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**19-23 Rosalind Street, Cammeray NSW**

**BASIX & NatHERS Assessment Report**

18<sup>th</sup> December 2025



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## Document Control

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Revision	Date	Author
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## 1 Executive Summary

IGS has been commissioned to assess the interaction of the residential area of the proposed development at 19-23 Rosalind Street, Cammeray NSW, with the local environment in terms of BASIX compliance.

A BASIX Certificate is a regulatory requirement and demonstrates compliance with the NSW Government's sustainability targets. BASIX assessment and certification has been completed for this project (Certificate No 1827635M).

Dwellings within the development have been assessed in terms of their passive energy design using the BASIX Thermal Comfort protocol. They have also been assessed in terms of their ability to conserve water and also to minimise energy consumption via appliances and hot water etc.

With the recommendations provided in the BASIX certificate, the development meets and exceeds the minimum requirements for all the following areas.

- Water Efficiency
- Energy Efficiency
- Thermal Comfort

This development achieves the following targets:

- Water Efficiency: 40% reduction (minimum requirements under BASIX: 40%).
- Energy Efficiency: 61% reduction (minimum requirements under BASIX: 61%).
- Thermal Comfort: Will pass the thermal performance requirements under BASIX.

## 2 Introduction

This BASIX assessment report has been prepared by IGS on behalf of Perifa Rosalind Development Pty Ltd (Perifa) to assess the potential environmental impacts that could arise from the construction of a seniors housing development (the development) at 19-23 Rosalind Street, Cammeray (the site). This report supports the assessment of the proposed development under Part 4 of the *Environmental Planning and Assessment Act 1979*.

Industry specific SEARs were issued on 17 October 2025 for the development. Development for the purposes of seniors housing with an Estimated Development Cost (EDC) of more than \$30 million and includes a residential care facility is state significant development under Schedule 1, Section 28 of the *State Environmental Planning Policy (Planning Systems) 2021* (Planning Systems SEPP). The proposed development has an EDC exceeding \$30 million and includes a residential care facility component. Accordingly, it is considered State Significant Development.

This report has been prepared to provide a guidance on the BASIX certificate.

### 2.1 Summary of the Development

The proposed development includes the construction of a new seniors housing development and comprises the following works:

- Site preparation works including demolition of three (3) existing residential flat buildings and associated parking facilities as well as bulk excavation;
- Construction of two (2), five (5) and six (6) storey buildings, Building A and B respectively, comprising the following:
  - Building A:
    - Ground Level neighbourhood shop and multi-purpose communal space;
    - 7 x 2-bedroom ILUs; and
    - 11 x 3-bedroom ILUs.
  - Building B:
    - 11 x 2-bedroom ILUs;
    - 20 x 3-bedroom ILUs;
    - Two (2) residential care facility beds and residential care hub;
    - Internal communal facilities for use by all residents comprising a cinema, private dining room, gymnasium and pool.
- Communal open space and associated landscaping;
- Construction of two (2) basement levels to facilitate car parking accessible via Rosalind Street;
- Extension and augmentation of utility infrastructure as required.

For a detailed project description refer to the Environmental Impact Statement prepared by Colliers Urban Planning.

## 2.2 Site Description

The site is located at 19–23 Rosalind Street, Cammeray NSW within the North Sydney Local Government Area (LGA). It comprises three (3) allotments legally described as SP4657, SP5218 and SP16181, and occupies a total area of approximately 4,100m<sup>2</sup>. A site aerial showing each allotment is provided at Figure 1. Each respective lot currently comprises a three (3) storey residential flat building with the two (2) of the rear buildings situated on battleaxe allotments connected to Rosalind Street.

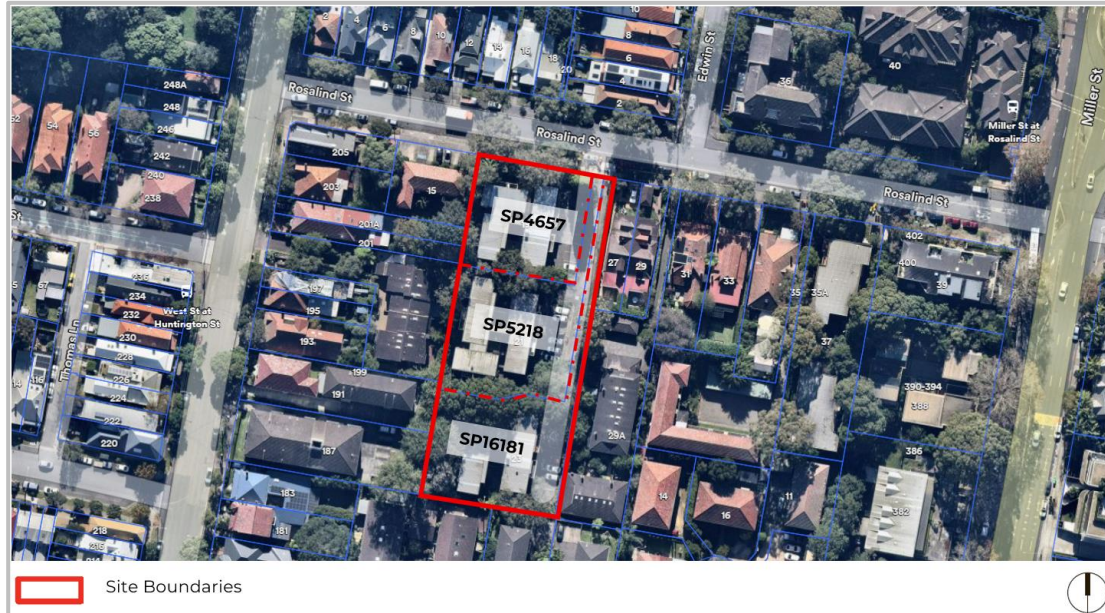


Figure 1. Site aerial - Source: Nearmap/Colliers Urban Planning

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### 3 Overview

BASIX is an NSW State Planning Policy Tool which assesses the environmental performance of new residential premises against a range water, energy and greenhouse gas emissions targets. The assessment has three core components, BASIX Thermal Comfort, BASIX Water and BASIX Energy.

The thermal comfort assessment requires that the thermal performance of dwellings is evaluated and measures put in place to ensure annual heating and cooling loads do not exceed pre-defined limits without compromising the occupant's thermal comfort. This assessment uses computer simulation to evaluate the estimated building fabric thermal performance and passive solar design features such as orientation and solar shading.

The energy section evaluates gas and electrical energy used for heating, cooling lighting, ventilation and appliances. The BASIX Energy target requires the development to use 61% less energy than the NSW average.

The water assessment takes account of landscaping, stormwater management as well as water efficiency performance of fixtures and fitting such as taps and showers. The BASIX target for water requires that potable water consumption is at least 40% lower than the NSW average.

**Note:** this report is only a guide to the BASIX certificate, for full details of BASIX requirements please refer to the BASIX certificate.

## 4 Building Description

The proposed development will be located at 19-23 Rosalind Street, Cammeray NSW.

### 4.1 Information Used in Review

Our review is based on the following architectural drawings provided by CHROFI Architects in December 2025 listed in Table 4-1.

*Table 4-1. Architectural drawings list.*

Drawing Title	Drawing Number
Site Plan	DA-003
Basement 2 - Proposed Plan	DA-100
Lower Ground - Proposed Plan	DA-101
Ground - Proposed Plan	DA-102
Level 1 - Proposed Plan	DA-103
Level 2 - Proposed Plan	DA-104
Level 3 - Proposed Plan	DA-105
Level 4 - Proposed Plan	DA-106
Level 5 - Proposed Plan	DA-107
Roof - Proposed Plan	DA-108
Elevations	DA-200
Elevations	DA-201
Elevations	DA-202
Sections	DA-300
Sections	DA-301
Sections	DA-302
Sections	DA-303
Sections	DA-304

## 5 BASIX water Section

The water efficiency performance of the development has been assessed using the online BASIX Tool. The assessment has considered the common area and central system features including the landscape design, plant species, water catchment areas, rain water tank size and efficiency of preferred fixtures and fittings in the dwellings.

The proposed development will meet the mandatory BASIX water target of 40% as long as the water commitments detailed in Table 5-1 are installed. For details of the requirements necessary to achieve this target, please refer to the BASIX Certificate No. 1827635M.

Table 5-1. Water Commitments.

<b>Common Areas and Central Systems</b>	
Common areas	<ul style="list-style-type: none"> <li>• No common showerhead facility.</li> <li>• 4-star (water-rated) toilet facility.</li> <li>• 3-star (water-rated) taps.</li> <li>• No common clothes washer facility.</li> </ul>
Central systems	<ul style="list-style-type: none"> <li>• Fire sprinkler system (No.1 &amp; No.2).</li> <li>• Rainwater tank (No. 1) with capacity of minimum 3,000L (minimum), collecting run-off from minimum 304.8 m<sup>2</sup> of roof area, used for irrigation of common area landscape with minimum area of 456 m<sup>2</sup>.</li> <li>• Rainwater tank (No. 2) with capacity of minimum 3,000L (minimum), collecting run-off from minimum 532.8 m<sup>2</sup> of roof area, used for irrigation of common area landscape with minimum area of 260 m<sup>2</sup>.</li> <li>• Indoor swimming pool (No. 1): Volume: 56 kLs (Building B).</li> </ul>
<b>Private Dwellings</b>	
Fixtures for apartments	<ul style="list-style-type: none"> <li>• 3-star (Water Rating) showerheads with a flow rate &gt; 7.5 but ≤ 9 L/min.</li> <li>• 4-star (Water Rating) toilets.</li> <li>• 6-star (Water Rating) kitchen taps.</li> <li>• 3-star (Water Rating) bathroom taps.</li> <li>• 4-star (Water Rating) clothes washers.</li> <li>• 6-star (Water Rating) dishwashers.</li> <li>• On demand hot water recirculation.</li> </ul>

## 6 BASIX Thermal comfort Section

The preliminary thermal performance of the development has been evaluated using FirstRate5 software; this computer simulation of residential developments is used to assess the potential of a residential development to have low heating and cooling energy requirements once operational.

### 6.1 Modelling Assumptions

FirstRate5 software calculates the transient hourly heat gains and losses for each space inside a building taking into account the building's thermal storage, typical residential occupancy and operational profiles plus hourly weather data for the site.

Building geometry and orientation were modelled according to supplied drawings.

The "base-case" building fabric and estimated glazing and thermal performance requirements are described in Table 6-1 below. Please note the estimated requirements below are based on the nominated construction materials by the architect.

Table 6-1. Building Fabric Requirements.

Element	Insulation/glazing
External walls	<ul style="list-style-type: none"> <li>Brick Veneer with minimum added R2.2 thermal insulation.</li> <li>AAC with minimum added R2.2 thermal insulation (Color: Light).</li> </ul>
Internal walls	Party walls between units: <ul style="list-style-type: none"> <li>Brick wall with minimum added R1.5 thermal insulation.</li> </ul> Walls to Corridors and Lobbies: <ul style="list-style-type: none"> <li>Concrete Panel/Blocks fully core filled with minimum added R1.5 thermal insulation.</li> </ul> Walls to Lifts and Stairwells: <ul style="list-style-type: none"> <li>Single Skin Brick with minimum added R1.5 thermal insulation.</li> </ul> Any other Walls: <ul style="list-style-type: none"> <li>Stud, Plasterboard with no added insulation.</li> </ul>
Floor	Where unconditioned area below: <ul style="list-style-type: none"> <li>Suspended Concrete Slab Floor with minimum added R2.0 thermal insulation.</li> </ul> All other areas: <ul style="list-style-type: none"> <li>Concrete Slab with no added insulation.</li> </ul>
Ceiling	Where unconditioned area above: <ul style="list-style-type: none"> <li>Concrete slab/Plasterboard with minimum added R4.0 thermal insulation.</li> </ul>
Roof	Concrete with no added insulation (ceiling insulation).
Ceiling Penetrations	All Units: <ul style="list-style-type: none"> <li>Sealed LED downlights and exhaust fans.</li> </ul>
Glazing	Maximum total system U-Value of 3.0 and SHGC of 0.30 $\pm$ 5%.

#### Note:

The preliminary thermal insulation and glazing performance requirements outlined in this report nominate the estimated minimum BASIX requirements only. The specified performance values therefore do not consider requirements for any other disciplines such as Acoustics, Fire or Safety compliance. Where required, the development shall comply with any additional

requirements related to the local council or other design disciplines in addition to the compliance requirements detailed in this report.

Compliance with the minimum BASIX requirements does not warrant thermal comfort. All services consultants and contractors shall design and construct the development to comply with the minimum requirements of the NCC Vol 1 & 2 and NSW Section J requirements.

## 7 BASIX Energy Section

The Energy performance of the development has been assessed using the online BASIX Tool. The assessment has considered Common Area and Central System features including the lifts, ventilation and lighting for common areas (corridors, lobbies, car park etc.), centralised domestic hot water and the efficiency of preferred lighting and appliances in the dwellings. The proposed development will meet the mandatory BASIX Energy target of 61% as long as the energy commitments detailed in Table 7-1 are installed.

Table 7-1. Energy Commitments.

Component		Commitment
<b>Common Areas of residential areas</b>	Lift Banks	<ul style="list-style-type: none"> <li>• Lift Bank 1 Gearless traction with VVVF motor. Number of levels with apartments served by a lift: 7. Number of levels from the bottom of the lift shaft to the top of the lift shaft: 7. Number of lifts: 2. Lift load capacity: <math>\geq 1001</math> kg but <math>\leq 1500</math>kg.</li> <li>• Lift Bank 2 Gearless traction with VVVF motor. Number of levels with apartments served by a lift: 8. Number of levels from the bottom of the lift shaft to the top of the lift shaft: 8. Number of lifts: 2. Lift load capacity: <math>\geq 1001</math> kg but <math>\leq 1500</math>kg</li> </ul>
	Swimming pool / Sauna / Spa	<ul style="list-style-type: none"> <li>• Swimming pool (No.1) Heating source: electric heat pump, pumps to be controlled by timer. (Building B)</li> <li>• Sauna (No.1) Heating source: electric resistance, controlled by BMS.</li> </ul>
	Ventilation	<ul style="list-style-type: none"> <li>• Indoor swimming pool and/or spa area (No. 1): Ventilation (supply &amp; exhaust), time clock or BMS controlled.</li> <li>• Sauna: Ventilation (supply &amp; exhaust), time clock or BMS controlled.</li> <li>• Steam room: Ventilation (supply &amp; exhaust), time clock or BMS controlled.</li> <li>• Gym area: Ventilation (supply &amp; exhaust), time clock or BMS controlled.</li> <li>• Undercover car park area: Ventilation (supply &amp; exhaust), controlled with carbon. monoxide monitor and VSD fan.</li> <li>• Switch room: Ventilation (supply &amp; exhaust), thermostatically controlled.</li> <li>• Garbage room: Ventilation exhaust only.</li> <li>• Plant or service rooms: Ventilation (supply &amp; exhaust), thermostatically controlled.</li> <li>• Cinema: Ventilation (supply &amp; exhaust), time clock or BMS controlled.</li> <li>• Cellar Private Dining: Ventilation (supply &amp; exhaust), time clock or BMS controlled.</li> <li>• Other internal common area: Ventilation (supply &amp; exhaust), time clock or BMS controlled.</li> <li>• Communal: Ventilation (supply &amp; exhaust), time clock or BMS controlled. (Building A)</li> </ul>



Component	Commitment	
		<ul style="list-style-type: none"> <li>• Ground floor lobby type (Building A &amp; B): Ventilation (supply &amp; exhaust), time clock or BMS controlled.</li> <li>• Hallway/lobby type (Building A &amp; B): Ventilation (supply &amp; exhaust), time clock or BMS controlled.</li> </ul>
	Lighting	<ul style="list-style-type: none"> <li>• Lift banks: LED lighting, connected to the lift call button.</li> <li>• Indoor swimming pool and/or spa area (No. 1): LED lighting with time clocks.</li> <li>• Sauna: LED lighting with time clocks.</li> <li>• Steam room: LED lighting with time clocks.</li> <li>• Gym area: LED lighting with manual on / manual off.</li> <li>• Undercover car park area: LED lighting with motion sensors.</li> <li>• Switch room: LED lighting with manual on / manual off.</li> <li>• Garbage room: LED lighting with motion sensors.</li> <li>• Plant or service rooms: LED lighting with manual on / manual off.</li> <li>• Cinema: LED lighting with manual on / manual off.</li> <li>• Cellar Private Dining: LED lighting with manual on / manual off.</li> <li>• Other internal common area: LED lighting with manual on / manual off.</li> <li>• Communal: LED lighting with motion sensors. (Building A)</li> <li>• Ground floor lobby type (Building A &amp; B): LED lighting with time clock and motion sensors.</li> <li>• Hallway/lobby type (Building A &amp; B): LED lighting with time clock and motion sensors.</li> </ul>
	Central Hot Water (No.1 & No.2)	<ul style="list-style-type: none"> <li>• Electric heat pump – air sourced with R0.6 insulation to the pipes. Unit Efficiency: <math>3.0 &lt; COP \leq 3.5</math>.</li> </ul>
	Alternative Energy Supply	<ul style="list-style-type: none"> <li>• 32 kW Solar PV system.</li> </ul>
Private Dwellings	Ventilation	<ul style="list-style-type: none"> <li>• Bathroom Exhaust: Individual fan, ducted to façade or roof, interlocked to light with timer off.</li> <li>• Kitchen Exhaust: Individual fan, ducted to façade or roof, manual switch on/off.</li> <li>• Laundry Exhaust: Individual fan, ducted to façade or roof, interlocked to light.</li> </ul>
	Heating & Cooling To living and bedroom areas	<ul style="list-style-type: none"> <li>• Heating: 1-phase air-conditioning – ducted, EER 3.0-3.5.</li> <li>• Cooling: 1-phase air-conditioning – ducted, EER 3.0-3.5.</li> </ul>
	Lighting	<ul style="list-style-type: none"> <li>• Fluorescent or LED lights with dedicated fittings.</li> </ul>
	Appliances & other	<ul style="list-style-type: none"> <li>• Induction cooktops and electric ovens.</li> <li>• 4.5-star (energy rating) dishwashers.</li> <li>• 9-star (energy rating) clothes dryers.</li> <li>• Indoor or sheltered clothes drying line.</li> </ul>

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## 8 Disclaimer

This report is prepared using the information described above and inputs from other consultants. Whilst IGS has endeavoured to ensure the information used is accurate, no responsibility or liability to any third party is accepted for any loss or damage arising out of the use of this report by any third party. Any third party wishing to act upon any material contained in this report should first contact IGS for detailed advice which will take into account that party's particular requirements.

Computer performance assessment provides an estimate of building performance. This estimate is based on a necessarily simplified and idealised version of the building that does not and cannot fully represent all the intricacies of the building once built. As a result, simulation results only represent an interpretation of the potential performance of the building. Although great care has been taken to prepare this report, IGS does not make any representations or give any warranties or assurances as to the accuracy or completeness of the information contained in the report or that the report is free from errors or omissions. IGS and its employees and agents shall not be liable for any loss arising because of, any person using or relying on the report and whether caused by reason or error, negligent act or omission in the report. This draft BASIX assessment and certification has been prepared based on the preliminary architectural and building services design with the view to conducting a detailed assessment once the design is further developed.

Performance of the completed building may be significantly affected by the quality of construction; commissioning, ongoing management of the building, and the way the building is operated, monitored and maintained. Building fabric inputs require verifiable manufacturer data to confirm thermal properties.

This report is intended as a guide to assist with the application of BASIX. It should be read in conjunction with the BASIX and the NCC applicable to the development; specific applications may vary during the design development of the project.

## 9 Summary & Conclusion

The proposed development has been assessed in terms of its ability to conserve water and minimise energy consumption. Furthermore, the thermal performance (passive and fabric design) of the development will comply with the BASIX thermal comfort requirements.

Subject to the provisions of this report the proposed development will be able to achieve the BASIX requirements. For further details, please refer to the BASIX Certificate 1827635M provided.

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## APPENDIX A – BASIX CERTIFICATE

# BASIX™ Certificate

Building Sustainability Index

[www.planningportal.nsw.gov.au/development-and-assessment/basix](http://www.planningportal.nsw.gov.au/development-and-assessment/basix)

## Multi Dwelling

Certificate number: 1827635M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.planningportal.nsw.gov.au/definitions](http://www.planningportal.nsw.gov.au/definitions)

Secretary

Date of issue: Thursday, 18 December 2025

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate IMXRFNEHBC.

### Project summary

Project name	19-23 Rosalind Street, Cammeray, NSW 2062
Street address	19-23 ROSALIND STREET CAMMERAY 2062
Local Government Area	NORTH SYDNEY
Plan type and plan number	Strata Plan SP16181, SP5218, SP4657
Lot no.	CP
Section no.	-
No. of residential flat buildings	2
Residential flat buildings: no. of dwellings	49
Multi-dwelling housing: no. of dwellings	0
No. of single dwelling houses	0

### Project score

Water	✔ 40	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 61	Target 61
Materials	✔ -100	Target n/a

If any changes to this BASIX certificate are required, please contact IGS with following details:

- Project reference: 19-23 Rosalind Street, Cammeray, NSW 2062
- Contact number: 0430 108 801

### Certificate Prepared by

Name / Company Name: IGS

ABN (if applicable): 68163019029

# Description of project

Project address	
Project name	19-23 Rosalind Street, Cammeray, NSW 2062
Street address	19-23 ROSALIND STREET CAMMERAY 2062
Local Government Area	NORTH SYDNEY
Plan type and plan number	Strata Plan SP16181, SP5218, SP4657
Lot no.	CP
Section no.	-
Project type	
No. of residential flat buildings	2
Residential flat buildings: no. of dwellings	49
Multi-dwelling housing: no. of dwellings	0
No. of single dwelling houses	0
Site details	
Site area (m <sup>2</sup> )	4093
Roof area (m <sup>2</sup> )	1047
Non-residential floor area (m <sup>2</sup> )	-
Residential car spaces	83
Non-residential car spaces	-

Common area landscape		
Common area lawn (m <sup>2</sup> )	290	
Common area garden (m <sup>2</sup> )	426	
Area of indigenous or low water use species (m <sup>2</sup> )	0	
Assessor details and thermal loads		
Assessor number	DMN/12/1407	
Certificate number	IMXRFNEHBC	
Climate zone	56	
Project score		
Water	✔ 40	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 61	Target 61
Materials	✔ -100	Target n/a

## Description of project

The tables below describe the dwellings and common areas within the project

### Residential flat buildings - Building B, 31 dwellings, 6 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
B101	3	158.24	0	0	0
B105	3	148.82	0	0	0
B203	2	126.27	0	0	0
B301	3	158.24	0	0	0
B305	3	148.82	0	0	0
B403	3	141.5	0	76.5	0
B502	2	118.49	0	0	0
BG04	3	137.73	0	109	0
B102	3	164.02	0	0	0
B106	2	132.61	0	0	0
B204	3	137.73	0	0	0
B302	3	164.02	0	0	0
B306	2	132.61	0	0	0
B404	2	106.15	0	0	0
BG01	3	175.38	0	83	0
BG05	3	148.82	0	113	0
B103	2	126.27	0	0	0
B201	3	158.24	0	0	0
B205	3	148.82	0	0	0
B303	2	126.27	0	0	0
B401	3	135.1	0	0	0
B405	3	132.49	0	93	0
BG02	2	121.07	0	67.5	0
BG06	2	126.49	0	61	0
B104	3	137.73	0	0	0
B202	3	164.02	0	0	0
B206	2	132.61	0	0	0
B304	3	137.73	0	0	0
B402	3	136.03	0	0	0
B501	3	141.2	0	0	0
BG03	2	126.27	0	34	0

### Residential flat buildings - Building A, 18 dwellings, 5 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
A101	3	144.26	0	0	0
A105	3	141.42	0	0	0
A204	2	127.05	0	0	0
A303	3	134.13	0	50	0
AG01	3	158.31	0	61	0
A102	2	94.07	0	0	0
A201	3	144.26	0	0	0
A205	3	141.42	0	0	0
A401	3	145.18	0	0	0
AG02	2	98.04	0	21	0
A103	2	135.37	0	0	0
A202	2	94.07	0	0	0
A301	3	147.51	0	0	0
A402	3	153.82	0	0	0
A104	2	127.05	0	0	0
A203	2	135.37	0	0	0
A302	3	161.45	0	107	0
A403	3	131.72	0	0	0

