



**PROPOSED RESIDENTIAL
REDEVELOPMENT DEWATERING
MANAGEMENT PLAN**

19-23 Rosalind St, Cammeray

18 December 2025

Prepared for:
Perifa Rosalind Development Pty Ltd

Prepared by:
Elite Geosciences Pty Ltd

Project Number:
2025181

Dewatering Management Plan

19-23 Rosalind St, Cammeray

Document History

Version	Effective Date	Description of Revision	Prepared by	Approved by
0	31/10/2025	Final	NL	TH
1	17/12/2025	Revision 1	TH	TH

The conclusions in the Report titled Dewatering Management Plan are EG's professional opinion, as of the time of the Report, and concerning the scope described in the Report. The opinions in the document are based on conditions and information existing at the time the scope of work was conducted and do not take into account any subsequent changes. The Report relates solely to the specific project for which EG was retained and the stated purpose for which the Report was prepared. The Report is not to be used or relied on for any variation or extension of the project, or for any other project or purpose, and any unauthorized use or reliance is at the recipient's own risk.

EG has assumed all information received from client and third parties in the preparation of the Report to be correct. While EG has exercised a customary level of judgment or due diligence in the use of such information, EG assumes no responsibility for the consequences of any error or omission contained therein.

This Report is intended solely for use by the Client in accordance with EG's contract with the Client. While the Report may be provided by the Client to applicable authorities having jurisdiction and to other third parties in connection with the project, EG disclaims any legal duty based upon warranty, reliance or any other theory to any third party, and will not be liable to such third party for any damages or losses of any kind that may result.

Approved by:



Signature

Terence Huang

Printed Name

Principal Engineer

BEng (Hons) & MEngSC (Geo), MIEAUST, CPEng, NER

NSW DEP, PDP

Qualifications

Dewatering Management Plan

19-23 Rosalind St, Cammeray

Table of Contents

1	INTRODUCTION.....	2
1.1	Overview.....	2
1.2	Available Information.....	2
1.3	Proposed Development.....	3
1.4	Objective.....	4
1.5	Regulatory Framework.....	4
2	GROUNDWATER CONDITIONS.....	4
2.1	Groundwater Monitoring Wells.....	4
2.2	Analytical results.....	5
2.2.1	Analytical field results.....	5
2.2.2	Human Health Criteria.....	5
2.2.3	Ecological Criteria.....	Error! Bookmark not defined.
3	DISCHARGE WATER QUALITY GUIDELINES.....	6
4	DEWATERING CONDITIONS AND CONTROLS.....	8
4.1	Estimated Seepage Groundwater Volumes.....	8
4.2	Monitoring During Construction.....	8
4.3	Dewatering Volumes Measurement.....	9
4.4	Dewatering Method.....	9
4.5	Drawdown Impacts.....	Error! Bookmark not defined.
4.6	Water Quality Treatment.....	9
4.7	Water Quality Monitoring Requirements.....	9
4.8	Vibration, Noise and Odour Management.....	11
4.9	Dewatering Contingencies.....	12
	Abbreviations.....	15

Appendix A – Site Plan

Appendix B – Basement Drawings

1 Introduction

1.1 Overview

Perifa Rosalind Development Pty Ltd (“the client”) has engaged Elite Geosciences (EG) to prepare a Dewatering Management Plan (DMP) for the proposed residential redevelopment, known 19-23 Rosalind St, Cammeray NSW (“the site”).

The Site location is shown in **Figure 1** in **Appendix A** with Site details presented in Table 1-1.

Table 1-1 Site Identification

Item	Details
Site Address	19 – 23 Rosalind Street, Cammeray NSW 2062
Approximate overall Site Area (ha)	1,534 m ²
Title Details	SP4657, SP5218 and SP16181
Local Government Area	North Sydney Council

The purpose of this DMP is to achieve compliance with WaterNSW requirements in relation to the proposed dewatering activities at the site during basement construction. This DMP outlines site-specific measures for the appropriate management of seepage groundwater discharge during the bulk excavation stage and basement construction periods. Proposed excavation will be estimated taking approximately 6 months to be completed, during which all storm and seepage groundwater will be discharged into the local Council stormwater system.

Industry specific SEARs were issued on 17 October 2025 for the development. Development for the purposes of seniors housing with an Estimated Development Cost (EDC) of more than \$30 million and includes a residential care facility is state significant development under Schedule 1, Section 28 of the *State Environmental Planning Policy (Planning Systems) 2021* (Planning Systems SEPP). The proposed development has an EDC exceeding \$30 million and includes a residential care facility component. Accordingly, it is considered State Significant Development.

This report accompanies an Environmental Impact Statement (EIS) pursuant to Part 4 of the Environmental Plannings and Assessment Act 1979 (EP&A Act). In support of a State Significant Development Application (SSDA) for the construction of the proposed residential building, reference SSD-96505456. This report addresses the Secretary’s Environmental Assessment Requirements (SEARs) issued for the project notably:

SEAR Requirement	Section of Report where response is provided
<i>Item 12 Ground and Groundwater Conditions – Groundwater Impact Assessment in accordance with relevant Groundwater Guidelines</i>	Section 2-4 of this report.

1.2 Available Information

At the time of preparing this report, the following documents were available for review:

Dewatering Management Plan

19-23 Rosalind St, Cammeray

- Architecture drawings prepared by Chrofi, showing the proposed redevelopment;
- Site Survey Plan, prepared by Hill & Blume Consulting Surveyors, Rev.B dated 12/08/2025
- Geotechnical Investigation Report, prepared by EG; and
- Groundwater Seepage and Impact Assessment, prepared by EG.

1.3 Proposed Development

Based on the provided architectural drawings prepared by Chrofi Architects, it is understood that construction activities associated with the proposed development include:

- Site preparation works including demolition of three (3) existing residential flat buildings and associated parking facilities as well as bulk excavation;
- Construction of two (2), five (5) and six (6) storey buildings, Building A and B respectively, comprising the following:
 - Building A:
 - Ground Level neighbourhood shop and multi-purpose communal space;
 - 6 x 2-bedroom ILUs; and
 - 11 x 3-bedroom ILUs.
 - Building B:
 - 12 x 2-bedroom ILUs;
 - 22 x 3-bedroom ILUs;
 - Two (2) residential care facility beds and residential care hub;
 - Internal communal facilities for use by all residents comprising a cinema, private dining room, gymnasium and pool.
- Communal open space and associated landscaping;
- Construction of two (2) basement levels to facilitate car parking accessible via Rosalind Street;
- Ground Level neighbourhood shop located in Building A;
- Extension and augmentation of utility infrastructure as required.
- It is expected that the proposed two (2) levels basement will reach the Finished Floor Level (FFL) at RL 77.4m and estimated Bulk Excavation Level (BEL) at about RL77.2m, up 9.56m deep of excavations; and the architectural plans indicate min. 2.2-3.0m setback is proposed for basement walls.

Based on the findings of investigation and site landform consideration, it is anticipated the proposed bulk excavation (predominately in siltstone bedrock) will locally intersect the groundwater table and result mainly in localised seepage only. Groundwater inflow is expected to occur through soils, soil–rock interfaces, and fractures or joints within the rock mass, particularly during periods of intense and prolonged rainfall. The steady-state SEEP/W analysis undertaken by EG indicates that the total groundwater inflow over the first 6-months of basement excavation may be up to approximately 2.61 ML. This magnitude of inflow is

Dewatering Management Plan

19-23 Rosalind St, Cammeray

considered manageable using a conventionally sized pump-and-sump system, and therefore temporary dewatering measures will be required during basement construction.

