



Construction and Demolition Waste Management Plan

Property

165 Wallgrove Road & 475 Ferrers Road, Eastern Creek

Client

AWJ Civil

155 Newton Rd,

Wetherill Park NSW 2164

Version

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The undersigned confirm that this document and all associated attachments relate to the Site under investigation and have been reviewed and checked for errors, omissions and inaccuracies.

Name	Signature	Position	Date
Richard Case		Director	08/10/2021



Contents

1.0	Introduction	3
1.1	Background	3
1.2	Site Description	3
1.3	Development Overview	3
2.0	C&DWMP Framework	4
2.1	Relevant Legislation	4
2.2	SSD Conditions	5
3.0	Identification and Management of Waste	6
3.1	Waste Generating Activities	6
3.1.1	Building Asbestos Removal	6
3.1.2	Building & Pavement Demolition	6
3.1.3	Site Remediation	7
3.1.4	Civil Construction	7
3.2	Waste Hierarchy	7
3.3	Waste Handling and Storage	8
3.4	Demolition Waste	9
3.5	Remediation & Civil Construction Waste	10
4.0	Environmental Reporting and Auditing	11
4.1	Waste Management Compliance & Reporting	11
4.2	Complaints	11
4.3	Construction Site Access	12
4.4	Construction Hours	12
4.5	Regulatory Authority Contact Details	12

Figure 1 Site Location

Figure 2 Site Layout

1.0 Introduction

1.1 Background

Compliance Health & Environmental Consulting Pty Ltd (CHEC) has prepared this Construction and Demolition Waste Management Plan (C&DWMP) on behalf of AWJ for Charter Hall. The C&DWMP was developed in response to conditions of consent from State Significant Development Application 9667 provided by the Minister for Planning for the Light Horse Interchange Business Hub (LHIBH).

1.2 Site Description

The site is identified as Part Lot 10 DP 1061237 and Part Lot 5 DP 804051, located at 165 Wallgrove Road & 475 Ferrers Road, Eastern Creek within the Blacktown City Council Area. The Site is largely unused pastoral land that was occupied by the Australian Defence Forces until the 1990's. Several buildings remain in the area of the former Army compound, including, accommodation building, warehouse and storage sheds. The Site also contains a Waste treatment plant and underground petroleum storage system.

Refer to **Figure 1** – Site Location and **Figure 2** – Site Layout.

1.3 Development Overview

Western Sydney Parklands Trust, in partnership with Charter Hall, to construct the LHIBH. The development will consist of 165,500m² of gross floor area for general industrial, light industrial, warehouse and distribution centres and ancillary office land located east of the M7 and south of the M4 Motorways

Stage 1 works will involve:

- Demolition of existing structures
- Remediation of the site
- Site preparation and bulk earthworks
- Construction of road access and internal roads and
- Installation of essential infrastructure services;
- Flood and stormwater management infrastructure works; and
- Subdivision of the site into 11 Torrens title lots, including seven future development lots and four lots comprising the stormwater detention basin, access road reserve and residual land to remain within Western Sydney Parklands.

2.0 C&DWMP Framework

This C&DWMP has considered the Waste Management Plan prepared by pitt&sherry in 2019 that accompanied the development application. Specifically, Sections 3 for the demolition / excavation stage and Section 4 for the Construction stage. Construction must not commence until this plan has been reviewed and approved by the Minister.

This plan will outline the procedures necessary to manage the waste being generated from development of the proposed business hub for the duration of construction works. The Plan will identify all potential wastes and appropriate methods to avoid, reduce or reuse wastes that are likely to be generated by the construction activities.

The specific objectives of this C&DWMP are as follows:

- To minimise resource requirements and construction waste through reuse and recycling, and the efficient selection of resources
- To maximise reuse or recycling of demolition waste either on site or at an appropriately licensed facility
- To assist contractors to develop systems for waste management that ensure waste is transported and disposed of in a lawful manner
- To provide guidance in regard to space, storage, amenity and management of waste
- To minimise risks associated with waste management at all stages of construction

2.1 Relevant Legislation

Table 1 Legislation that applies to this C&DWMP

Protection of the Environment Operations Act 1997	The Protection of the Environment Operations Act 1997 (POEO Act) is administered by the NSW Environmental Protection Authority (EPA) and provides for a system of environmental protection licences for scheduled development work and activities, as well as the ability to issue environmental protection notices for pollution and waste management. Environmental offences. The POEO Act and POEO (Waste) Regulations 2014 specify the legal requirements for the management of waste. There are serious offences under the POEO Act for the unlawful transportation and deposition of waste
Waste Avoidance and Resource Recovery Act 2001	The Waste Avoidance and Resource Recovery Act 2001 (WARR) provides the legislative framework to manage resource recovery in NSW and under which the Waste Avoidance and Resource Recovery Strategy can be implemented.
POEO(UPSS) Regulation, 2019	Demolition activities at the Site will require the removal and management of Underground Petroleum Storage Systems (UPSS). This process must be undertaken in accordance with the POEO(UPSS) Regulation, 2019 and Australian Standard AS4967-2008.