## Description of project

The tables below describe the dwellings and common areas within the project

### Common areas of unit building - Building B

Common area	Floor area (m <sup>2</sup> )	Common area	Floor area (m <sup>2</sup> )	Common area	Floor area (m <sup>2</sup> )
Lift bank (No. 1)	-	Lift bank (No. 2)	-	Ground floor lobby type (Building B)	58
Hallway/lobby type (Building B)	349				

### Common areas of unit building - Building A

Common area	Floor area (m <sup>2</sup> )	Common area	Floor area (m <sup>2</sup> )	Common area	Floor area (m <sup>2</sup> )
Communal	99.46	Ground floor lobby type (Building A)	116	Hallway/lobby type (Building A)	172

### Common areas of the development (non-building specific)

Common area	Floor area (m <sup>2</sup> )	Common area	Floor area (m <sup>2</sup> )	Common area	Floor area (m <sup>2</sup> )
Indoor swimming pool and/or spa area (No. 1)	95.93	Sauna	11.73	Steam room	11.73
Gym area	98.43	Undercover car park area	3515	Switch room	21.6
Garbage room	80.65	Plant or service room	334.3	Cinema	90.39
Cellar Private Dining	39.59	Other internal common area	200		

# Schedule of BASIX commitments

## 1. Commitments for Residential flat buildings - Building B

### (a) Buildings

(i) Materials

### (b) Dwellings

(i) Water

(ii) Energy

(iii) Thermal Performance

### (c) Common areas and central systems/facilities

(i) Water

(ii) Energy

## 2. Commitments for Residential flat buildings - Building A

### (a) Buildings

(i) Materials

### (b) Dwellings

(i) Water

(ii) Energy

(iii) Thermal Performance

### (c) Common areas and central systems/facilities

(i) Water

(ii) Energy

## 3. Commitments for common areas and central systems/facilities for the development (non-building specific)

### (a) Buildings 'Other'

(i) Materials

### (b) Common areas and central systems/facilities

(i) Water

(ii) Energy

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

### 1. Commitments for Residential flat buildings - Building B

#### (a) Buildings

(i) Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Floor types", "External wall types", "Internal wall types", "Ceiling and roof types", "Frames" and "Glazing" tables below.			✓
(b) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all specifications included in the tables below.		✓	
(c) The applicant must construct the floors, walls, roof, ceiling and roof, windows, glazed doors and skylights of the development in accordance with the specifications listed in the tables below. In the case of glazing, a 5% variance from the area values listed in the "Frames" and "Glazing" tables is permitted.	✓	✓	✓
(d) The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the below tables.			✓

#### Floor types

Floor type	Area (m <sup>2</sup> )	Insulation	Low emissions option
concrete slab on ground, frame:	1000	-	none
suspended floor above enclosed subfloor, frame: suspended concrete slab	1000	-	-
floors above habitable rooms, frame: suspended concrete slab	2777.46	-	-

#### External wall types

External wall type	Construction type	Area (m <sup>2</sup> )	Low emissions option	Insulation
External wall type 1	single skin autoclaved aerated concrete (AAC), frame: light steel frame	1500	-	-
External wall type 2	brick veneer, frame: light steel frame	1500	-	-

**Internal wall types**

Internal wall type	Construction type	Area (m2)	Insulation
Internal wall type 1	plasterboard, frame:light steel frame	1200	-
Internal wall type 2	75 mm AAC panel, frame:light steel frame	1200	-
Internal wall type 3	single skin masonry, frame:light steel frame	1200	-

**Reinforcement concrete frames/columns**

Building has reinforced concrete frame/columns?	Volume (m³)	Low emissions option
-	-	-

**Ceiling and roof types**

Ceiling and roof type	Area (m²)	Roof Insulation	Ceiling Insulation
concrete - plasterboard internal, frame: light steel frame	500	-	-

**Glazing types**

**Frame types**

Single glazing (m²)	Double glazing (m²)	Triple glazing (m²)	Aluminium frames (m²)	Timber frames (m²)	uPVC frames (m²)	Steel frames (m²)	Composite frames (m²)
-	300	-	300	-	-	-	-

**(b) Dwellings**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <ul style="list-style-type: none"> <li>(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and</li> <li>(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.</li> </ul>		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 7.5 but <= 9 L/min)	4 star	6 star	3 star	On demand HW recirculation	4 star	6 star	-	-	-	-	-	-	-

Alternative water source								
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	No alternative water supply	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;		✓	

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and  (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓  ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	Central hot water system (No. 2)	individual fan, ducted to façade or roof	interlocked to light with timer off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light

	Cooling		Heating		Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bathrooms or toilets	Main kitchen
All dwellings	1-phase airconditioning - ducted / EER 3.0 - 3.5	1-phase airconditioning - ducted / EER 3.0 - 3.5	1-phase airconditioning - ducted / EER 3.0 - 3.5	1-phase airconditioning - ducted / EER 3.0 - 3.5	0	-

	Individual pool			Individual spa		Appliances other efficiency measures				
Dwelling no.	Pool heating system	Pool Pump	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Dishwasher	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	-	induction cooktop & electric oven	4.5 star	9.0 star	yes	no

<b>(iii) Thermal Performance</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must:  (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or  (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✔		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✔	

<b>Thermal loads</b>			
Dwelling no.	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
All dwellings	19.05	10.95	30.000

**(c) Common areas and central systems/facilities**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	4 star	3 star	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Swimming pool (No. 1)	Volume: 56 kLs	Location: Indoor swimming pool and/or spa area (No. 1)	-
Central water tank - rainwater or stormwater (No. 2)	3000	To collect run-off from at least: - 532.8 square metres of roof area of buildings in the development - 0 square metres of impervious area in the development - 0 square metres of garden/lawn area in the development - 0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- irrigation of 260 square metres of common landscaped area on the site
Fire sprinkler system (No. 2)	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/ BMS
Lift bank (No. 1)	-	-	light-emitting diode	connected to lift call button	-
Lift bank (No. 2)	-	-	light-emitting diode	connected to lift call button	-
Ground floor lobby type (Building B)	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	time clock and motion sensors	-
Hallway/lobby type (Building B)	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	time clock and motion sensors	-

Central energy systems	Type	Specification
Swimming pool (No. 1)	Heating source: electric heat pump	Pump controlled by timer: yes
Lift bank (No. 2)	gearless traction with V V V F motor	Number of levels with apartments served by a lift: 8 number of levels from the bottom of the lift shaft to the top of the lift shaft: 8 number of lifts: 2 lift load capacity: >= 1001 kg but <= 1500kg
Central hot water system (No. 2)	electric heat pump – air sourced	Piping insulation (ringmain & supply risers): (a) Piping external to building: R0.6 (~25 mm); (b) Piping internal to building: R0.6 (~25 mm) (c) Unit Efficiency: 3.0 < COP <= 3.5

## 2. Commitments for Residential flat buildings - Building A

### (a) Buildings

(i) Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Floor types", "External wall types", "Internal wall types", "Ceiling and roof types", "Frames" and "Glazing" tables below.			✓
(b) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all specifications included in the tables below.		✓	
(c) The applicant must construct the floors, walls, roof, ceiling and roof, windows, glazed doors and skylights of the development in accordance with the specifications listed in the tables below. In the case of glazing, a 5% variance from the area values listed in the "Frames" and "Glazing" tables is permitted.	✓	✓	✓
(d) The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the below tables.			✓

#### Floor types

Floor type	Area (m2)	Insulation	Low emissions option
concrete slab on ground, frame:	500	-	none
suspended floor above enclosed subfloor, frame: suspended concrete slab	500	-	-
floors above habitable rooms, frame: suspended concrete slab	1801.96	-	-

#### External wall types

External wall type	Construction type	Area (m2)	Low emissions option	Insulation
External wall type 1	single skin autoclaved aerated concrete (AAC),frame:light steel frame	1500	-	-
External wall type 2	brick veneer,frame:light steel frame	1500	-	-

#### Internal wall types

Internal wall type	Construction type	Area (m2)	Insulation
Internal wall type 1	plasterboard, frame:light steel frame	1200	-

**Internal wall types**

Internal wall type	Construction type	Area (m2)	Insulation
Internal wall type 2	75 mm AAC panel, frame:light steel frame	1200	-
Internal wall type 3	single skin masonry, frame:light steel frame	1200	-

**Reinforcement concrete frames/columns**

Building has reinforced concrete frame/columns?	Volume (m³)	Low emissions option
-	-	-

**Ceiling and roof types**

Ceiling and roof type	Area (m²)	Roof Insulation	Ceiling Insulation
concrete - plasterboard internal, frame: light steel frame	412	-	-

**Glazing types****Frame types**

Single glazing (m²)	Double glazing (m²)	Triple glazing (m²)	Aluminium frames (m²)	Timber frames (m²)	uPVC frames (m²)	Steel frames (m²)	Composite frames (m²)
-	300	-	300	-	-	-	-

**(b) Dwellings**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:  (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and  (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓  ✓	✓  ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 7.5 but <= 9 L/min)	4 star	6 star	3 star	On demand HW recirculation	4 star	6 star	-	-	-	-	-	-	-

Alternative water source								
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	No alternative water supply	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;		✓	

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and  (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓  ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	Central hot water system (No. 1)	individual fan, ducted to façade or roof	interlocked to light with timer off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light

	Cooling		Heating		Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bathrooms or toilets	Main kitchen
All dwellings	1-phase airconditioning - ducted / EER 3.0 - 3.5	1-phase airconditioning - ducted / EER 3.0 - 3.5	1-phase airconditioning - ducted / EER 3.0 - 3.5	1-phase airconditioning - ducted / EER 3.0 - 3.5	0	-

	Individual pool			Individual spa		Appliances other efficiency measures				
Dwelling no.	Pool heating system	Pool Pump	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Dishwasher	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	-	induction cooktop & electric oven	4.5 star	9.0 star	yes	no

<b>(iii) Thermal Performance</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must:  (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or  (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✔		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✔	

<b>Thermal loads</b>			
Dwelling no.	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
All dwellings	19.05	10.95	30.000

**(c) Common areas and central systems/facilities**

<b>(i) Water</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

<b>Common area</b>	<b>Showerheads rating</b>	<b>Toilets rating</b>	<b>Taps rating</b>	<b>Clothes washers rating</b>
All common areas	no common facility	4 star	3 star	no common laundry facility

<b>Central systems</b>	<b>Size</b>	<b>Configuration</b>	<b>Connection (to allow for...)</b>
Central water tank - rainwater or stormwater (No. 1)	3000	To collect run-off from at least: - 304.8 square metres of roof area of buildings in the development - 0 square metres of impervious area in the development - 0 square metres of garden/lawn area in the development - 0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- irrigation of 456 square metres of common landscaped area on the site
Fire sprinkler system (No. 1)	-	-	-

<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/ BMS
Communal	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	motion sensors	-
Ground floor lobby type (Building A)	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	time clock and motion sensors	-
Hallway/lobby type (Building A)	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	time clock and motion sensors	-

Central energy systems	Type	Specification
Lift bank (No. 1)	gearless traction with V V V F motor	Number of levels with apartments served by a lift: 7 number of levels from the bottom of the lift shaft to the top of the lift shaft: 7 number of lifts: 2 lift load capacity: >= 1001 kg but <= 1500kg
Central hot water system (No. 1)	electric heat pump – air sourced	Piping insulation (ringmain & supply risers): (a) Piping external to building: R0.6 (~25 mm); (b) Piping internal to building: R0.6 (~25 mm) (c) Unit Efficiency: 3.0 < COP <= 3.5

### 3. Commitments for common areas and central systems/facilities for the development (non-building specific)

#### (a) Buildings 'Other'

(i) Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Floor types", "External wall types", "Internal wall types", "Ceiling and roof types", "Frames" and "Glazing" tables below.			✓
(b) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all specifications included in the tables below.		✓	
(c) The applicant must construct the floors, walls, roof, ceiling and roof, windows, glazed doors and skylights of the development in accordance with the specifications listed in the tables below. In the case of glazing, a 5% variance from the area values listed in the "Frames" and "Glazing" tables is permitted.	✓	✓	✓
(d) The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the below tables.			✓

#### Floor types

Floor type	Area (m2)	Insulation	Low emissions option
concrete slab on ground, frame:	1000	-	none
suspended floor above enclosed subfloor, frame: suspended concrete slab	1000	-	-
floors above habitable rooms, frame: suspended concrete slab	2489.5	-	-

#### External wall types

External wall type	Construction type	Area (m2)	Low emissions option	Insulation
External wall type 1	single skin autoclaved aerated concrete (AAC),frame:light steel frame	1500	-	-
External wall type 2	brick veneer,frame:light steel frame	1500	-	-

#### Internal wall types

Internal wall type	Construction type	Area (m2)	Insulation
Internal wall type 1	plasterboard, frame:light steel frame	1200	-

### Internal wall types

Internal wall type	Construction type	Area (m2)	Insulation
Internal wall type 2	75 mm AAC panel, frame:light steel frame	1200	-
Internal wall type 3	single skin masonry, frame:light steel frame	1200	-

### Reinforcement concrete frames/columns

Building has reinforced concrete frame/columns?	Volume (m³)	Low emissions option
-	-	-

### Ceiling and roof types

Ceiling and roof type	Area (m²)	Roof Insulation	Ceiling Insulation
concrete - plasterboard internal, frame: light steel frame	412	-	-

### Glazing types

### Frame types

Single glazing (m²)	Double glazing (m²)	Triple glazing (m²)	Aluminium frames (m²)	Timber frames (m²)	uPVC frames (m²)	Steel frames (m²)	Composite frames (m²)
-	300	-	300	-	-	-	-

**(b) Common areas and central systems/facilities**

<b>(i) Water</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

<b>Common area</b>	<b>Showerheads rating</b>	<b>Toilets rating</b>	<b>Taps rating</b>	<b>Clothes washers rating</b>
All common areas	no common facility	4 star	3 star	no common laundry facility

<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/ BMS
Indoor swimming pool and/or spa area (No. 1)	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	time clocks	-
Sauna	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	time clocks	-
Steam room	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	time clocks	-
Gym area	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	manual on / manual off	-
Undercover car park area	ventilation (supply + exhaust)	carbon monoxide monitor + VSD fan	light-emitting diode	motion sensors	-
Switch room	ventilation (supply + exhaust)	thermostatically controlled	light-emitting diode	manual on / manual off	-
Garbage room	ventilation exhaust only	-	light-emitting diode	motion sensors	-
Plant or service room	ventilation (supply + exhaust)	thermostatically controlled	light-emitting diode	manual on / manual off	-
Cinema	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	manual on / manual off	-
Cellar Private Dining	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	manual on / manual off	-
Other internal common area	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	manual on / manual off	-

Central energy systems	Type	Specification
Sauna (No. 1)	Heating source: electric resistance	Efficiency measure: controlled by BMS
Alternative energy supply	Photovoltaic system	Rated electrical output (min): 32 peak kW
Other	-	-

## Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

## Legend

1. Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✔" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

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## APPENDIX B – NATHERS CERTIFICATE

Note: this group certificate is for a representative sample of dwellings. The full certificate for all dwellings will be produced at a later stage, once the design is further developed. If any changes are required, please contact us on 0430 108 801.

# Nationwide House Energy Rating Scheme®

## Thermal performance Star rating

### Class 2 Summary

### NatHERS® Certificate No. IMXRFNEHBC

Generated on 17 Dec 2025 using FirstRate5 v5.5.5a

#### Property

**Address** 19-23 Rosalind St ,  
Cammeray , NSW, 2062

**Lot/DP**

**NatHERS Climate Zone** Mascot (Sydney Airport)



#### Accredited assessor

**Name** Patrick Phelan  
**Business name** Energy Water and Environment  
**Email** patrick@ewenvironment.com.au  
**Phone** 0402586813  
**Accreditation No.** DMN/12/1407  
**Assessor Accrediting Organisation**  
Design Matters National

#### Verification

To verify this certificate, scan the QR code or visit <https://www.fr5.com.au/QRCodeLanding?PublicId=IMXRFNEHBC&GrpCert=1>  
When using either link, ensure you are visiting [www.fr5.com.au](http://www.fr5.com.au).



#### National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at [www.abcb.gov.au](http://www.abcb.gov.au).

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

**7.2**  
Average Rating

**NATIONWIDE HOUSE**  
ENERGY RATING SCHEME®

The rating above is the average of all dwellings in this summary.

For more information on your dwelling's rating see:  
[www.nathers.gov.au](http://www.nathers.gov.au)

#### NCC heating and cooling maximum loads MJ/m<sup>2</sup>/p.a.

Limits taken from ABCB Standard 2022

	Heating	Cooling
Modelled block average	18.8	9.1
Maximum allowable limit	N/A	N/A

#### Whole of Home performance rating

No Whole of Home performance rating conducted for this summary certificate or not completed for all dwellings

The rating above is the lowest of all dwellings in this summary

#### Summary of all dwellings

Certificate number and link	Unit number	Heating load (load limit) [MJ/m <sup>2</sup> /p.a.]	Cooling load (load limit) [MJ/m <sup>2</sup> /p.a.]	Total load [MJ/m <sup>2</sup> /p.a.]	Star rating	Whole of Home Rating
QAGYKEPLE0	105	17.0 ( N/A )	8.7 ( N/A )	25.7	7.4	NA
UEJB7W8Q8S	A402	25.6 ( N/A )	8.2 ( N/A )	33.8	6.5	NA



## Summary of all dwellings

Certificate number and link	Unit number	Heating load (load limit) [MJ/m <sup>2</sup> /p.a.]	Cooling load (load limit) [MJ/m <sup>2</sup> /p.a.]	Total load [MJ/m <sup>2</sup> /p.a.]	Star rating	Whole of Home Rating
UE2Q4Q1SOU	A403	20.0 ( N/A )	13.9 ( N/A )	33.9	6.5	NA
JP5XZUW8XM	AG01	23.3 ( N/A )	4.8 ( N/A )	28.1	7.2	NA
7RHB3CUUJG	B303	12.7 ( N/A )	6.2 ( N/A )	18.9	8.2	NA
YYUDYMHZ34	B405	14.2 ( N/A )	8.5 ( N/A )	22.7	7.8	NA
N77UQEIWMM	B502	18.4 ( N/A )	19.0 ( N/A )	37.4	6.1	NA
A93VUD71X2	BG04	19.4 ( N/A )	3.6 ( N/A )	23.0	7.8	NA

## Explanatory notes

### About this report

The thermal performance star rating in this Certificate is the average rating of all NCC Class 2 dwellings in an apartment block. The Whole of Home performance rating in this Certificate is the lowest rating for the apartment block. Individual unit ratings are listed in the 'Summary of all dwellings' section of this Certificate. (accessible via link).

NatHERS ratings use computer modelling to evaluate a home's energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the energy loads and energy value\*. The thermal performance star rating uses the home's building specifications, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads. The Whole of Home performance rating uses information about the home's appliances and onsite energy production and storage to estimate the home's energy value\*.

For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link)

### Accredited Assessors

For high quality NatHERS Certificates, always use an accredited or licenced assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments.

Non-accredited assessors (Raters) have no ongoing training requirements and are not quality assured.

Licensed assessors in the Australian Capital Territory (ACT) can produce assessments for regulatory purposes only, using endorsed software, as listed on the ACT licensing register

Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

### Disclaimer

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in certificates is entered by the assessor. It is the assessor's responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy use, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling's design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.

Not all assumptions made by the assessor while using the NatHERS accredited software tool are presented in this report and further details or data files may be available from the assessor

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## APPENDIX C – STAMPED ARCHITECTURAL DRAWINGS

# 19 - 23 ROSALIND ST, CAMMERAY

## DEVELOPMENT APPLICATION

Page No.	Title	REV
DA-000	COVER PAGE	A
DA-001	SURVEY 1/2	A
DA-002	SURVEY 2/2	A
DA-003	SITE PLAN	A
DA-004	SITE ANALYSIS	A
DA-005	EXISTING PLAN	A
DA-006	DEMOLITION PLAN	A
DA-007	LANDSCAPE PLAN	A
DA-100	BASEMENT 2 - PROPOSED PLAN	A
DA-101	LOWER GROUND - PROPOSED PLAN	A
DA-102	GROUND - PROPOSED PLAN	A
DA-103	LEVEL 1 - PROPOSED PLAN	A
DA-104	LEVEL 2 - PROPOSED PLAN	A
DA-105	LEVEL 3 - PROPOSED PLAN	A
DA-106	LEVEL 4 - PROPOSED PLAN	A
DA-107	LEVEL 5 - PROPOSED PLAN	A
DA-108	ROOF - PROPOSED PLAN	A
DA-200	ELEVATIONS	A
DA-201	ELEVATIONS	A
DA-202	ELEVATIONS	A
DA-300	SECTIONS	A
DA-301	SECTIONS	A
DA-302	SECTIONS	A
DA-303	SECTIONS	A
DA-304	SECTIONS	A
DA-400	SHADOW DIAGRAMS 1/2	A
DA-401	SHADOW DIAGRAMS 2/2	A
DA-500	GFA AREA SCHEDULES & PLANS	A
DA-501	UNIT MIX	A
DA-502	COMPLIANCE DIAGRAMS	A
DA-503	ADG - CROSS VENTILATION	A
DA-504	ADG - SOLAR	A
DA-505	HEIGHT PLANE DIAGRAM	A
DA-600	STREET VIEW 1	A
DA-601	STREET VIEW 2	A
DA-602	COURTYARD VIEW 1	A
DA-603	COURTYARD VIEW 2	A



AERIAL VIEW

ARCHITECT

**CHROFI**

3/1 THE CORSO MANLY NSW 2095 AUSTRALIA  
 T +61 2 8096 8500 E info@chrofi.com  
 CHOI ROSA FIGHERA PLACON 144 714 885 A/F CHOI ROSA FIGHERA UNIT TRUST T/A CHROFI ABN 22 385  
 257 187 NOMINATED ARCHITECT TAI ROSA FIGHERA 6566 STEVEN FIGHERA 6609

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION,  
 REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON  
 SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN CHROFI.