1.4 Objective

The primary objective of this DMP is to provide management procedures that will ensure any pumped-out groundwater (seepage water) discharged to Council stormwater assets to be of an acceptable quality and complies with the requirements of the Protection of the Environment Operations Act 1997 (POEO Act 1997).

Furthermore, this DMP outlines monitoring procedures regarding the periodic measurements of estimated groundwater levels, flow and discharge volume, as well as the required measures to minimise risks of contamination, or other interference, of the local aquifer system.

EG understands that this DMP will form part of the basis for:

- a) The approval to enable connection and discharge to Council's stormwater system; and
- b) The groundwater dewatering licence approval, which is to be issued by WaterNSW.

1.5 Regulatory Framework

The following regulatory instruments and guidelines were considered:

- Contaminated Land Management Act 1997 (the CLM Act 1997);
- Protection of the Environment Operations Act 1997 (the POEO Act 1997);
- Environmental Planning and Assessment Act 1979 (the EP&A Act 1997); in particular
- State Environmental Planning Policy 55 - Remediation of Land (SEPP 55);
- NEPC (2013) National Environmental Protection (Assessment of Site Contamination) Amendment Measure 1999;
- Water Management Act 2000;
- NSW Aquifer Interference Policy; and
- NSW DPIE (2021) Minimum requirements for building site groundwater investigations and reporting, Information for developers and consultants.

2 Groundwater Conditions

2.1 Groundwater Monitoring Wells

The following observations were made during the groundwater monitoring event, with information on groundwater gauging data and field parameters presented in **Tables 2-1** below.

Each well was gauged using an oil/water interface probe to assess for the presence of light non-aqueous phase liquid (LNAPL) and to measure the standing water level. A summary of the gauging and survey data is provided below.

Table 2-1 Groundwater data

Well ID	Screened Interval (m bgl)	Date	SWL (m bgl)	Well Type	Bore Depth (m bgl)
BH1	8.74 to 14.74m	1/10/2025	9.2m BGL / RL75.14m	Gatic	14.74

Dewatering Management Plan

19-23 Rosalind St, Cammeray

Well ID	Screened Interval (m bgl)	Date	SWL (m bgl)	Well Type	Bore Depth (m bgl)
BH2	5 to 10m	1/10/2025	6.1m BGL / RL80.57m	Gatic	10.00
BH4	1 to 4m	1/10/2025	2m BGL / RL84.45m	Gatic	11.00
BH6	4 to 10m	1/10/2025	4.2m BGL / RL82.56	Gatic	10.00

SWL: standing localised perched water level, uncompensated with barometric pressure.

TOC top of casing

AHD: Australian height datum

2.2 Analytical results

2.2.1 ANALYTICAL FIELD RESULTS

Multiple groundwater sampling was undertaken at BH1, BH3, BH4 and BH6 wells utilising low-flow sampling techniques, in which wells were purged until groundwater field parameters were stabilised before collecting a sample (completed by environmental consultant FES). Refer to project Detailed Site Investigation (DSI) for testing results.

It is considered that local groundwater trigger values are applicable for investigating chemical concentrations in groundwater at the site. It is understood that the NSW EPA policy is that the trigger values for the protection of 95% of aquatic ecosystems should be used as groundwater assessment criteria when considering moderately or highly disturbed receiving environments. The receiving waters for groundwater at the site are considered to be moderately disturbed ecosystems and the ANZG (2018) 95% protection values are therefore considered appropriate groundwater assessment criteria for the site. All samples are having clear and low turbidity. It is considered that local groundwater pH should be closely monitored during the proposed dewatering, as the fluctuation of pH levels could affect how other solutes are partitioned between the dissolved and precipitated fractions.

2.2.2 HUMAN HEALTH CRITERIA

The analysed groundwater samples were reported either below the laboratory LOR or the applicable human health screening criteria.

3 Discharge Water Quality Guidelines

In accordance with the statutory requirements for site dewatering operations, dewatering must comply with the ANZG (2018) trigger values for the protection of fresh / marine water ecosystems. Typical dewatering quality requirement must also adhere to the following:

- Discharge water must have a pH of between 6.5 and 8;
- Discharge water must not exceed a suspended sediment concentration of 50mg/L;
- Records for all water testing must be kept for the duration of the dewatering period; and
- Written details of the results of any water tested must be provided within 7 days to requesting authorised officers.

A summary of the recommended Discharge Water Criteria for this site is provided in Table 3-1.

Table 3-1 Discharge Water Criteria

Parameter / Chemical	Discharge Water Criteria (µg/L)
Physicochemical	
pH	6.5-8.5
Turbidity (NTU)	0.5 to 10 ¹
Electrical Conductivity (µS/cm)	125 to 2,200 ¹
Total Dissolved Solids (mg/L)	<600 – 900 ²
Total Suspended Solids (mg/L)	50 ⁶
Hardness (mg/L as CaCO ₃)	<60 – 500 ²
Heavy Metals (µg/L)	
Aluminium (pH>6.5)	80
Arsenic	100
Cadmium	0.2
Chromium VI ⁴	12
Copper	1.4
Lead	3.4
Mercury (inorganic)	0.6 ³
Nickel	11

Dewatering Management Plan

19-23 Rosalind St, Cammeray

Parameter / Chemical	Discharge Water Criteria (µg/L)
Zinc	8
Total Recoverable Hydrocarbons (µg/L)	
F1 (C6-C10 minus BTEX)	50
F2 (>C10-C16 minus naphthalene)	60
F3 (>C16-C34)	500
F4 (>C34-C40)	500
Polycyclic Aromatic Hydrocarbons (µg/L)	
Benzo(α)pyrene	0.2 ³
Naphthalene	37
VOCs (including BTEX; µg/L)	
Total VOCs ⁵	N/A
Benzene	950
Toluene	180
Ethylbenzene	80
o-Xylene	350
m-Xylene	100
p-Xylene	250
Other Contaminants (µg/L)	
Total Cyanide	11
Total Phenols	600

Notes:

N/A – No Available Criterion; in lack of a criterion, the laboratory PQL will be adopted, in compliance with DEC (2007).

¹ Sourced from Table 3.3.3 Default Trigger Values for physical and chemical stressors (ANZECC/ARMCANZ, 2000).

² Based on NHMRC (2018) Drinking Water Guidelines.

³ To account for the bioaccumulating nature of this toxicant and increase the margin of safety, the 99% species protection level DGV for slightly to moderately disturbed systems has been adopted.

⁴ Total metal concentration shall be determined initially; where elevated levels are encountered, speciation analysis will be commissioned.

⁵ Only detected VOCs will be reported, criterion is to be determined at the time laboratory results are received.

To establish the suitability of the seepage water for discharge to the stormwater system, ongoing monitoring of water quality must be undertaken during the dewatering period. This will involve regular sampling of the water by a qualified environmental consultant, with laboratory analysis for the potential contaminants listed in **Table 3-1** by a NATA-accredited laboratory. Laboratory analytical reports, with relevant quality control data, must be supplied to the client (or the delegated environmental consultant) so that the performance of the water quality treatment can be frequently monitored, and periods of uncompliant discharge can be minimised.

The analyses and/or visual inspections must also demonstrate that the water collected from the dewatering process is free of building waste and litter, paint and paint wastes and oil, grease and fuel products from equipment storage, handling, and maintenance activities.

