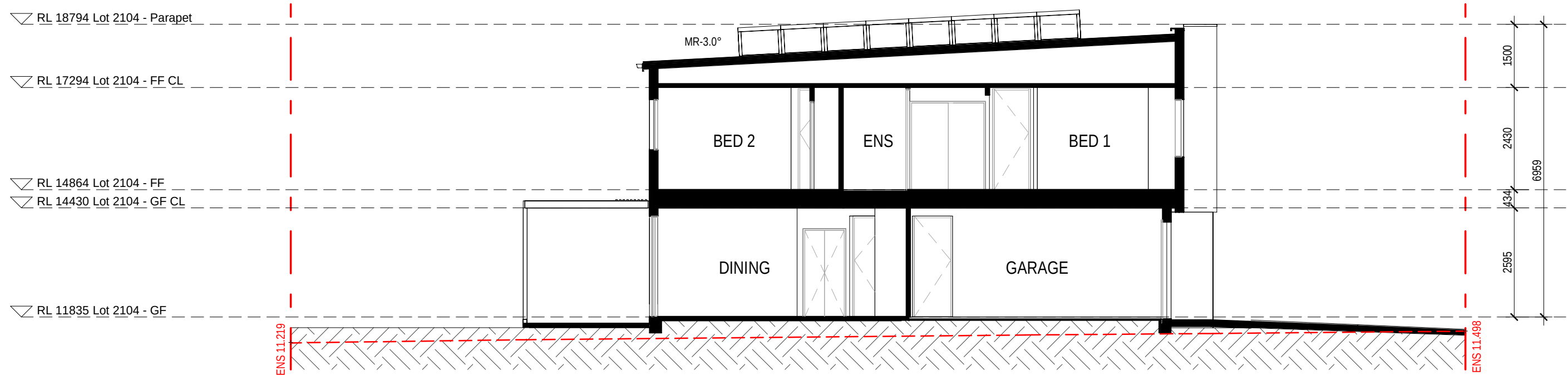
2 2104 - NORTH ELEVATION



3 2104 - WEST ELEVATION



4 2104 - SOUTH ELEVATION



5 2104 - SECTION 1

**Department of Planning,
Housing and Infrastructure**
Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD-97092958
Approved on: 6 August 2026
Signed: MG
Sheet No: 22 of 39

EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RHP-75	RENDERED HEBEL PANEL 75
RHP-50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RIB TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC-V	LIGHT WEIGHT CLADDING - VERTICAL
LWC-H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWS-B	PAINTED LIGHTWEIGHT SHEET CLADDING WITH FEATURE BATTENS
MC	COLORBOND METAL CLADDING
VBS	VERTICAL BLADE SCREEN
HBS	HORIZONTAL BATTEN SCREEN
ED	ENTRY DOOR
GD	GARAGE DOOR
OBSCURE WINDOWS	
	GREY SHADING TO WINDOWS INDICATES OBSCURE GLAZING
PROPOSED INTERLOT FENCE 1800mm HEIGHT	
EXISTING NATURAL SURFACE LINE	
EXISTING NATURAL SURFACE SPOT LEVEL	
ENS xxxxx	
NOTES: THE RLS (REDUCED LEVELS) SHOWN ON THIS DRAWING ARE SUBJECT TO A TOLERANCE OF ±300MM FROM THE FINAL CONSTRUCTED RLS.	

12.03.26	C	RE ISSUE TO SSDA FOR APPROVAL: EXTERNAL COLOUR & FINISHES REVISED.
31.10.25	B	ISSUE TO SSDA FOR APPROVAL
08.08.25	A	PRELIMINARY ISSUE FOR CONSULTANT
08	REV	amendment

MIRVAC DESIGN
Level 28 200 George St
Sydney NSW 2000
Tel: 02 9550 1000
Mirvac Design Pty Ltd
ABN 70 007 959 531
Mirvac Design Nominees / Responsible Architects
Anda Verrini, Andrew La, David Hest, Michael Weller
http://www.mirvacdesign.com/mirvacdesign/

dent
mirvac

project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
**ELEVATIONS AND SECTIONS - LOT
2104**

job no: MB-10418
drawing no: S2-2.1-DA303
scale @ A1 : 1 : 100
date: 12.03.26 rev: C

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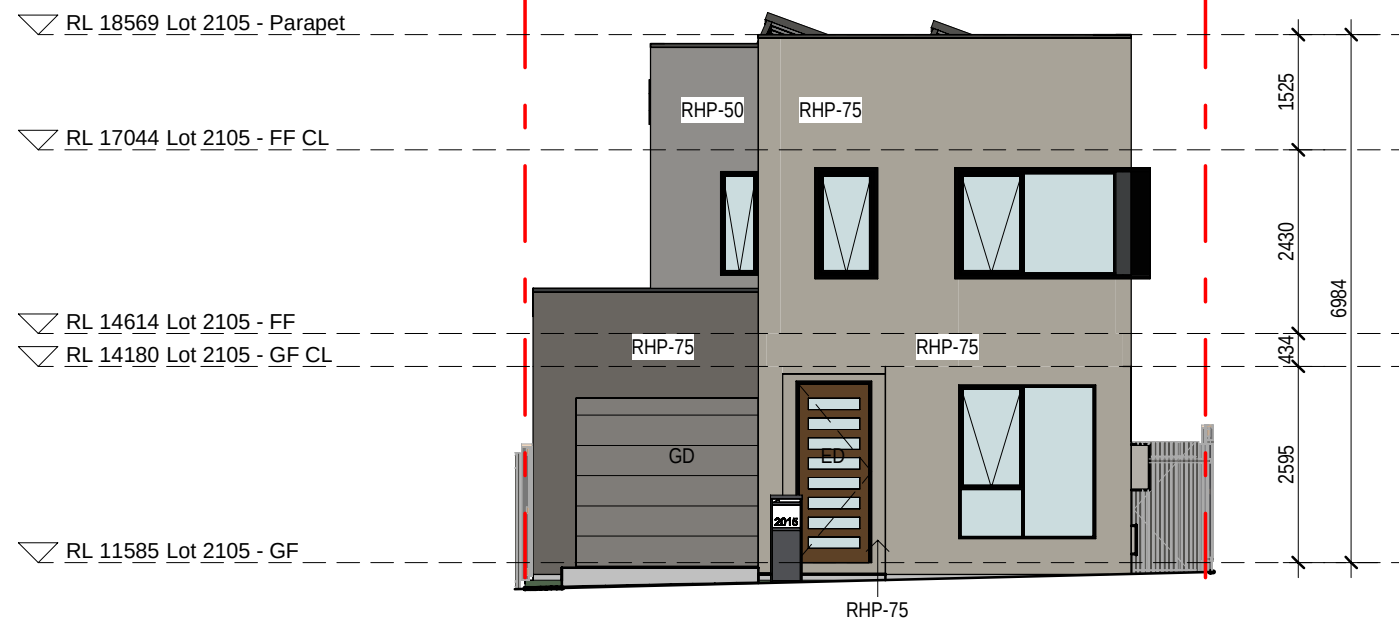
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200mm

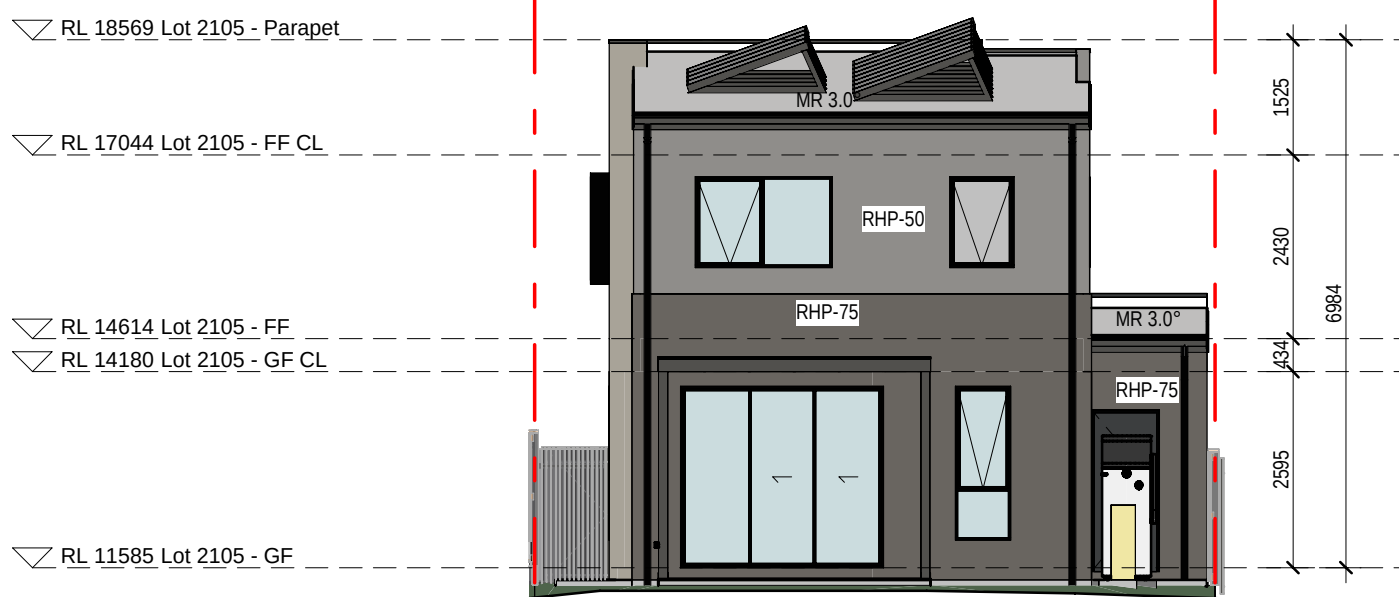
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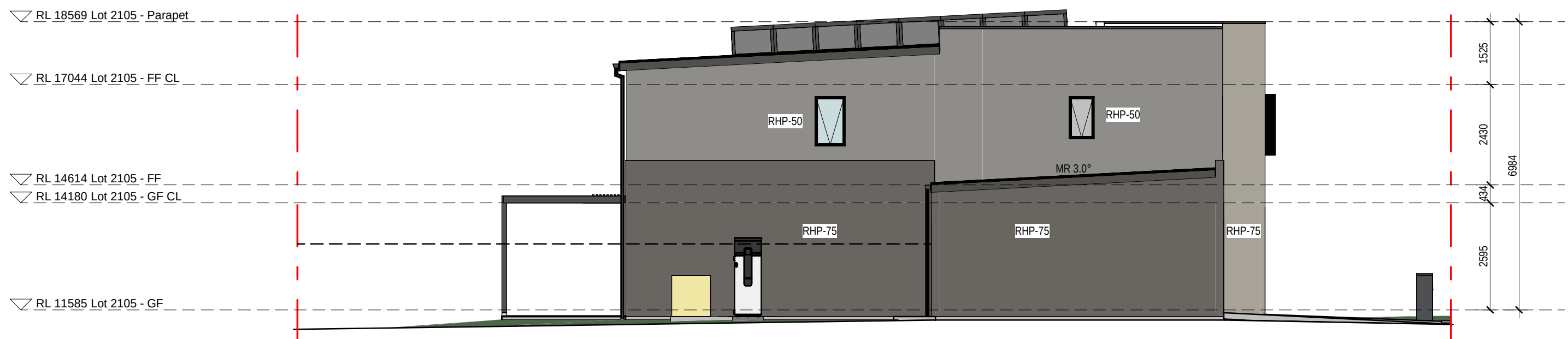
1 2105 - EAST ELEVATION
1 : 100



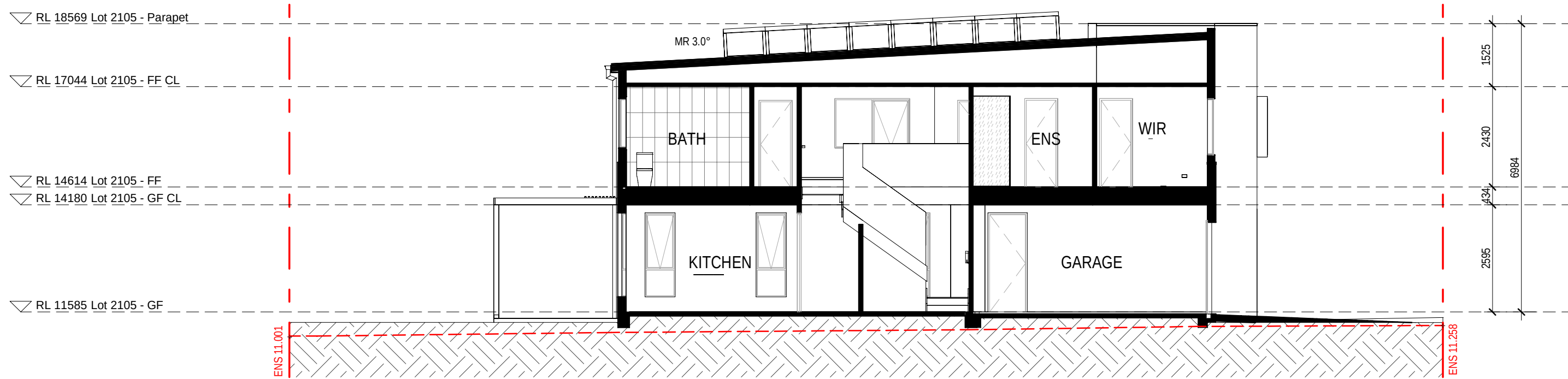
2 2105 - NORTH ELEVATION
1 : 100



3 2105 - WEST ELEVATION
1 : 100



4 2105 - SOUTH ELEVATION
1 : 100



5 2105 - SECTION 1
1 : 100

EXTERNAL FINISHES WALL TYPE

EXTENT OF FINISHES INDICATED ONLY.
REFER TO FINISHES SCHEDULE

FBW	FACE BRICKWORK
RHP - 75	RENDERED HEBEL PANEL 75
RHP - 50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RIB TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC - V	LIGHT WEIGHT CLADDING - VERTICAL
LWC - H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWS - B	PAINTED LIGHTWEIGHT SHEET CLADDING WITH FEATURE BATTENS
MC	COLORBOND METAL CLADDING
VBS	VERTICAL BLADE SCREEN
HBS	HORIZONTAL BATTEN SCREEN
ED	ENTRY DOOR
GD	GARAGE DOOR

OBSCURE WINDOWS

GREY SHADING TO WINDOWS
INDICATES OBSCURE GLAZING

PROPOSED INTERLOT FENCE 1800mm HEIGHT

EXISTING NATURAL SURFACE LINE

EXISTING NATURAL SURFACE SPOT LEVEL

ENS xxxxx

NOTES:

THE RLS (REDUCED LEVELS) SHOWN ON THIS
DRAWING ARE SUBJECT TO A TOLERANCE OF
±500MM FROM THE FINAL CONSTRUCTED
RLS.