A 12/12/2025 Issue for DA



PROJECT

19-23 Rosalind Street, Cammeray

#Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH	DRAWING NUMBER	REVISION
25023	12/12/25			1:14.01	A3 GA		DA-000	A

DRAWING TITLE

COVER PAGE

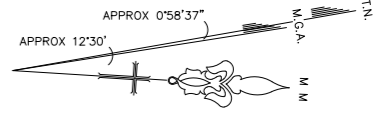
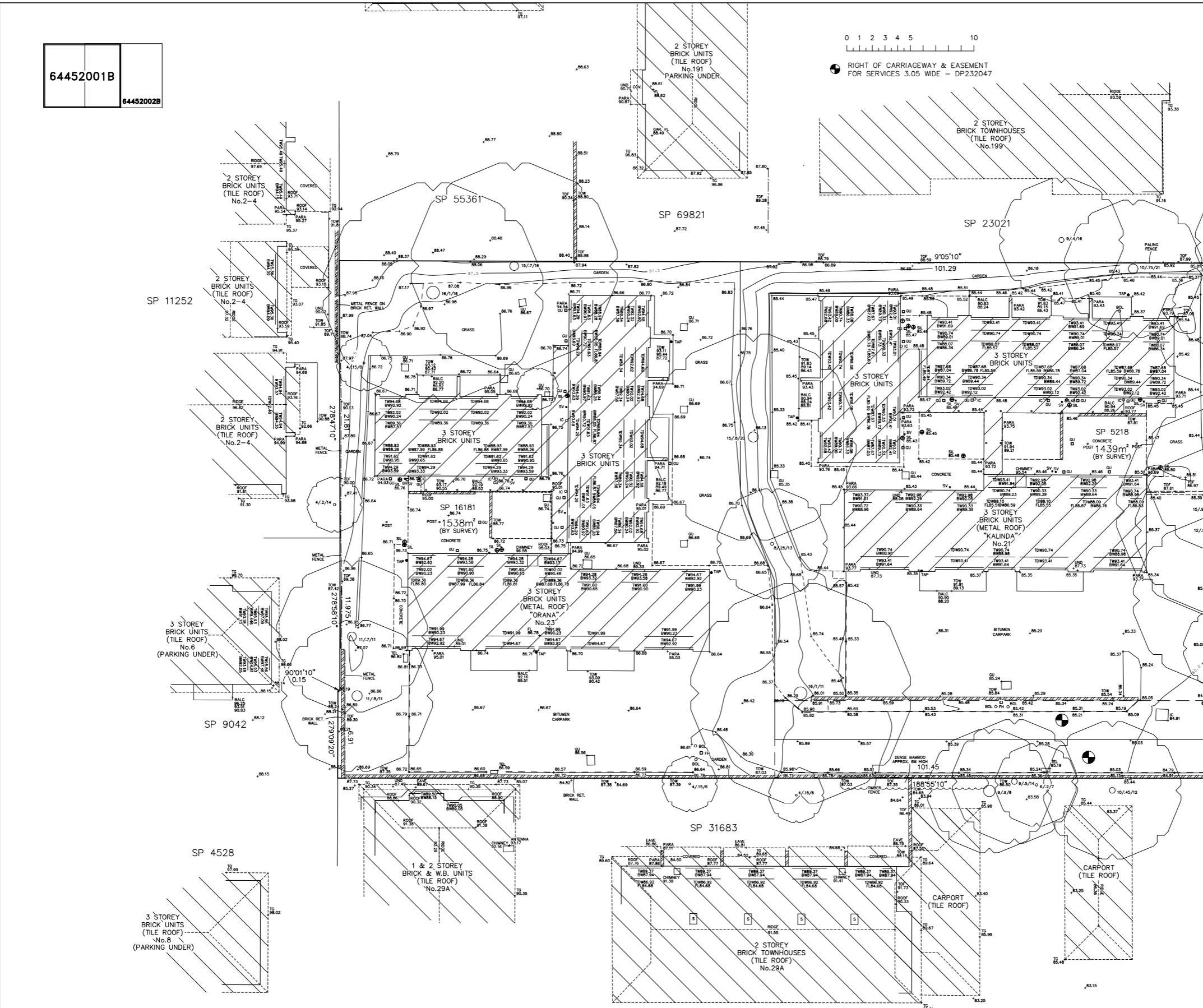
DRAWING NUMBER

DA-000

REVISION

A

64452001B  
64452002B



**LEGEND**

- Building
- Walls
- Kerb Bottom
- Concrete edge
- Kerb top
- Barrier
- Fence
- Overhead Powerline
- Manholes
- Survey Station & Name
- Bench Mark
- Sapling
- Tree, 12/0.5/10 (Spread/Trunk/Height)
- Area Of Undergrowth
- Gate
- IC Inspection chamber
- CL Cover level
- IL Invert level
- Inv. 0.25 Pipe invert (diameter)
- GU Gully
- KO Back Gully
- Beam
- Walls
- Door
- Window
- BALC Balcony Height
- BOL Bollard
- BS Bus Stop
- BW Bottom of Window
- C/Box Control Box
- CHIM Chimney Height
- ER Earth Rod
- E/Box Elec. Control Box
- FH Fire Hydrant
- FFL First Floor Level
- FL Ground Floor Level
- GU Gully
- GM Gas Meter
- GV Gas Valve
- HT Height
- IC Inspection Cover
- LFL Lower Floor Level
- MH Manhole
- PARA Parapet Height
- PP Power Pole
- SFL Second Floor Level
- SIL Sewer Inspection Lid
- SP Sign Post
- SV Stop Valve
- SVP Sewer Vent Pipe
- TD Top of Door
- TDW Top of Door/Window
- TEL Telecommunications
- TG Top of Gutter
- TL Traffic Light
- TW Top of Window
- TOF Top of Fence
- TOW Top of Wall
- TUN Understore Height
- WM Water Meter
- W-B Wall to Boundary
- B Beam Height
- CH Ceiling Height
- Cl Window Cill Height
- FL Floor Level
- Hd Window Head Height
- HT Height
- TD Door Height

- NOTES:**
1. ALL DIMENSIONS AND LEVELS SHOULD BE CHECKED ON SITE PRIOR TO DESIGN AND CONSTRUCTION.
  2. THIS INFORMATION ON THIS SURVEY IS TO BE USED FOR DA PURPOSES ONLY.
  3. IF THERE IS ANY POINT OR FEATURE (FLOOR LEVEL, WALL POSITION, ROOF OR RIDGE HEIGHT ETC) CRITICAL TO THE PREPARATION OF DESIGN PLANS OR CONSTRUCTION, THAT POINT OR FEATURE SHOULD BE MADE KNOWN TO US, ITS ACCURACY CAN BE CONFIRMED PRIOR TO THE COMPLETION OF DESIGN PLANS OF COMMENCEMENT OF CONSTRUCTION.
  4. SOME STRUCTURES AND FEATURES ARE APPROXIMATE ONLY IF USED FOR DESIGN CONFIRMATION OF ACCURACY SHOULD BE CONFIRMED.
  5. FENCES ARE APPROXIMATE ONLY UNLESS SPECIFICALLY DIMENSIONED TO BOUNDARY.
  6. SURVEY MARKS MUST BE PLACED PRIOR TO CONSTRUCTION OR ERECTION OF FENCES.
  7. TREE INFORMATION HAS BEEN SURVEYED FROM GROUND LEVEL AND THEREFORE SHOULD BE TREATED AS APPROXIMATE ONLY. THE EXACT OF THE CANOPY IS APPROXIMATE AND DIAGRAMMATIC ONLY.
  8. STAIR RISES, STEPS AND LANDINGS HAVE NOT BEEN INDIVIDUALLY LOCATED AND ARE DIAGRAMMATIC ONLY.
  9. THE RECORDS OF THE SERVICE PROVIDERS HAVE NOT BEEN INVESTIGATED, ONLY THOSE SERVICES THAT ARE VISIBLE AND ACCESSIBLE AT THE DATE OF SURVEY HAVE BEEN SHOWN.
  10. SERVICES SHOWN ARE INDICATIVE ONLY, OTHER SERVICES MAY EXIST THAT ARE NOT SHOWN. THEREFORE FIELD CONFIRMATION SERVICE LOCATORS SHOULD BE OBTAINED TO CONFIRM EXACT POSITION AND DEPTH.
  11. SITE AREA SHOWN HAS BEEN CALCULATED BY SURVEY.
  12. A SITE AND BOUNDARY SURVEY HAS BEEN CARRIED OUT.
  13. ORIGIN OF LEVELS IS FM 14310, RL=87.970 A.H.D.
  14. BEARINGS ARE ON M.G.A.

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NSW 2011  
Tel (02) 9332 4888  
Fax (02) 9331 4222

**PROJECT**  
SHOWING SELECTED LEVELS & DETAIL AND BOUNDARY IDENTIFICATION SURVEY OF SP 16181, SP 5218 & SP 4657 BEING 19, 21 & 23 ROSALIND STREET, CAMMERAY

<b>CLIENT</b> RIVERVUE RESIDENCES	<b>REGISTERED SURVEYOR</b> PAUL CECELLERO ID NUMBER: 757	
<b>LGA</b> NORTH SYDNEY	<b>SIGNATURE</b> <i>P. Ceccellero</i>	
<b>SCALE</b> 1:100	<b>DRAWN/PAPER SIZE</b> AR/A0	
<b>SURVEY DATE</b> 03/02/2023	<b>DRAWING No.</b> 64452001B	
<b>DATE</b> 10/02/23	<b>REV.</b> 'A'	<b>AMENDMENTS</b> FIRST ISSUE
<b>DATE</b> 04/08/25	<b>REV.</b> 'B'	<b>AMENDMENTS</b> ADJOINING BUILDING DETAIL ADDED

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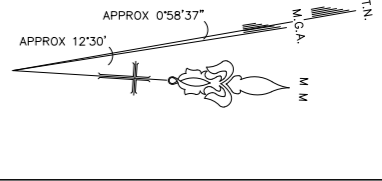
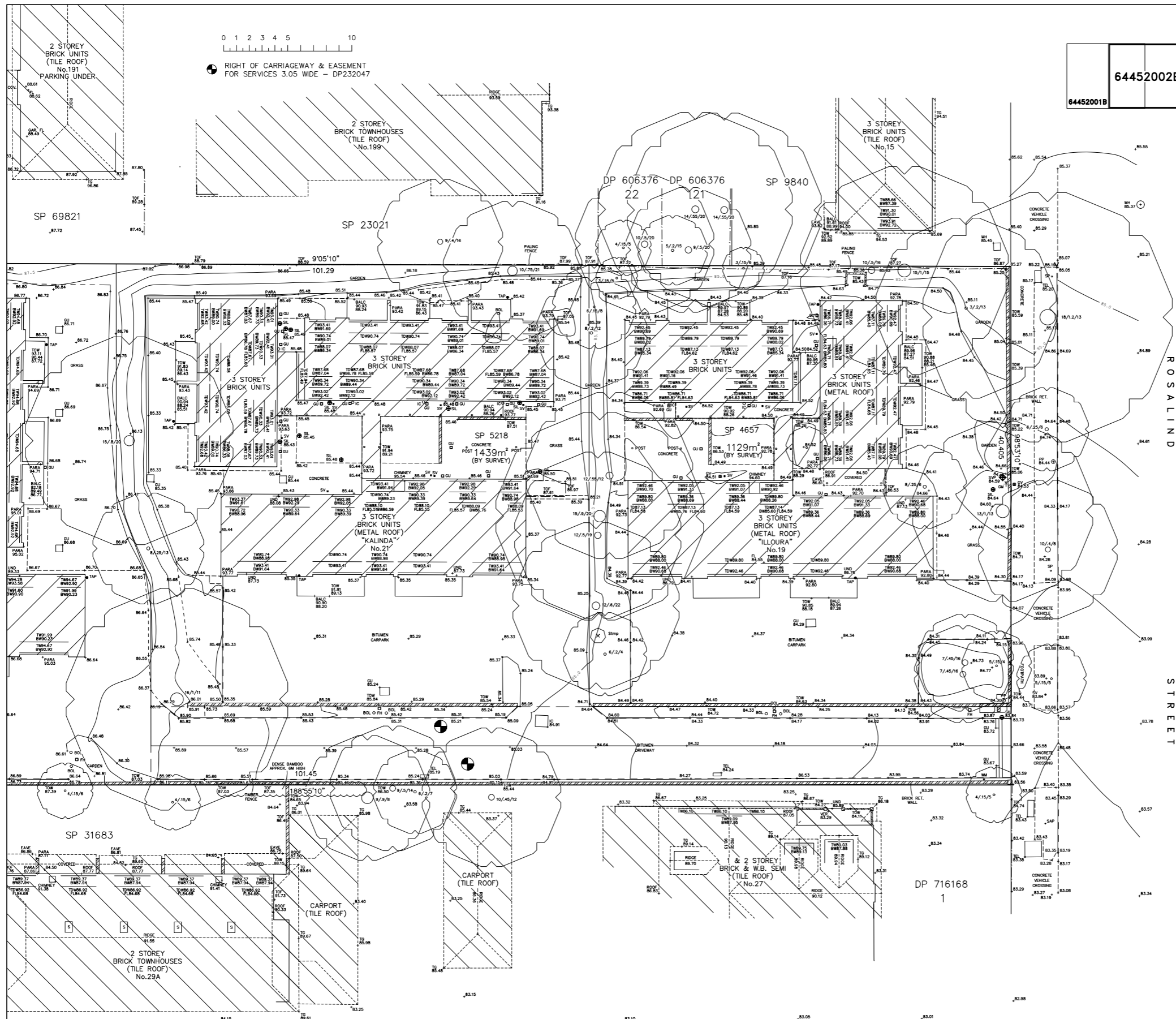
A 12/12/2025 Issue for DA

**PROJECT**  
19-23 Rosalind Street, Cammeray  
#Site Address1, #Site Address2

<b>PROJECT NUMBER</b> 25023	<b>PLOT DATE</b> 12/12/25	<b>DRAWN</b>	<b>CHECKED</b>	<b>SHEET SCALE</b>	<b>SHEET SIZE</b> A3 GA	<b>NORTH</b> 	<b>DRAWING NUMBER</b> DA-001
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**DRAWING TITLE**  
SURVEY 1/2

**REVISION**  
A



**LEGEND**

Building	BALC	Balcony Height
Walls	BOL	Bollard
Kerb Bottom	BS	Bus Stop
Concrete edge	BW	Bottom of Window
Kerb top	C/Box	Control Box
Barrier	CHIM	Chimney Height
Hedge	ER	Earth Rod
Fence	E/Box	Elec. Control Box
Overhead Powerline	FH	Fire Hydrant
Manholes	FL	First Floor Level
Survey Station & Name	FL	Ground Floor Level
Bench Mark	GU	Gully
Sapling	GM	Gas Meter
Tree, 12/0.5/10 (Spread/Trunk/Height)	GV	Gas Valve
Sign Post	HT	Height
Area Of Undergrowth	IC	Inspection Cover
Gate	LFL	Lower Floor Level
Inspection chamber	MH	Manhole
Cover level	PARA	Parapet Height
Invert level	PP	Power Pole
Pipe invert (diameter)	SFL	Second Floor Level
Gully	SIL	Sewer Inspection Lid
Back Gully	SP	Sign Post
Beam	SV	Stop Valve
Walls	SVP	Sewer Vent Pipe
Door	TD	Top of Door/Window
Window	TEL	Telecommunications
	TG	Top of Gutter
	TL	Traffic Light
	TOF	Top of Window
	TW	Top of Wall
	UND	Understore Height
	WM	Water Meter
	W-B	Wall to Boundary
	B	Beam Height
	CH	Ceiling Height
	CI	Window Cill Height
	FL	Floor Level
	Hd	Window Head Height
	HT	Height
	TD	Door Height

**NOTES:**

1. ALL DIMENSIONS AND LEVELS SHOULD BE CHECKED ON SITE PRIOR TO DESIGN AND CONSTRUCTION.
2. THIS INFORMATION ON THIS SURVEY IS TO BE USED FOR DA PURPOSES ONLY.
3. IF THERE IS ANY POINT OR FEATURE (A FLOOR LEVEL, WALL POSITION, ROOF OR RIDGE HEIGHT ETC) CRITICAL TO THE PREPARATION OF DESIGN PLANS OR CONSTRUCTION, THAT POINT OR FEATURE SHOULD BE MADE KNOWN TO US. ITS ACCURACY CAN BE CONFIRMED PRIOR TO THE COMPLETION OF DESIGN PLANS OF COMMENCEMENT OF CONSTRUCTION.
4. SOME STRUCTURES AND FEATURES ARE APPROXIMATE ONLY. IF USED FOR DESIGN CONFIRMATION OF ACCURACY SHOULD BE CONFIRMED.
5. FENCES ARE APPROXIMATE ONLY UNLESS SPECIFICALLY DIMENSIONED TO BOUNDARY.
6. SURVEY MARKS MUST BE PLACED PRIOR TO CONSTRUCTION OR ERECTION OF FENCES.
7. FREE INFORMATION HAS BEEN SURVEYED FROM GROUND LEVEL AND THEREFORE SHOULD BE TREATED AS APPROXIMATE ONLY. THE EXENT OF THE CANOPY IS APPROXIMATE AND DIAGRAMMATIC ONLY.
8. STAIR RISES, STEPS AND LANDINGS HAVE NOT BEEN INDIVIDUALLY LOCATED AND ARE DIAGRAMMATIC ONLY.
9. THE RECORDS OF THE SERVICE PROVIDERS HAVE NOT BEEN INVESTIGATED. ONLY THOSE SERVICES THAT ARE VISIBLE AND ACCESSIBLE AT THE DATE OF SURVEY HAVE BEEN SHOWN.
10. SERVICES SHOWN ARE INDICATIVE ONLY. OTHER SERVICES MAY EXIST THAT ARE NOT SHOWN. THEREFORE FIELD CONFIRMATION SERVICE LOCATORS SHOULD BE OBTAINED TO CONFIRM EXACT POSITION AND DEPTH.
11. SITE AREA SHOWN HAS BEEN CALCULATED BY SURVEY.
12. A SITE AND BOUNDARY SURVEY HAS BEEN CARRIED OUT.
13. ORIGIN OF LEVELS IS: FM 14310, RL=87.970 A.H.D.
14. BEARINGS ARE ON M.G.A.

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 CONSULTING SURVEYORS  
 ACN 000 721 004  
 Hill & Blume Pty Ltd  
 102 Crown Street  
 Woolloomooloo  
 NSW 2011  
 Tel (02) 9332 4888  
 Fax (02) 9332 4222  
 surveyors@hillandblume.com.au

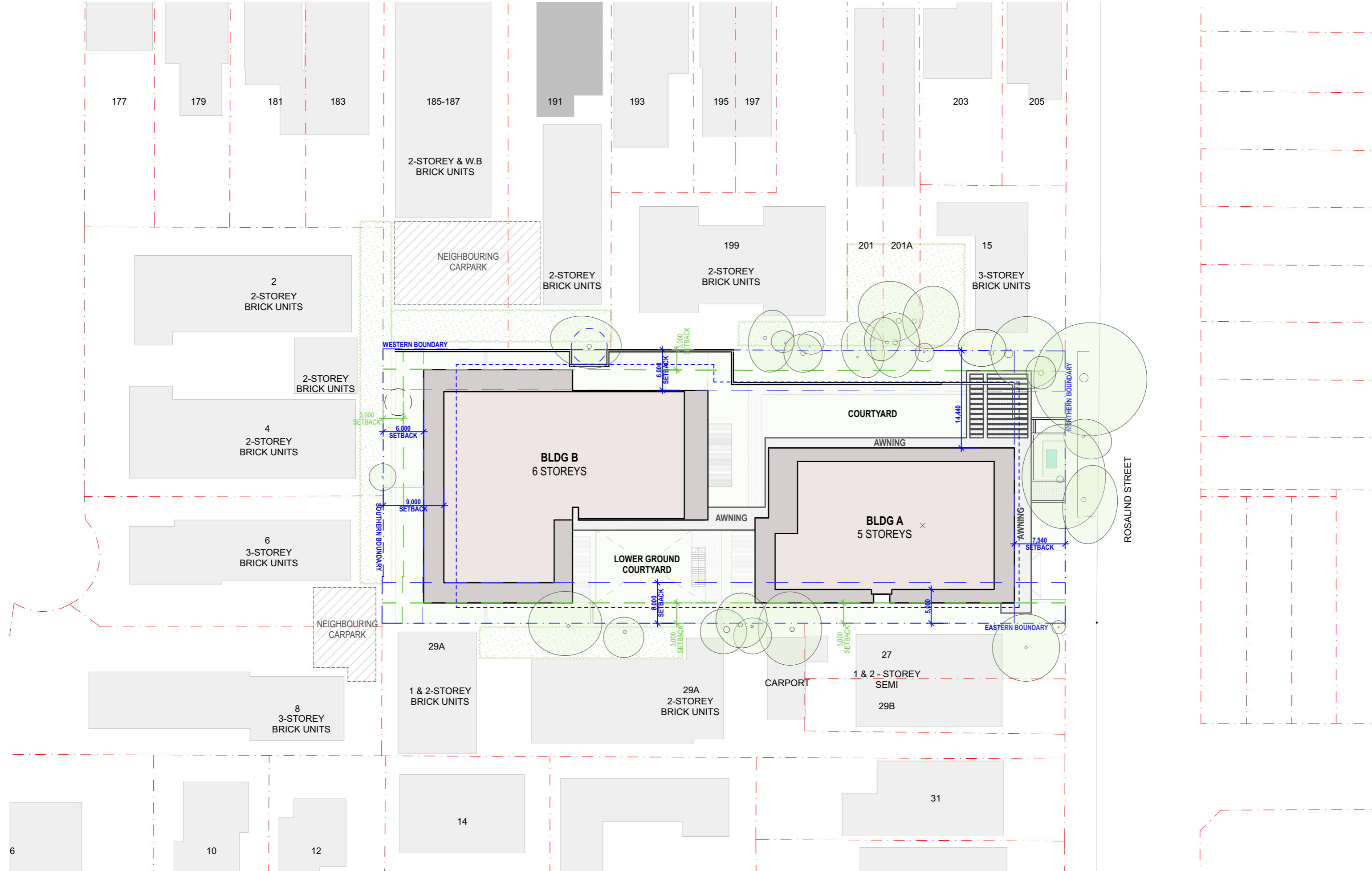
**PROJECT**  
 SHOWING SELECTED LEVELS & DETAIL AND BOUNDARY IDENTIFICATION SURVEY OF SP 16181, SP 5218 & SP 4657 BEING 19, 21 & 23 ROSALIND STREET, CAMMERAY

CLIENT	RIVERVUE RESIDENCES	REGISTERED SURVEYOR	PAUL CECHELLERO
LGA	NORTH SYDNEY	ID NUMBER:	757
SCALE	1:100	SIGNATURE	<i>P. Cecchellero</i>
SURVEY DATE	03/02/2023	DRAWN/PAPER SIZE	AR/AO
		DRAWING No.	64452002B
DATE	REV.	AMENDMENTS	
10/02/23	'A'	FIRST ISSUE	
04/08/25	'B'	ADJOINING BUILDING DETAIL ADDED	

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ARCHITECT	A	12/12/2025	Issue for DA	PROJECT	19-23 Rosalind Street, Cammeray	DRAWING TITLE	SURVEY 2/2
				PROJECT NUMBER	25023	DRAWING NUMBER	DA-002
				PLOT DATE	12/12/25	DRAWING NO.	64452002B
				DRAWN		SHEET SCALE	A3 GA
				CHECKED		SHEET SIZE	AR/AO
						NORTH	DA-002
							A



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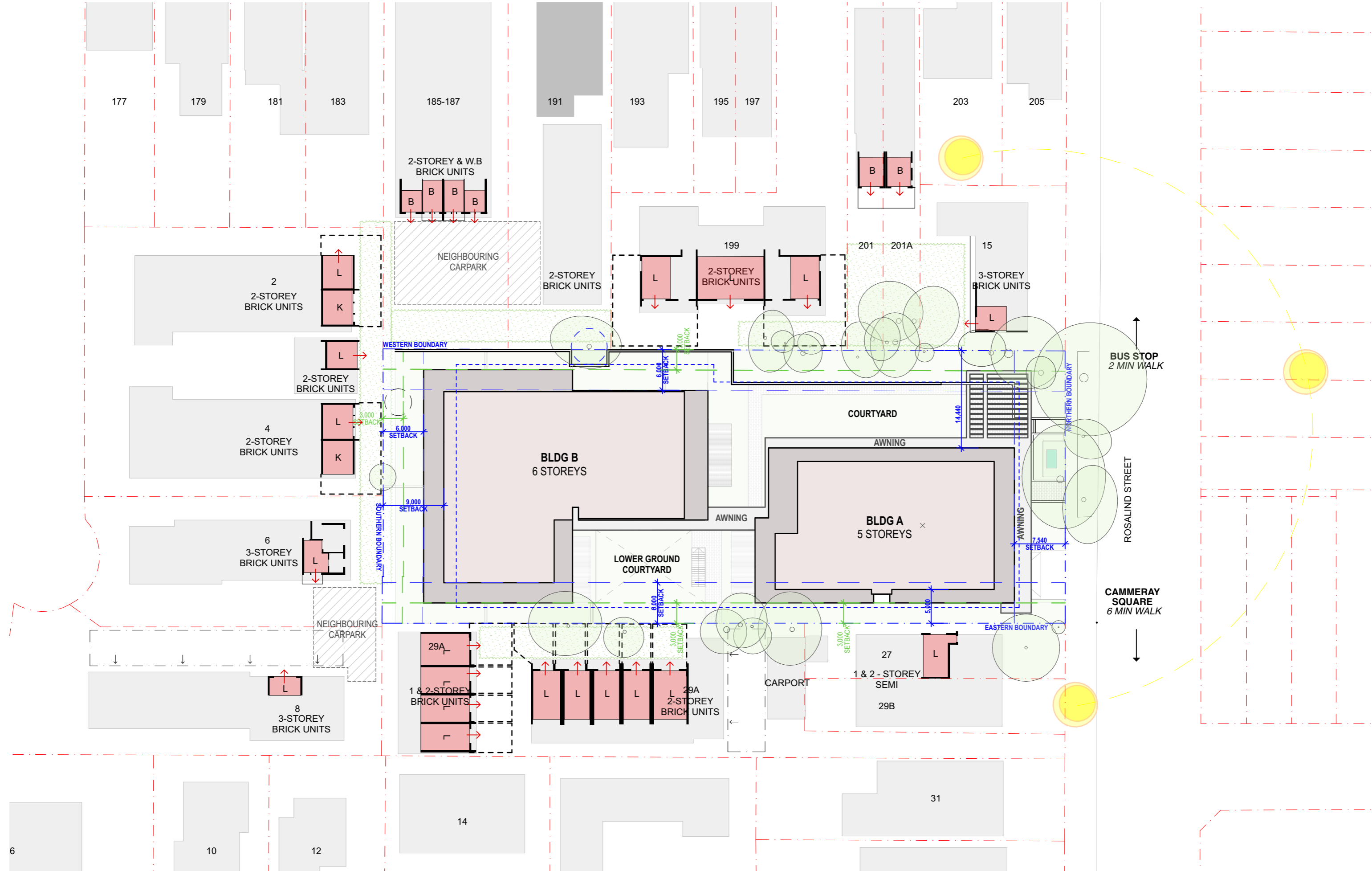