Should dewatering samples give results that do not comply with the discharge criteria (and/or any other Council and WaterNSW requirements), corrective measures with subsequent retesting and re-inspection will be required. Where treated groundwater is deemed unsatisfactory for discharge to the asset, the dewatering process must be immediately interrupted and alternative treatment and/or discharge options must be considered.

4 Dewatering Conditions and Controls

4.1 Estimated Seepage Groundwater Volumes

EG has performed a steady state Seep/W analysis and estimated a total volume of seepage groundwater inflows up to 2.61 ML over the expected basement construction period (6 months).

4.2 Monitoring During Construction

The groundwater level during dewatering period will require continuous monitoring using data logger, from the date of consent until at least two months after the cessation of pumping. Such monitoring is to be undertaken from existing installed monitoring wells which were installed outside the basement wall footprint.

Given the nature of the works, there will be two stages of monitoring frequency.

Stage 1 – Monitoring prior to commencement of dewatering

A competent engineer is to attend the site a day prior to the commencement of dewatering, to assess the baseline groundwater levels outside the excavation. If groundwater levels are found to be significantly different from the values adopted in the analysis model, remodelling will be required.

Stage 2 – Monitoring during dewatering

A competent engineer is to attend the site on the day of dewatering commencement, to confirm that the groundwater levels outside the excavation are still within the acceptable levels.

In addition to this, should data loggers be chosen as the mode of groundwater level monitoring, the frequency at which the data gets downloaded by the geotechnical / environmental consultant is to be indicated by the geotechnical engineer. However, for the first month, data should be downloaded on a weekly basis.

Should manual dipping be chosen as the preferred method of monitoring, groundwater levels should be measured once a day during dewatering works. The readings can be completed by the Site Manager, but in addition to this a geotechnical / environmental consultant is to take the readings twice a week for the first month and weekly for the remainder of the dewatering works.

All groundwater level readings taken by the Site Manager are to be recorded on a daily log and provided to the geotechnical / environmental consultant upon request.

4.3 Dewatering Volumes Measurement

Dewatering volumes are to be measured via a calibrated flow meter from the start of dewatering until cessation. Daily readings of the flow meter are to be recorded on a log book by the Site Manager and issued to the geotechnical / environmental consultant.

4.4 Dewatering Method

It is anticipated the proposed bulk excavation will be predominately in sandstone bedrock. Dewatering on the groundwater seepage during construction of the basement will be undertaken via conventional pump and sump method with appropriate sizing (e.g. 80mm pump). A design solution is to be undertaken by the dewatering contractor and the depth of sumps should be confirmed by the dewatering subcontractor.

4.5 Water Quality Treatment

The need for treatment cannot yet be anticipated as minimal groundwater quality data was available at the time of this report. However, based on the preliminary data collected to date it is anticipated that during dewatering activities the tail water will require to be closely monitored for pH, turbidity and metals. The need for treatment will be determined by the dewatering subcontractor after the initial sampling assessment, which is to be conducted prior the commencement of the dewatering process as detailed in Section 4.7.

Should treatment be required, EG suggests that the selection and design of the preferred treatment system is made by the appointed environmental consultant and implemented by the dewatering contractor. Alternative and/or additional treatment options will be implemented, if necessary, depending on which parameters are found to exceed the discharge criteria outlined in Section 3.

4.6 Water Quality Monitoring Requirements

To assess the ongoing suitability of extracted water for discharging to the municipal stormwater system, water quality monitoring will be undertaken prior to commencement and for the duration of dewatering activities at the site. Ongoing monitoring is also required to ensure the treatment system (if any) is functioning as intended and confirm the quality of discharged water is within acceptable ranges.

The following frequency and methodology of sampling is proposed for the groundwater monitoring to be conducted at this site:

Initial Assessment: An initial round of sampling must be conducted before the installation of the dewatering system. The collected groundwater sample is to be tested for the target quality parameters listed in Section 3 (at least), to establish baseline (initial / pre-impact) conditions. An assessment against the proposed discharge water quality requirements will then be conducted. Should deviations from the adopted discharge criteria be technically justifiable, approval from Council and/or WaterNSW must be sought to allow any alternative discharge criteria.

Proposed Residential Redevelopment Dewatering Management Plan

Trial-Run Period (if treatment is required): A biweekly (twice per week) sampling frequency is recommended during the trial-run of the onsite water treatment system. The sampling program must, as a minimum, comprise two samples of groundwater, one collected prior to treatment (influent) and one after treatment (effluent), to assess the performance of the system. Should granular activated carbon (GAC) vessels be used for the treatment, an additional sampling between vessels must be collected, to allow for individual breakthrough detection. The analytical results of samples from each sampling event should be documented to establish trends for water quality change (if any). The biweekly sampling frequency should be maintained for a minimum of two weeks or unless otherwise advised by the environmental consultant, until the target parameters in treated water stabilise (i.e. consecutive tests are within $\pm 10\%$ of the observed results) and are within the adopted discharge criteria for three consecutive sampling events. The Trial-Run Period may be extended if stabilisation is not observed, or the treated water leaving the treatment system does not satisfy the adopted discharge criteria. The contractor should seek advice from an appropriately qualified consultant regarding the termination of the Trial- Run Period. During the Trial-Run period, all collected groundwater seepage (including treated water) should be retained on-site and stored in appropriate bulk containers. No collected groundwater is to be discharged to the stormwater system until proven to meet the adopted discharge criteria or risks are considered to be significantly low.

Monitoring Period (Weekly, if treatment is required): After the Trial-Run Period, subject to statutory authority approval, treated water may be discharged directly to the stormwater system. A weekly sampling frequency will be adopted. The sampling program will comprise a minimum of one effluent (i.e. treated) sample, tested for the target parameters to confirm the system is functioning as intended. The weekly sampling frequency should be maintained for a minimum of four weeks, provided the analytical results indicate the treated water quality meets the adopted discharge criteria or risks are considered to be significantly low. The dewatering contingency measures described in Section 4.9 should be adopted if exceedances to the adopted criteria are reported.

Monitoring Period (Monthly): If the quality of treated water during the weekly monitoring period complies with the adopted discharge criteria, the sampling frequency may be decreased to monthly. Monthly sampling must be maintained for the duration of the dewatering process, provided the on-going analytical results indicate the treated water quality meets the adopted discharge criteria, or risks are considered to be significantly low. The dewatering contingency measures described in Section 4.9 should be adopted if exceedances over the adopted criteria are reported.

If the analytical results from the Initial Assessment indicate that groundwater treatment is not required, then monitoring can continue on a weekly basis as described above in Monitoring Period (Weekly). The Trial-Run Period and the biweekly sampling events will not be required.

All laboratory analytical results for the groundwater samples must be documented and maintained by the appointed contractor, for inspection upon request by Council and/or WaterNSW. The contractor should seek advice from an appropriately qualified environmental consultant prior to deviating from any of the above monitoring requirements.

Proposed Residential Redevelopment Dewatering Management Plan

The water quality monitoring must be certified by an experienced and qualified consultant. The consultant is to review all testing samples and confirm (in writing) that the water quality meets the required standards. If testing establishes that the discharge standards are not met, release to the stormwater system is to stop immediately and the procedures described in Section 4.9 implemented.