2.2 SSD Conditions

The following table summarises the relevant conditions as per the SSDA – 9667 Schedule 3 – Conditions of Consent for Stage 1 and where these matters are addressed within the C&DWMP.

Table 2 Consent Conditions

Condition	Comments	Reference
A10.	All demolition must be carried out in accordance with Australian Standard AS 2601-2001 The Demolition of Structures. (Standards Australia, 2001)	Section 3.4 – Demolition Waste
B38	Prior to the commencement of construction, the Applicant must prepare a Construction and Demolition Waste Management Plan for the development to the satisfaction of the Planning Secretary. The Plan must form part of a CEMP in accordance with condition C2 and must: <ul style="list-style-type: none"> (a) detail the quantities of each waste type generated during construction and the proposed reuse, recycling and disposal locations; and (b) be implemented for the duration of construction works 	<ul style="list-style-type: none"> (a) Section 3.4 and 3.5 - Waste – Recycle and Disposal Estimates (b) Section 2.0 – Framework
B39	The Applicant must: <ul style="list-style-type: none"> a. not commence construction until the Construction and Demolition Waste Management Plan is approved by the Planning Secretary. b. implement the most recent version of the Construction and Demolition Waste Management Plan approved by the Planning Secretary 	Section 2.0 – Framework
B41	All waste materials removed from the site must only be directed to a waste management facility or premises lawfully permitted to accept the materials	Section 3.3 – Waste Handling and Storage
B42	The Applicant must assess and classify all liquid and non-liquid wastes to be taken off site in accordance with the latest version of EPA's Waste Classification Guidelines Part 1: Classifying Waste (EPA, 2014) and dispose of all wastes to a facility that may lawfully accept the waste	Section 3.3 – Waste Handling and Storage Section 4.1 – Waste Management Compliance & Reporting
B43	Waste generated outside the site must not be received at the site for storage, treatment, processing, reprocessing, or disposal	Section 3.3 – Waste Handling and Storage

3.0 Identification and Management of Waste

3.1 Waste Generating Activities

The following activities have been identified to potentially generate waste during Stage 1 of the development and will require some form of management during demolition, Remediation and civil construction. Different types of waste generated during the demolition and construction phases for Stage 1 will be classified and allocated to be either re-used, recycled or disposed, minimising the amount of off-site waste disposal.

3.1.1 Building Asbestos Removal

Buildings at the Site have been reported as containing asbestos materials that will require removal prior to demolition. Specifically, these have been identified as:

Warehouse Building	Fibre cement roof sheeting and fibre cement eaves Bituminous membrane on ground slab
Accommodation Building	Fibre cement roofing and fibre cement eaves Vinyl Floor Tiles
Storage Sheds	Fibre cement roofing Fibre cement ceiling and Vinyl floor tiles
Sewage Treatment Area	Fibre cement walls, eaves and roofing

3.1.2 Building & Pavement Demolition

Subsequent to the clearance of asbestos materials, demolition will be undertaken in the following areas:

Warehouse Building	Brick walls, concrete flooring, timber, glass, Plastics, SMF and metal
Accommodation Building	Brick walls, timber, plasterboard, glass, plastics, SMF and metal
Storage Sheds	Concrete, Metal
Sewage Treatment Area	Contaminated soil, concrete and steel.
External Pavement	Concrete, bitumen steel
UPSS Infrastructure	Steel, contaminated Soil, concrete

3.1.3 Site Remediation

Site remediation will be undertaken in accordance with the RAP (WSP, 2021). The scope is likely to include the following waste generating activities:

Soil Stockpiles	Contaminated Soil – Asbestos Contaminated Soil – PAH (Asphalt)
Compound Area	Fibre cement fragments, Contaminated Soil - Asbestos
UPSS Decommissioning	Flammable tanks Contaminated Soil - Hydrocarbon

3.1.4 Civil Construction

Construction will include services installation, cut to fill excavation, fill importation and construction material importation. During this process, potential wastes that are likely to be generated include:

Bulk Excavation	Soils/ rock cut and placed Imported engineered Fill
Excavation - Unexpected finds	Contaminated Soil – Asbestos / PAH/ hydrocarbons / heavy metals / PFAS Non-compactible Soil Landfills – General Waste
Services Installation	Surplus aggregates Off Spec Recycled products Material Offcuts and breakage

3.2 Waste Hierarchy

The key framework underpinning waste management policy and practice in Australia is the waste management hierarchy, which ranks the ways of dealing with waste in order of preferences. It ranks strategies in order of preference from avoiding the creation of waste as the most desired outcome, and disposal as the least desired outcome.