A 12/12/2025 Issue for DA

PROJECT  
 19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH	DRAWING NUMBER	REVISION
25023	12/12/25			1:500	A3 GA		DA-003	A

DRAWING TITLE  
**SITE PLAN**  
 DRAWING NUMBER  
 DA-003



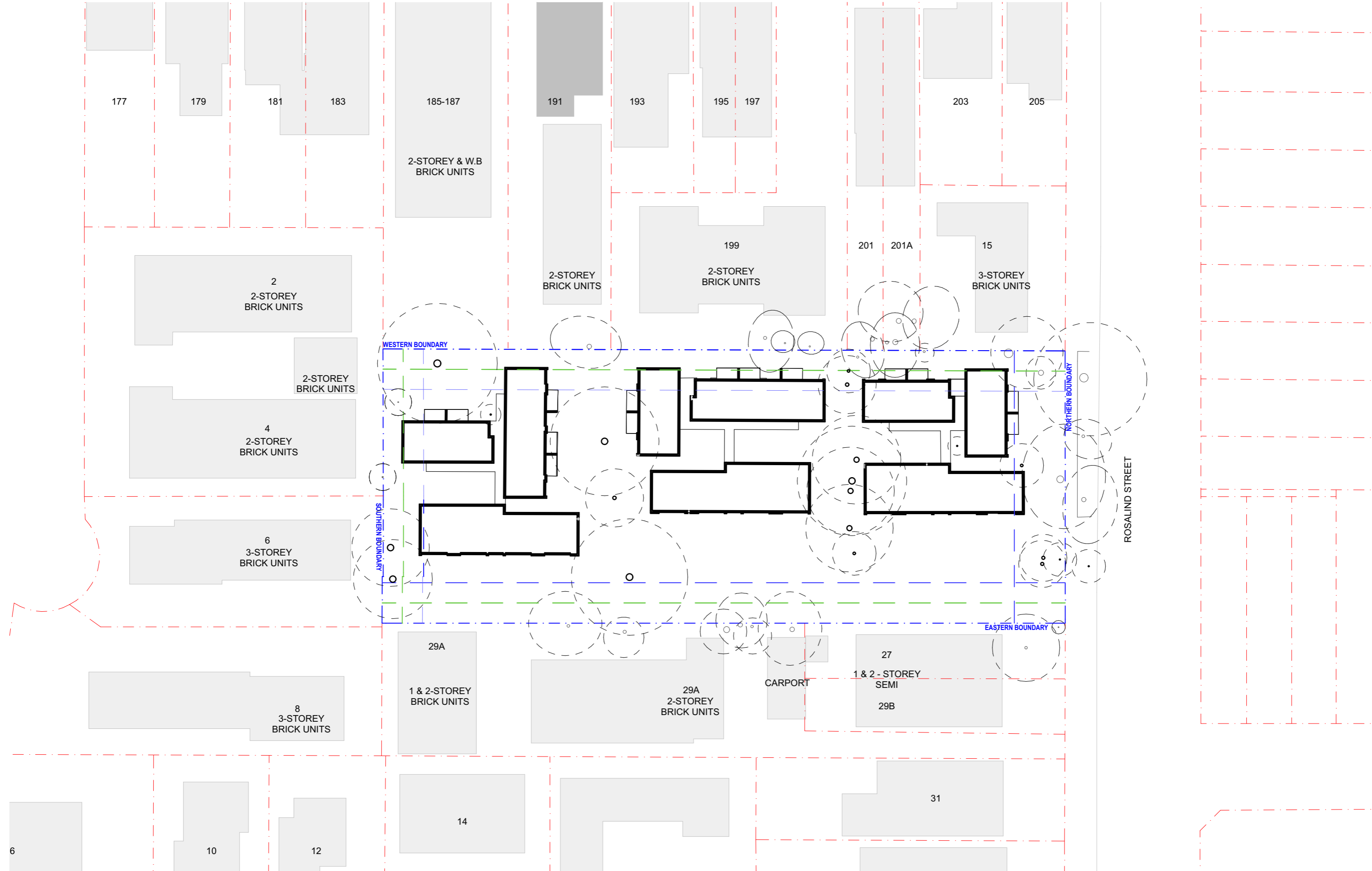
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A	12/12/2025	Issue for DA
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PROJECT 19-23 Rosalind Street, Cammeray #Site Address1, #Site Address2						
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25023	12/12/25			1:500	A3 GA	

DRAWING TITLE SITE ANALYSIS	
DRAWING NUMBER DA-004	REVISION A





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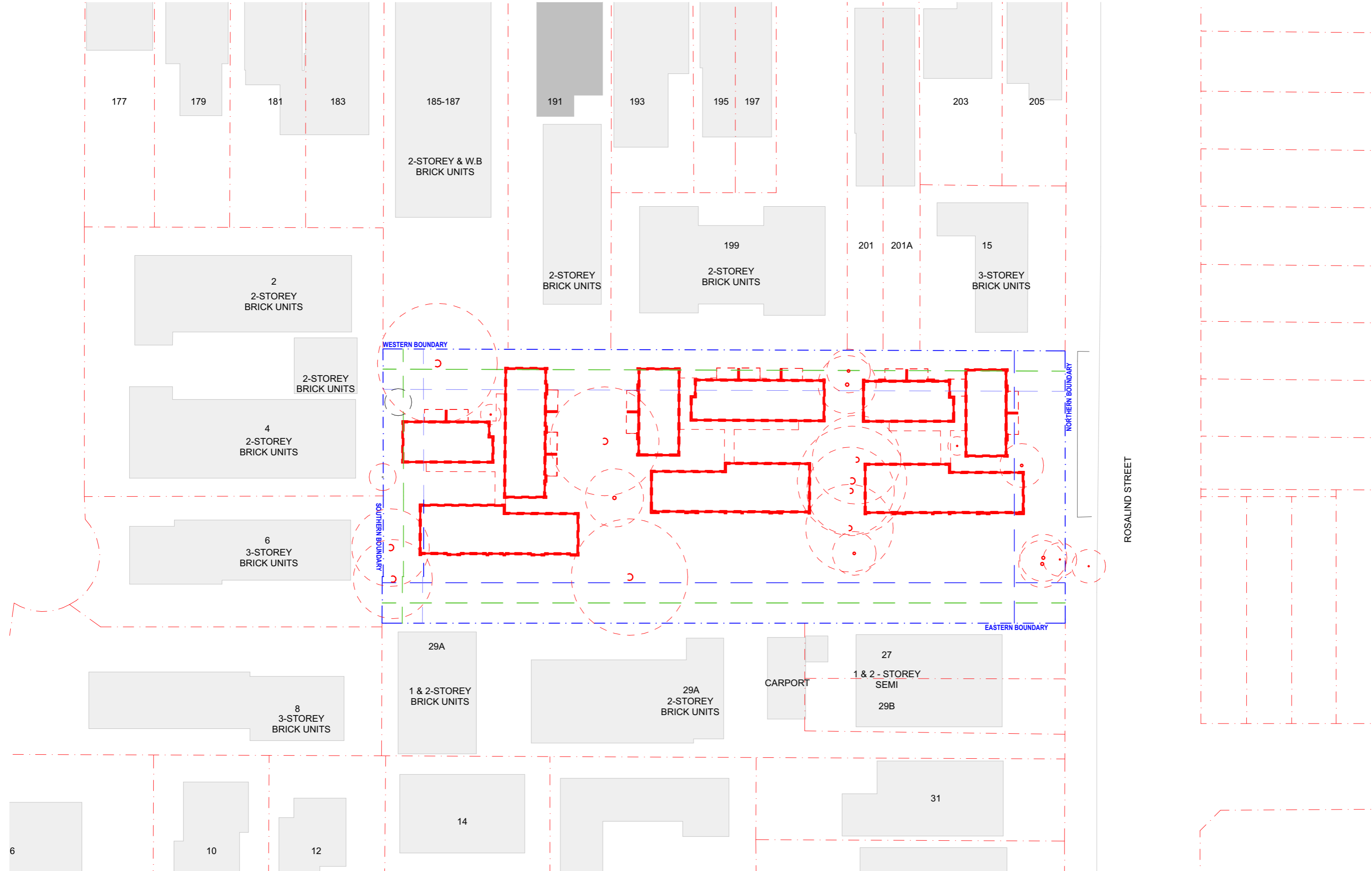
A 12/12/2025 Issue for DA



PROJECT  
 19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH	DRAWING NUMBER	REVISION
25023	12/12/25			1:500	A3 GA		DA-005	A

DRAWING TITLE  
**EXISTING PLAN**



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A	12/12/2025	Issue for DA
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PROJECT		19-23 Rosalind Street, Cammeray	
#Site Address1, #Site Address2			
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED
25023	12/12/25		
SHEET SCALE	SHEET SIZE	NORTH	
1:500	A3 GA		

DRAWING TITLE	
<b>DEMOLITION PLAN</b>	
DRAWING NUMBER	REVISION
DA-006	A



- LEGEND**
- 01 PROGRAM
  - 02 PROGRAM
  - 03 PROGRAM
  - 04 PROGRAM
  - 05 PROGRAM
  - 06 PROGRAM
  - 07 PROGRAM
  - 08 PROGRAM
  - 09 PROGRAM
  - 10 PROGRAM
- GENERAL**
- SITE BOUNDARY
  - DRAINAGE
  - PROPOSED CONTOUR
  - EXISTING CONTOUR
  - EL / 0m PROPOSED FINISHED LEVEL
  - FL / 0m EXISTING FINISHED LEVEL
  - 1:100 PROPOSED FALL
  - BUILDING PROPOSED
  - BUILDING EXISTING
  - BUILDING ABOVE
  - BUILDING BELOW
- PAVEMENTS & SURFACES**
- ASPHALT
  - COMPACTED AGGREGATE
  - CONCRETE PRECAST
  - STEEL GRATING
  - TIMBER
- WALLS & EDGES**
- KERB
  - WALL
- STAIRS & ANCILLARY**
- STAIR
  - TACTILE INDICATOR
- RAILS & BALUSTRADES**
- HANDRAIL/BALUSTRADE/FENCE
- FURNITURE & FIXTURES**
- SEATING
  - TABLE
  - BOULDER
- MISCELLANEOUS**
- SHELTER STRUCTURE
  - STORMWATER PITT
- SOFTWORKS**
- LAWN
  - NATIVE MASS PLANTING MIX 01
- TREES**
- PROPOSED TREE
  - E01 EXISTING TREE - RETAINED



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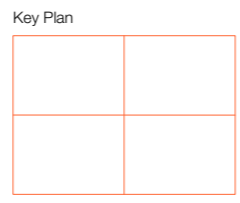
Client  
**PERIFA**

Project Team  
**CHROFI  
 ARTERRA  
 INNOVIS  
 BOWERECOLOGY**

Project Name  
**ROSALIND ST CMMRAY**

Project No.  
**1181SYD**

Address  
**ROSALIND ST**



General Notes



Issue Log

REV	DATE	DESCRIPTION
A	11/12/2025	DRAFT
B	12/12/2025	DRAFT

Scale  
**1:200 @ A1**

Drawn  
 XS

Checked  
 AD

North

Approved  
 PC

Phase  
**SCHEMATIC DESIGN**

Sheet Title  
**CONCEPT PLAN**

Sheet No.  
**L\_011**

Rev

CARPARK SPACES YIELD		
LEVEL	TYPE	QUANTITY
BASEMENT 2	2.4m	27
BASEMENT 2	3.2m	22
BASEMENT 2	AS2890.6	6
		<b>55</b>
BASEMENT 1	2.4m	13
BASEMENT 1	3.2m	11
BASEMENT 1	AS2890.6	4
		<b>28</b>
		<b>83</b>



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A 12/12/2025 Issue for DA

PROJECT  
 19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2  
 PROJECT NUMBER 25023 PLOT DATE 12/12/25 DRAWN CHECKED SHEET SCALE 1:250 SHEET SIZE A3 GA NORTH

DRAWING TITLE  
**BASEMENT 2 - PROPOSED PLAN**  
 DRAWING NUMBER DA-100 REVISION A

CARPARK SPACES YIELD		
LEVEL	TYPE	QUANTITY
BASEMENT 2	2.4m	27
BASEMENT 2	3.2m	22
BASEMENT 2	AS2890.6	6
		<b>55</b>
BASEMENT 1	2.4m	13
BASEMENT 1	3.2m	11
BASEMENT 1	AS2890.6	4
		<b>28</b>
		<b>83</b>



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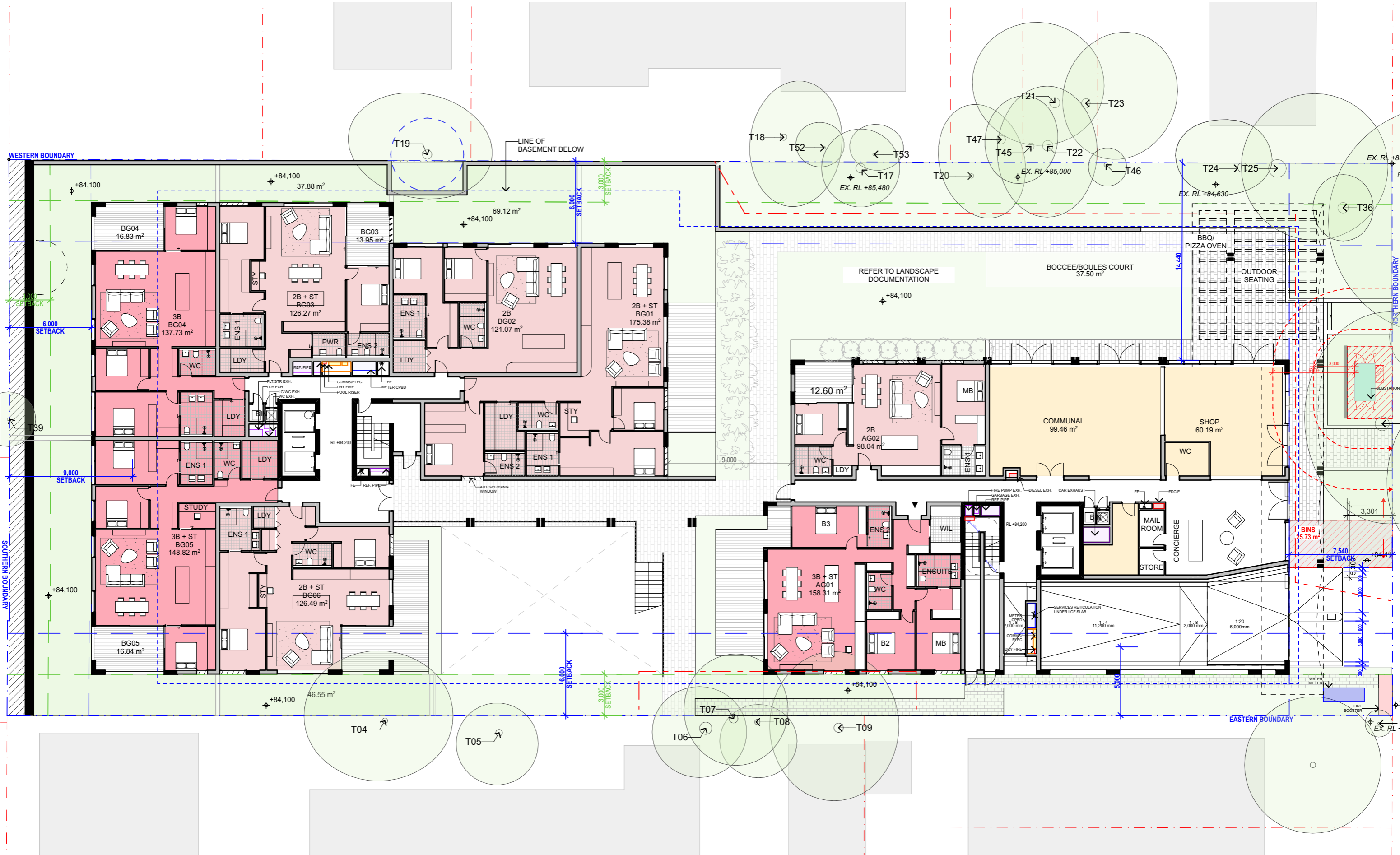


A 12/12/2025 Issue for DA

PROJECT  
 19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25023	12/12/25			1:250	A3 GA	

DRAWING TITLE  
**LOWER GROUND - PROPOSED PLAN**  
 DRAWING NUMBER  
 DA-101  
 REVISION  
 A



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A 12/12/2025 Issue for DA

PROJECT  
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 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25023	12/12/25			1:250	A3 GA	

DRAWING TITLE  
**GROUND - PROPOSED PLAN**

DRAWING NUMBER	REVISION
DA-102	A

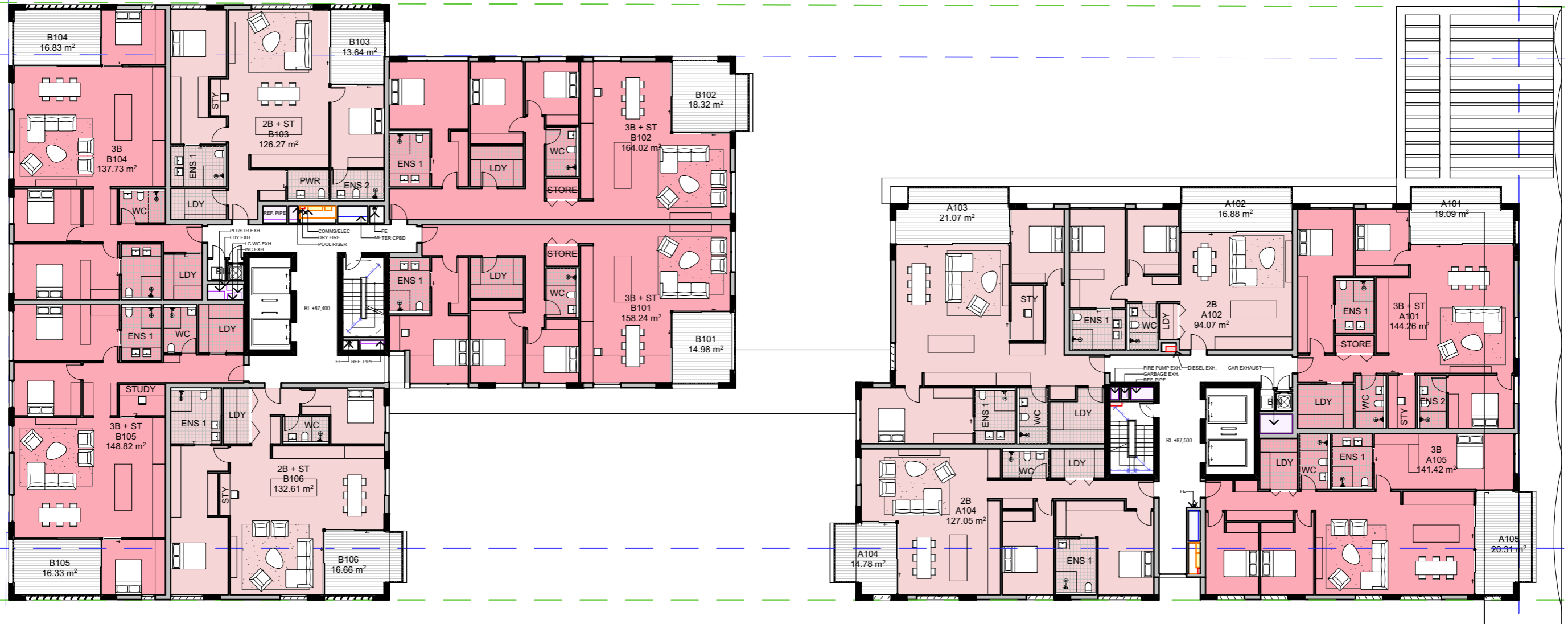


WESTERN BOUNDARY

NORTHERN BOUNDARY

SOUTHERN BOUNDARY

EASTERN BOUNDARY



ARCHITECT

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A 12/12/2025 Issue for DA



PROJECT

19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH	DRAWING NUMBER	REVISION
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DRAWING TITLE

LEVEL 1 - PROPOSED PLAN

DRAWING NUMBER

DA-103

REVISION

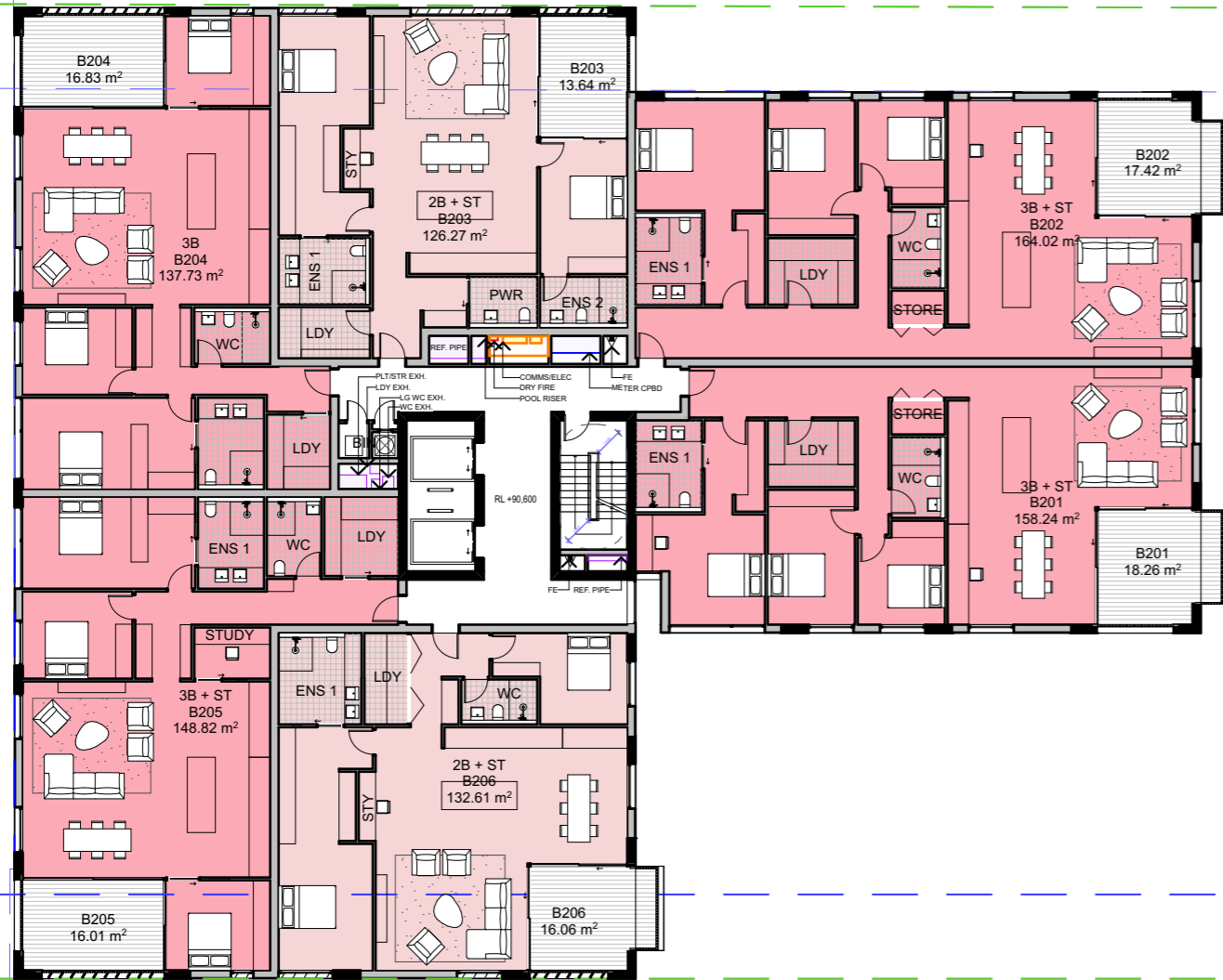
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WESTERN BOUNDARY