Department of Planning,
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 23 of 39

12.03.26
31.10.25
08.08.25
date

C
B
A
rev

RE ISSUE TO SSDA FOR APPROVAL: EXTERNAL
COLOUR & FINISHES REVISED.
ISSUE TO SSDA FOR APPROVAL
PRELIMINARY ISSUE FOR CONSULTANT
amendment

MIRVAC
DESIGN

Level 28 200 George St
Sydney NSW 2000
Tel: 02 9550 0000

Mirvac Design Pty Ltd
ABN 70 007 959 531

Mirvac Design Nominees / Responsible Architects:
Anda Verro, Andrew La, David Hest, Michael Wilson
http://www.mirvacdesign.com/nominees-and-associates

dent
mirvac

project:

KINLEA - MILPERRA (WSU)

2 Bullecourt Avenue, Milperra NSW 2214

Stage: 2

Site: 2.1

Lot: 2101-2109

title:

ELEVATIONS AND SECTIONS - LOT
2105

job no:

MB-10418

drawing no:

S2-2.1-DA304

scale @ A1 : 1 : 100

date: 12.03.26

rev: C

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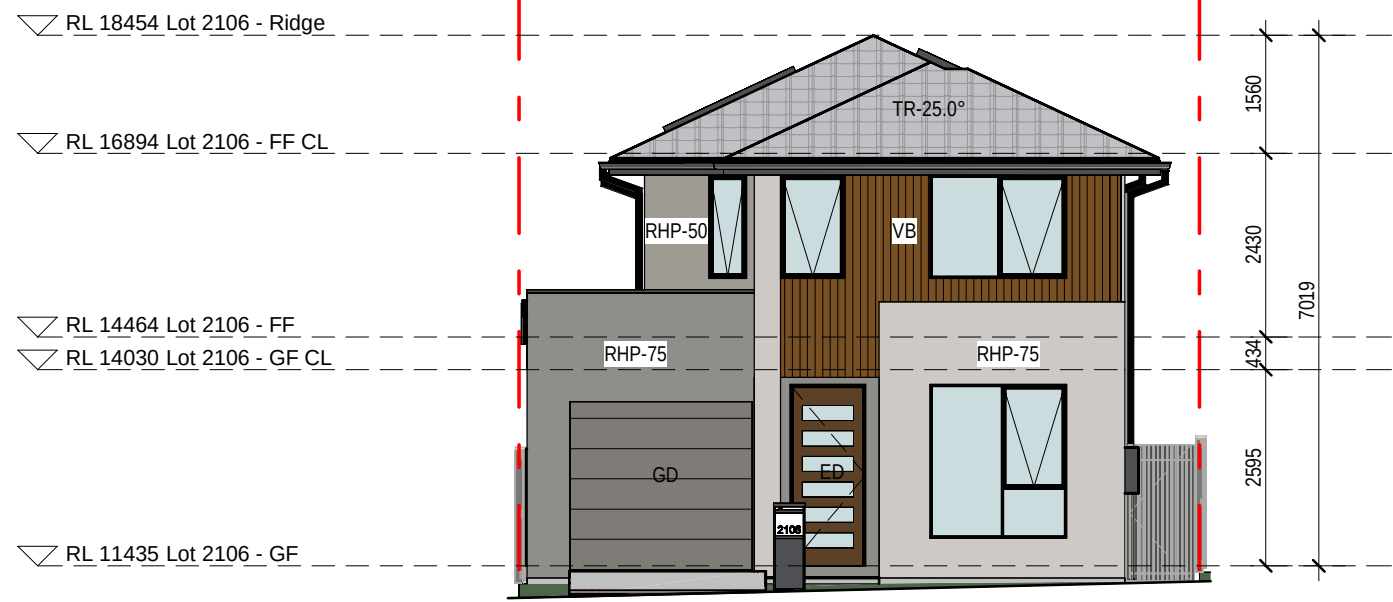
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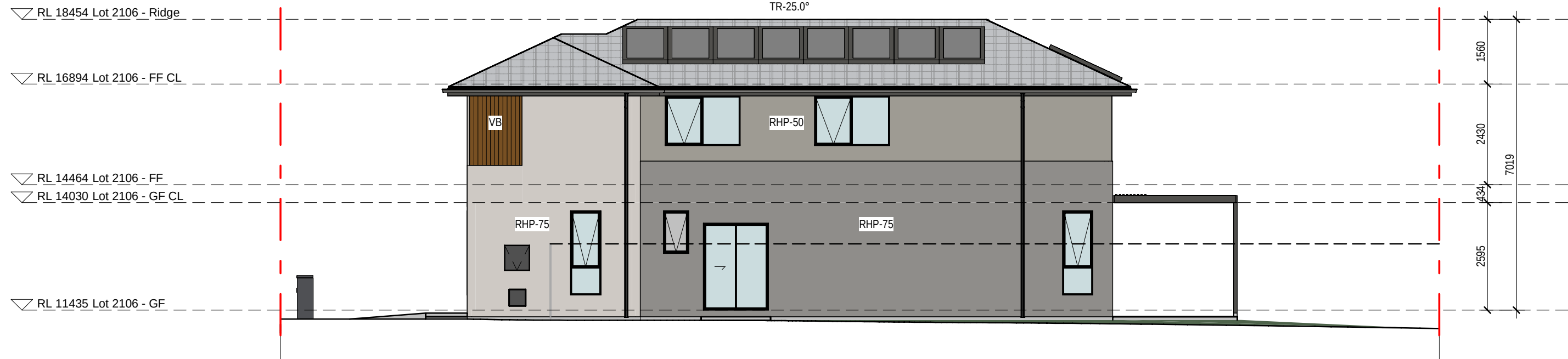
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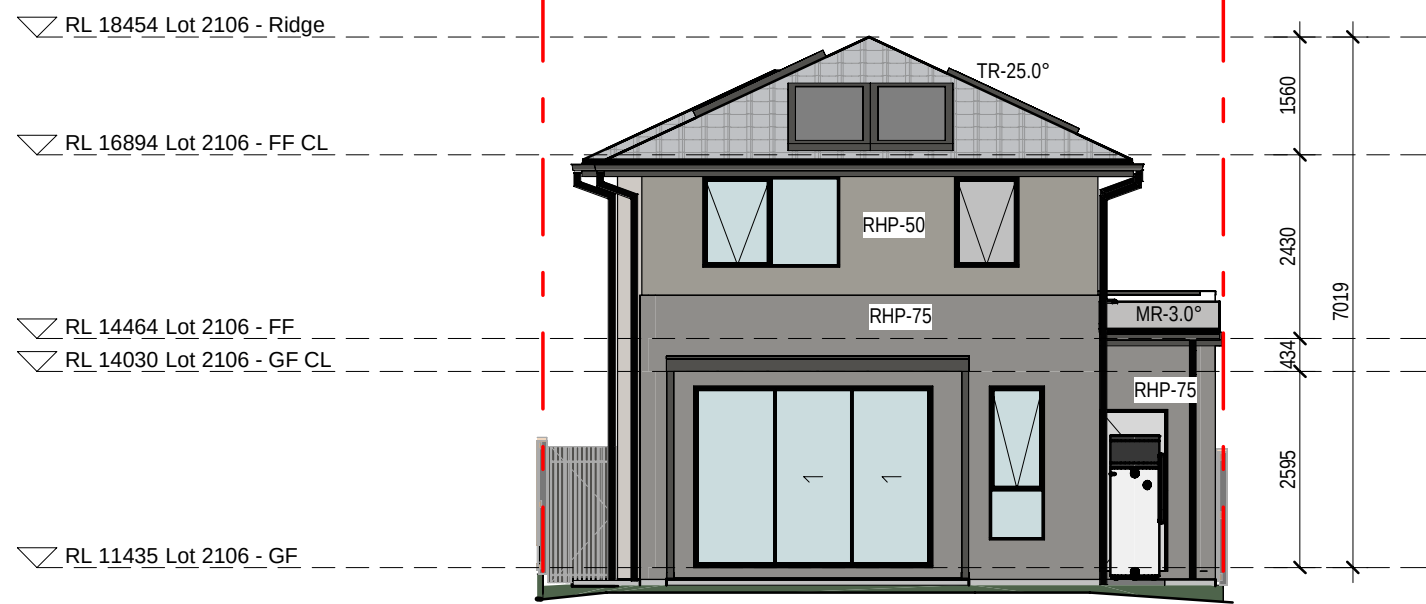
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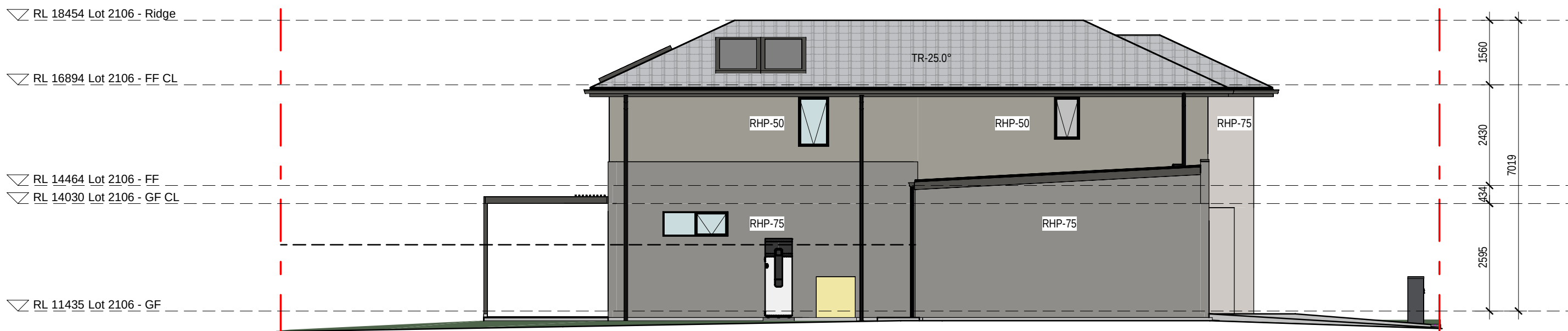
1 2106 - EAST ELEVATION



2 2106 - NORTH ELEVATION



3 2106 - WEST ELEVATION



4 2106 - SOUTH ELEVATION



Department of Planning,
Housing and Infrastructure

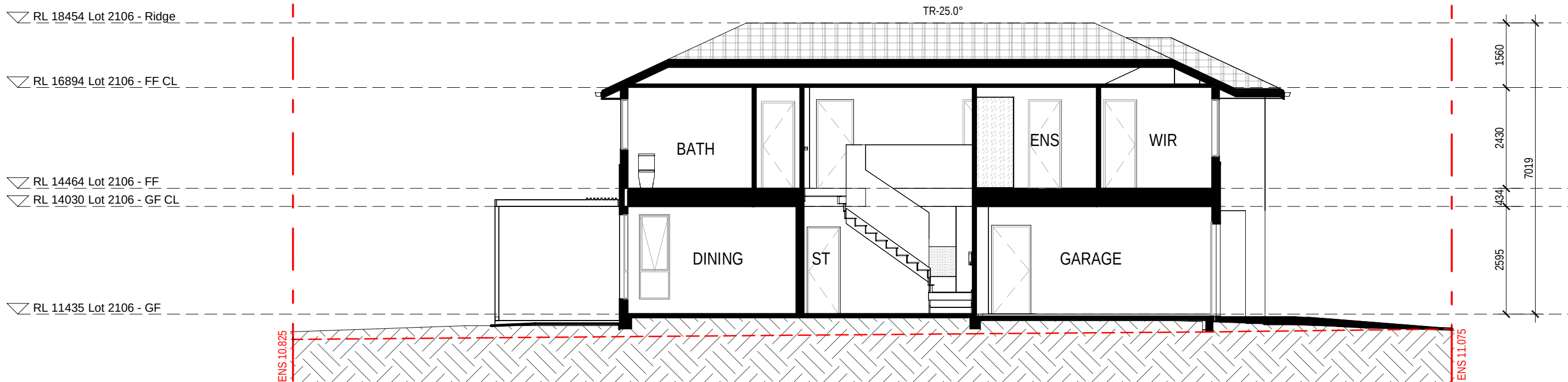
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 24 of 39



5 2106 - SECTION 1

EXTERNAL FINISHES WALL TYPE

EXTENT OF FINISHES INDICATED ONLY.

REFER TO FINISHES SCHEDULE

FBW FACE BRICKWORK

RHP-75 RENDERED HEBEL PANEL 75

RHP-50 RENDERED HEBEL PANEL 50

VB LIGHTWEIGHT CLADDING - VERTICAL RIB

TL TILE FEATURE CLADDING

LWC-V LIGHT WEIGHT CLADDING - VERTICAL

LWC-H LIGHT WEIGHT CLADDING - HORIZONTAL

LWS RENDERED LIGHTWEIGHT SHEET CLADDING

LWS-B PAINTED LIGHTWEIGHT SHEET CLADDING

MC COLORBOND METAL CLADDING

VBS VERTICAL BLADE SCREEN

HBS HORIZONTAL BATTEN SCREEN

ED ENTRY DOOR

GD GARAGE DOOR

OBSCURE WINDOWS

GREY SHADING TO WINDOWS

INDICATES OBSCURE GLAZING

PROPOSED INTERLOT FENCE 1800mm HEIGHT

EXISTING NATURAL SURFACE LINE

EXISTING NATURAL SURFACE SPOT LEVEL

ENS xxxxx

NOTES:

THE RLS (REDUCED LEVELS) SHOWN ON THIS

DRAWING ARE SUBJECT TO A TOLERANCE OF

±500MM FROM THE FINAL CONSTRUCTED

RLS.

12.03.26	C
31.10.25	B
08.08.25	A
08	REV

RE ISSUE TO SSDA FOR APPROVAL: EXTERNAL
COLOUR & FINISHES REVISED.
ISSUE TO SSDA FOR APPROVAL
PRELIMINARY ISSUE FOR CONSULTANT
amendment

MIRVAC
DESIGN

Level 20 200 George St
Sydney NSW 2000
Tel: 02 9550 0000

Mirvac Design Pty Ltd
ABN 70 007 959 531

Mirvac Design Nominatee / Responsible Architects
Anda Verma, Andrew La, David Hest, Michael Winter
http://www.mirvacdesign.com/mirvacdesign/



project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
ELEVATIONS AND SECTIONS - LOT
2106

job no: MB-10418
drawing no: S2-2.1-DA305
scale @ A1 : 1 : 100
date: 12.03.26 rev: C

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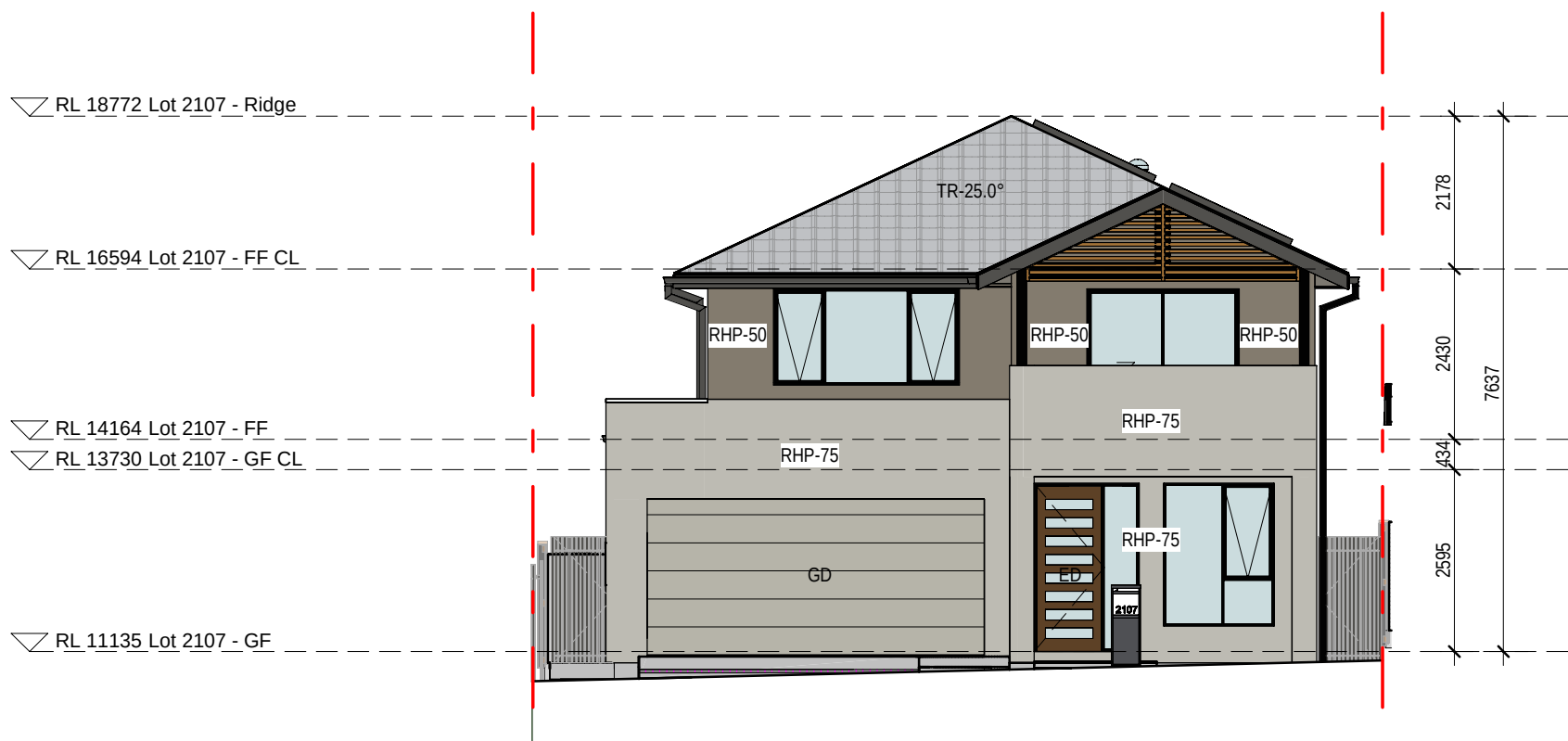
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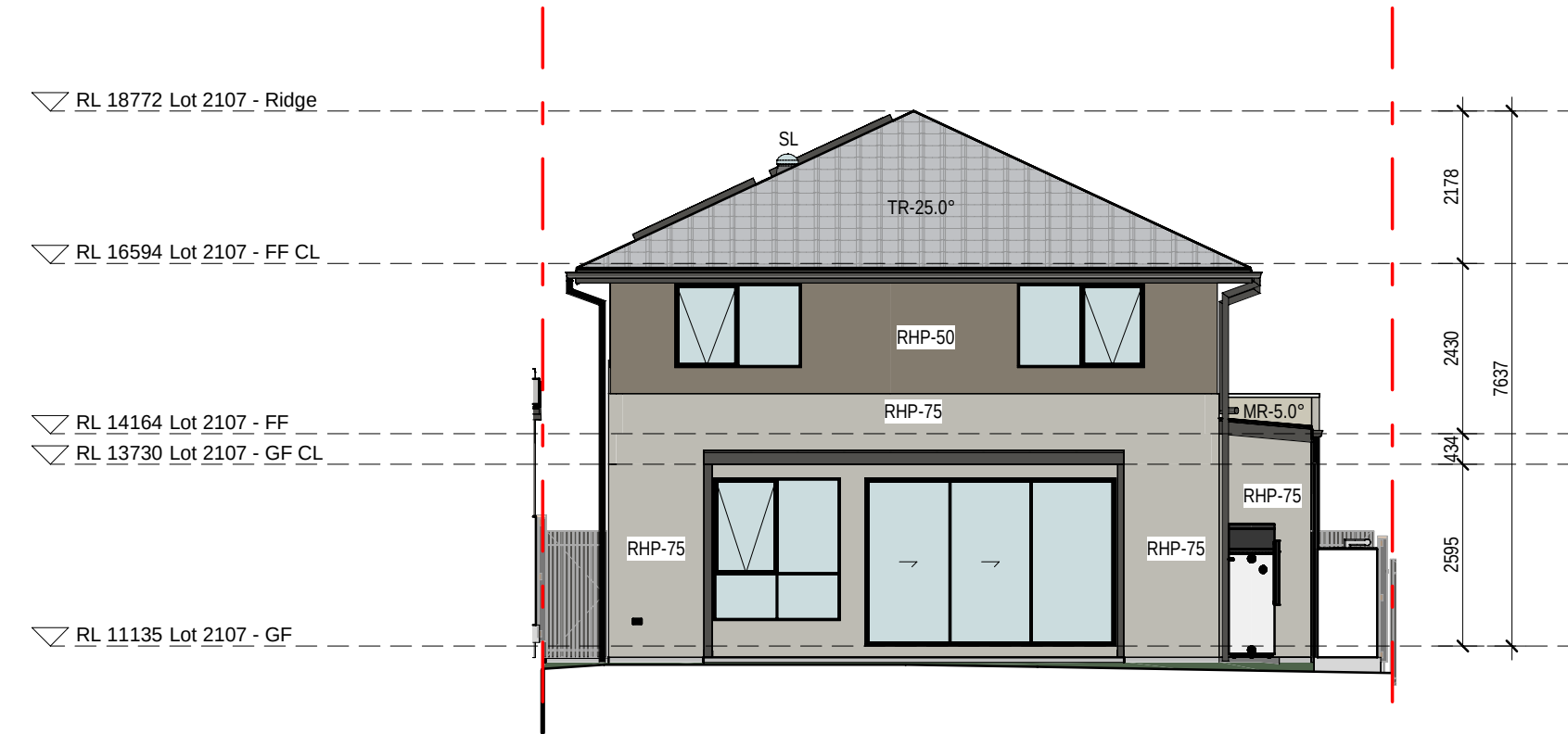
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200mm