Reuse and recycling ensures resources are kept in the circular economy, decreasing the need for virgin materials. If reuse and recycling are not viable options, energy recovery is considered in order to return energy to the community. This hierarchy will be implemented throughout demolition and civil works to prioritise reuse, recycling and/or reprocessing:

Waste generated through the demolition and construction phase will be assessed and classified in accordance with the NSW EPA Waste Classification Guidelines 2014. Where waste cannot be avoided, reduced, reused or recycled it will be classified allowing for appropriate and responsible disposal



3.3 Waste Handling and Storage

All waste is to be assessed in accordance with the Waste Classification Guidelines Part 1: Classifying Waste (EPA, 2014) by a suitably qualified contaminated land consultant. As per condition B41 all waste that cannot be reused at the Site will be removed and directed to a waste management facility or premises lawfully permitted to accept the materials. Any waste generated on site will be stored in an environmentally safe manner that prevents, unauthorised access or an uncontrolled release, in accordance with the POEO Act. This waste will only be stored on a temporary basis until it can be handled by appropriately licensed contractors.

Liquid wastes generated from the decommissioning of the UPSS system will be tested by a suitably qualified person to determine the appropriate containment and transport methods. Where necessary liquid waste will be transported in vehicles certified to carry flammable liquids. Where liquids from the UPSS decommissioning cannot be transferred directly to a licenced transporter, they will be stored in appropriate containers in bunded areas until transported off-site. Bunded areas will have the capacity to hold 110 per cent of the liquid waste volume for bulk storage

UPSS infrastructure will be degassed and certified as non-flammable prior to transport in accordance with methods provided in AS4976-2008. In the event that dangerous goods require temporary onsite storage, the following measures must be implemented:

- All dangerous goods will be stored and handled strictly in accordance with all relevant standards and Work Health and Safety Regulation 2017.
- The transport of and any hazardous and/or industrial and/or Group A waste from the site will be conducted strictly in accordance with any requirements that may be specified by the EPA in relation to the transport of those wastes
- An emergency procedure for chemical spills and other potential incidents shall be developed before work commences

Any waste produced outside of the facility will not be accepted at the site for storage, treatment, processing, reprocessing, or disposal.

3.4 Demolition Waste.

All demolition must be carried out in accordance with Australian Standard AS 2601-2001 The Demolition of Structures. (Standards Australia, 2001). The NSW EPA Better Practice Guidelines for Waste Management and Recycling in Commercial and Industrial Facilities (2012) states that, it is a stakeholder's responsibility to 'minimise construction and demolition wastes and maximise resource recovery of materials.' As required by Consent B38(a), estimates for the quantity of waste and where they will be taken to be recycled, reused or disposed of have been provided by the demolition contractor Central Civil as part of their demolition plan. These estimates are provided by Table 3 below.

Table 3 – Demolition Disposal Estimates

Material Type	Estimated Quantity	Off-Site Recycle	Disposal
Green Waste	80t	Bingo – Eastern Creek	
Asbestos & other Hazardous Material	58t		Bingo or Suez – Eastern Creek
Bricks	1385t	Sustainable Resource Centre – Fairfield City Council – Wetherill Park	
Concrete	3794t	Sustainable Resource Centre – Fairfield City Council – Wetherill Park	
Timber	154t	Bingo – Eastern Creek	
Plasterboard & Glass	42t		Bingo – Eastern Creek
Metals	150t	Sell & Parker – Kings park, St Marys	
Liquid	~2000L	Toxfree	

3.5 Remediation & Civil Construction Waste

Estimates of wastes associated with civil works and how they will be reused, recycled or disposed of is as follows