NORTHERN BOUNDARY

SOUTHERN BOUNDARY

EASTERN BOUNDARY



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PROJECT

19-23 Rosalind Street, Cammeray

#Site Address1, #Site Address2

PROJECT NUMBER

PLOT DATE

DRAWN

CHECKED

SHEET SCALE

SHEET SIZE

NORTH

DRAWING NUMBER

REVISION

25023

12/12/25

1:250

A3 GA



DA-104

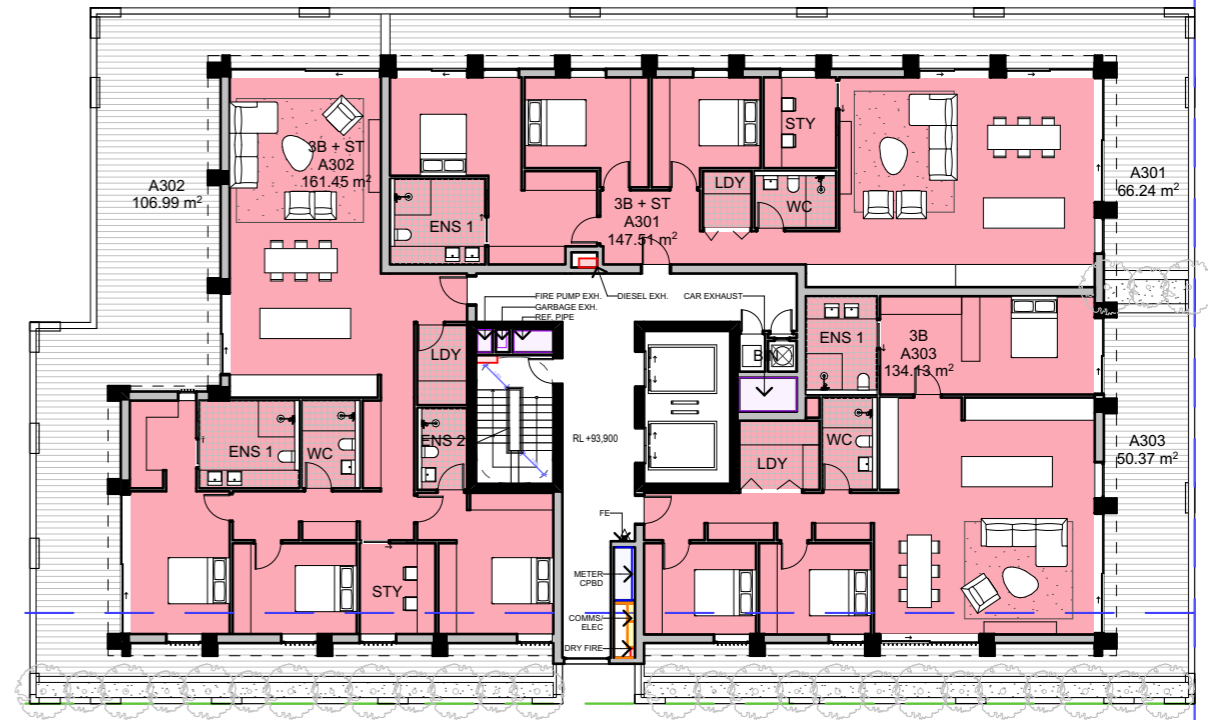
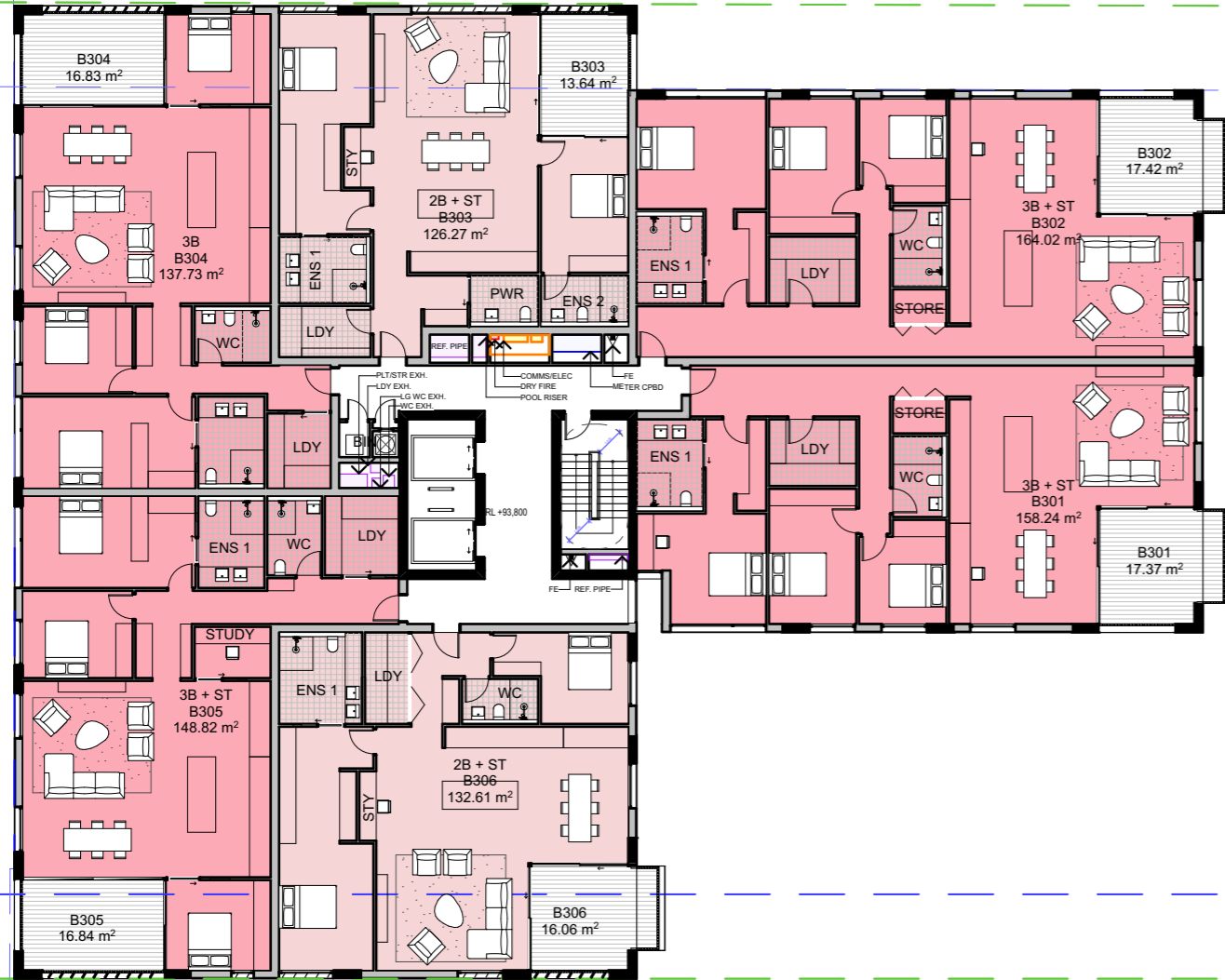
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WESTERN BOUNDARY

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PROJECT

19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

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25023	12/12/25			1:250	A3 GA		DA-105	A

DRAWING TITLE

LEVEL 3 - PROPOSED PLAN

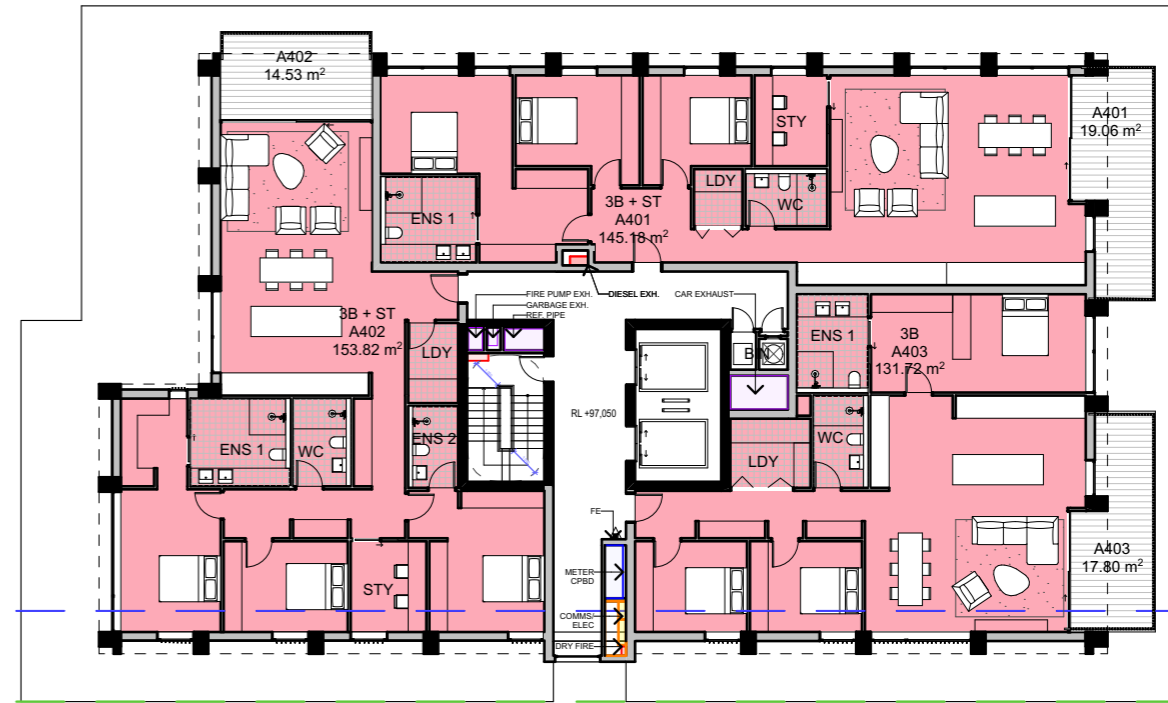
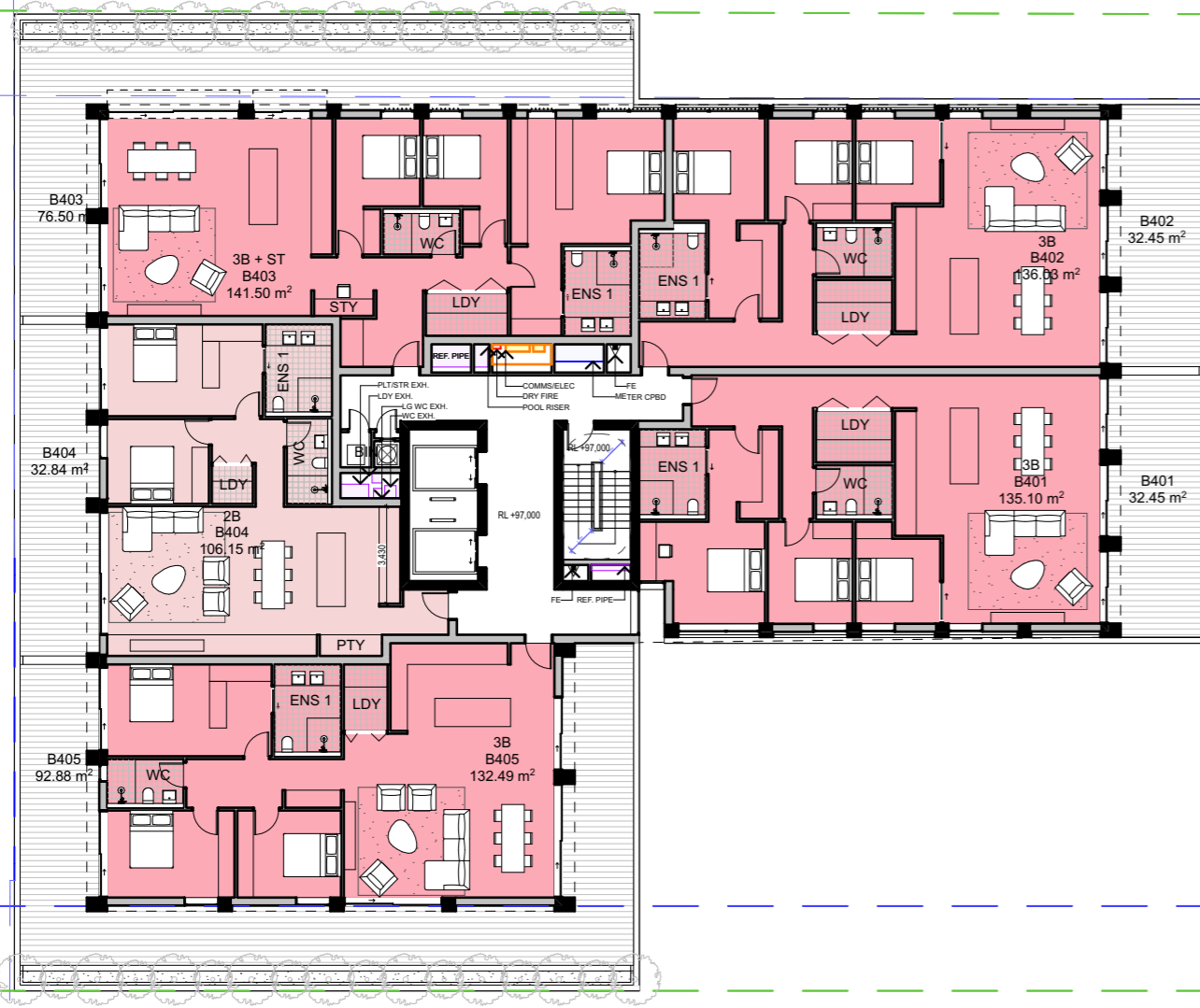
DRAWING NUMBER: DA-105  
 REVISION: A

WESTERN BOUNDARY

NORTHERN BOUNDARY

SOUTHERN BOUNDARY

EASTERN BOUNDARY



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CHROFI ROPHA FIGHERA PLACON 144 714 885 A/F CHROFI ROPHA FIGHERA UNIT TRUST T/A CHROFI ABN 22 385 257 187 NOMINATED ARCHITECT TAI ROPHA 6566 STEVEN FIGHERA 6609

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PROJECT  
19-23 Rosalind Street, Cammeray  
#Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH	DRAWING NUMBER	REVISION
25023	12/12/25			1:250	A3 GA		DA-106	A

DRAWING TITLE  
LEVEL 4 - PROPOSED PLAN

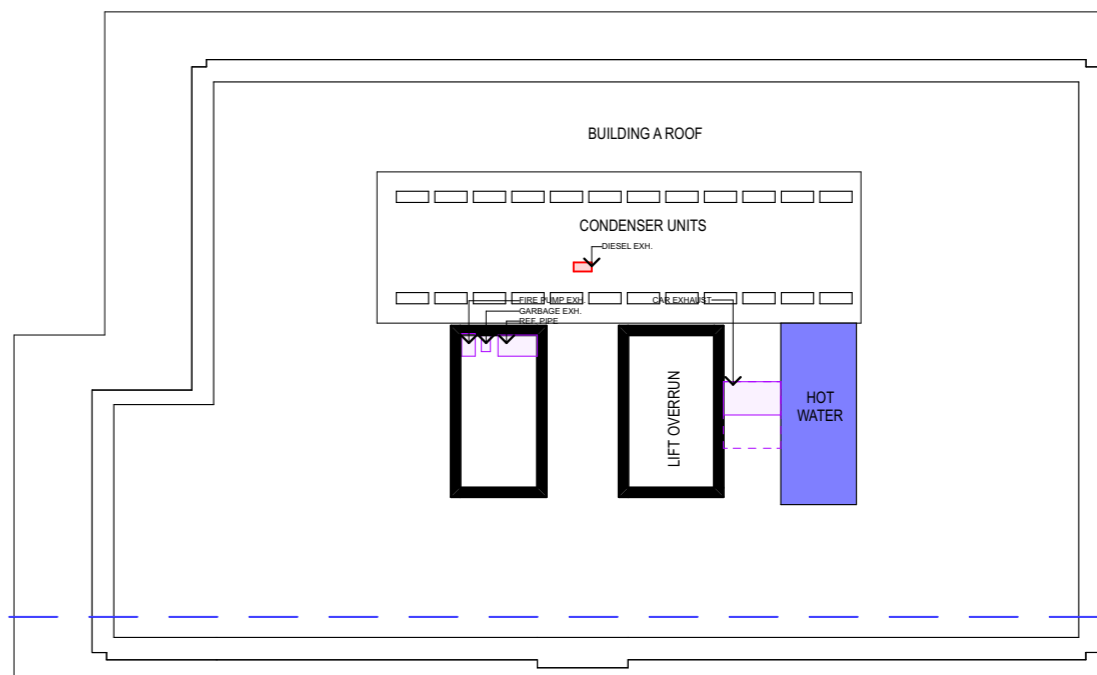
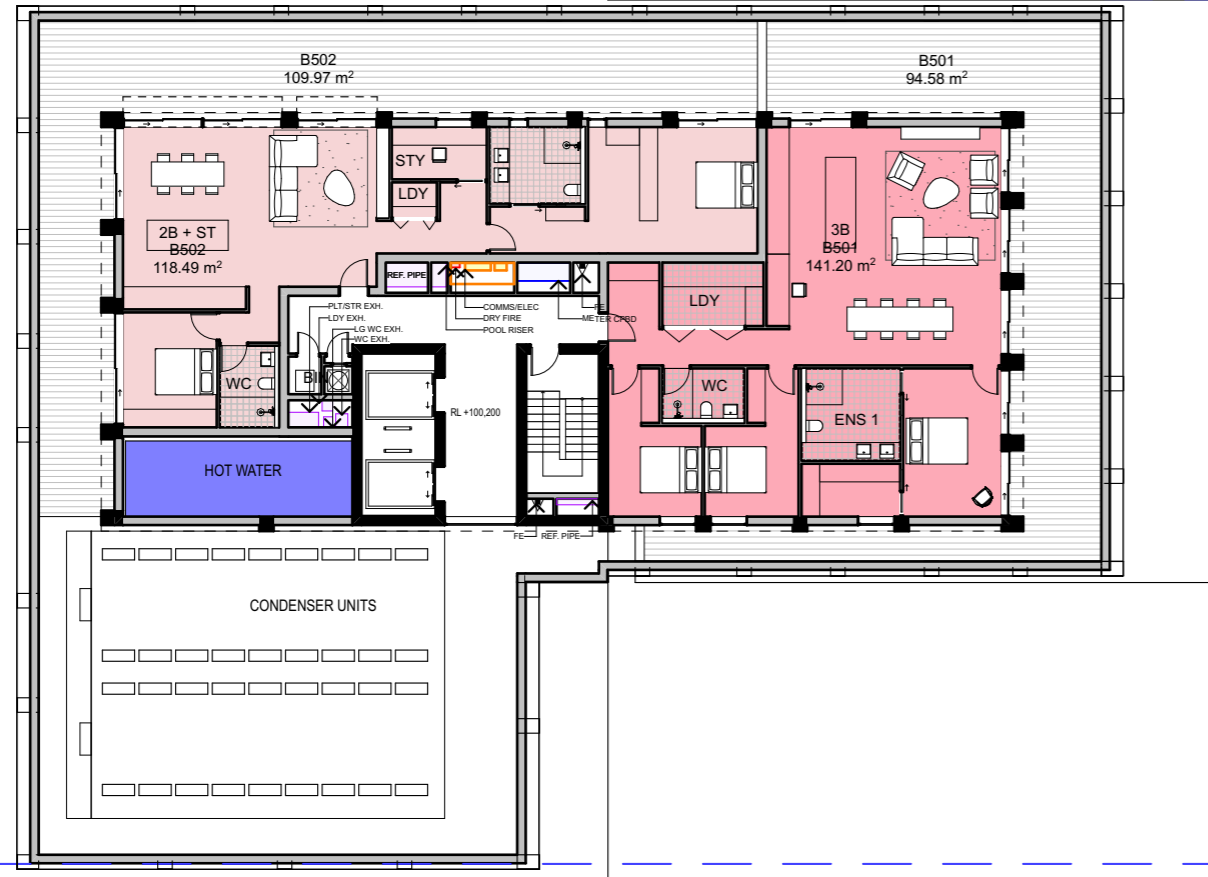
DRAWING NUMBER  
DA-106

WESTERN BOUNDARY

NORTHERN BOUNDARY

SOUTHERN BOUNDARY

EASTERN BOUNDARY



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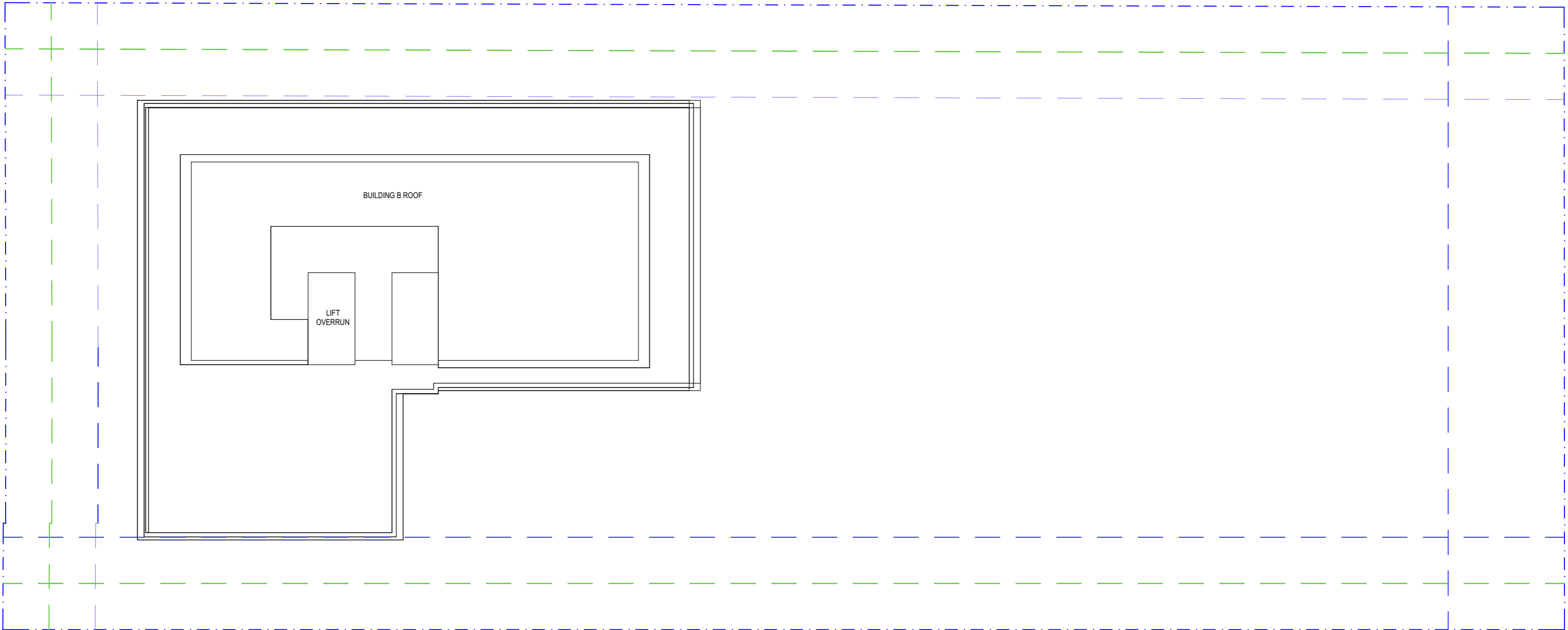