300mm



2107 - EAST ELEVATION
1:100



2107 - WEST ELEVATION
1:100

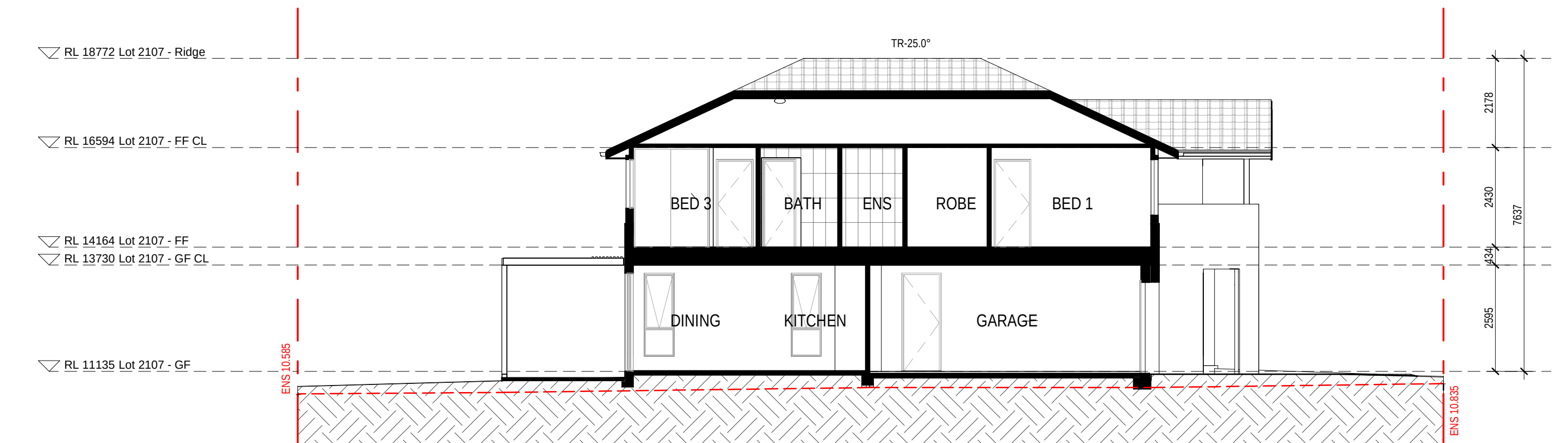
**Department of Planning,
Housing and Infrastructure**
NSW
GOVERNMENT
Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD-97092958
Approved on: 6 August 2026
Signed: MG
Sheet No: 25 of 39



2107 - NORTH ELEVATION
1:100



2107 - SOUTH ELEVATION
1:100



2107 - SECTION 1
1:100

EXTERNAL FINISHES WALL TYPE

EXTENT OF FINISHES INDICATED ONLY.

REFER TO FINISHES SCHEDULE

FBW FACE BRICKWORK

RHP-75 RENDERED HEBEL PANEL 75

RHP-50 RENDERED HEBEL PANEL 50

VB LIGHTWEIGHT CLADDING - VERTICAL RIB

TIMBER LOOK

TL TILE FEATURE CLADDING

LWC-V LIGHT WEIGHT CLADDING - VERTICAL

LWC-H LIGHT WEIGHT CLADDING - HORIZONTAL

LWS RENDERED LIGHTWEIGHT SHEET CLADDING

LWS-B PAINTED LIGHTWEIGHT SHEET CLADDING

WITH FEATURE BATTENS

MC COLORBOND METAL CLADDING

VBS VERTICAL BLADE SCREEN

HBS HORIZONTAL BATTEN SCREEN

ED ENTRY DOOR

GD GARAGE DOOR

OBSCURE WINDOWS

GREY SHADING TO WINDOWS

INDICATES OBSCURE GLAZING

PROPOSED INTERLOT FENCE 1800mm HEIGHT

EXISTING NATURAL SURFACE LINE

EXISTING NATURAL SURFACE SPOT LEVEL

ENS xxxxx

NOTES:

THE RLS (REDUCED LEVELS) SHOWN ON THIS

DRAWING ARE SUBJECT TO A TOLERANCE OF

±300MM FROM THE FINAL CONSTRUCTED

RLS.

12.03.26
31.10.25
08.08.25
date

C
B
A
rev

RE ISSUE TO SSDA FOR APPROVAL: EXTERNAL
COLOUR & FINISHES REVISED.
ISSUE TO SSDA FOR APPROVAL
PRELIMINARY ISSUE FOR CONSULTANT
amendment

**MIRVAC
DESIGN**
architects
interior design
landscape design
project management
MIRVAC Design Pty Ltd
ABN 70 007 959 531
Level 28/200 George St
Sydney NSW 2000
Tel: 002 9000 0000
MIRVAC Design Nominates / Responsible Architects:
Andra Verro, Andra La Cloud, Neil Michael Winzer
http://www.mirvacdesign.com/mirvacdesign/

dent
mrvac

project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
**ELEVATIONS AND SECTIONS - LOT
2107**

job no: MB-10418
drawing no: S2-2.1-DA306
scale @ A1 : 1:100
date: 12.03.26 rev: C

0mm

100mm

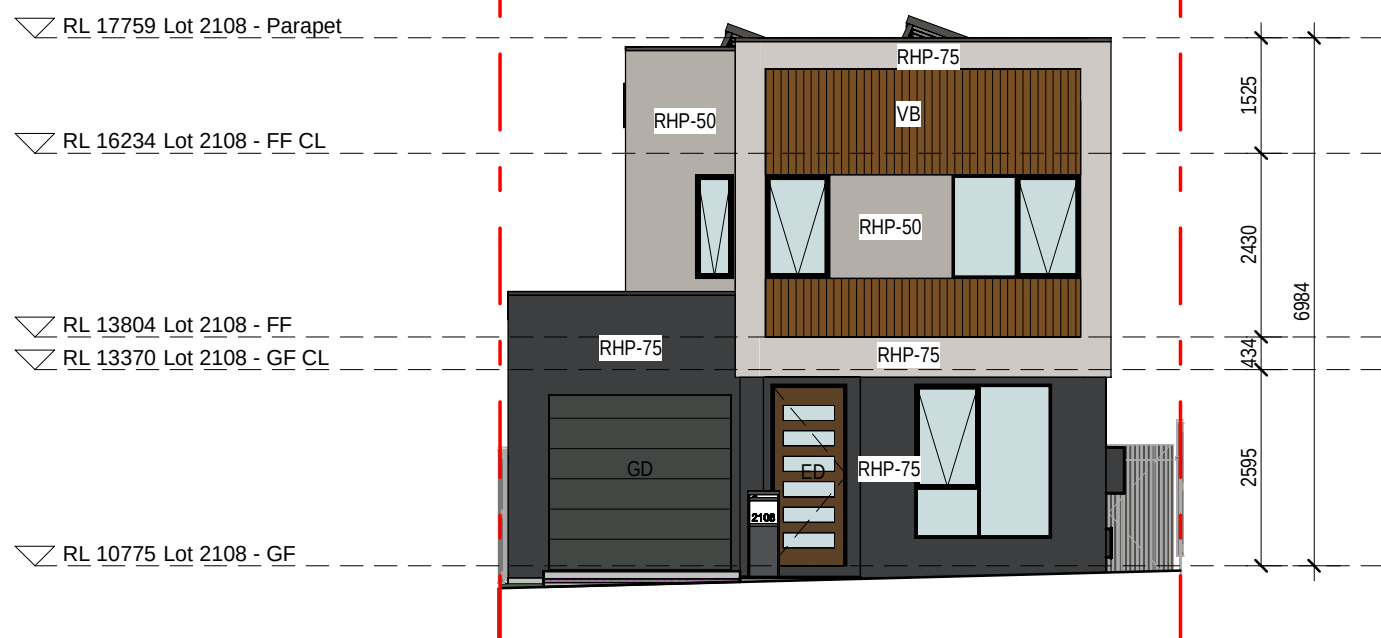
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300mm

100mm

200mm

300mm



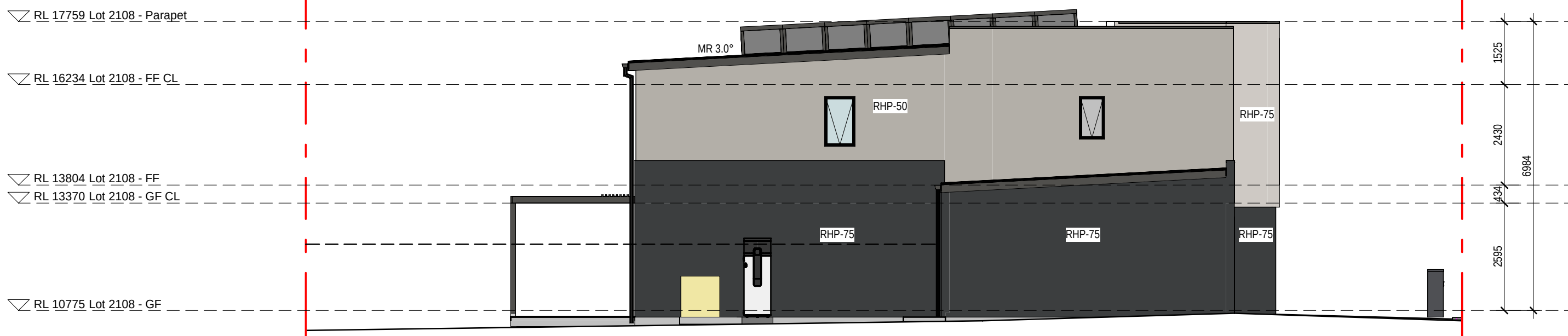
1 2108 - EAST ELEVATION



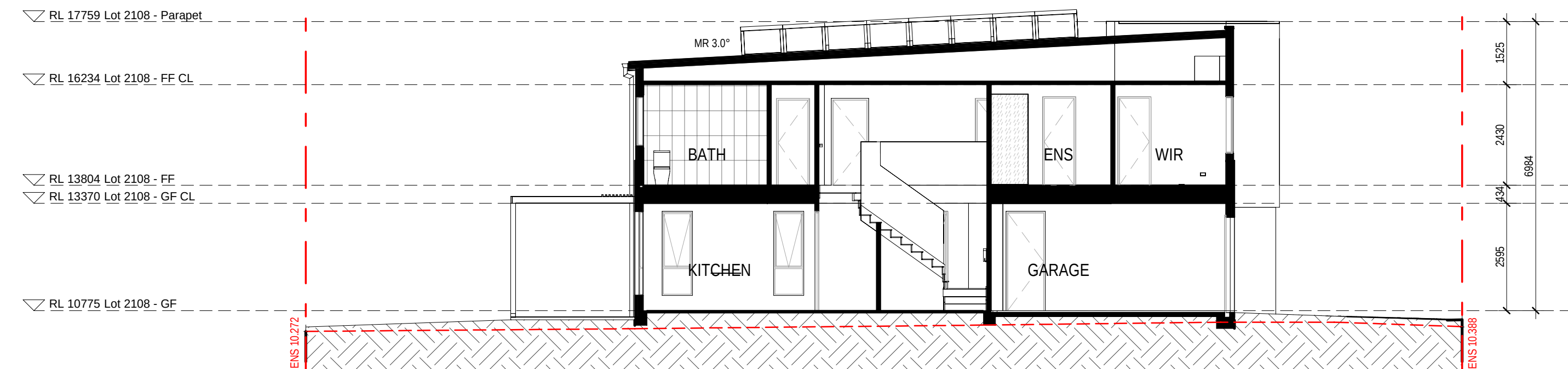
2 2108 - NORTH ELEVATION



3 2108 - WEST ELEVATION



4 2108 - SOUTH ELEVATION



5 2108 - SECTION 1

EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RHP - 75	RENDERED HEBEL PANEL 75
RHP - 50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RIB
TL	TILE FEATURE CLADDING
LWC - V	LIGHT WEIGHT CLADDING - VERTICAL
LWC - H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWS - B	PAINTED LIGHTWEIGHT SHEET CLADDING WITH FEATURE BATTENS
MC	COLORBOND METAL CLADDING
VBS	VERTICAL BLADE SCREEN
HBS	HORIZONTAL BATTEN SCREEN
ED	ENTRY DOOR
GD	GARAGE DOOR
OBSCURE WINDOWS	
	GREY SHADING TO WINDOWS INDICATES OBSCURE GLAZING
PROPOSED INTERLOT FENCE 1800mm HEIGHT	
EXISTING NATURAL SURFACE LINE	
EXISTING NATURAL SURFACE SPOT LEVEL	
ENS xxxxx	
NOTES:	
THE RLS (REDUCED LEVELS) SHOWN ON THIS DRAWING ARE SUBJECT TO A TOLERANCE OF ±300MM FROM THE FINAL CONSTRUCTED RLS.	