Table 4 – Demolition Disposal Estimates

Type of Waste Generated	Reuse (m ³)	Recycle (m ³)	Disposal (m ³)	Method of management or waste facility to be used
Excavated Material – Cut to Fill	50,000			Reuse portion as required as on-site fill. Stockpile soil and reuse for landscaping if deemed suitable.
Excavated Soil – UPSS / off spec fill		1000		Send to recycling facility where there may be geotechnical constraints and where chemical concentrations allow, otherwise retained in containment cell.
Excavated Soil – Contaminated	2000		500	Contaminated Soils may be contained and managed on site in accordance with long term management plan. Disposed at Bingo or Suez where soils exceed management limits.
Timber (off-cuts, studs, etc)		20	5	Separated on site and provided to timber recyclers such as D&R Henderson. Non-recyclable treated timber sent to Genesis Landfill
Concrete		235		Genesis Eastern Creek / Bingo, or Concrete Recyclers (Group)
Containers (cans, plastic, glass)		5		Sent to SITA Wetherill Park for recycling
Paper/Cardboard		5	1	Sent to Kurnell Landfill or Randwick Recycling Centre for recycling.

4.0 Environmental Reporting and Auditing

4.1 Waste Management Compliance & Reporting

The owner of the waste generated at the development and engaged contractors will be required to actively manage their responsibilities for waste management to ensure any material moved offsite is transported in accordance with the requirements of the Protection of the Environment Operations Act (1997). All records demonstrating lawful disposal of waste must be retained and kept readily accessible for inspection by regulatory authorities such as Council, OEH or WorkCover NSW.

Central Civil will conduct the removal of asbestos material, which will occur in the first instance with the affected areas taped off and sign posted accordingly "Asbestos Removal in Progress". A bin or truck will be provided, lined with 200-micron black plastic and asbestos removal will commence by the suitably qualified personnel. Any friable asbestos and all hazmat will be removed by 'Class -A' Asbestos removal licenced contractors using the "Wet Method" and transported to an approved tip site with the dockets made available.

All waste materials intended for reuse at the site must be assessed by a suitably qualified contaminated land consultant to determine if the materials comply with land use suitability criteria prescribed by National Environmental Protection Measure (NEPC,2013). Where material does not comply with land use suitability thresholds, a decision will need to be made to dispose off-site or retain on site in a managed area. All off site disposal should be accompanied by a Soil Export Classification undertaken in accordance with the POEO (Waste) Regulation, 2014 and the Waste Classification Guidelines, 2014.

Should contaminated material be retained onsite, a determination must be made by a suitably qualified contaminated land consultant for what management measures need to be implemented. This process may also require consent from the certifying authority for the development. The measures may range from physical barriers, pathway intervention techniques and/or site controls to prevent the material posing a risk to future occupants, the surrounding environment or any other sensitive receptor.

At the completion of any remedial work that requires on site containment, a validation report accompanied by a Long-Term Environmental Management Plan should be provided by the contaminated land consultant.

4.2 Complaints

The Project Manager in conjunction with Charter Hall are responsible for ensuring that the appropriate management response and handling procedures are instigated and carried through in the event of an environmental complaint. The induction and toolbox talks should be used to ensure all site employees and contractors are aware of and understand their obligations for incident response. All employees and contractors who take receipt of a complaint, either verbal or written, are to immediately notify the Project Manager, who will then contact the relevant authority and maintain an environmental complaint register at the Site at all times

4.3 Construction Site Access

Existing vehicle access is available via Wallgrove Road and an underpass below the M7 Motorway during the demolition stage. When construction is complete vehicular access will be provided via a new access road and roundabout intersection from Ferrers Road. The access road has been designed to accommodate full access and manoeuvrability of B Double heavy vehicles. The existing road access via the M7 underpass will provide for a secondary emergency access only.

4.4 Construction Hours

Construction hours for the development will be in accordance with Condition B17 as shown below in table 4. Under condition B18, work can only be undertaken outside of these hours in the following circumstances:

- (a) works that are inaudible at the nearest sensitive receivers;
- (b) works agreed to in writing by the Planning Secretary;
- (c) for the delivery of materials required outside these hours by the NSW Police Force or other authorities for safety reasons; or
- (d) where it is required in an emergency to avoid the loss of lives, property or to prevent environmental harm