PROJECT  
 19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25023	12/12/25			1:250	A3 GA	

DRAWING TITLE  
**LEVEL 5 - PROPOSED PLAN**

DRAWING NUMBER	REVISION
DA-107	A



ARCHITECT

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 257 187 NOMINATED ARCHITECT TAI ROPHA 6566 STEVEN FIGHERA 6609

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PROJECT  
 19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

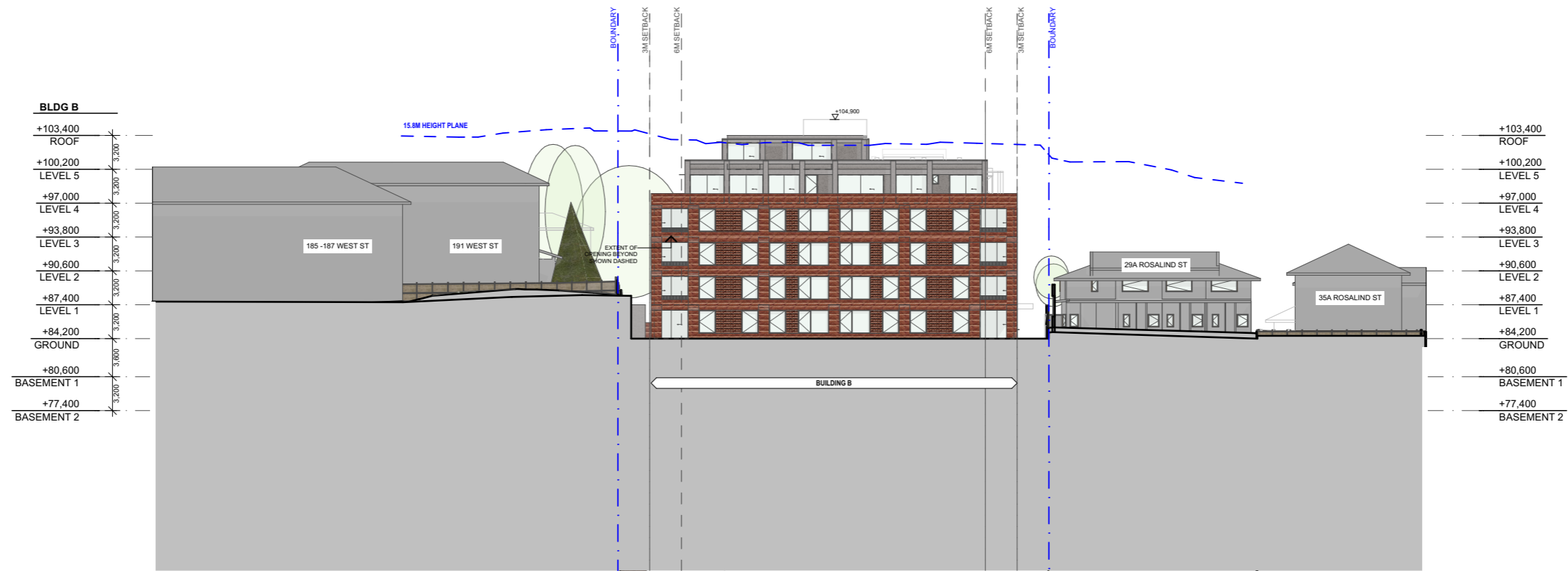
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25023	12/12/25			1:250	A3 GA		DA-108	A

DRAWING TITLE  
**ROOF - PROPOSED PLAN**



1  
-

NORTH ELEVATION  
1:500



2  
-

SOUTH ELEVATION  
1:500

ARCHITECT

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PROJECT  
19-23 Rosalind Street, Cammeray  
#Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH	DRAWING NUMBER	REVISION
25023	12/12/25			1:500	A3 GA		DA-200	A

DRAWING TITLE  
ELEVATIONS

DRAWING NUMBER  
DA-200



1  
-

WEST ELEVATION  
1:500



2  
-

EAST ELEVATION  
1:500

ARCHITECT

**CHROFI**

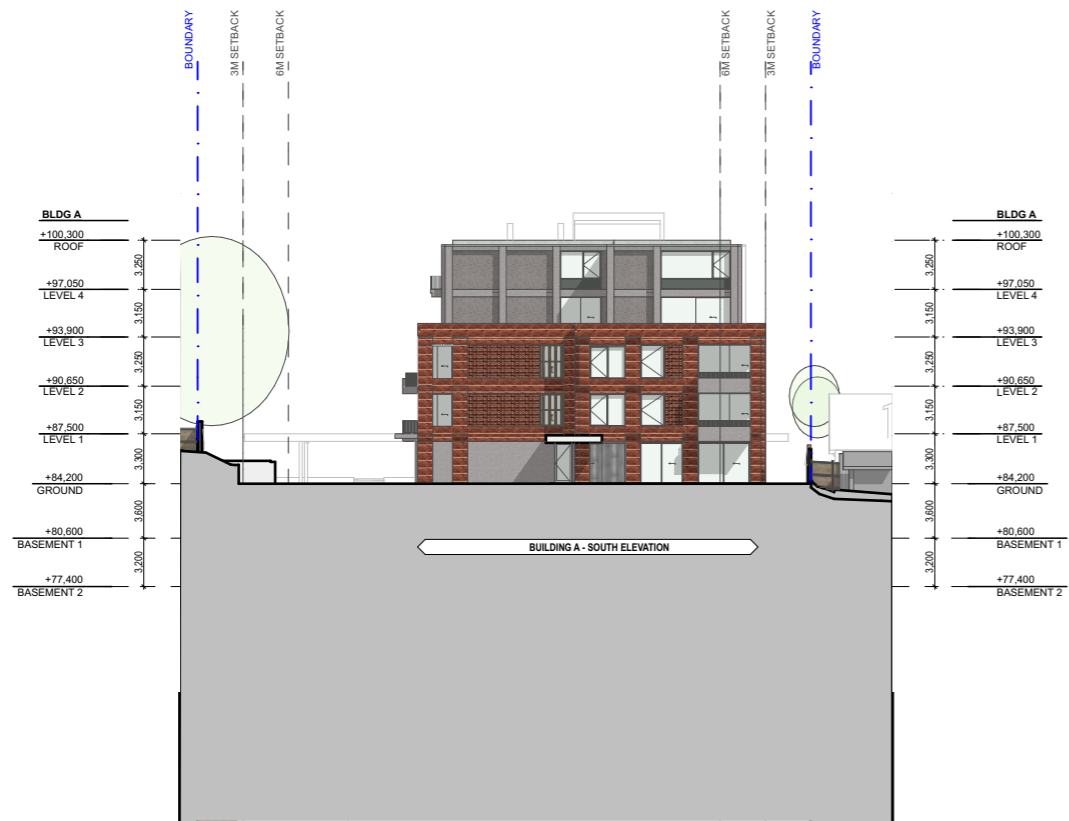
3/1 THE CORSO MANLY NSW 2095 AUSTRALIA  
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CHOI ROPHA FIGHERA PLACK 144 714 BBS A/T/ CHOI ROPHA FIGHERA UNIT TRUST T/A CHROFI ABN 22 385 257 187 NOMINATED ARCHITECT TAI ROPHA 6566 STEVEN FIGHERA 6609  
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PROJECT  
19-23 Rosalind Street, Cammeray  
#Site Address1, #Site Address2

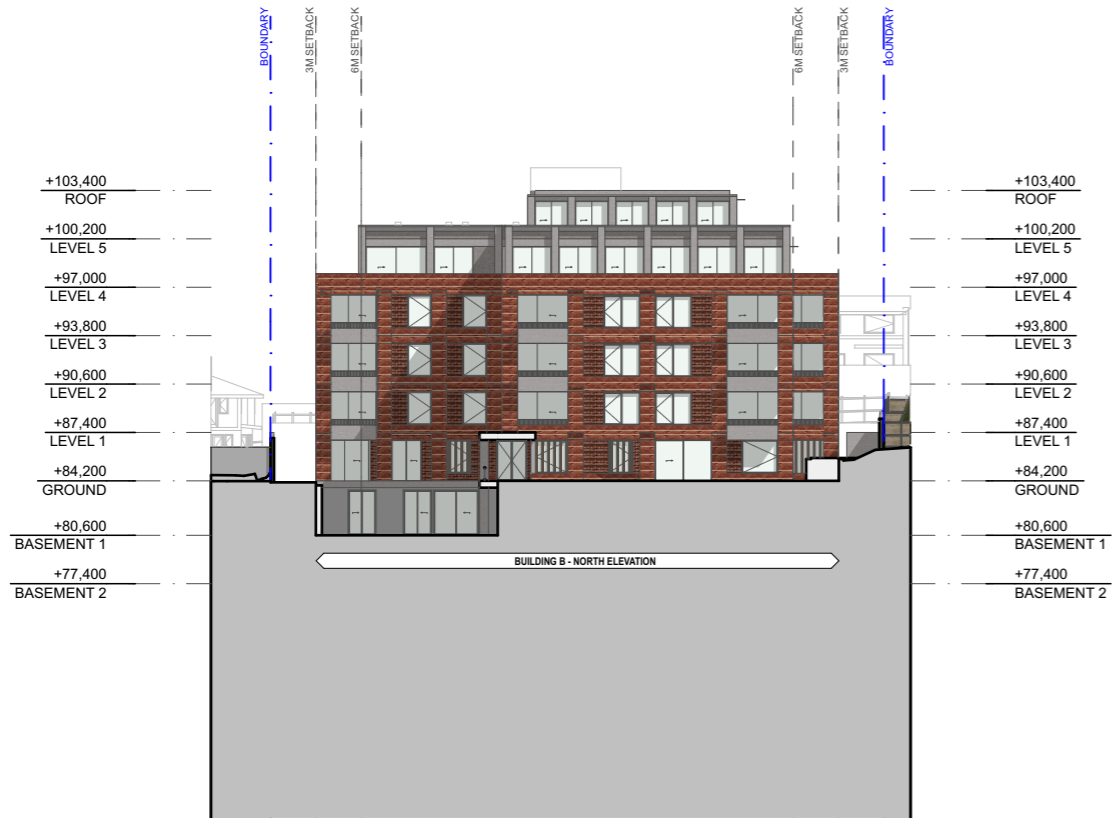
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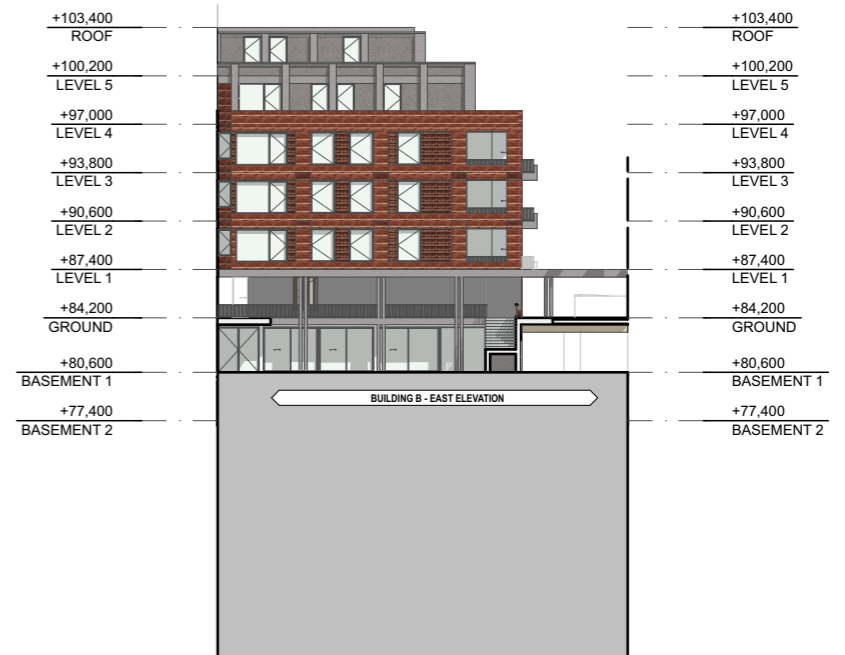
1  
-

SOUTH ELEVATION  
1:500



2  
-

NORTH ELEVATION  
1:500



3  
-

EAST ELEVATION  
1:500

ARCHITECT

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257 187 NOMINATED ARCHITECT TAI ROPHA 6566 STEVEN FIGHERA 6609

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PROJECT  
19-23 Rosalind Street, Cammeray  
#Site Address1, #Site Address2

PROJECT NUMBER  
25023

PLOT DATE  
12/12/25

DRAWN

CHECKED

SHEET SCALE  
1:500

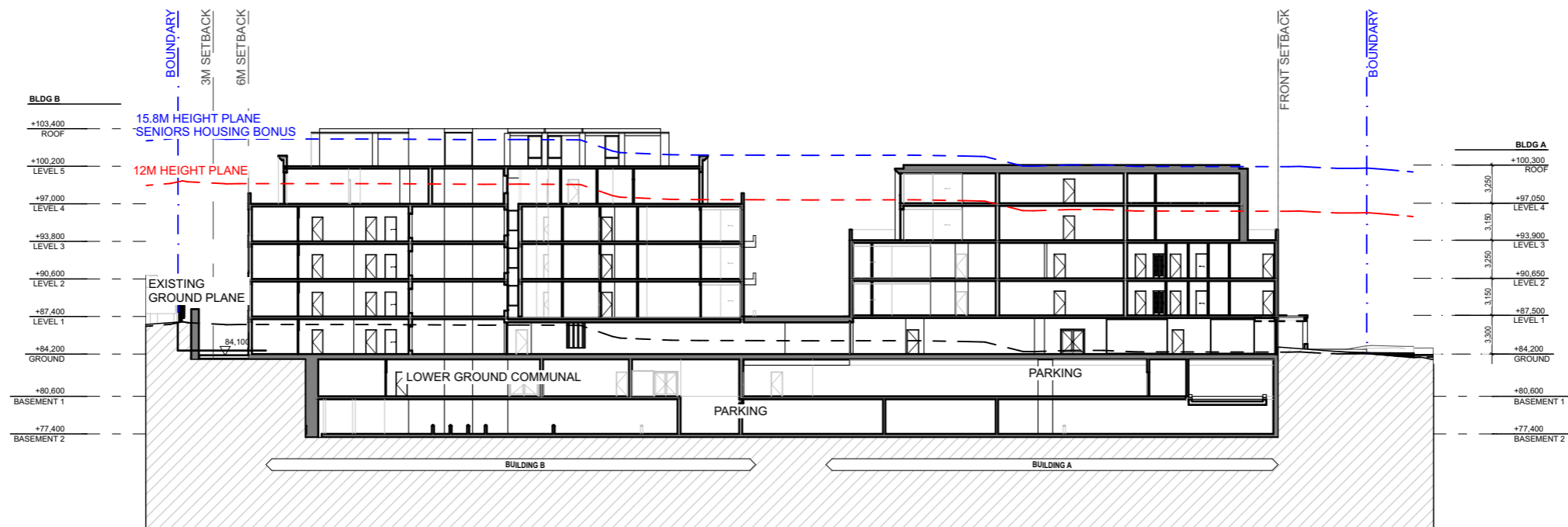
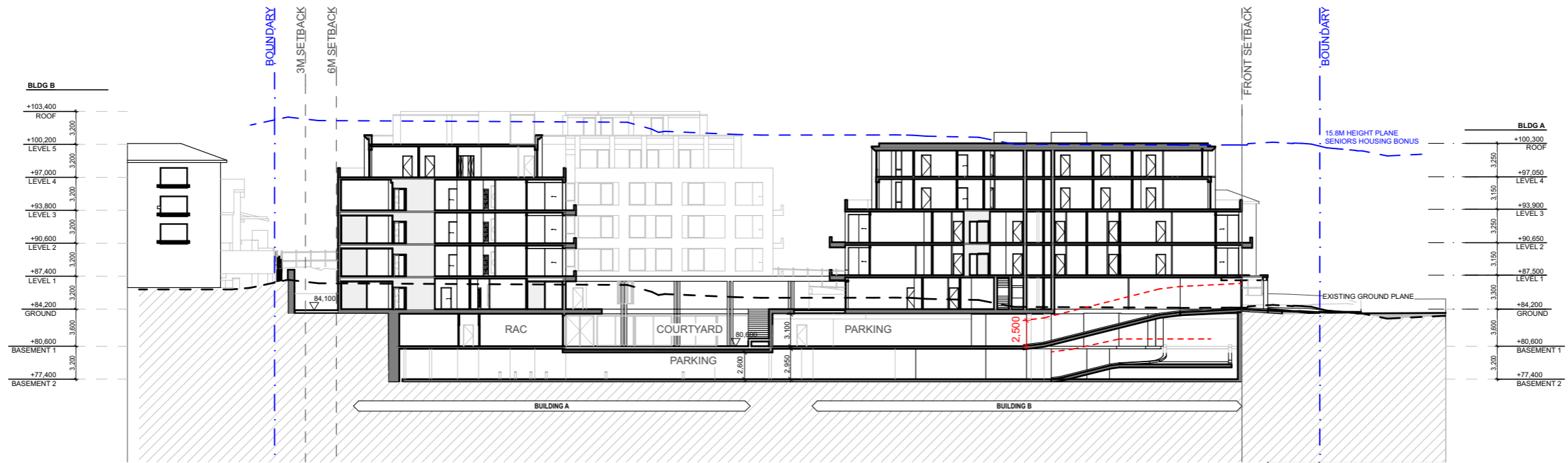
SHEET SIZE  
A3 GA



DRAWING TITLE  
ELEVATIONS

DRAWING NUMBER  
DA-202

REVISION  
A



ARCHITECT

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 CHOI ROPHA FIGHERA PLACON 144 714 885 AT/ CHOI ROPHA FIGHERA UNIT TRUST T/A CHROFI ABN 22 385  
 257 187 NOMINATED ARCHITECT TAI ROPHA 6566 STEVEN FIGHERA 6609

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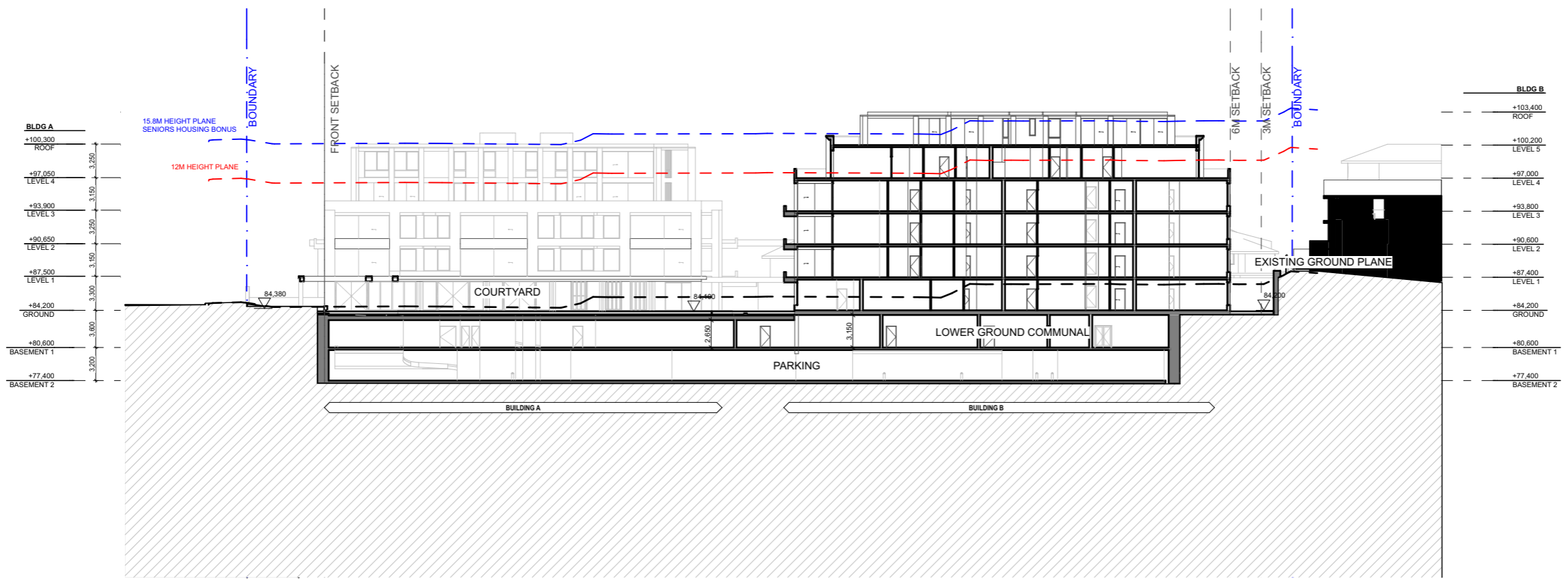
PROJECT  
 19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH	DRAWING NUMBER	REVISION
25023	12/12/25			1:500	A3 GA		DA-300	A

DRAWING TITLE

**SECTIONS**

DRAWING NUMBER  
 DA-300



ARCHITECT

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 257 187 NOMINATED ARCHITECT TAI ROSA FIGHERA 6609