The Site Manager should seek advice from the water quality consultant prior to deviating from the agreed monitoring program, to ensure the quality of discharged groundwater is not compromised. Once the Site Manager and Consultant have been appointed, their names and contact information are to be clearly displayed in the site office.

Summary of Specific Activities

The appointed contractor and/or Site Manager will be responsible for ensuring that the following activities (requirements) are undertaken during the dewatering program:

- Maintain erosion and sediment control measures in a functioning condition, until all earthwork activities are completed.
- Perform daily visual inspection of stormwater diversions and sediment / erosion control devices, ensuring they are operating effectively and at full capacity.
- Implement appropriate remedial measures where any controls or devices are not functioning effectively or are inappropriate.
- Collate records and comments on the condition of existing erosion and run-off controls (drains, silt fences, catch drains etc.), dewatering procedures and test results, and any site instructions issued to sub-contractors to undertake remedial works.
- Maintain rainfall data (to be filed on site).
- Confirm water quality parameters meet the relevant discharge limits, by disclosing supporting documentation upon request.
- Reporting any incidents of poor drainage or uncontrolled discharge.
- Recording all daily inspection reports, environmental incidents and controlled discharge volumes, which may be reviewed during any environmental audit performed on the site.

4.7 Vibration, Noise and Odour Management

The following vibration, noise and odour risks must not occur during dewatering:

- Excessive vibration and noise levels associated with site plant / dewatering equipment; and
- Odours released from collected groundwater, which may pose a risk to human health and/or the aesthetic condition of the environment.

It is the responsibility of the Site Manager to ensure appropriate management of vibration, noise and odour during dewatering operations. Appropriate management methodologies include:

- Undertaking dilapidation surveys of neighbouring buildings, in accordance with potential for impacts in final design type.
- All sub-contractors to work only within defined hours set by the DA conditions.
- All reasonable steps shall be taken to muffle and acoustically baffle all plant and equipment. Noise and vibration levels generated by site works must be within the limits set by the DA conditions, the site specific environmental management plan and the Protection of Environmental Operation Act 1997.

Proposed Residential Redevelopment Dewatering Management Plan

- Schedule the use of noisy equipment at the least-sensitive time of day.
- Situate noisy equipment at the greatest distance from the noise-sensitive area, or orient the equipment so that noise emissions are directed away from sensitive areas, to achieve the maximum attenuation of noise.
- Where there are several noisy pieces of equipment, schedule operations to minimise cumulative impacts.
- Keep equipment well maintained.
- Ensure engine shrouds (acoustic linings) are installed (where feasible).

4.8 Dewatering Contingencies

It is anticipated that the proposed dewatering strategy will be effective; however, contingent actions are required should the scenarios detailed in **Table 4-1** arise.

Table 4-1: Mitigation Measures for Potential Dewatering Issues

Anticipated Problems	Corrective/Preventive Actions
During the Monitoring Period (weekly, fortnightly or monthly), quality of treated water does not satisfy the adopted discharge criteria outlined in Section 3 .	Discharge to the stormwater system must be suspended. Tail water should be retained onsite and stored in appropriate bulk containers for further on-site treatment and sampling by environmental consultant until it is proven to meet the adopted discharge criteria. The water treatment design must include suitable containers to be used if such conditions arise. Alternatively, should trade waste application be in place, groundwater will be discharged under the license agreement. Additionally, the onsite treatment system should be diagnosed and adjusted. A higher frequency of treated, exit water sampling will be necessary, to achieve the designed treatment goals.
Visual and / or olfactory anomalies (e.g. change in water colour, turbidity, odour, presence of oil / grease) are observed in extracted groundwater.	The onsite treatment system should be diagnosed and adjusted. The contractor is to seek advice from environmental consultant in regard to the additional assessment and treatment that may be required. Additionally, should trade waste application be in place, groundwater will be discharged under the license agreement.
Dewatering system failures	If water treatment is involved, stop the dewatering process immediately. Ensure that spare equipment parts (where practical) are on hand. Ensure that the failed equipment can be serviced by site personnel or an appointed contractor who can rapidly report to site.
Power outages	Ensure that a backup generator is readily available. In this event, an assessment across the site and surrounding sites should also be completed in order to identify whether the issue is site specific or if it is also happening across the surrounding areas. In addition to having the back-up generator running, the contractor should seek advice from an electrician regarding the additional assessment and repairs that may be required.

Proposed Residential Redevelopment Dewatering Management Plan

Anticipated Problems	Corrective/Preventive Actions
Chemical/ fuel spill and leaks from machinery	<p>Stop earthworks, notify site project manager. Use accessible soil or appropriate absorbent material to absorb the spill (if practicable).</p> <p>Stockpile the impacted material in a secure location, on builder's plastic to avoid cross contamination.</p> <p>Inspect groundwater and note any visual and/or changes.</p> <p>The contractor should also seek advice from environmental consultant in regard to the additional assessment and treatment that may be required.</p>
Excessive rainfall	<p>Ensure sediment and surface water controls are in place and functioning as intended, as per the designs provided in the site specific Soil and Water Management Plan.</p> <p>Any non-conformance is to be documented and rectified.</p> <p>The capacity of the dewatering system to dispose larger volumes of water should be evaluated and if required, a temporary system should be utilised following correspondence with Council/ Water NSW and the environmental consultant.</p>
Excessive noise	<p>Identify the source and isolate if possible.</p> <p>Modify the actions of the source or erect temporary noise barriers if required.</p>
Excessive organic odours / vapours	<p>In accordance with Council's Contaminated Land Policy, no nuisance odours are to be detected at any site boundary during the dewatering stage.</p> <p>Should odour emissions be detected at a site boundary, the following measures will be implemented:</p> <ol style="list-style-type: none"> 1. Stop work, to allow odour to subside. 2. Monitor ambient air across the site and boundaries with a portable photo-ionisation detector (PID), a LEL meter (LEL) and a landfill gas analyser (LGA). 3. Implement control measures, including respirators for on-site workers, use of odour suppressants and wetting down of excavated material. 4. Notify the occupants of adjoining premises regarding odour issues. Notification should be in writing, providing the contact details of the responsible site personnel. 5. Record logs for volatile emissions and odours.

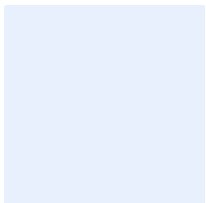
Proposed Residential Redevelopment Dewatering Management Plan

Anticipated Problems	Corrective/Preventive Actions
Reporting	<p>The contractor responsible for dewatering will keep records of all monitoring and laboratory test results, as well as quantities of treatment agents applied during the dewatering process. The following reports shall be prepared:</p> <ul style="list-style-type: none">• A weekly letter-report, issued upon receipt of laboratory analysis results. This will include groundwater level monitoring data.• A Dewatering Completion Report, at the end of the dewatering period. The following information must be maintained/recorded for submission to WaterNSW as part of the "Dewatering Completion Report":• Daily volume of groundwater extracted and discharged offsite.• All groundwater level monitoring data.• All water quality monitoring data.• Location and constructions details for all groundwater wells. <p>All records should be made available for inspection onsite during the construction phase.</p>