Table 5 Construction Work Hours

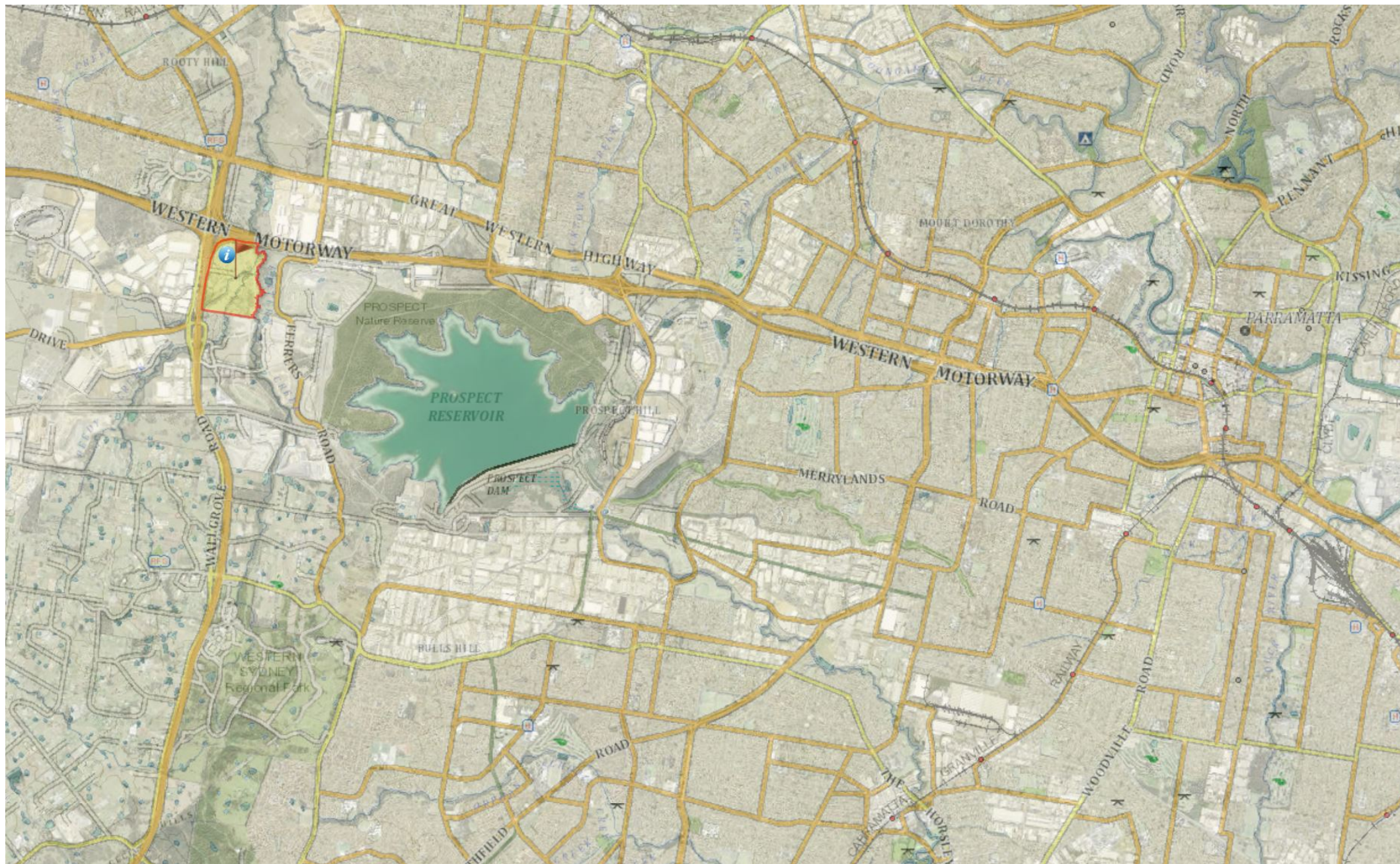
Activity	Day	Time
Earthworks and Construction	Monday -Friday	7am to 6pm
	Saturday	8am to 1pm

4.5 Regulatory Authority Contact Details

Table 6 – Regulatory Authorities

Authority	Contact	Contact Info
Department of Planning and Environment (DPE)	Compliance Unit	1300 305 695
Environmental Protection Authority (EPA)	Environment Line	131 555
Safework NSW	Incident Notification Hotline	131 050

Figure 1 – Site Location



— Site Location



CHEC
Compliance Health &
Environmental Consulting

Title Site Location			
Site Address Lighorse Interchange	Project No. CH1252	Figure No. 1	Date 08/10/2021
Client AWJ Civil Pty Ltd	Scale NTS	Compiled RC	Revision Rev. 1

Figure 2 – Site Layout



— Site Location



CHEC
Compliance Health &
Environmental Consulting

Title				
Site Layout				
Site Address	Lighthorse Interchange	Project No.	CH1252	Figure No.
				2
Client	AWJ Civil Pty Ltd	Scale	NTS	Compiled
				RC
				Revision
				Rev. 1

08/10/2021