 **Department of Planning,
Housing and Infrastructure**
Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD-97092958
Approved on: 6 August 2026
Signed: MG
Sheet No: 26 of 39

0mm
100mm
200mm
300mm

0mm
100mm
200mm
300mm

▽ RL 17529 Lot 2109 - Parapet
▽ RL 15964 Lot 2109 - FF CL
▽ RL 13534 Lot 2109 - FF
▽ RL 13100 Lot 2109 - GF CL
▽ RL 10505 Lot 2109 - GF



1 2109 - EAST ELEVATION
1 : 100

▽ RL 17529 Lot 2109 - Parapet
▽ RL 15964 Lot 2109 - FF CL
▽ RL 13534 Lot 2109 - FF
▽ RL 13100 Lot 2109 - GF CL
▽ RL 10505 Lot 2109 - GF



3 2109 - WEST ELEVATION
1 : 100



Department of Planning,
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

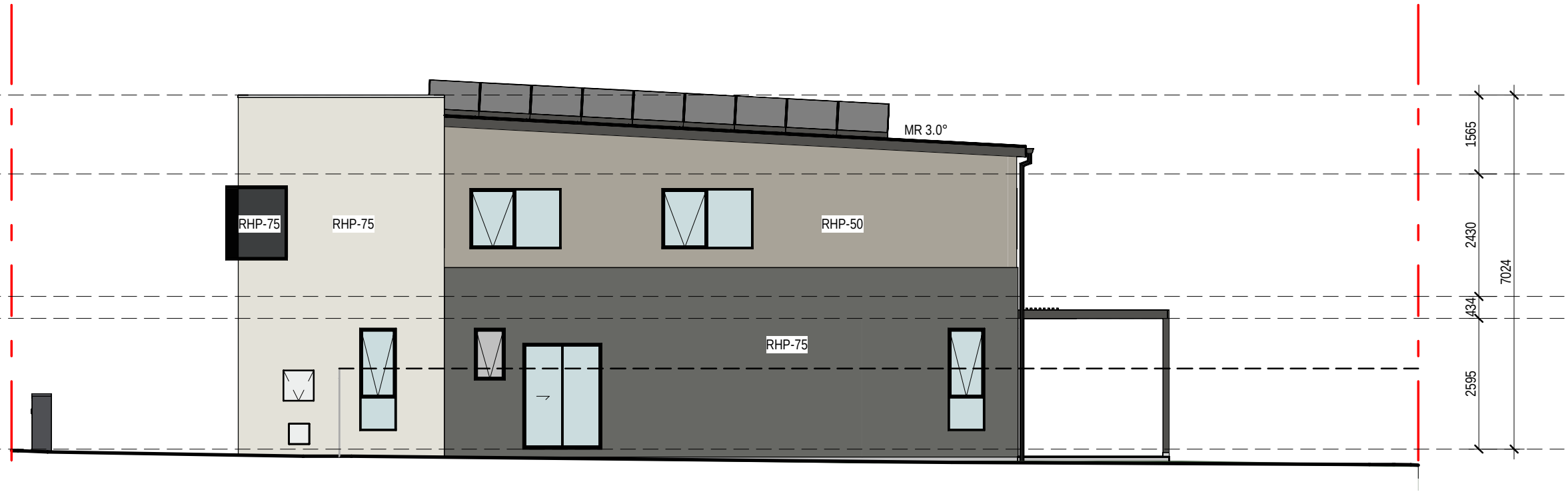
Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 27 of 39

▽ RL 17529 Lot 2109 - Parapet
▽ RL 15964 Lot 2109 - FF CL
▽ RL 13534 Lot 2109 - FF
▽ RL 13100 Lot 2109 - GF CL
▽ RL 10505 Lot 2109 - GF



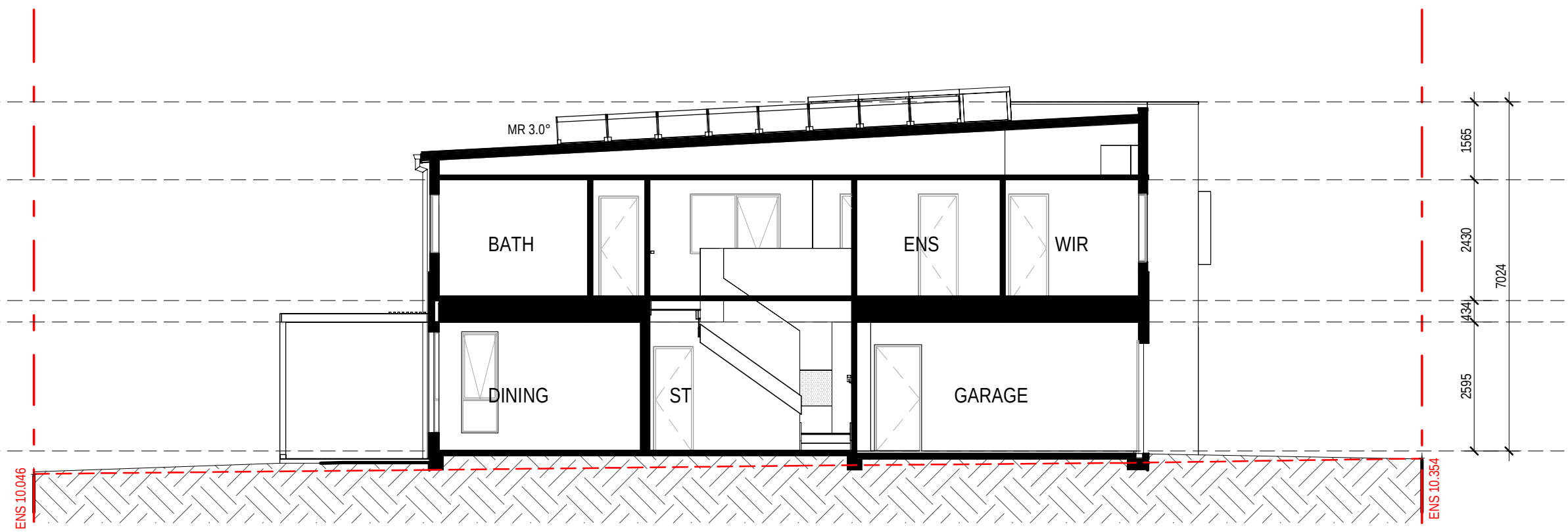
2 2109 - NORTH ELEVATION
1 : 100

▽ RL 17529 Lot 2109 - Parapet
▽ RL 15964 Lot 2109 - FF CL
▽ RL 13534 Lot 2109 - FF
▽ RL 13100 Lot 2109 - GF CL
▽ RL 10505 Lot 2109 - GF



4 2109 - SOUTH ELEVATION
1 : 100

▽ RL 17529 Lot 2109 - Parapet
▽ RL 15964 Lot 2109 - FF CL
▽ RL 13534 Lot 2109 - FF
▽ RL 13100 Lot 2109 - GF CL
▽ RL 10505 Lot 2109 - GF



5 2109 - SECTION 1
1 : 100

EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RHP - 75	RENDERED HEBEL PANEL 75
RHP - 50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RIB
TL	TILE FEATURE CLADDING
LWC - V	LIGHT WEIGHT CLADDING - VERTICAL
LWC - H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWS - B	PAINTED LIGHTWEIGHT SHEET CLADDING WITH FEATURE BATTENS
MC	COLORBOND METAL CLADDING
VBS	VERTICAL BLADE SCREEN
HBS	HORIZONTAL BATTEN SCREEN
ED	ENTRY DOOR
GD	GARAGE DOOR
OBSCURE WINDOWS	
	GREY SHADING TO WINDOWS INDICATES OBSCURE GLAZING
PROPOSED INTERLOT FENCE 1800mm HEIGHT	

EXISTING NATURAL SURFACE LINE	

EXISTING NATURAL SURFACE SPOT LEVEL	
ENS xxxxx	
NOTES:	
THE RLS (REDUCED LEVELS) SHOWN ON THIS DRAWING ARE SUBJECT TO A TOLERANCE OF ±300MM FROM THE FINAL CONSTRUCTED RLS.	

12.03.26	C	RE ISSUE TO SSDA FOR APPROVAL: EXTERNAL COLOUR & FINISHES REVISED.
31.10.25	B	ISSUE TO SSDA FOR APPROVAL
08.08.25	A	PRELIMINARY ISSUE FOR CONSULTANT
08	REV	amendment



Level 28 209 George St
Sydney NSW 2000
Tel: 02 9550 0000

Mirvac Design Pty Ltd
ABN 70 007 959 531

architect
interior architect
landscape architect
project manager

Mirvac Design Nominees / Responsible Architects
Anda Verma, Andrew La, David Hest, Michael Wilson
<http://www.mirvacdesign.com/mirvacdesign-architects>

dent



project:

KINLEA - MILPERRA (WSU)

2 Bullecourt Avenue, Milperra NSW 2214

Stage: 2 Site: 2.1 Lot: 2101-2109

title:

ELEVATIONS AND SECTIONS - LOT 2109

job no:

MB-10418

drawing no:

S2-2.1-DA308

scale @ A1 : 1 : 100

date:

12.03.26

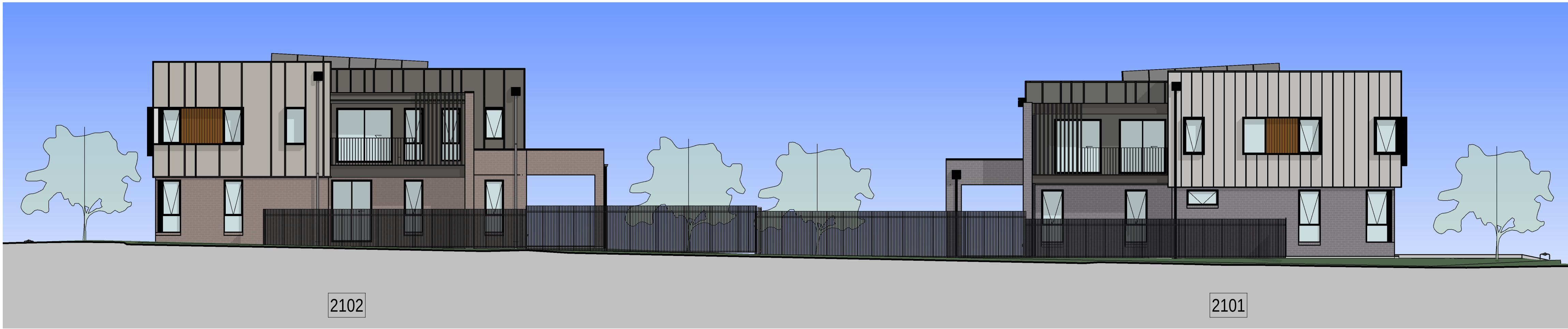
rev:

C

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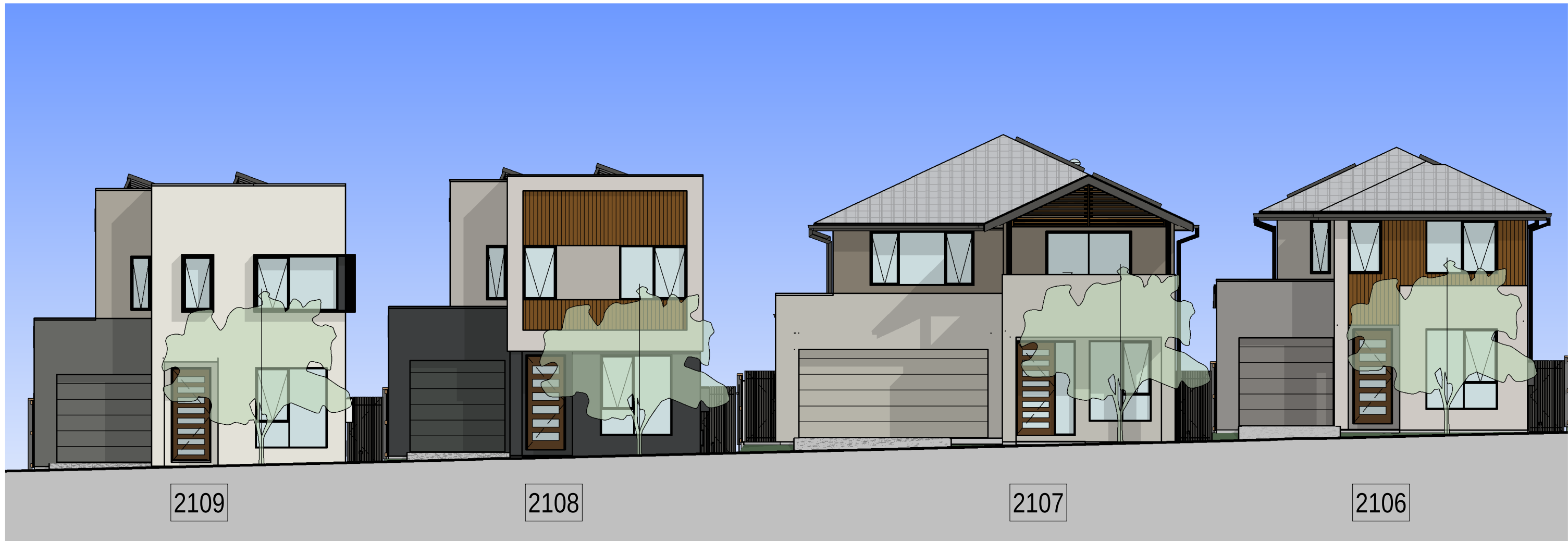
1 FRONT ELEVATION - LOT 2101
1 : 100



2 SIDE ELEVATION - LOT 2101 - 2102
1 : 100



3 FRONT ELEVATION - LOT 2102 - 2105
1 : 100



4 FRONT ELEVATION - LOT 2106 - 2109
1 : 100

 **Department of Planning,
Housing and Infrastructure**

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

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12.03.26	C	RE ISSUE TO SSDA FOR APPROVAL: EXTERNAL
31.10.25	B	COLOR & FINISHES REVISED
08.08.25	A	ISSUE TO SSDA FOR APPROVAL
date	rev	PRELIMINARY ISSUE FOR CONSULTANT
		amendment

**MIRVAC
DESIGN**
architects
interior design
landscape design
project management
MIRVAC DESIGN Pty Ltd
Level 28 200 George St
Sydney NSW 2000
Tel: 02 9550 0000
ABN 70 007 959 531
Mirvac Design Nominees / Responsible Architects:
Anda Verro, Andrew La, David Hogg, Michael Wilson
http://www.mirvacdesign.com/nominees-and-associates

dent
mirvac

project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
COLOURED STREETSCAPES

job no: MB-10418
drawing no: S2-2.1-DA320
scale @ A1 : 1 : 100
date: 12.03.26 rev: C



1 LOT 2101-2102



2 LOT 2102-2109



3 LOT 2102-2109



Department of Planning,
Housing and Infrastructure

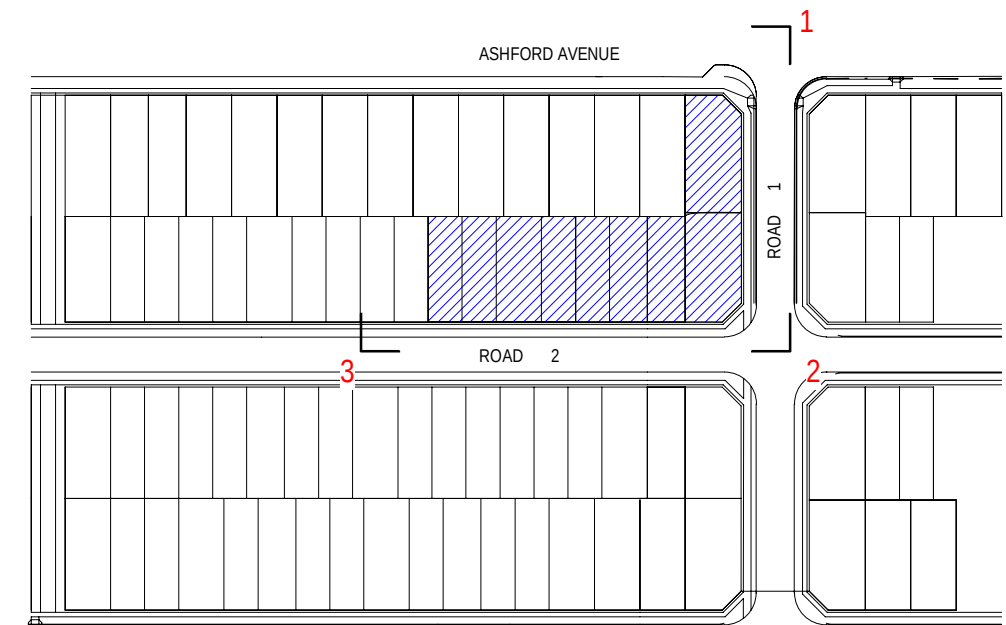
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Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 29 of 39