Abbreviations

AHD	Australian Height Datum
BGL	Below Ground Level
BEL	Bulk Excavation Level
BTEX	Benzene, Toluene, Ethyl benzene, Xylene
DP	Deposited Plan
EC	Electrical Conductivity
GTA	Groundwater Take Assessment
LOR	Limit of Reporting (limit of laboratory reporting for analytical method; see PQL)
m	metres
m AHD	Metres Australian Height Datum m
BGL	Metres Below Ground Level
mg/L	Milligrams per Litre
µg/L	Micrograms per Litre
N/A	No Available Criterion
NATA	National Association of Testing Authorities
NTU	Nephelometric Turbidity Units
PAHs	Polycyclic Aromatic Hydrocarbons
pH	Potential Hydrogen (a measure of the acidity or basicity of an aqueous solution)
PQL	Practical Quantitation Limit (limit of reporting for analytical method; see LOR)
RL	Reduced Level
TDS	Total Dissolved Solids
TRH	Total Recoverable Hydrocarbons (non-specific analysis of organic compounds)

Appendix A Site Plans





⊗ NEW BOREHOLE AND TEST LOCATION

TITLE:

Site Plan
19-23 Rosalind St, Cammeray – Proposed Redevelopment Geotechnical Investigation

ELITE GEOSCIENCES

PROJECT NO:

2025181

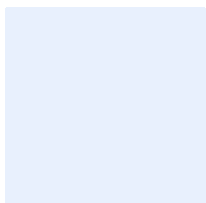
TEST DATE:

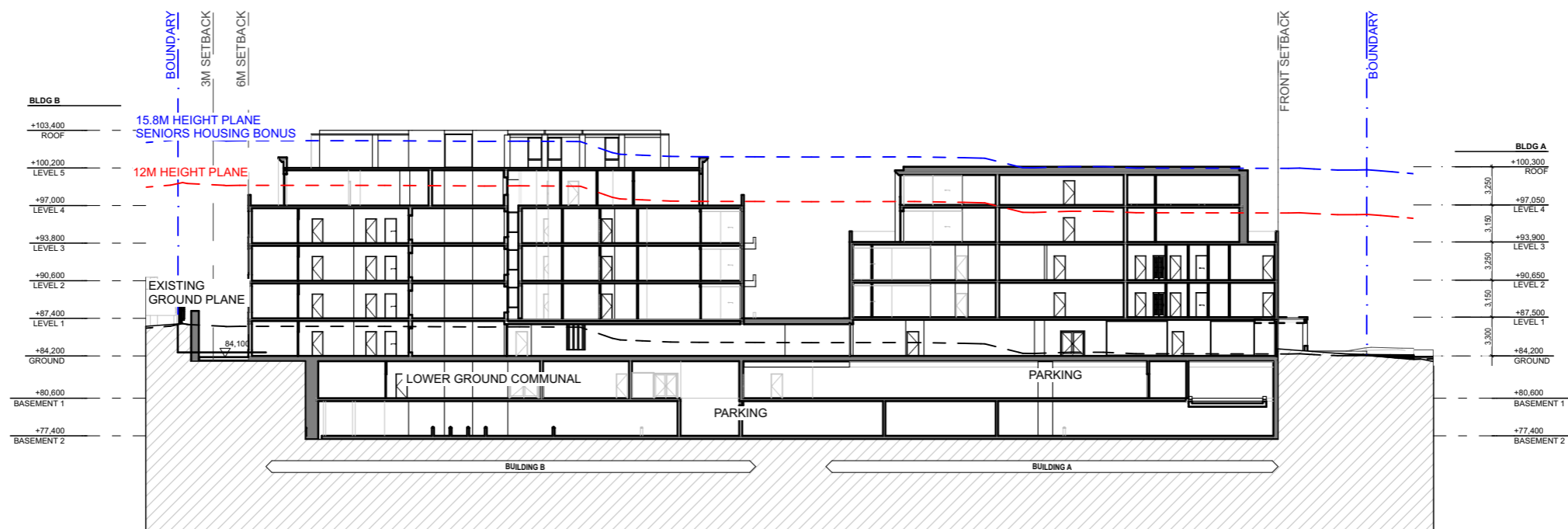
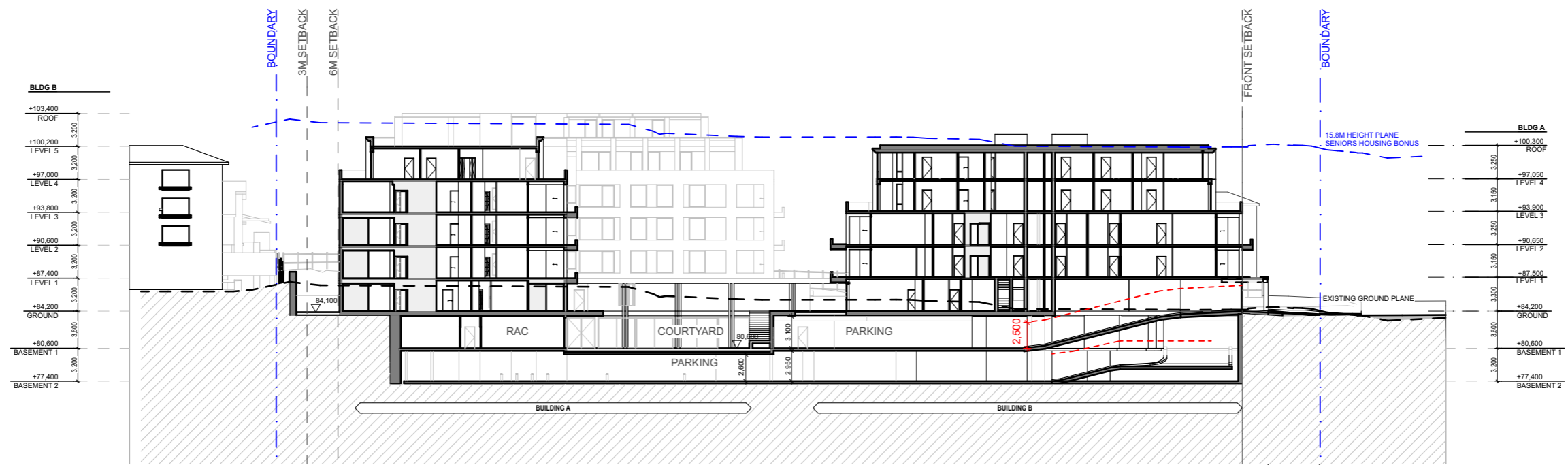
25 Sep 2025

PREPARED BY:

TH

Appendix B Basement Plans





ARCHITECT

CHROFI

3/1 THE CORSO MANLY NSW 2095 AUSTRALIA
 T +61 2 8096 8500 E info@chrofi.com
 CHOI ROPHA FIGHERA PLACON 144 714 885 ATF CHOI ROPHA FIGHERA UNIT TRUST T/A CHROFI ABN 22 365
 257 187 NOMINATED ARCHITECT TAI ROPHA 6566 STEVEN FIGHERA 6609
 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION,
 REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON
 SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN CHROFI.