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PROJECT

19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

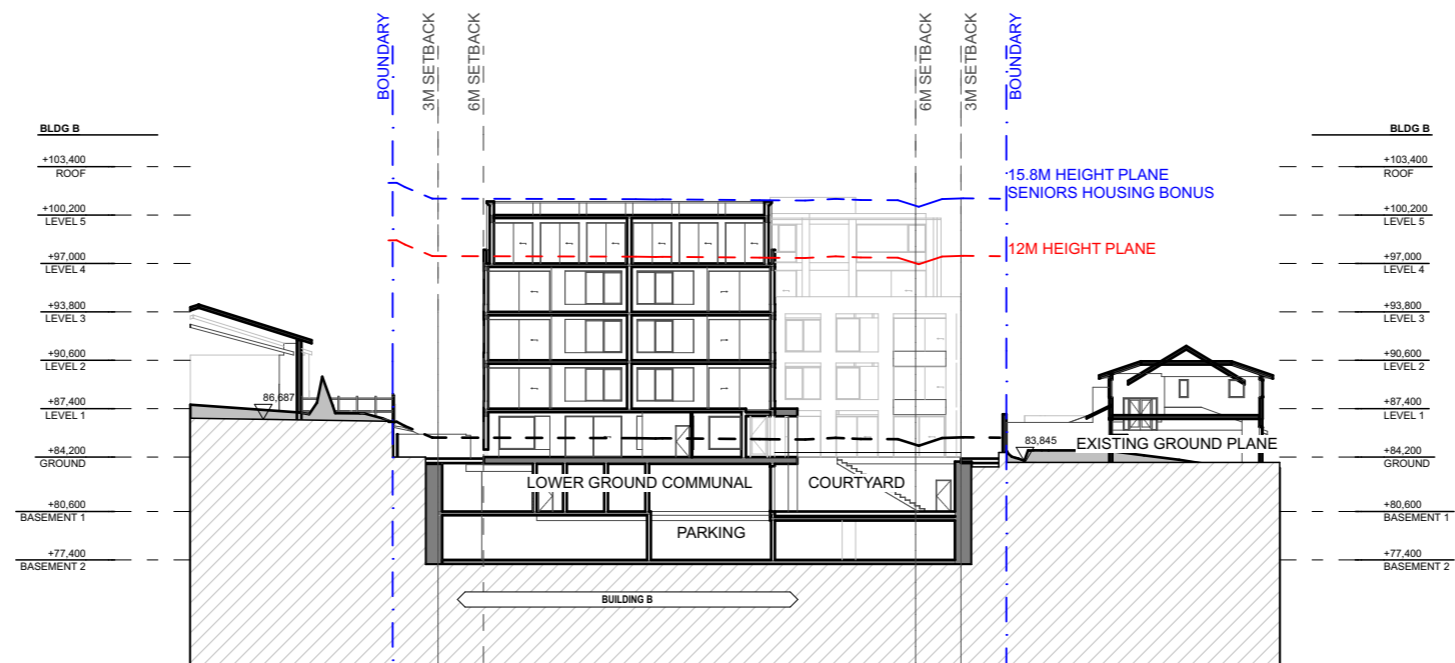
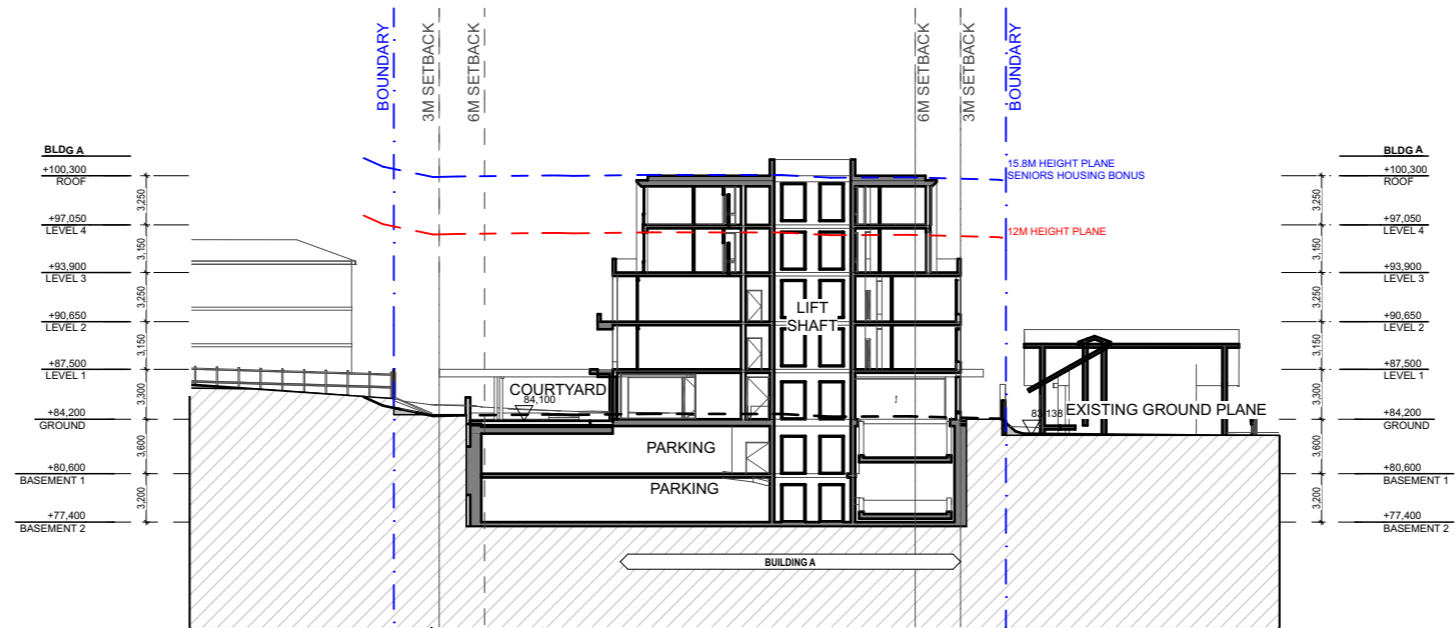
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25023	12/12/25			1:500	A3 GA		DA-301	A

DRAWING TITLE

**SECTIONS**

DRAWING NUMBER

REVISION



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 CHOI ROPHA FIGHERA PLACK 144 714 885 KIT CHOI ROPHA FIGHERA UNIT TRUST T/A CHROFI ABN 22 365  
 257 187 NOMINATED ARCHITECT TAI ROPHA 6566 STEVEN FIGHERA 6609  
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PROJECT  
 19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED
25023	12/12/25		

SHEET SCALE	SHEET SIZE
1:500	A3 GA

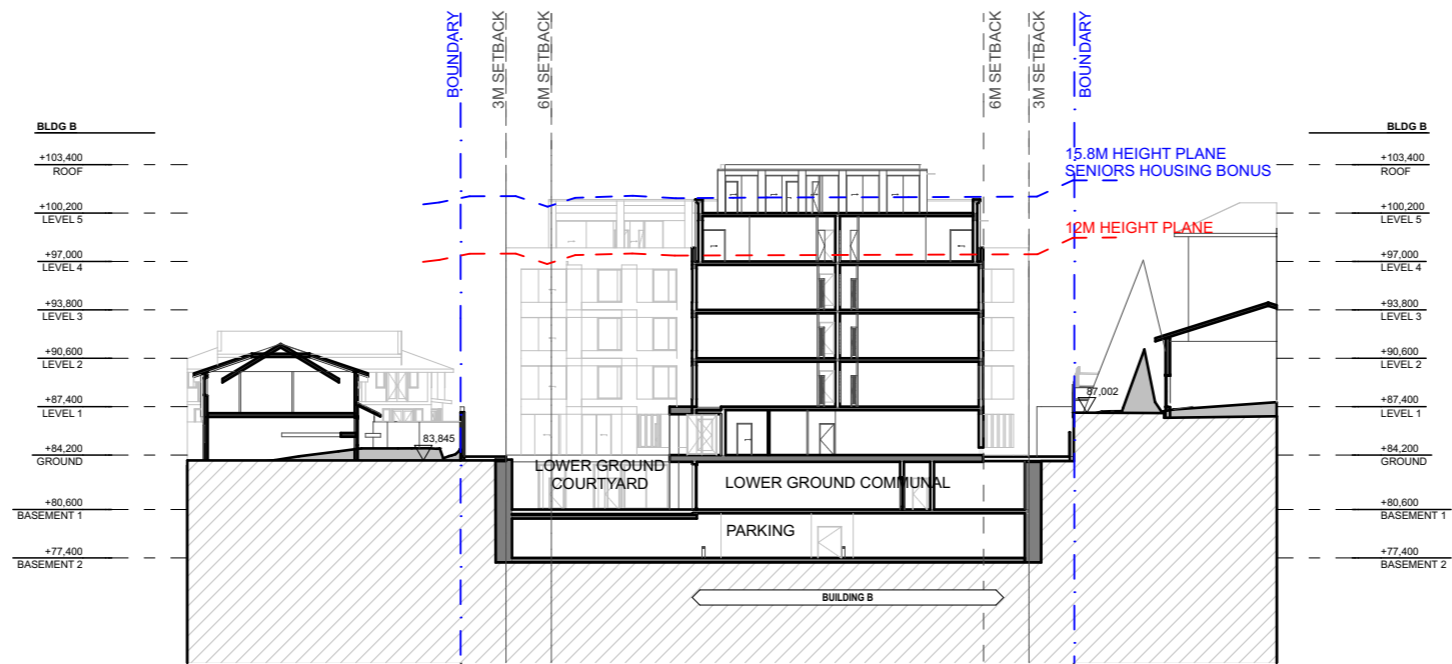
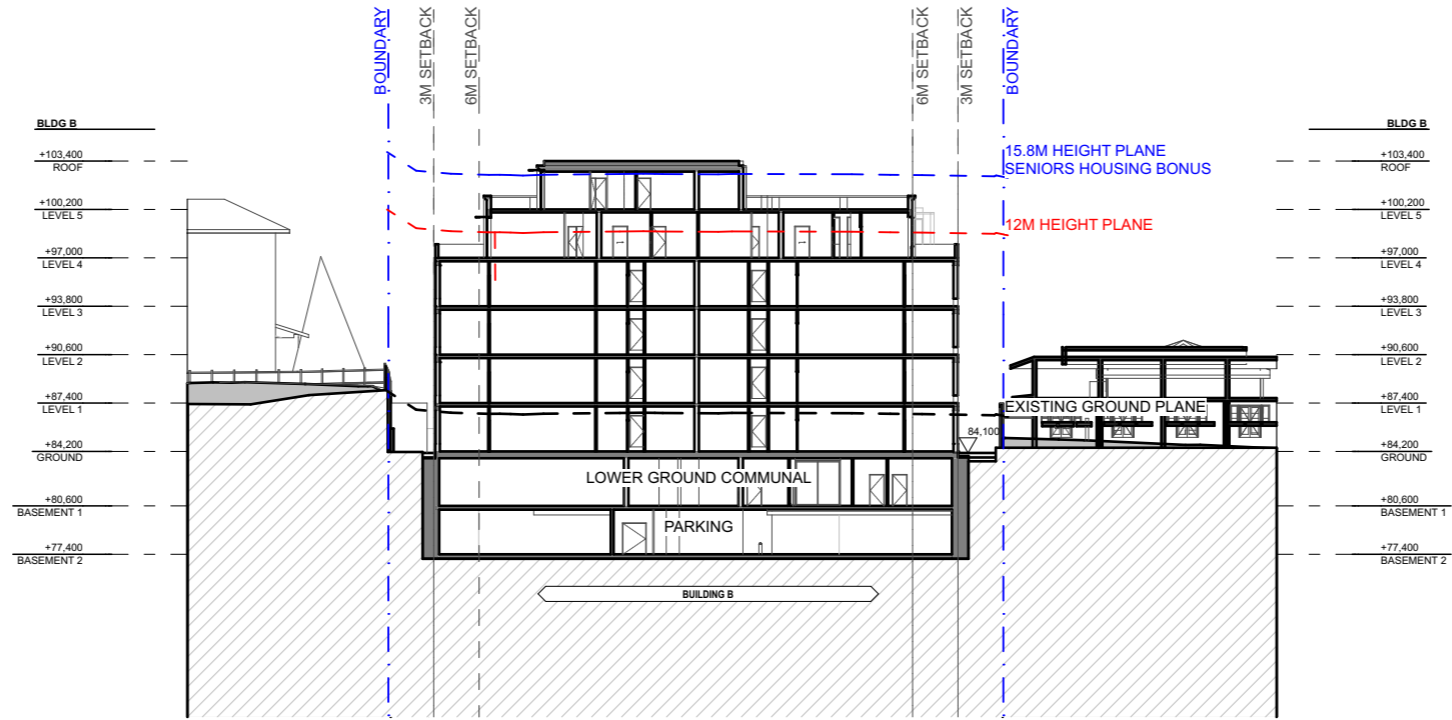


DRAWING TITLE  
**SECTIONS**

DRAWING NUMBER  
 DA-302

REVISION  
 A





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 257 187 NOMINATED ARCHITECT TAI ROPHA 6566 STEVEN FIGHERA 6609  
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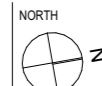


PROJECT

19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED
25023	12/12/25		

SHEET SCALE	SHEET SIZE
1:500	A3 GA



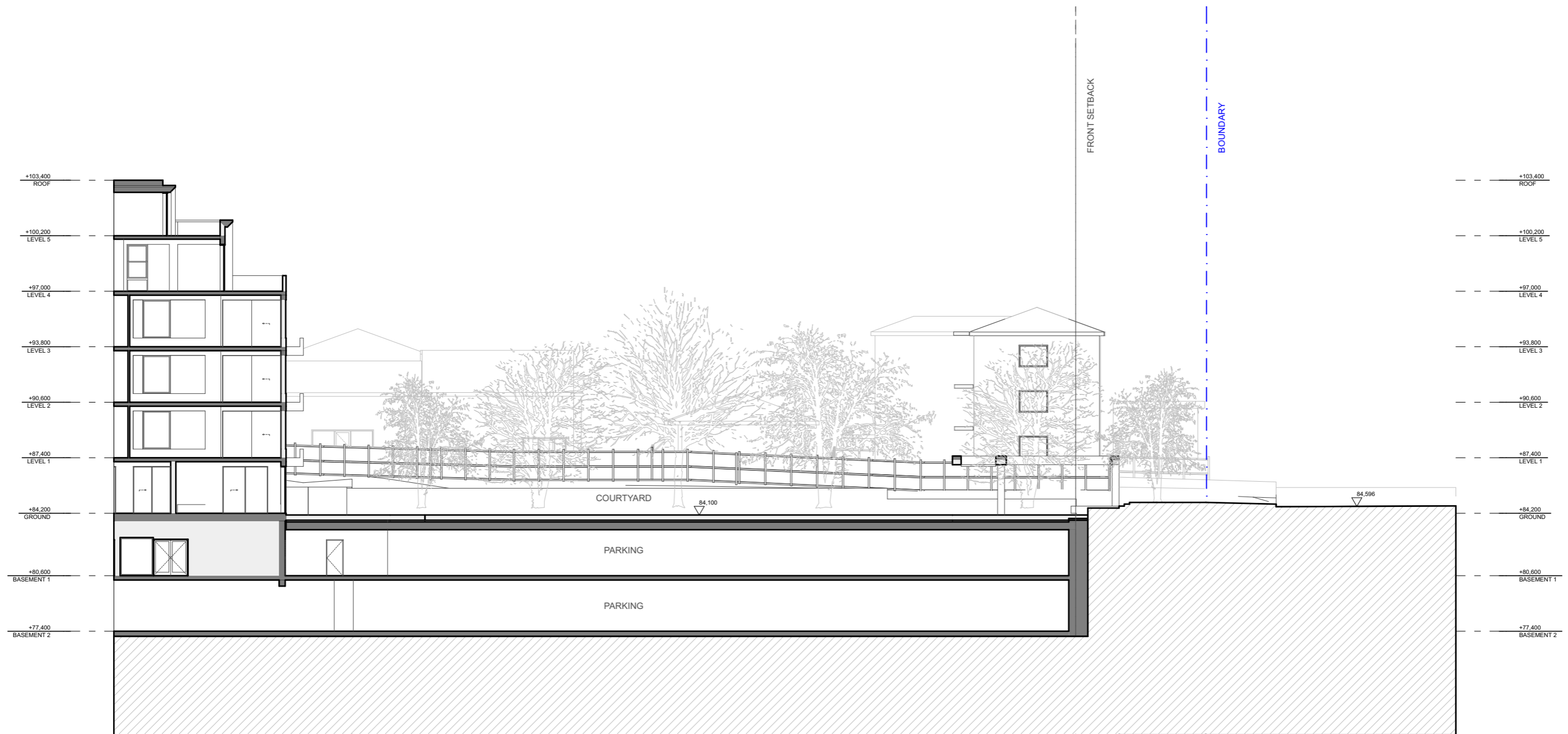
DRAWING TITLE

SECTIONS

DRAWING NUMBER  
 DA-303

REVISION

A



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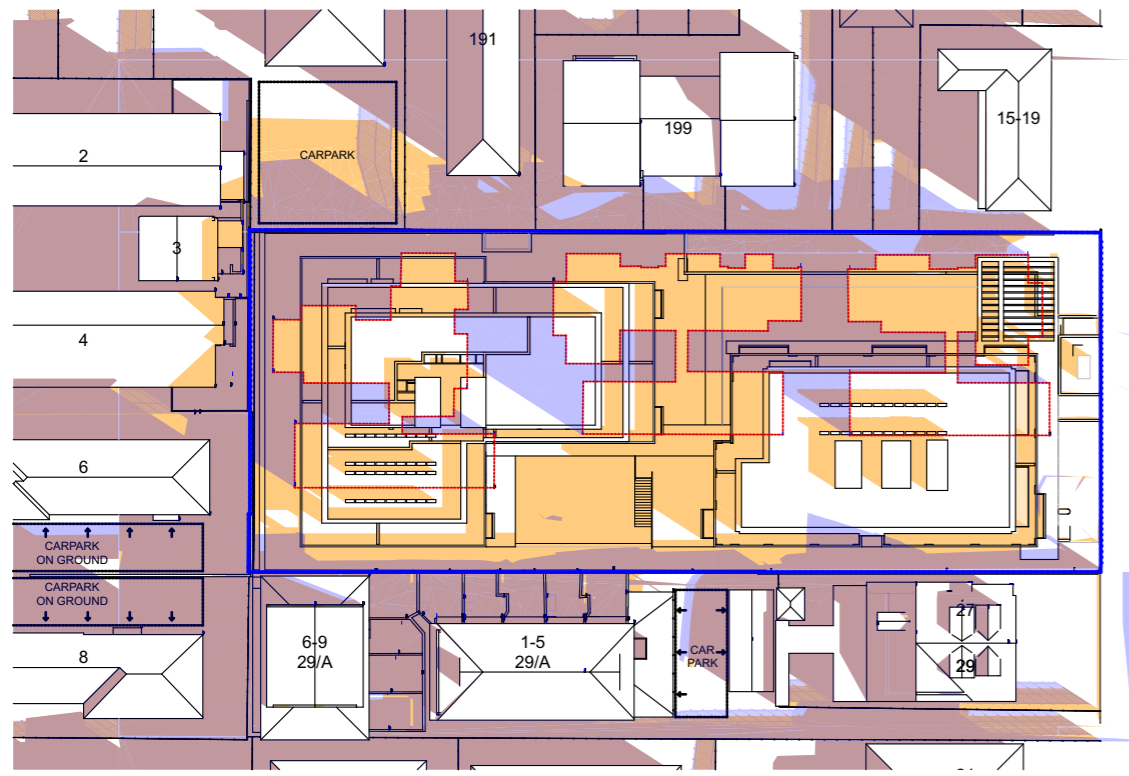
A 12/12/2025 Issue for DA

PROJECT  
 19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

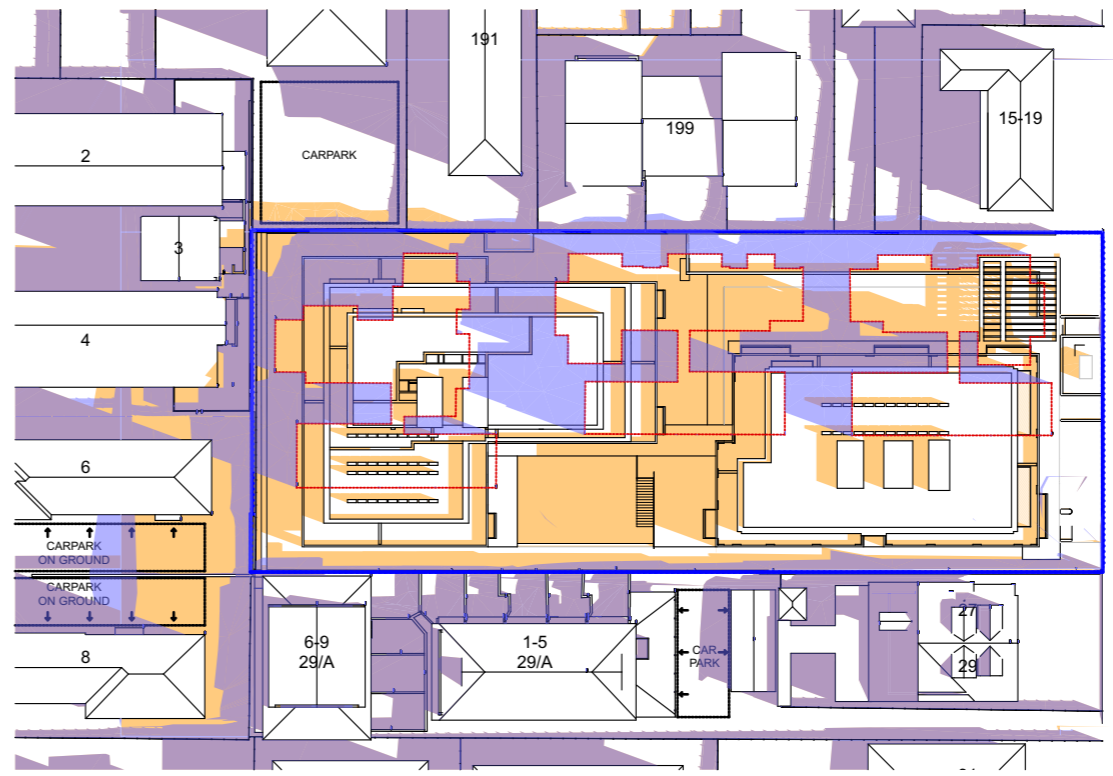
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25023	12/12/25			1:250	A3 GA		DA-304	A

DRAWING TITLE  
**SECTIONS**

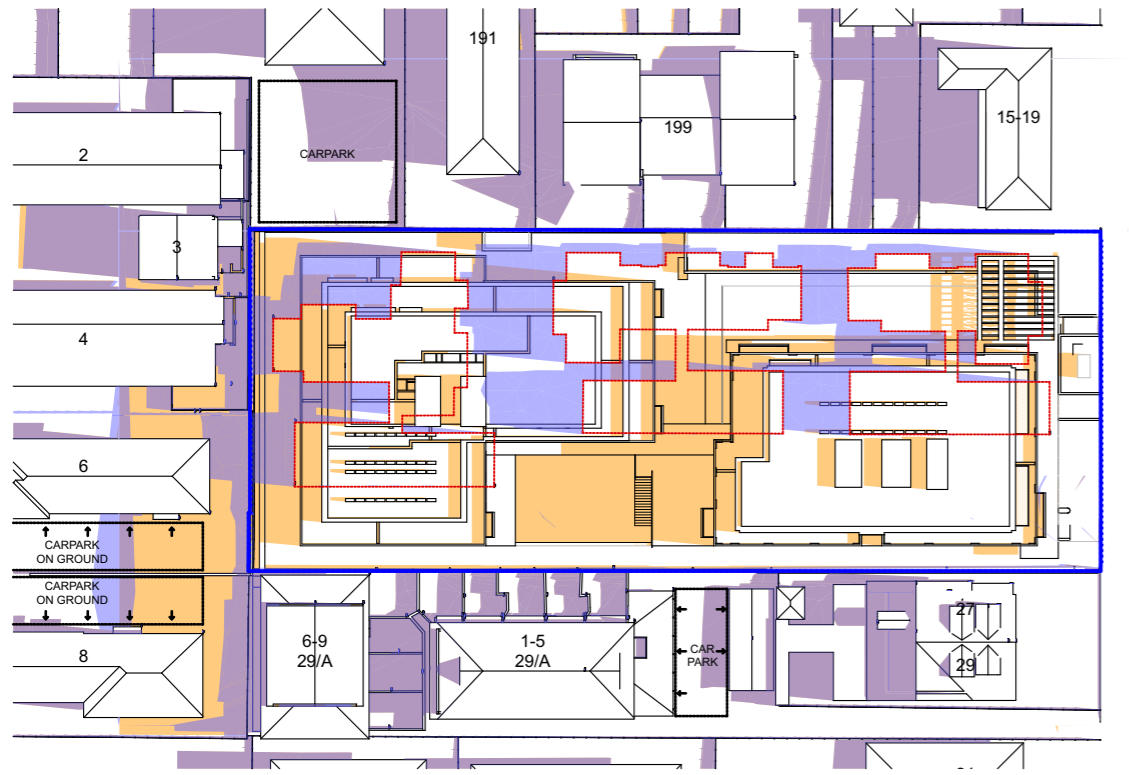
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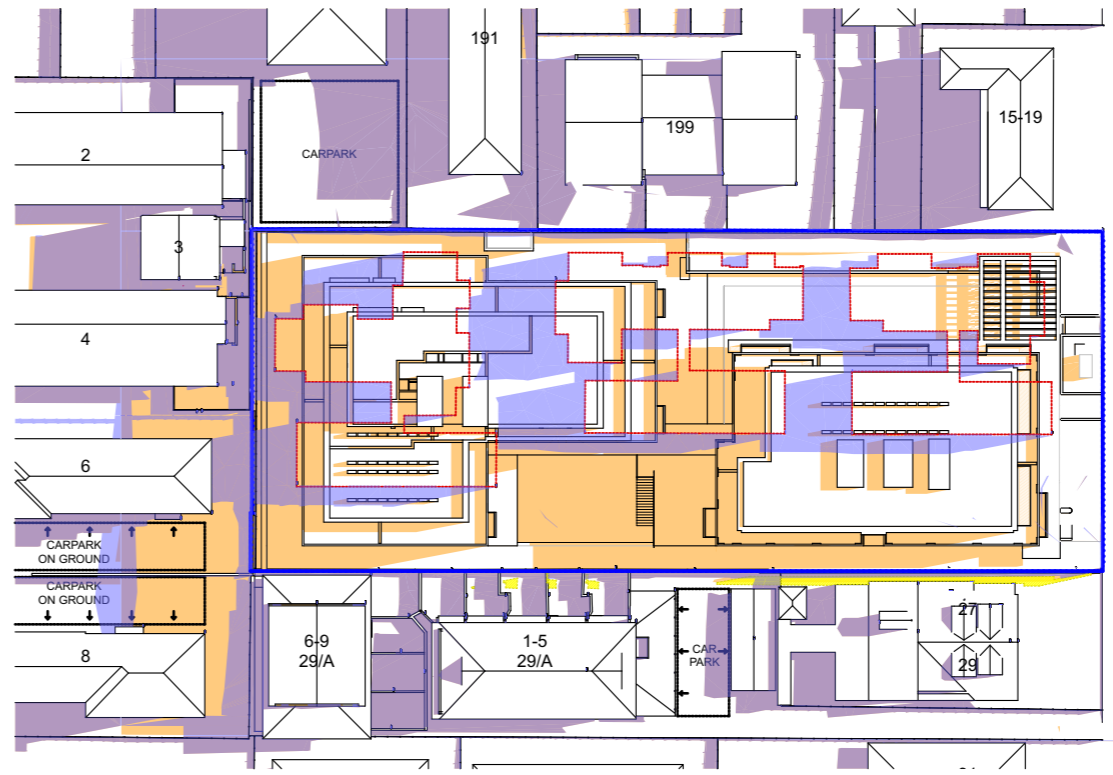
1 JUN 21 9AM