0mm

100mm

200mm

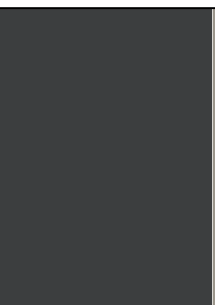
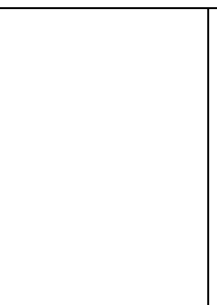
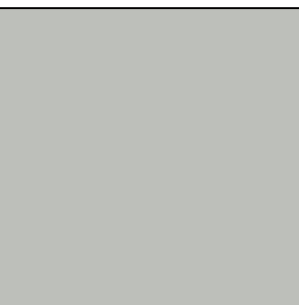
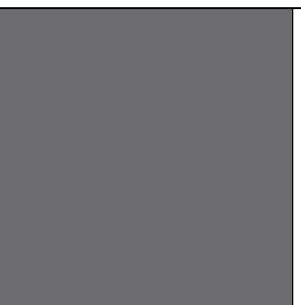
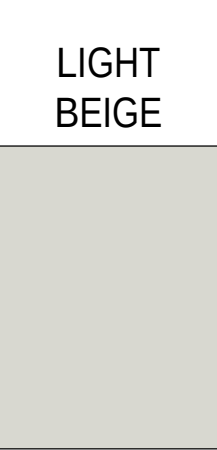
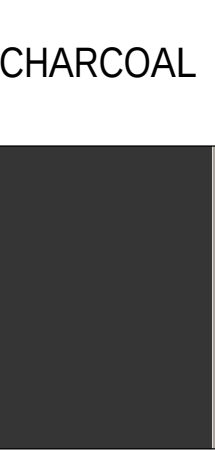
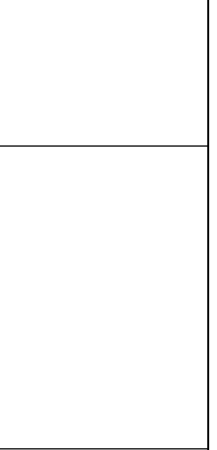
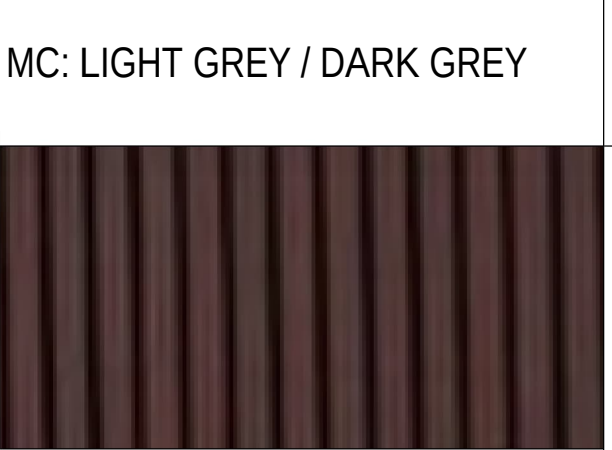
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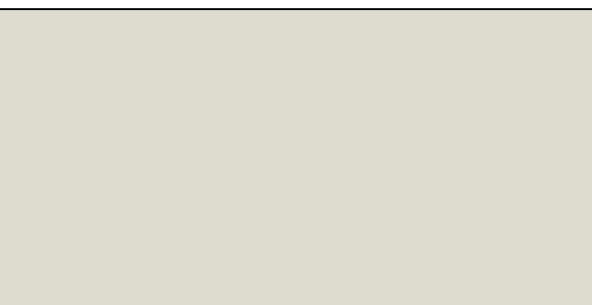
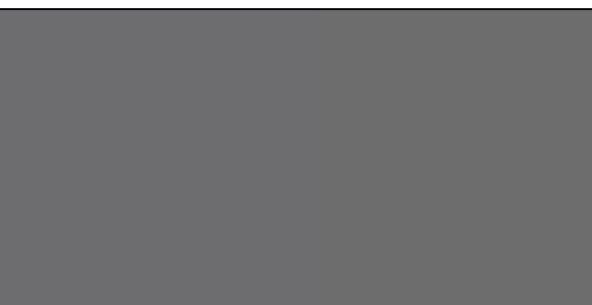
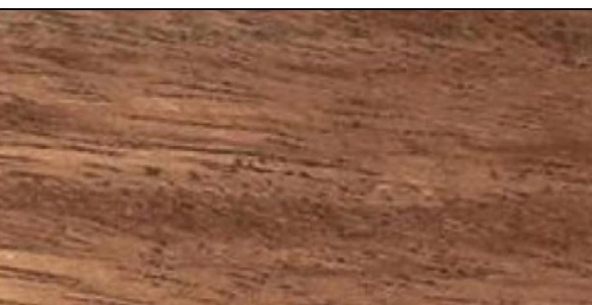
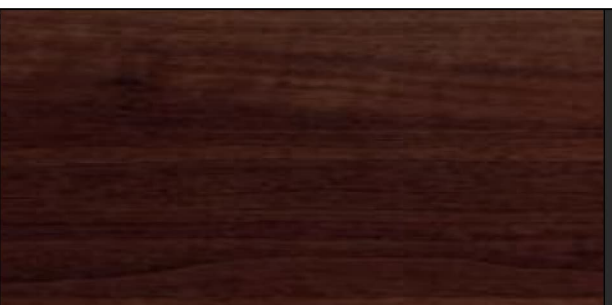
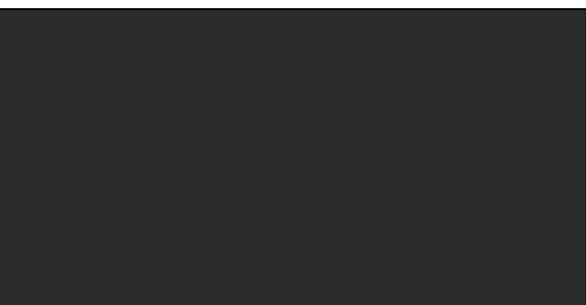
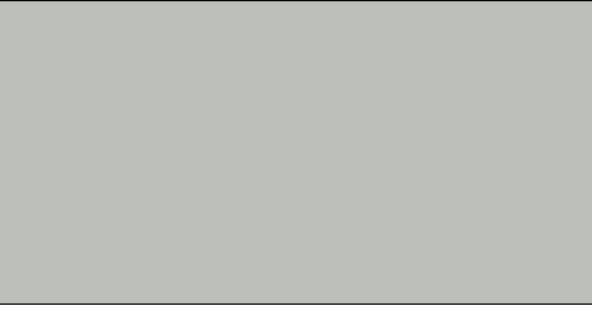
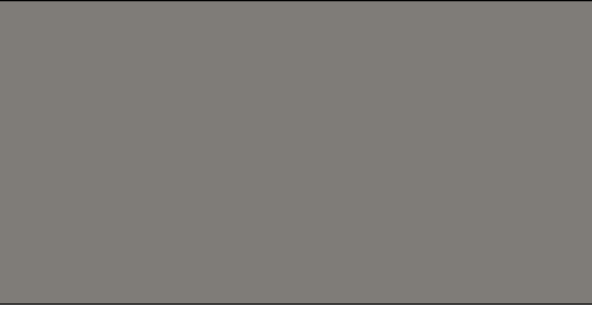
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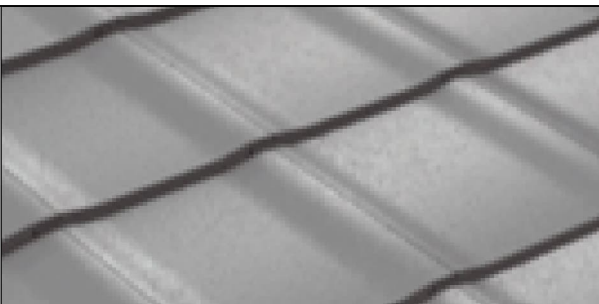
200mm

300mm

EXTERNAL FINISHES

WALL BRICK VENEER FBW : FACE BRICK WALL		WALL AUTOCLAVED AERATED CONCRETE, RENDERED RHP-75 : 75mm HEBEL PANEL, RENDERED FINISH RHP-50 : 50mm HEBEL PANEL, RENDERED FINISH LIGHTWEIGHT CLADDING LWC-H : HORIZONTAL WEATHERBOARDS LWC-V : VERTICAL BOARDS LWS-B : SHEET CLADDING WITH EXPOSED BATTENS									WALL FEATURE CLADDING TL : WALL TILES VB : VERTICAL TIMBER LOOK BATTENS MC : VERTICAL METAL RIBBED CLADDING			
	MASONRY FACE BRICK BLUE GREY		LIGHT BEIGE	GREY	LIGHT GREY	DARK BEIGE	CHARCOAL	BEIGE	BROWN			MC: LIGHT GREY / DARK GREY		
													VB: TIMBERLOOK DARK BROWN	
	MASONRY FACE BRICK BROWN GREY		LIGHT BEIGE	DARK BEIGE	LIGHT GREY	GREY	DARK CHARCOAL	BEIGE	LIGHT BROWN					

ENTRY DOOR ED : ENTRY DOOR			GARAGE DOOR GD : GARAGE DOOR				FEATURE ELEMENTS FEATURE SCREEN HBS : HORIZONTAL BATTEN SCREEN VBS : VERTICAL BATTEN SCREEN BALUSTRADES BAL : METAL BALUSTRADES METAL FEATURE ELEMENTS WINDOW & DOOR FRAMES WINDOW SHROUDS BALUSTRADE & ENTRY CANAPE FEATURE DETAIL		
				POWDERCOATED LIGHT GREY	POWDERCOATED DARK GREY	POWDERCOATED TIMBERLOOK - BROWN		HBS : TIMBERLOOK - DARK BROWN	VBS : BLACK
									
	TIMBER MID-BROWN			POWDERCOATED GREY	POWDERCOATED DARK CHARCOAL	POWDERCOATED DARK BEIGE		METAL FEATURE ELEMENTS : BLACK	

ROOFING CONCRETE ROOF TILE TR : CONCRETE ROOF TILE SRI 27.82. SA 0.74 (DARK) METAL SHEET ROOFING MR : COLORBOND METAL RIB ROOFING. SRI 66. SA 0.44 (LIGHT) RAINWATER GOODS & ROOF TRIM FASICA, GUTTER, BARGEBOARD, RAINWATER HEAD, DOWNPIPES			FENCING & RETAINING WALL		
	TR : GREY			RETAINING BLOCK WALL SPLIT FACE EARTHY NATURAL STONE	DAR VERTICAL BATTENS DARK CHARCOAL GREY
					
	MR : LIGHT GREY		FASICA / GUTTER / BARGEBOARD/ BARGEBOARD CAPPING / RAINWATER HEAD - DARK CHARCOAL	RETAINING SLEEPER WALLS SANDSTONE LIGHT BEIGE	TREATED PINE TIMBER - LIGHT YELLOW



Department of Planning,
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 30 of 39

100mm

200mm



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Approved on: 6 August 2026

Sheet No: 31 of 39



1 DA/TP SHADOW PLAN - 21 JUNE - 9AM (LOT 2101-2109)
1:200

0mm 100mm 200mm 300mm

100mm

200mm

300mm

SHADOWS	
1	ONE STOREY BUILDING
2	TWO STOREY BUILDING
3	THREE STOREY BUILDING
PV	PHOTOVOLTAC SOLAR PANEL
	SHADOW



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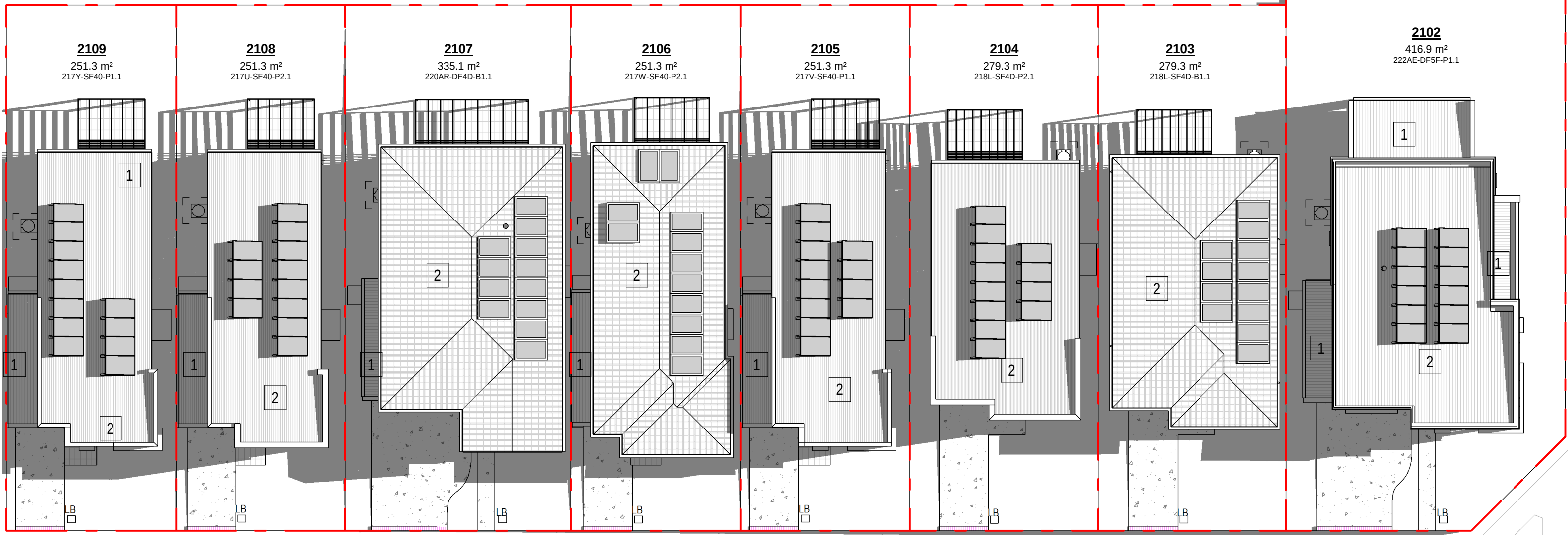
Signed: MG

Sheet No: 32 of 39

ASHFORD AVENUE

ROAD 1

ROAD 2



1 DAVTP SHADOW PLAN - 21 JUNE - 12PM (LOT 2101-2109)
1 : 200

31.10.25
08.08.25
date

B
A
rev

ISSUE TO SSDA FOR APPROVAL
PRELIMINARY ISSUE FOR CONSULTANT
amendment

MIRVAC
DESIGN

Level 20 200 George St
Sydney NSW 2000
Tel: 02 9550 0000
Mirvac Design Pty Ltd
ABN 70 003 959 531
Mirvac Design Nominees / Responsible Architects
Andra Verma Andra La David Herz Michael Weiner
http://www.mirvacdesign.com/mirvacdesign

dent
mirvac

project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
SHADOW DIAGRAM & ANALYSIS - 21
JUNE - 12PM (LOT 2101-2109)

job no: MB-10418
drawing no: S2-2.1-DA401
scale @ A1 : 1 : 200
date: 31.10.25 rev: B



0mm

100mm

200mm

300mm

SHADOWS	
1	ONE STOREY BUILDING
2	TWO STOREY BUILDING
3	THREE STOREY BUILDING
PV	PHOTOVOLTATIC SOLAR PANEL
	SHADOW

ASHFORD AVENUE



Department of Planning,
Housing and Infrastructure

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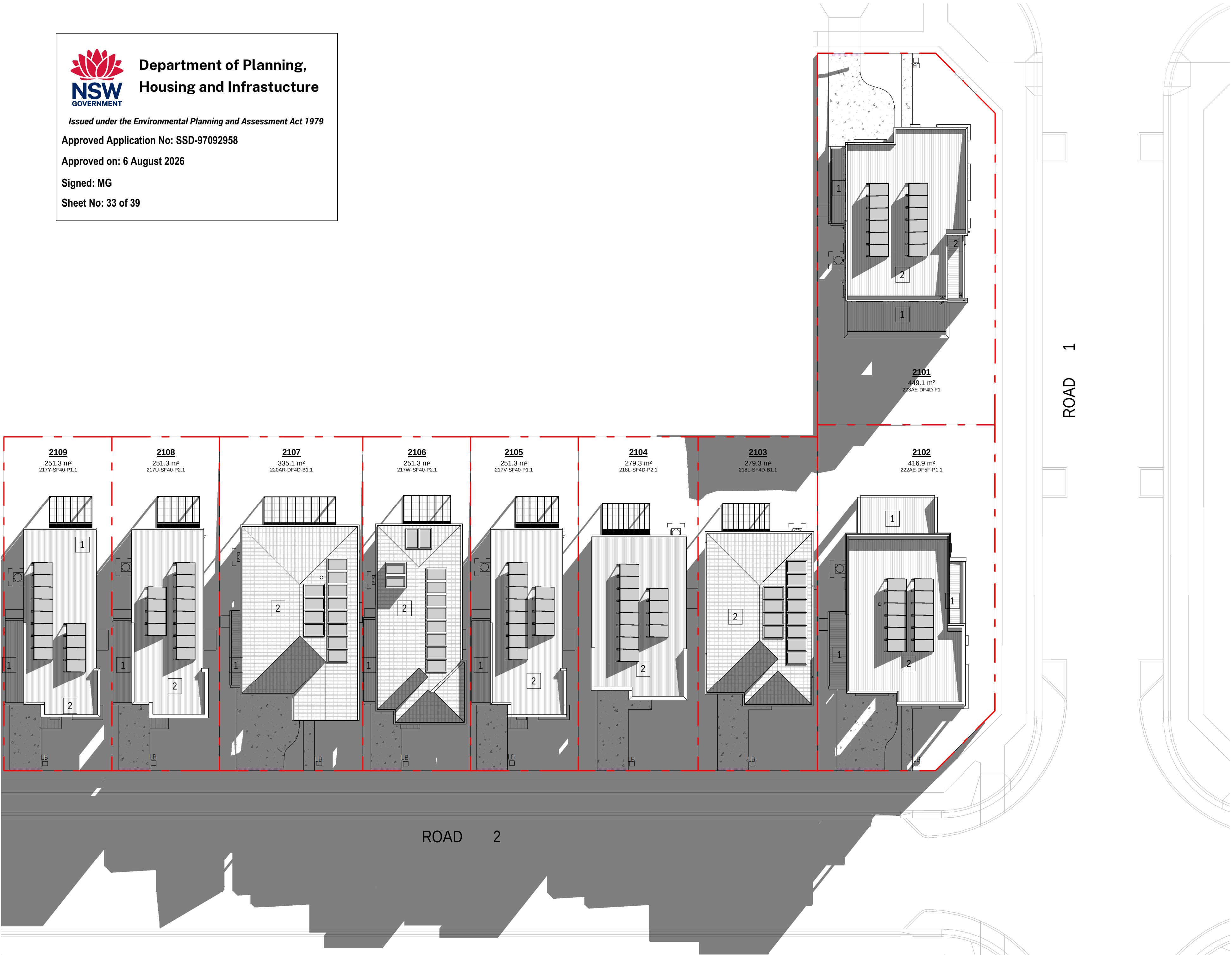
Signed: MG