A 12/12/2025 Issue for DA

PROJECT

19-23 Rosalind Street, Cammeray

#Site Address1, #Site Address2

PROJECT NUMBER PLOT DATE DRAWN CHECKED

25023 12/12/25

SHEET SCALE SHEET SIZE

1:500 A3 GA

NORTH



DRAWING TITLE

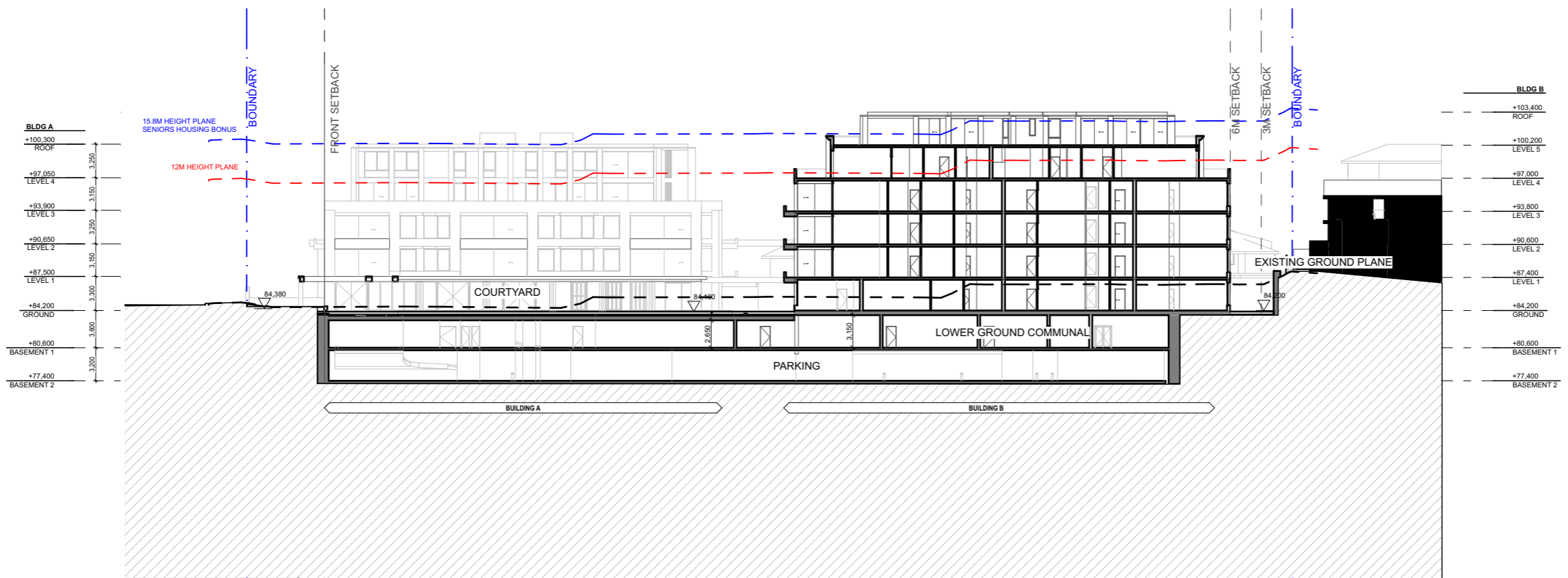
SECTIONS

DRAWING NUMBER

DA-300

REVISION

A



ARCHITECT

CHROFI

3/1 THE CORSO MANLY NSW 2095 AUSTRALIA
 T +61 2 8096 8500 E info@chrofi.com
 CHOI ROPHA FIGHERA PLAC 144 714 855 A/F CHOI ROPHA FIGHERA UNIT TRUST T/A CHROFI ABN 22 365
 257 187 NOMINATED ARCHITECT T/A ROPHA 6566 STEVEN FIGHERA 6609
 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION,
 REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON
 SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN CHROFI.

A 12/12/2025 Issue for DA

PROJECT

19-23 Rosalind Street, Cammeray
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH	DRAWING NUMBER	REVISION
25023	12/12/25			1:500	A3 GA		DA-301	A

DRAWING TITLE

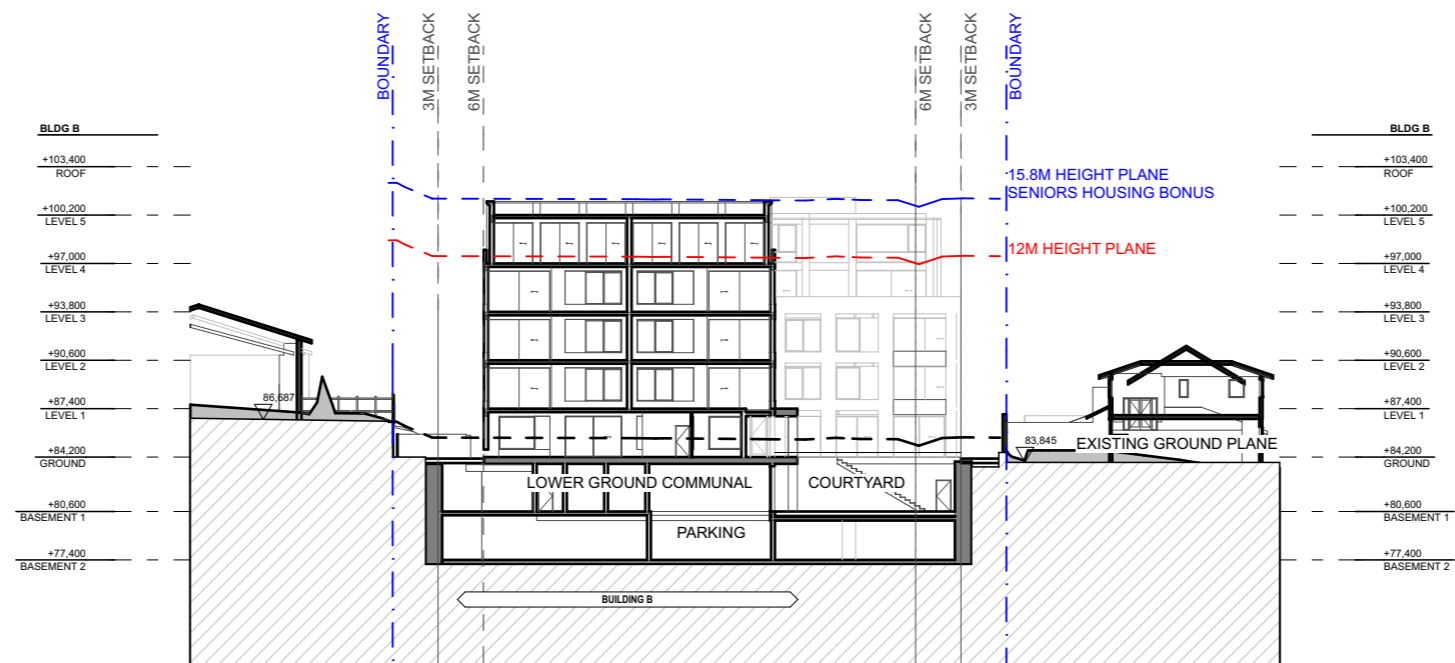
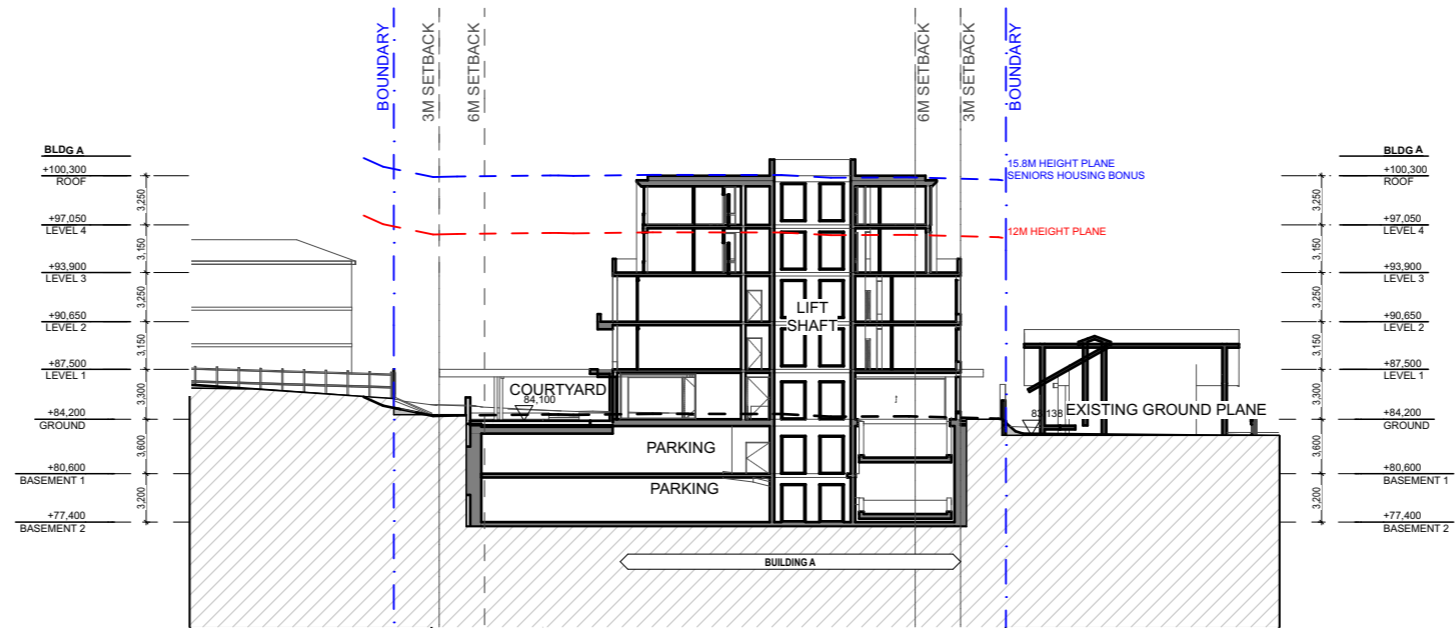
SECTIONS

DRAWING NUMBER

DA-301

REVISION

A



ARCHITECT

CHROFI

3/1 THE CORSO MANLY NSW 2095 AUSTRALIA
 T +61 2 8096 8500 E info@chrofi.com
 CHOI ROPHA FIGHERA PLACK 144 714 855 A/T CHOI ROPHA FIGHERA UNIT TRUST T/A CHROFI ABN 22 365
 257 187 NOMINATED ARCHITECT TAI ROPHA 6566 STEVEN FIGHERA 6609
 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION,
 REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON
 SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN CHROFI.

A 12/12/2025 Issue for DA

PROJECT

19-23 Rosalind Street, Cammeray
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED
25023	12/12/25		

SHEET SCALE	SHEET SIZE
1:500	A3 GA

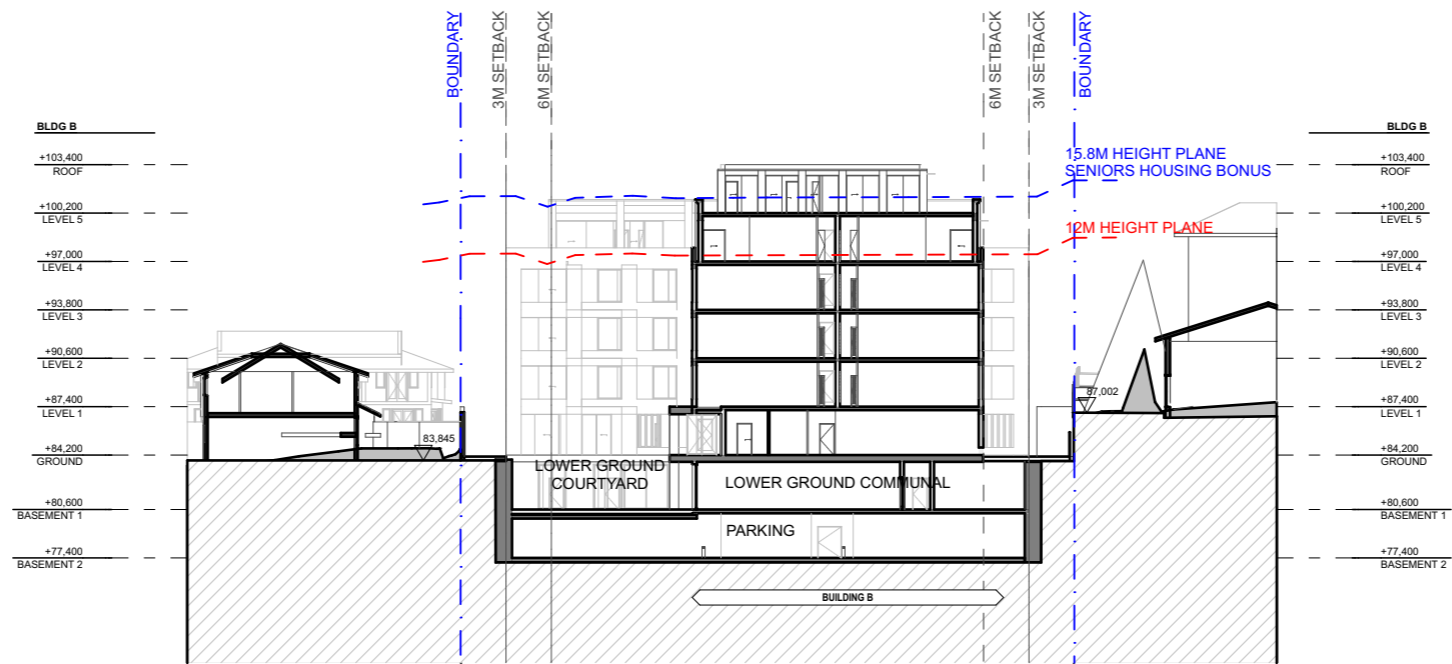
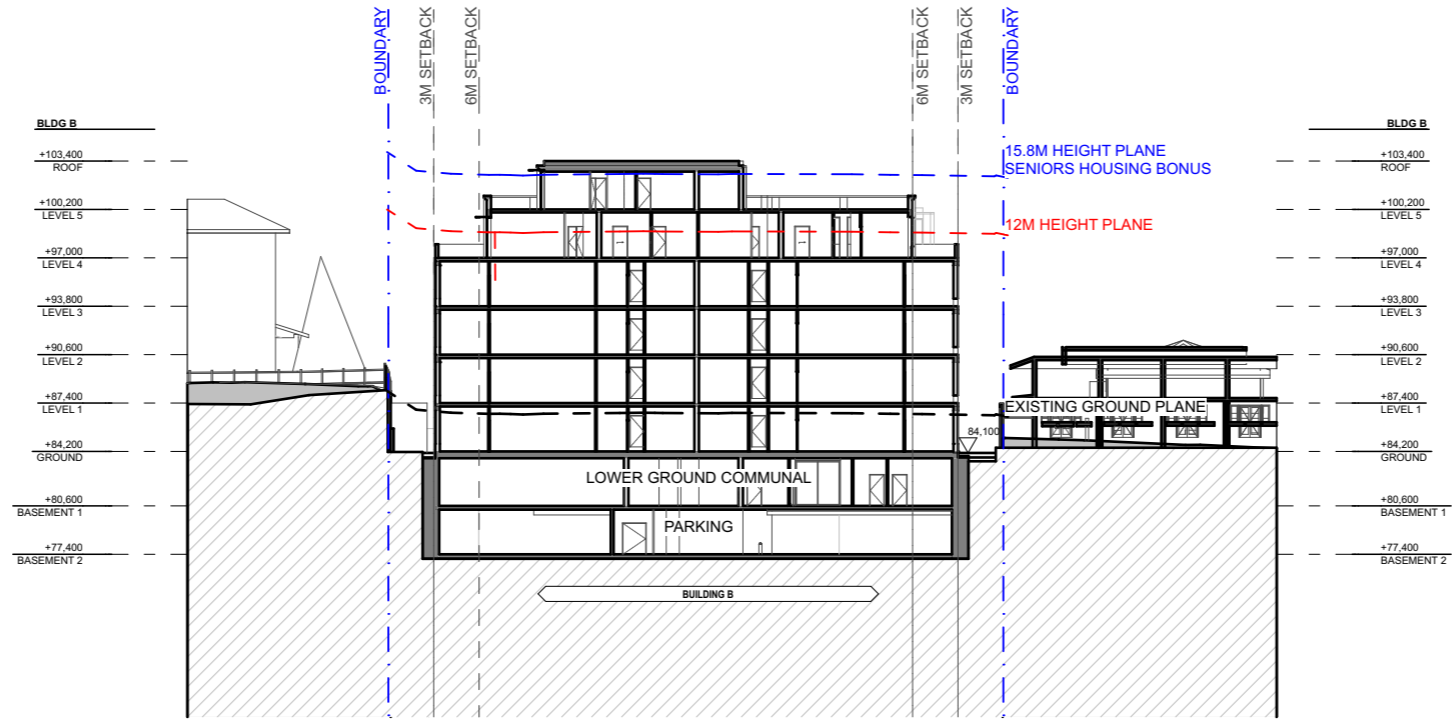