Sheet No: 33 of 39

100mm

200mm

300mm



1 DA/TP SHADOW PLAN - 21 JUNE - 3PM (LOT 2101-2109)
1 : 200

31.10.25
08.08.25
date

B
A
rev

ISSUE TO SSDA FOR APPROVAL
PRELIMINARY ISSUE FOR CONSULTANT
amendment

MIRVAC
DESIGN

Level 20 200 George St
Sydney NSW 2000
Tel: 02 9550 1000
Mirvac Design Pty Ltd
ABN 70 007 959 531
Mircvac Design Nominees / Responsible Architects
Andra Verro, Andra La, David Hest, Michael Weller
http://www.mirvacdesign.com/mirvacdesign/

dent
mirvac

project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
SHADOW DIAGRAM & ANALYSIS - 21
JUNE - 3PM (LOT 2101-2109)

job no: MB-10418
drawing no: S2-2.1-DA402
scale @ A1 : 1 : 200
date: 31.10.25

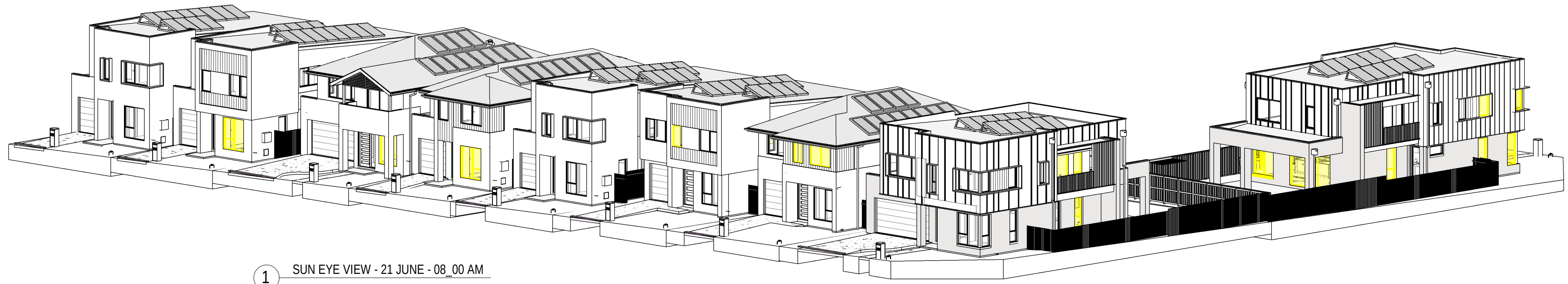
rev: B



100mm

200mm

300mm



1 SUN EYE VIEW - 21 JUNE - 08_00 AM



Department of Planning,
Housing and Infrastructure

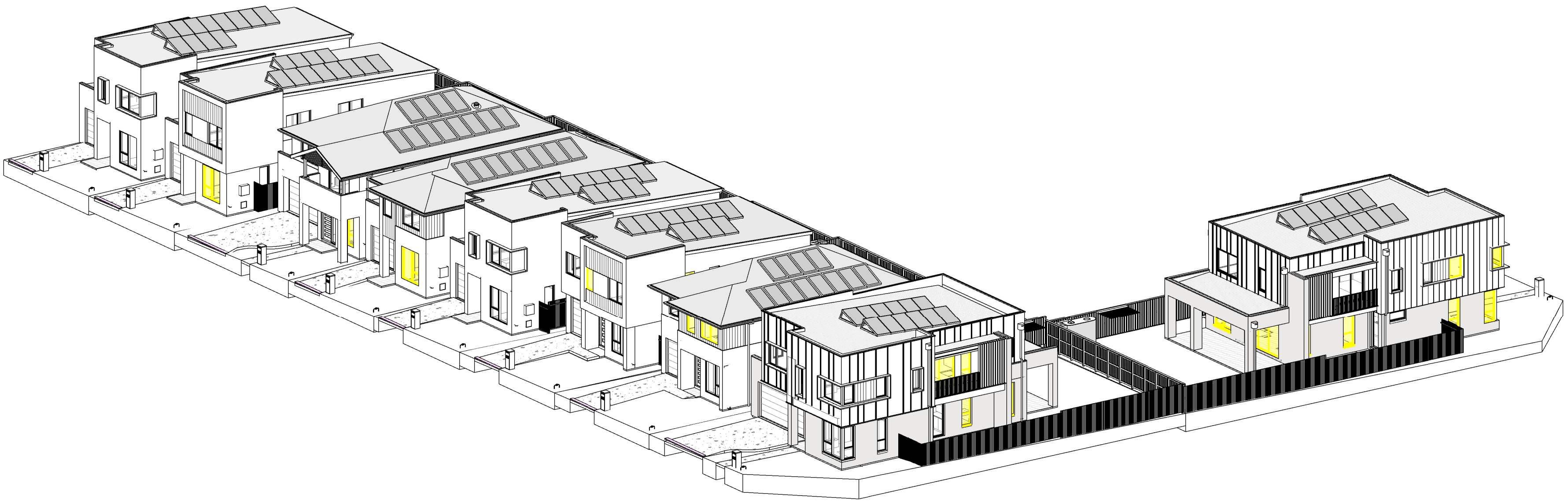
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

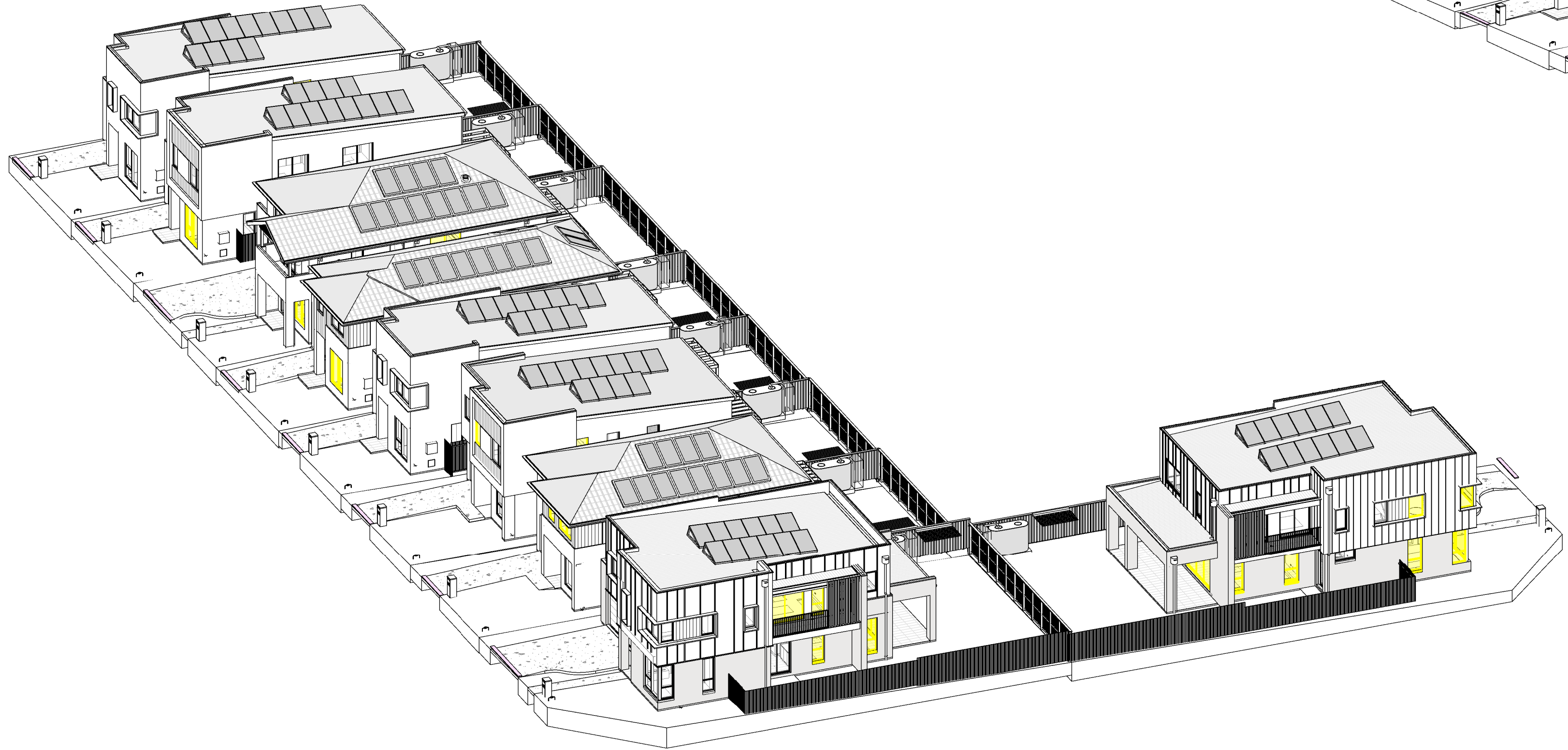
Approved on: 6 August 2026

Signed: MG

Sheet No: 34 of 39



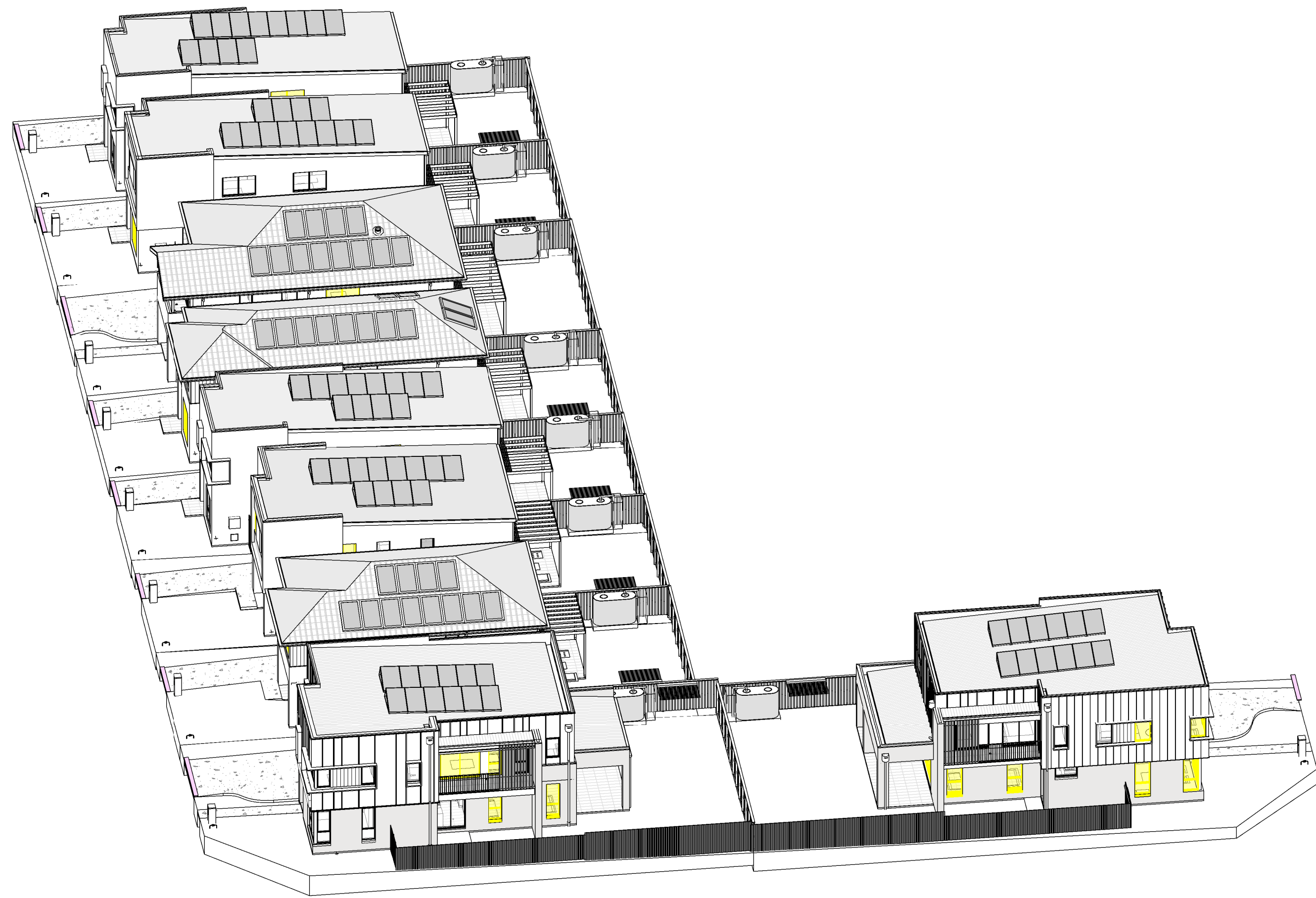
2 SUN EYE VIEW - 21 JUNE - 09_00 AM



3 SUN EYE VIEW - 21 JUNE - 10_00 AM

SOLAR ACCESS TO A LIVING AREA										
Lot No	8am	9am	10am	11am	12noon	1pm	2pm	3pm	4pm	5pm
2101	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2102	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2103	Yes	Yes	Yes	No	Yes	Yes	Yes	Yes	Yes	Yes
2104	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2105	No	No	No	No	Yes	Yes	Yes	Yes	Yes	Yes
2106	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2107	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2108	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2109	No	No	No	Yes	Yes	Yes	Yes	Yes	Yes	Yes

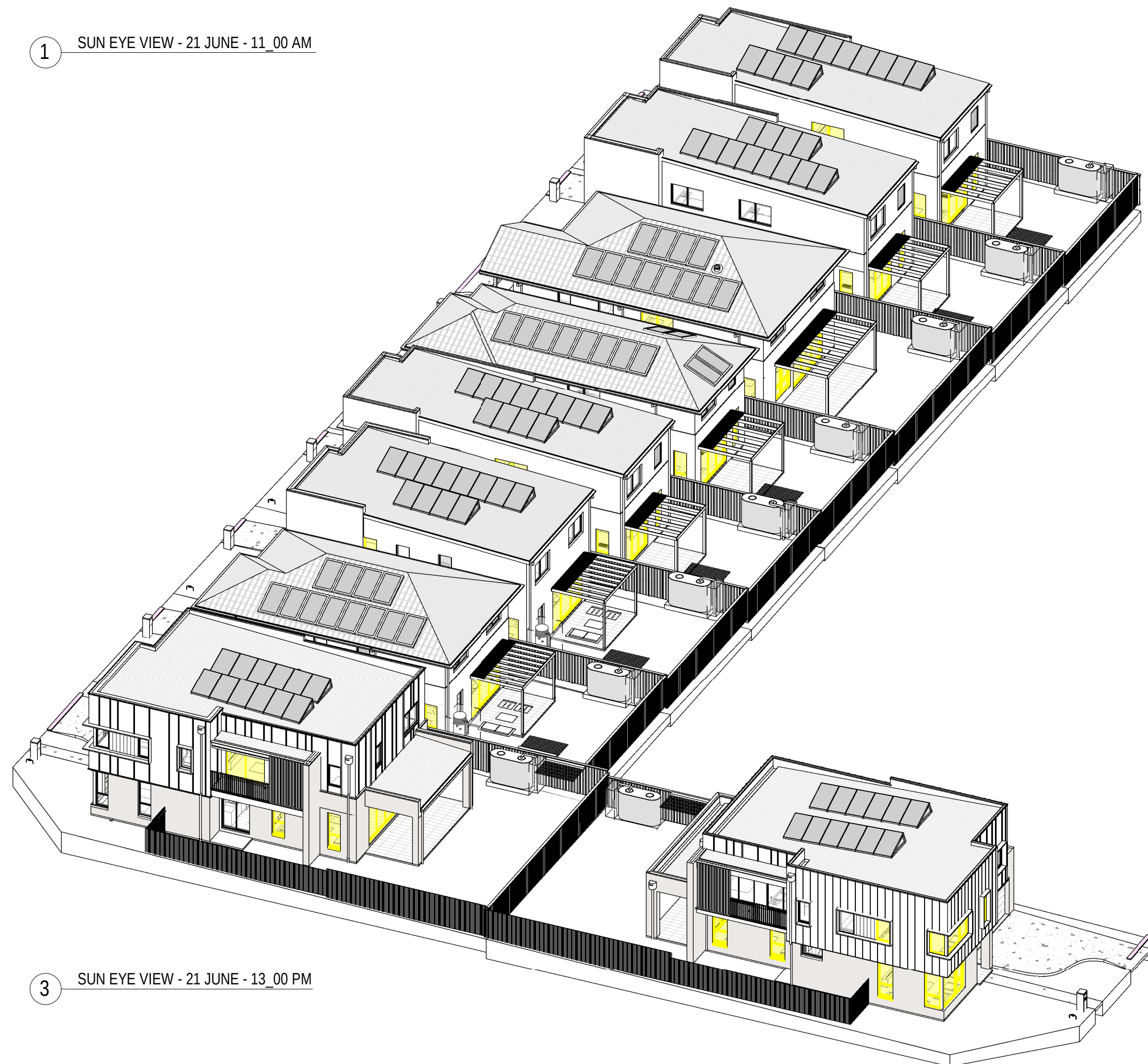
*NOTE :
CALCULATIONS OF SOLAR ACCESS TO A WINDOW OF PRIMARY LIVING AREA IN ACCORD WITH THE DCP MIN 3 HRS FROM 8:00AM - 4:00PM



1 SUN EYE VIEW - 21 JUNE - 11_00 AM



2 SUN EYE VIEW - 21 JUNE - 12_00 PM



2 SUN EYE VIEW - 21 JUNE - 13_00 PM



**Department of Planning,
Housing and Infrastructure**

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 35 of 39

0mm

100mm

200mm

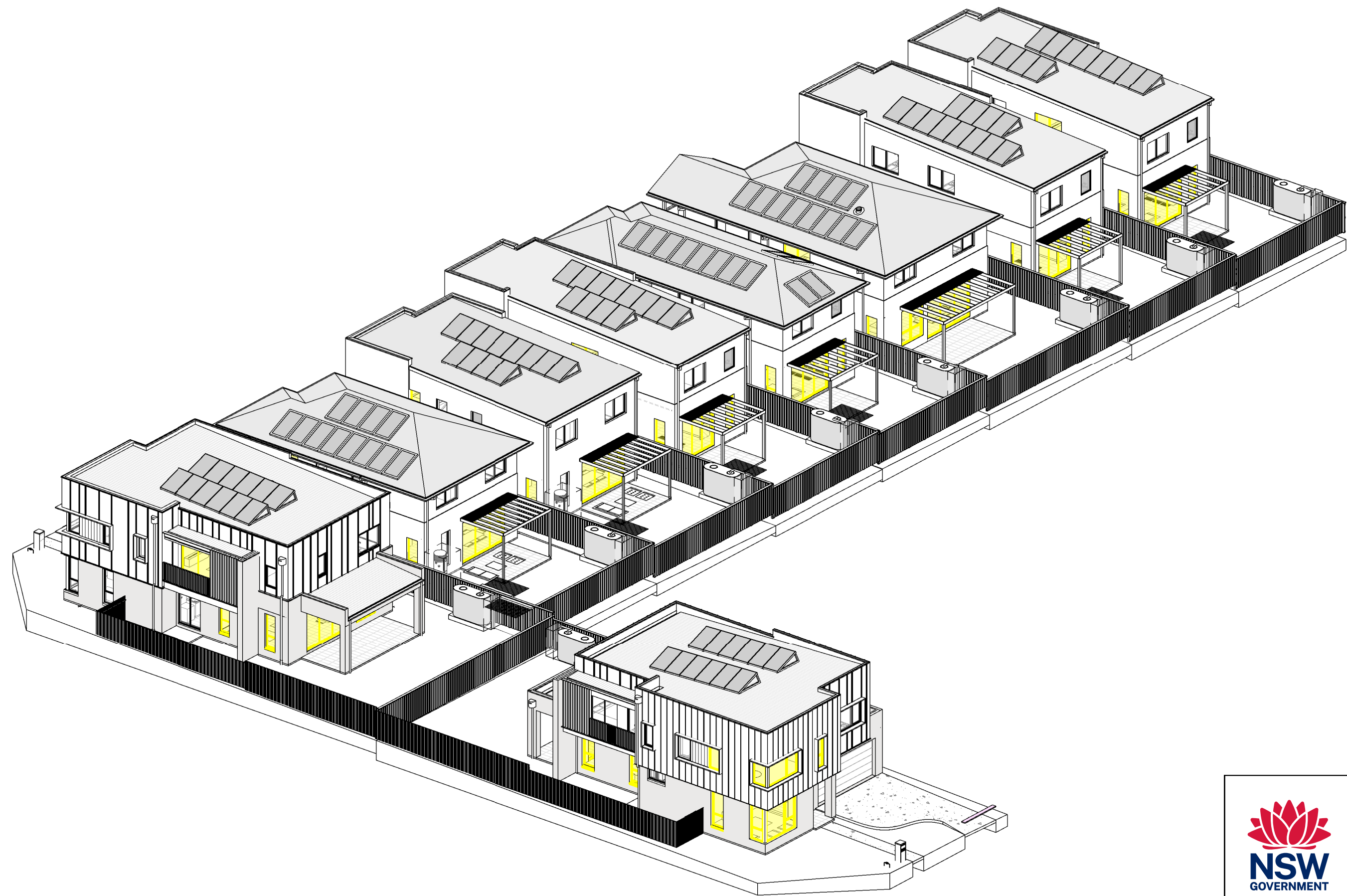
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SUN EYE VIEWS NOTE:
GLAZING PROVIDING SUNLIGHT
TO LIVING AREAS

100mm

200mm

300mm



3 SUN EYE VIEW - 21 JUNE - 14_00 PM



1 SUN EYE VIEW - 21 JUNE - 15_00 PM



Department of Planning,
Housing and Infrastructure

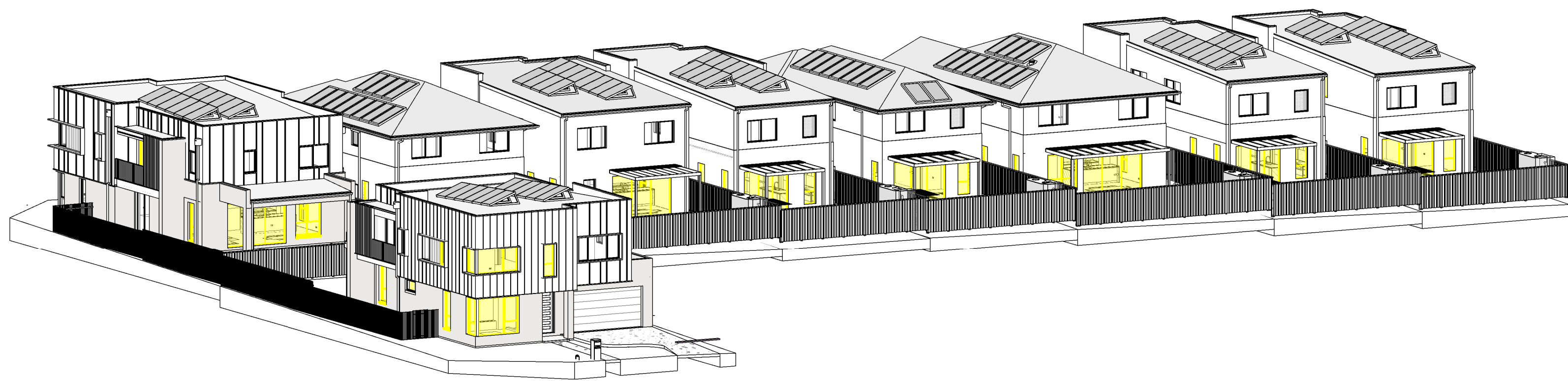
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 36 of 39



2 SUN EYE VIEW - 21 JUNE - 16_00 PM

31.10.25	B
08.08.25	A
date	rev

ISSUE TO SSDA FOR APPROVAL
PRELIMINARY ISSUE FOR CONSULTANT
amendment

MIRVAC
DESIGN

Level 20 200 George St
Sydney NSW 2000
T 02 9550 0000
M: 02 9550 0000
A: 02 9550 0000
E: info@mirvacdesign.com.au
W: www.mirvacdesign.com.au



project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
SUN EYE VIEW - 21 JUNE -
2PM/3PM/4PM

job no: MB-10418
drawing no: S2-2.1-DA412
scale @ A1 :
date: 31.10.25 rev: B

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200mm

300mm

100mm

200mm

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Department of Planning,
Housing and Infrastructure

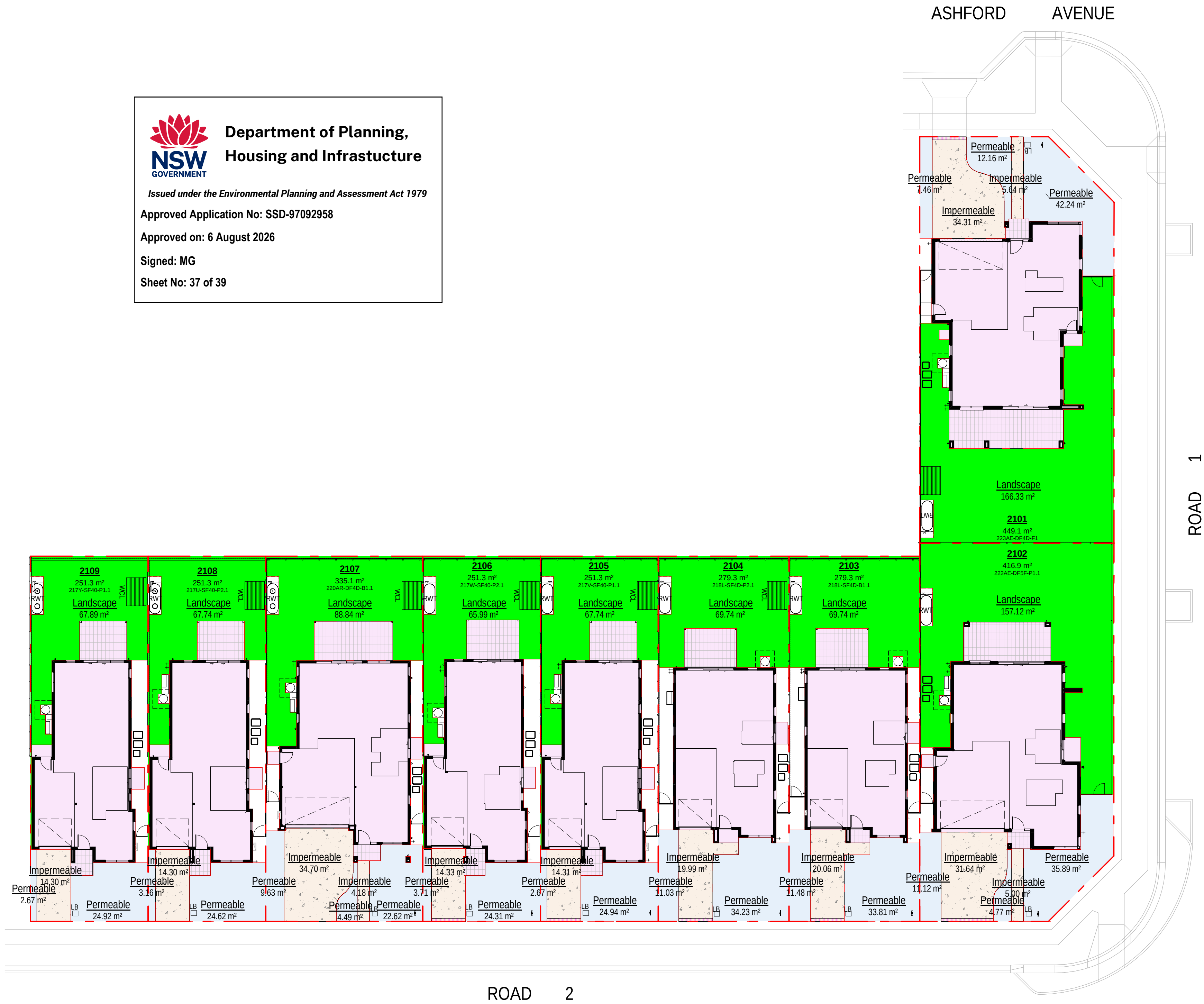
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

Sheet No: 37 of 39



1 GROUND FLOOR LOT2101-2109

	LANDSCAPE AREA
	IMPERMEABLE AREA
	PERMEABLE AREA

LANDSCAPED AREA SCHEDULE					
Lot Number	Lot Area	Lot Landscaped Area	Landscape Area req (min 20%)	Landscaped Area Provided (Min 25% of Lot Area)	Complies
2101	449.10 m²	166.33 m²	89.82 m²	37.04%	Yes
2102	416.90 m²	157.12 m²	83.38 m²	37.69%	Yes
2103	279.30 m²	69.74 m²	55.86 m²	24.97%	Yes
2104	279.30 m²	69.74 m²	55.86 m²	24.97%	Yes
2105	251.30 m²	67.74 m²	50.26 m²	26.96%	Yes
2106	251.30 m²	65.99 m²	50.26 m²	26.26%	Yes
2107	335.10 m²	88.84 m²	67.02 m²	26.51%	Yes
2108	251.30 m²	67.74 m²	50.26 m²	26.96%	Yes
2109	251.30 m²	67.89 m²	50.26 m²	27.02%	Yes

FRONT LANDSCAPED AREA SCHEDULE - LOT 2101				
Lot Number	Front yard Area	Landscaped Front yard Area	Landscaped Front yard Area (min 45%)	Complies
2101	101.80 m²	61.85 m²	60.76%	Yes

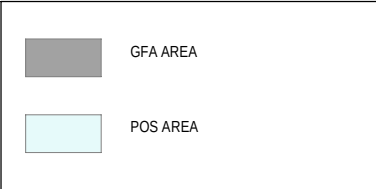
FRONT LANDSCAPED AREA SCHEDULE				
Lot Number	Front yard Area	Landscaped Front yard Area	Landscaped Front yard Area (min 40%)	Complies
2102	88.42 m²	51.77 m²	58.55%	Yes
2103	65.18 m²	45.29 m²	69.49%	Yes
2104	65.31 m²	45.26 m²	69.30%	Yes
2105	42.30 m²	27.61 m²	65.26%	Yes
2106	42.86 m²	28.02 m²	65.37%	Yes
2107	75.77 m²	36.75 m²	48.50%	Yes
2108	42.41 m²	27.79 m²	65.52%	Yes
2109	42.23 m²	27.58 m²	65.32%	Yes

31.10.25	B	ISSUE TO SSDA FOR APPROVAL PRELIMINARY ISSUE FOR CONSULTANT amendment
08.08.25	A	
date	rev	



0mm 100mm 200mm 300mm

ASHFORD AVENUE





Department of Planning,
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-97092958

Approved on: 6 August 2026

Signed: MG

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Site - GFA schedule for FSR calc.		
Lot No.	Name	Area*
2101	Ground Floor	89.7 m ²
2101	First Floor	117.45 m ²
		207.2 m ²