DRAWING TITLE

SECTIONS

DRAWING NUMBER
DA-302

REVISION
A



ARCHITECT

CHROFI

3/1 THE CORSO MANLY NSW 2095 AUSTRALIA
 T +61 2 8096 8500 E info@chrofi.com
 CHOI ROPHA FIGHERA PLAC 144 714 BBS RTF CHOI ROPHA FIGHERA UNIT TRUST T/A CHROFI ABN 22 365
 237 187 NOMINATED ARCHITECT TAI ROPHA 6566 STEVEN FIGHERA 6609
 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION,
 REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON
 SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN CHROFI.

A 12/12/2025 Issue for DA

PROJECT

19-23 Rosalind Street, Cammeray
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED
25023	12/12/25		

SHEET SCALE	SHEET SIZE
1:500	A3 GA



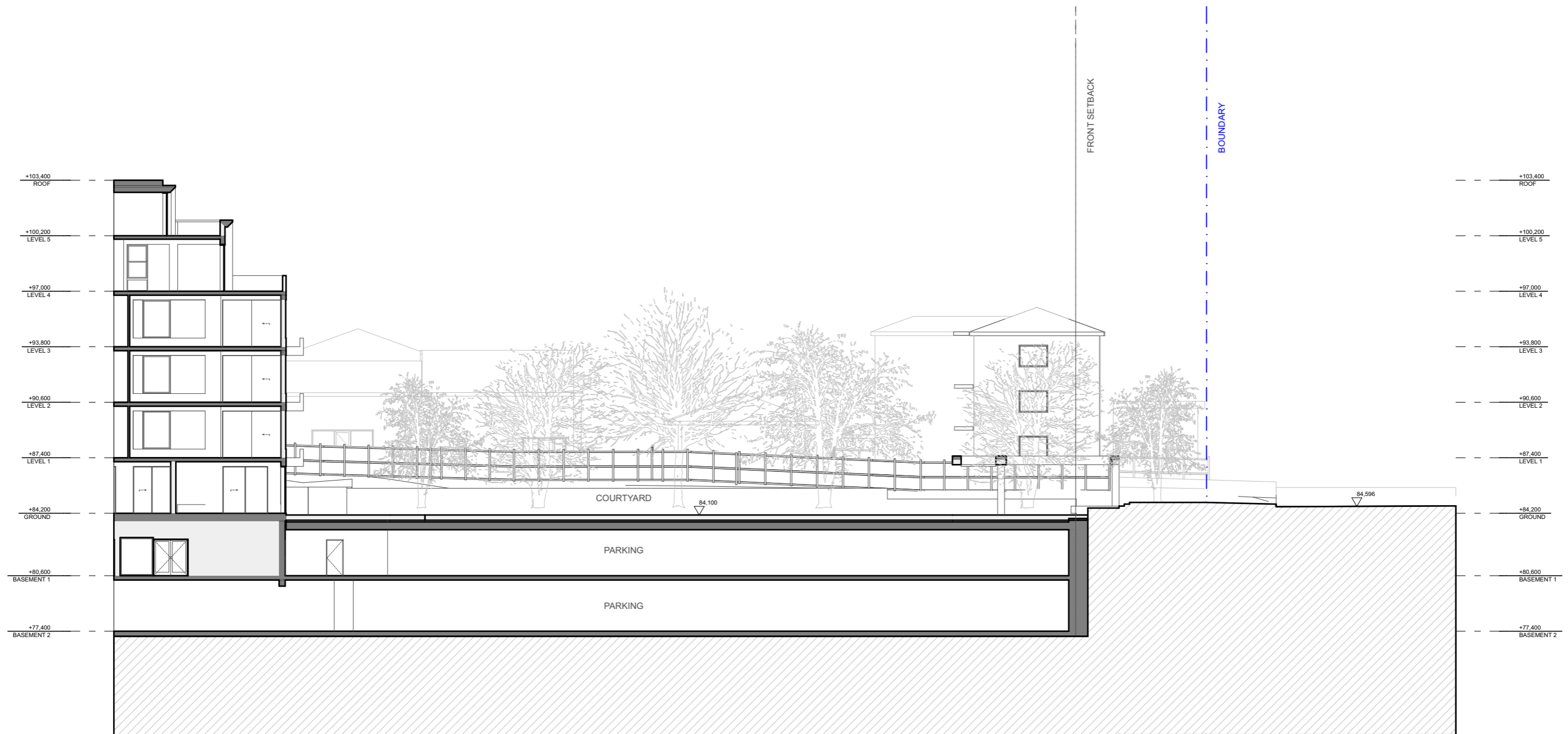
DRAWING TITLE

SECTIONS

DRAWING NUMBER
DA-303

REVISION

A



ARCHITECT

CHROFI

3/1 THE CORSO MANLY NSW 2095 AUSTRALIA
 T +61 2 8096 8500 E info@chrofi.com
 CHOI ROPHA FIGHERA PLACON 144 714 885 A/F CHOI ROPHA FIGHERA UNIT TRUST T/A CHROFI ABN 22 365
 257 187 NOMINATED ARCHITECT TAI ROPHA 6566 STEVEN FIGHERA 6609
 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION,
 REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON
 SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN CHROFI.

A | 12/12/2025 | Issue for DA

PROJECT

19-23 Rosalind Street, Cammeray
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED
25023	12/12/25		

SHEET SCALE	SHEET SIZE
1:250	A3 GA



DRAWING TITLE

SECTIONS

DRAWING NUMBER
DA-304

REVISION
A