2102	Ground Floor	85.5 m ²
2102	First Floor	110.6 m ²
		196.1 m ²

2103	Ground Floor	72.0 m ²
2103	First Floor	87.5 m ²
		159.5 m ²

2104	Ground Floor	72.0 m ²
2104	First Floor	88.5 m ²
		160.4 m ²

2105	Ground Floor	74.2 m ²
2105	First Floor	78.6 m ²
		152.8 m ²

2106	Ground Floor	74.4 m ²
2106	First Floor	79.0 m ²
		153.4 m ²

2107	Ground Floor	80.1 m ²
2107	First Floor	102.5 m ²
		182.6 m ²

2108	Ground Floor	74.2 m ²
2108	First Floor	78.6 m ²
		152.8 m ²

2109	Ground Floor	74.2 m ²
2109	First Floor	78.6 m ²
		152.8 m ²

2109	Ground Floor	74.2 m ²
2109	First Floor	78.6 m ²
		152.8 m ²

2109	Ground Floor	74.2 m ²
2109	First Floor	78.6 m ²
		152.8 m ²

2109	Ground Floor	74.2 m ²
2109	First Floor	78.6 m ²
		152.8 m ²

2109	Ground Floor	74.2 m ²
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		152.8 m ²

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		152.8 m ²

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		152.8 m ²

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		152.8 m ²

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		152.8 m ²

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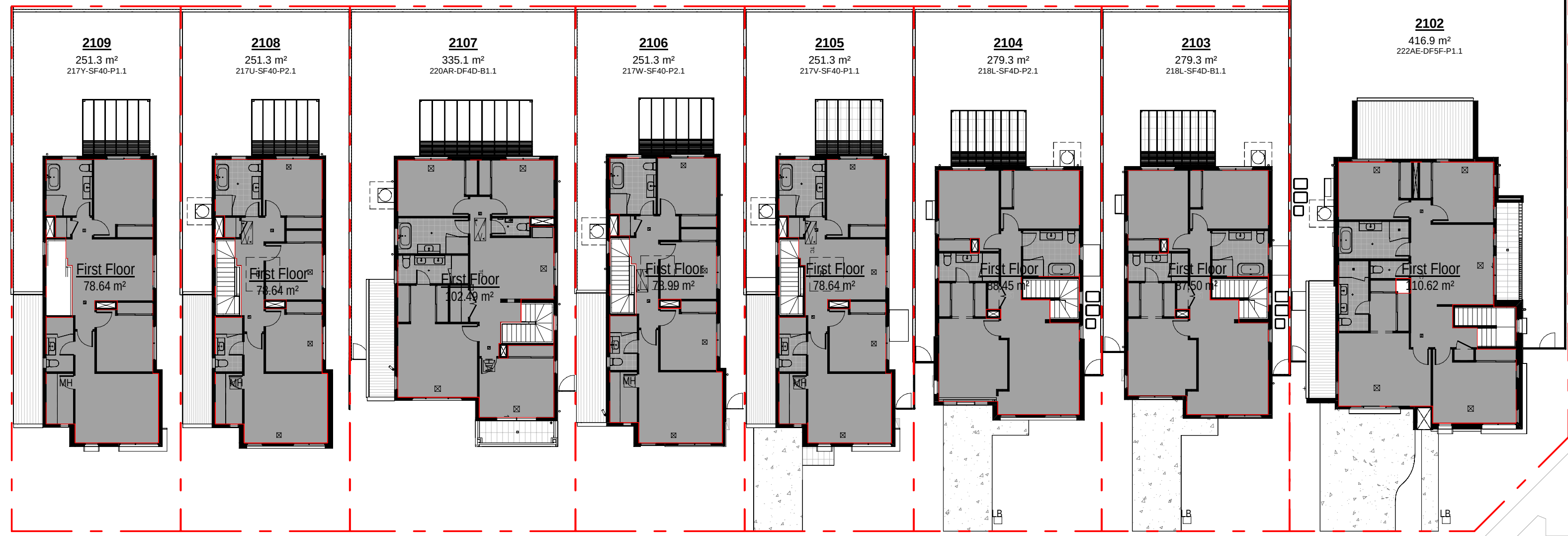
Area Schedule (POS)	
Lot No.	POS
2101	152.0 m ²
2102	134.2 m ²
2103	85.3 m ²
2104	85.3 m ²
2105	71.5 m ²
2106	70.8 m ²
2107	95.7 m ²
2108	71.5 m ²
2109	71.5 m ²

SITE FSR - LOT 2101			
Lot No	Lot Area	Gross floor area	FSR (Max 50%)
2101	449.1 m ²	207.2 m ²	46.1%

SITE FSR - LOT 2102 - 2109				
Lot No	Lot Area	Max FSR (37% of Lot Area + 80m ²)	Gross Floor Area	Complies
2102	416.9 m ²	234.3 m ²	196.1 m ²	Yes
2103	279.3 m ²	183.3 m ²	159.5 m ²	Yes
2104	279.3 m ²	183.3 m ²	160.4 m ²	Yes
2105	251.3 m ²	173.0 m ²	152.8 m ²	Yes
2106	251.3 m ²	173.0 m ²	153.4 m ²	Yes
2107	335.1 m ²	204.0 m ²	182.6 m ²	Yes
2108	251.3 m ²	173.0 m ²	152.8 m ²	Yes
2109	251.3 m ²	173.0 m ²	152.8 m ²	Yes

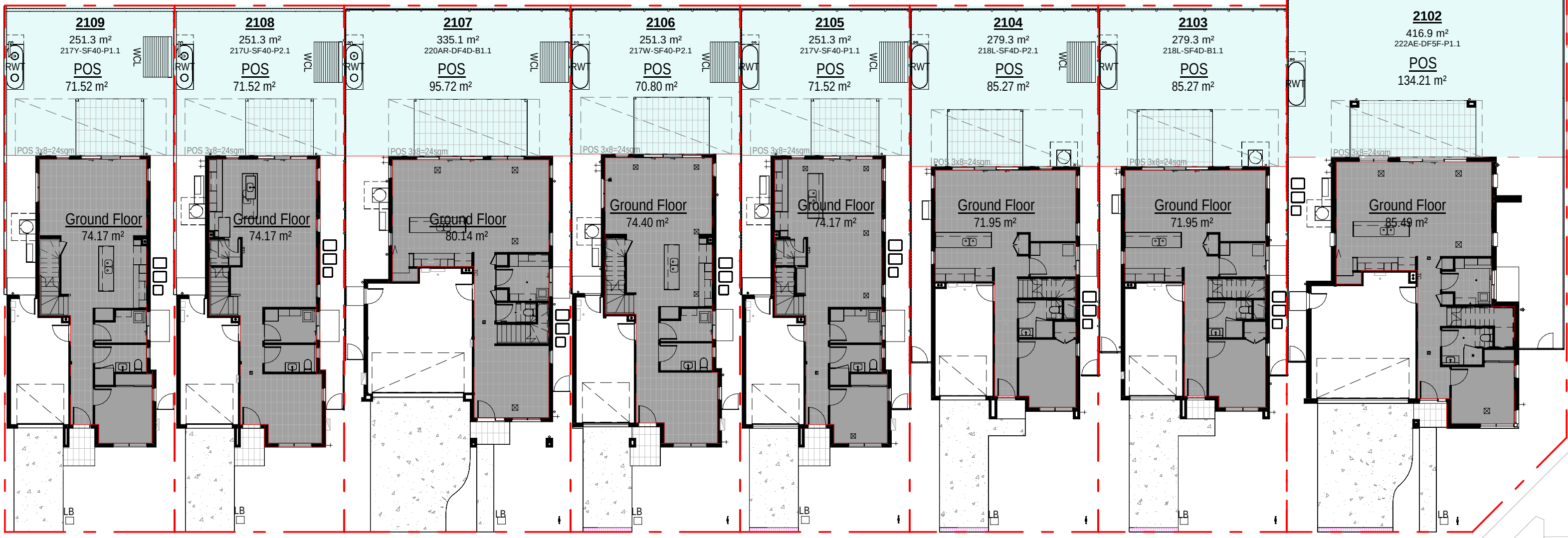
ASHFORD AVENUE

ROAD 1



2 GFA AREAS - FIRST FLOOR

ROAD 2



1 GFA AREAS - GROUND FLOOR

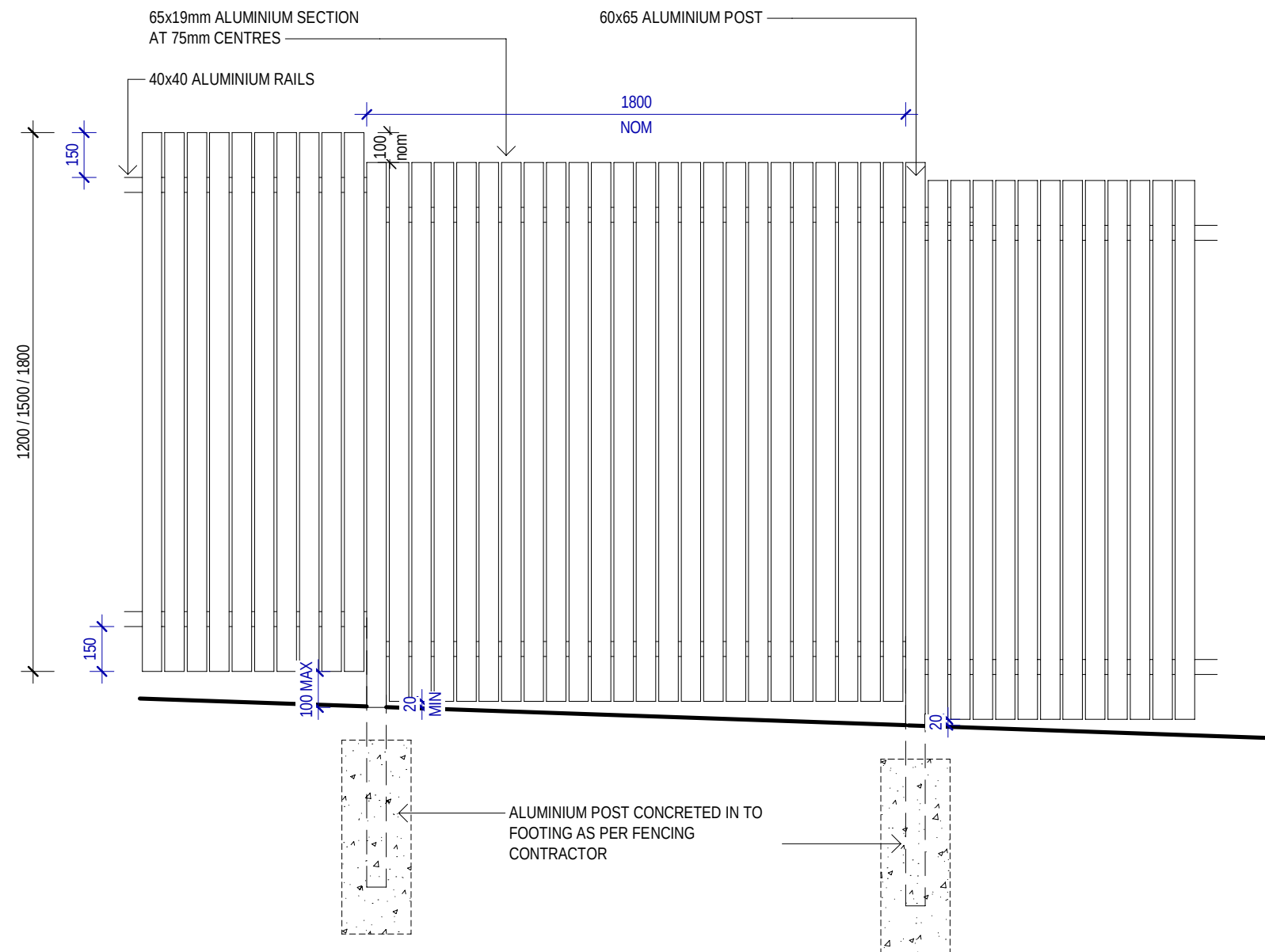
ROAD 2

project:
KINLEA - MILPERRA (WSU)
2 Bullecourt Avenue, Milperra NSW 2214
Stage: 2 Site: 2.1 Lot: 2101-2109

title:
GFA AREA AND POS AREA PLANS

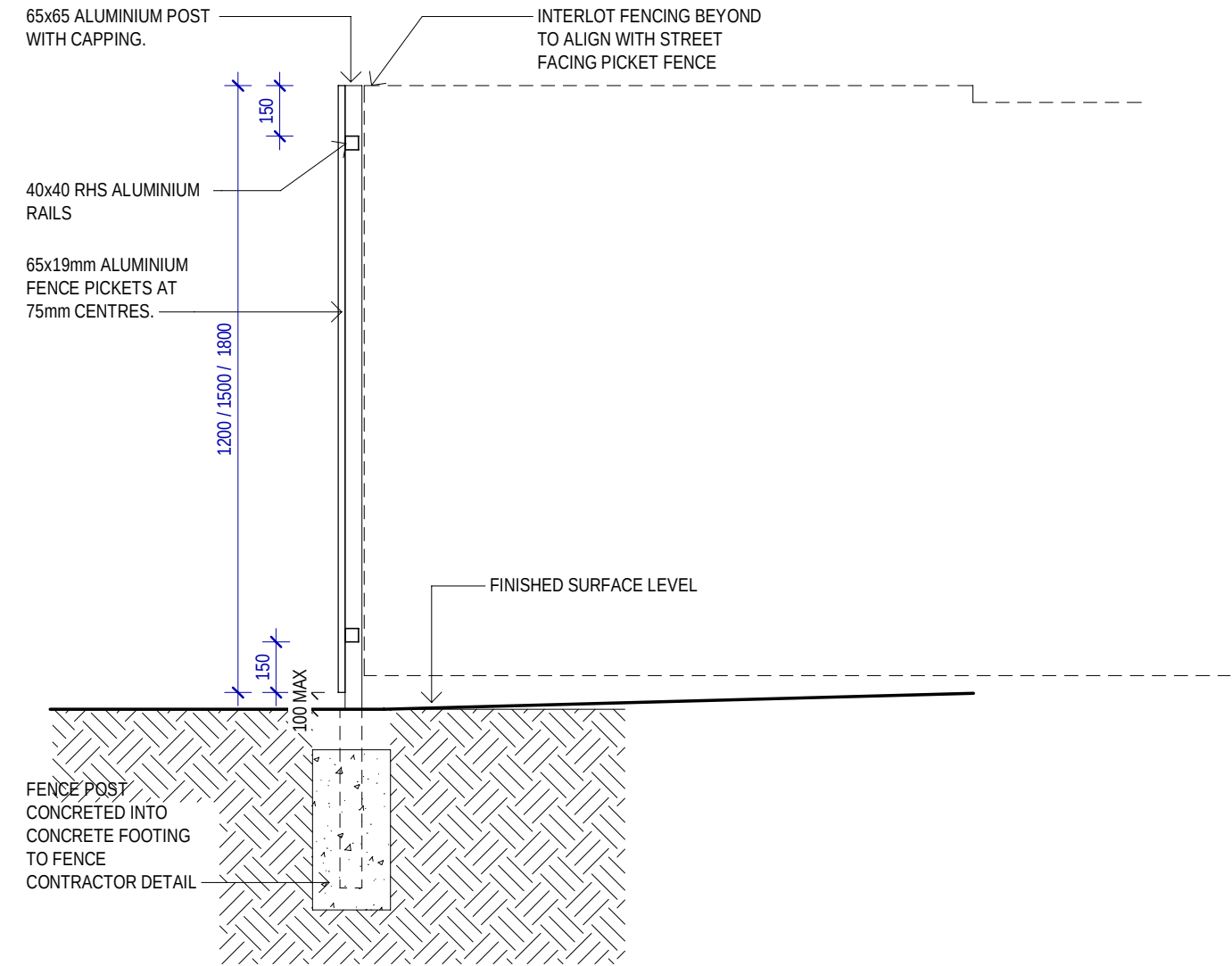
job no: MB-10418
drawing no: S2-2.1-DA421
scale @ A1 : 1 : 200
date: 31.10.25 rev: B





1 ELEVATION - BM-18 METAL BATTEN FENCE
1 : 20

1 ELEVATION - BM-18 METAL BATTEN FENCE



2 SECTION



Department of Planning,
Housing and Infrastructure

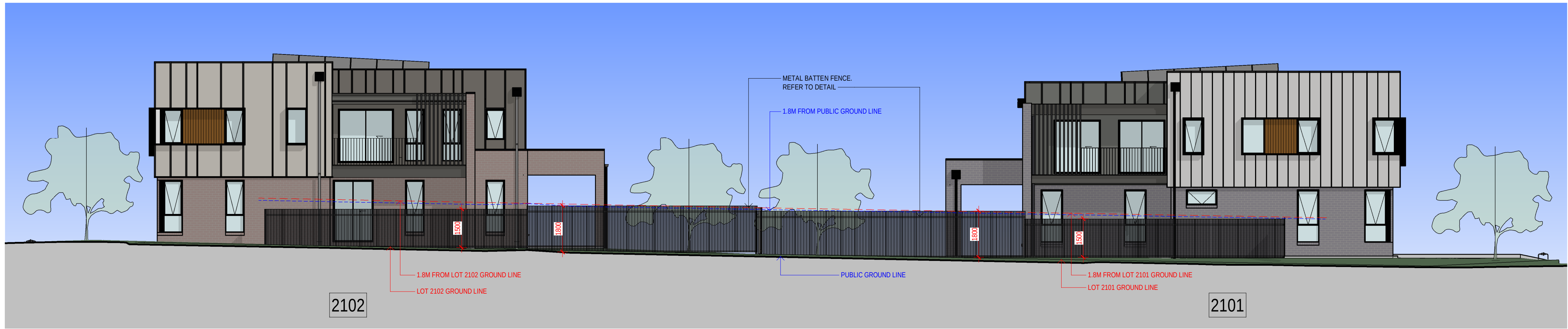
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3 LOT 2101 - 2102 / STREET ELEVATION BATTEN FENCE DETAILS