2 JUN 21 10AM



3 JUN 21 11AM



4 JUN 21 12PM

- EXISTING SHADOW
- ADDITIONAL SHADOW
- REDUCTION IN SHADOW

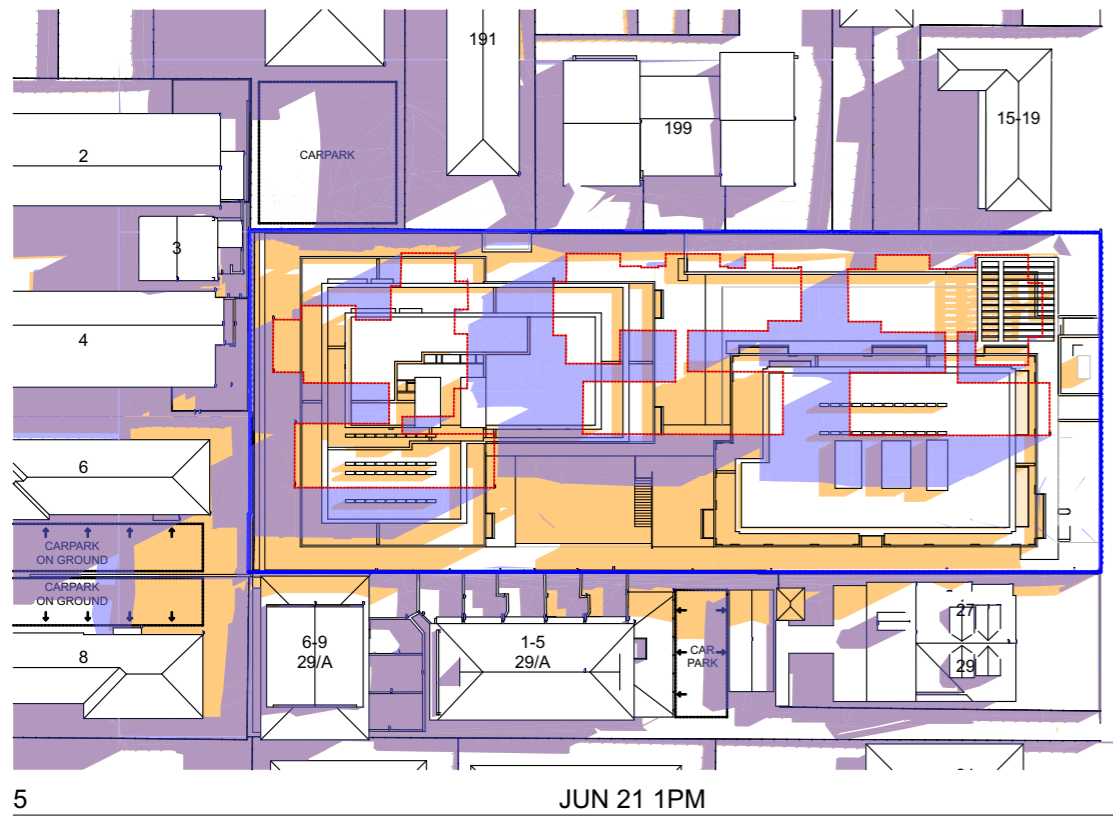
ARCHITECT  
**CHROFI**  
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 CHOI ROYHA FIGHERA PLANNING 144/174 BBS A/F CHOI ROYHA FIGHERA UNIT TRUST T/A CHROFI ABN 22 385 257 187 NOMINATED ARCHITECT TAI ROYHA 6566 STEVEN FIGHERA 6609  
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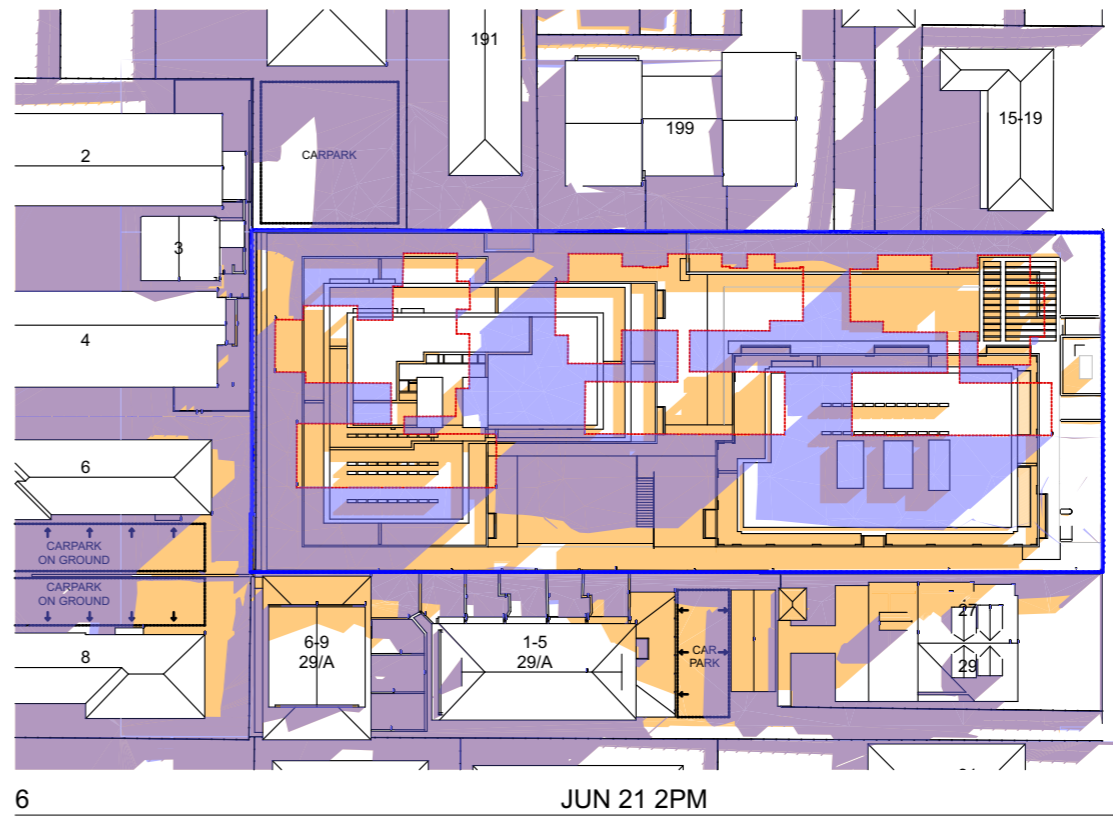
12/12/2025 Issue for DA

PROJECT		DRAWING TITLE	
19-23 Rosalind Street, Cammeray		SHADOW DIAGRAMS 1/2	
#Site Address1, #Site Address2		DRAWING NUMBER	
25023		DA-400	
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED
25023	12/12/25		
SHEET SCALE	SHEET SIZE	NORTH	
1:1, 1:900	A3 GA		

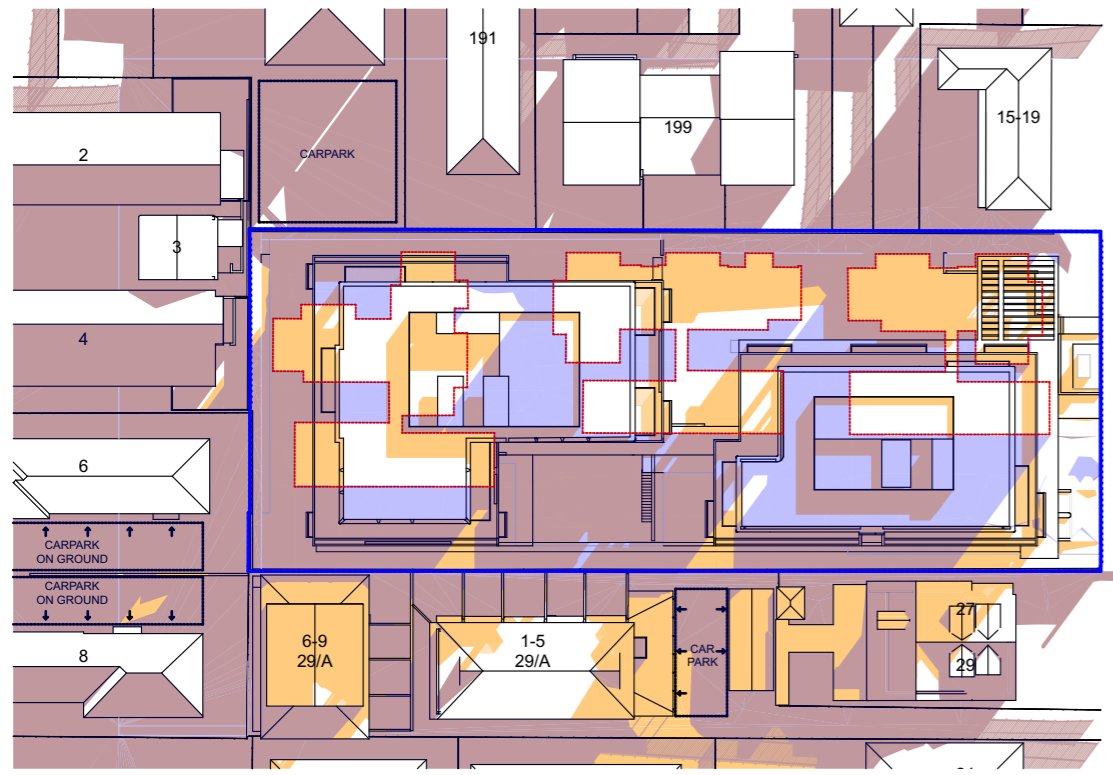
DRAWING TITLE  
 SHADOW DIAGRAMS 1/2  
 DRAWING NUMBER  
 DA-400  
 REVISION  
 A



5 JUN 21 1PM



6 JUN 21 2PM



7 JUN 21 3PM

- EXISTING SHADOW
- ADDITIONAL SHADOW
- REDUCTION IN SHADOW

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 ARCHITECT  
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 CHROFI ROPIHA FIGHERA PLANNING 144/174 BBS RTF CHROFI ROPIHA FIGHERA UNIT TRUST T/A CHROFI ABN 22 385 257 187 NOMINATED ARCHITECT TAI ROPIHA 6566 STEVEN FIGHERA 6609  
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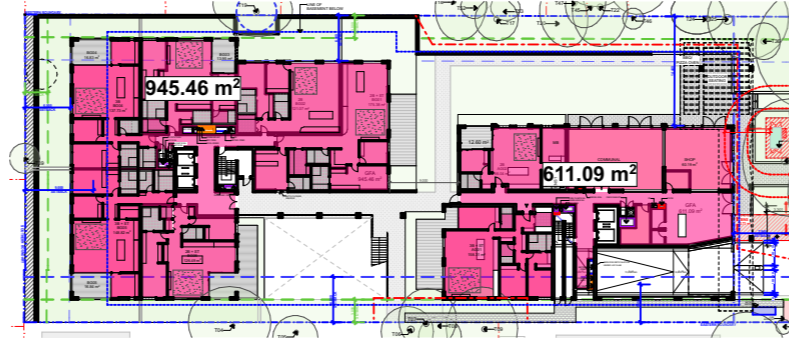
12/12/2025 Issue for DA

PROJECT	PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
19-23 Rosalind Street, Cammeray #Site Address1, #Site Address2	25023	12/12/25			1:900, 1:1	A3 GA	

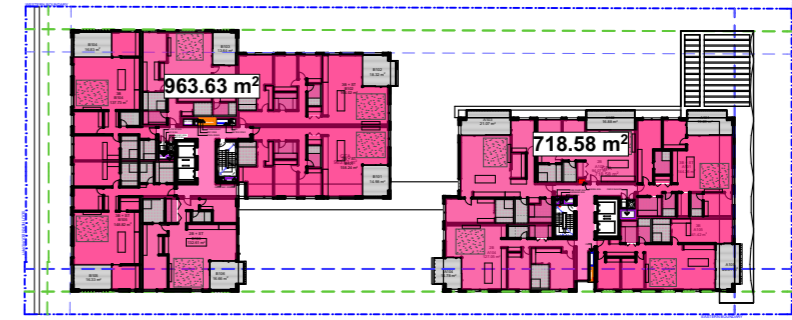
DRAWING TITLE	DRAWING NUMBER	REVISION
SHADOW DIAGRAMS 2/2	DA-401	A



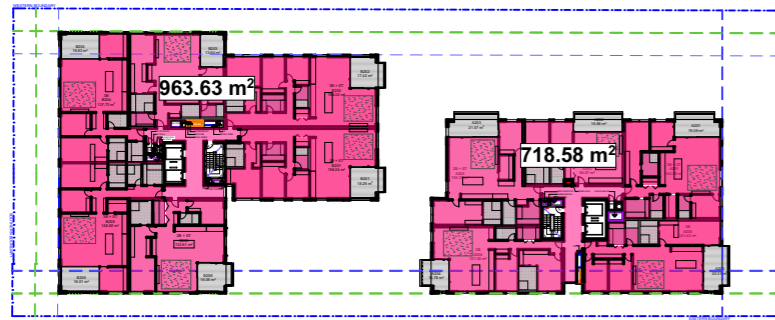
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- BASEMENT 1  
1:1000



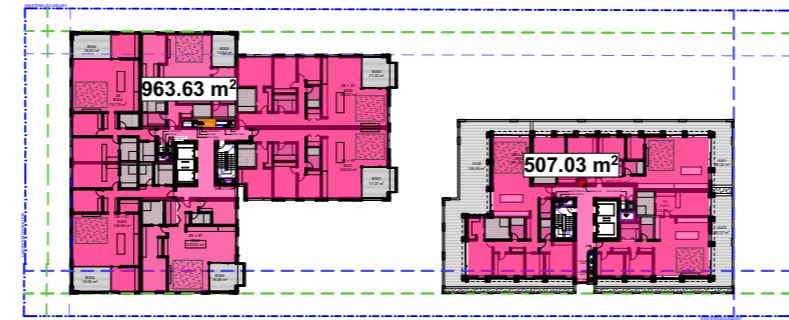
2  
- GROUND  
1:1000



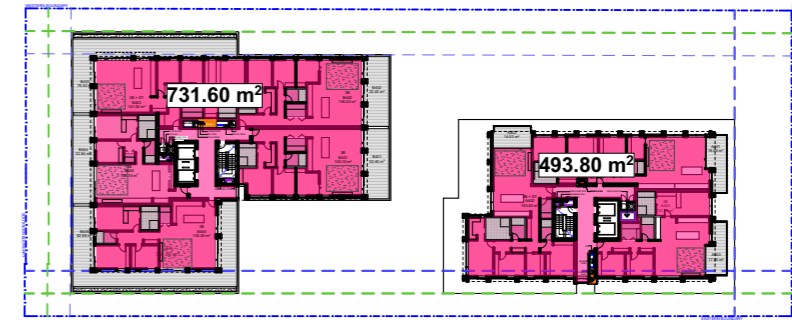
3  
- LEVEL 1  
1:1000



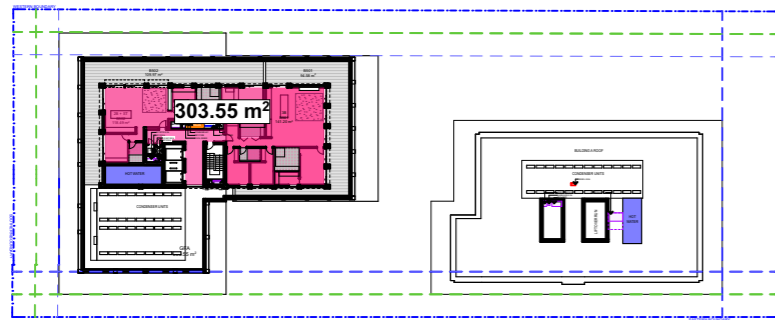
4  
- LEVEL 2  
1:1000



5  
- LEVEL 3  
1:1000



6  
- LEVEL 4  
1:1000



7  
- LEVEL 5  
1:1000

GROSS FLOOR AREA (M2)		
LEVEL	GFA (m2)	BUILDING ID
BASEMENT 1		
	766.02	B
GROUND		
	611.09	A
	945.46	B
LEVEL 1		
	718.58	A
	963.63	B
LEVEL 2		
	718.58	A
	963.63	B
LEVEL 3		
	507.03	A
	963.63	B
LEVEL 4		
	493.80	A
	731.60	B
LEVEL 5		
	303.55	B
	8,686.60 m²	

ARCHITECT

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 CHOI ROPHA FIGHERA PLACON 144 714 BBS AT/ CHOI ROPHA FIGHERA UNIT TRUST T/A CHROFI ABN 22 385  
 257 187 NOMINATED ARCHITECT TAI ROPHA 6568 STEVEN FIGHERA 6609

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PROJECT

19-23 Rosalind Street, Cammeray

#Site Address1, #Site Address2

PROJECT NUMBER

25023

PLOT DATE

12/12/25

DRAWN

CHECKED

SHEET SCALE

1:1000

SHEET SIZE

A3 GA

NORTH



DRAWING TITLE

GFA AREA SCHEDULES & PLANS

DRAWING NUMBER

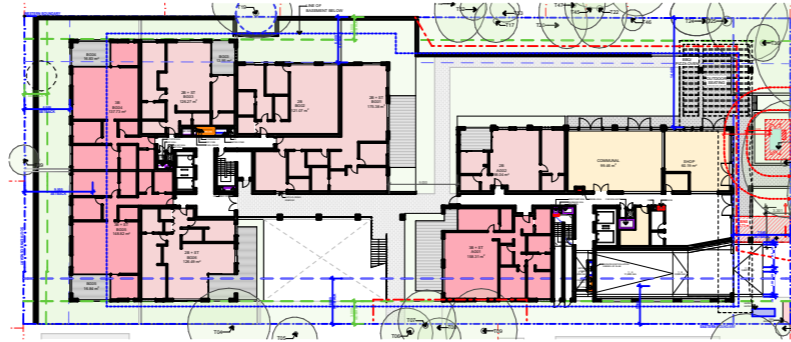
DA-500

REVISION

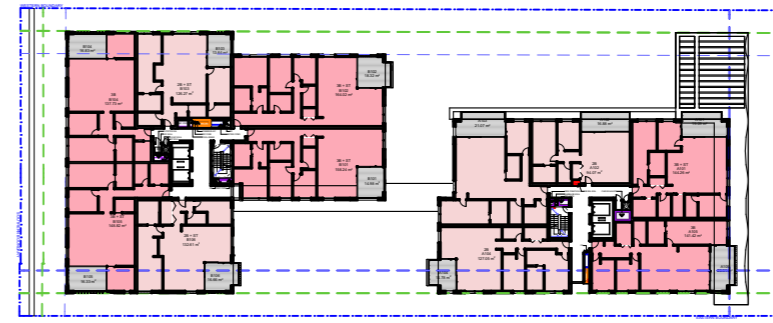
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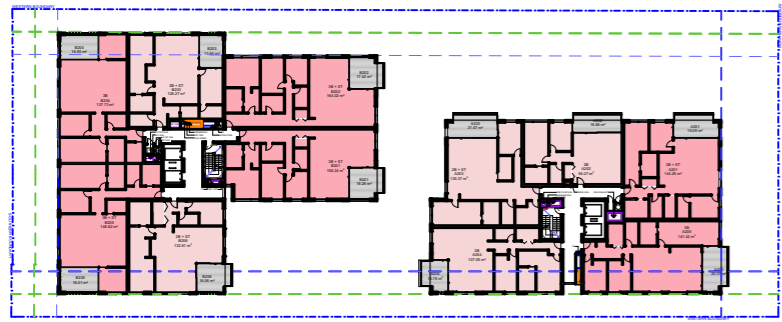
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-  
BASEMENT 1  
1:1000



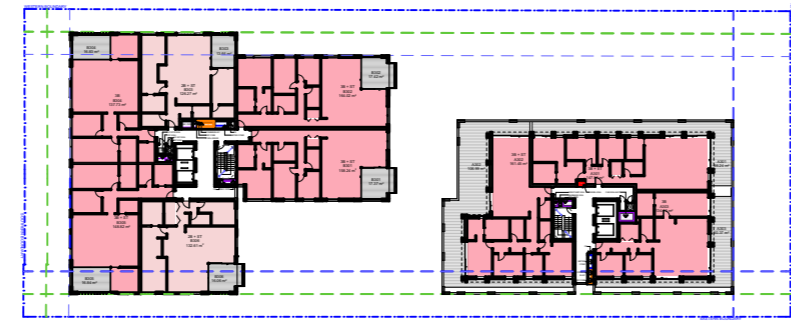
2  
-  
GROUND  
1:1000



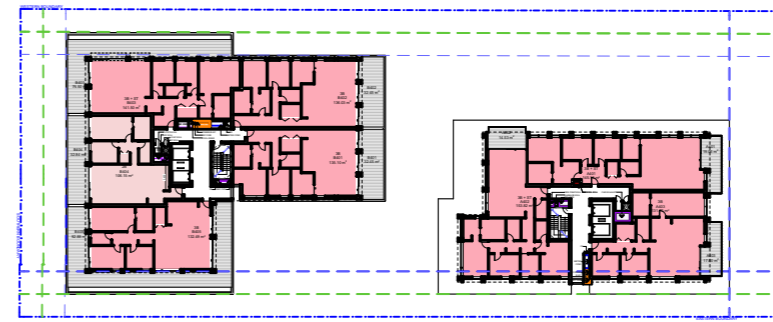
3  
-  
LEVEL 1  
1:1000



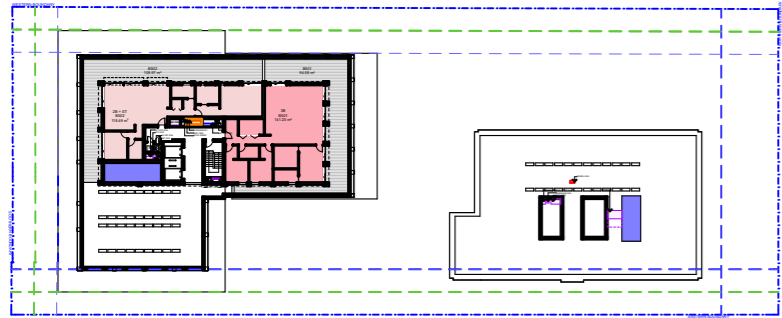
4  
-  
LEVEL 2  
1:1000



5  
-  
LEVEL 3  
1:1000



6  
-  
LEVEL 4  
1:1000



7  
-  
LEVEL 5  
1:1000

APARTMENT MIX		
LEVEL	UNIT NUMBER	APT. TYPE
GROUND		
	AG01	3B + ST
	AG02	2B
	BG01	2B + ST
	BG02	2B
	BG03	2B + ST
	BG04	3B
	BG05	3B + ST
	BG06	2B + ST
LEVEL 1		
	A101	3B + ST
	A102	2B
	A103	2B + ST
	A104	2B
	A105	3B
	B101	3B + ST
	B102	3B + ST
	B103	2B + ST
	B104	3B
	B105	3B + ST
	B106	2B + ST
LEVEL 2		
	A201	3B + ST
	A202	2B
	A203	2B + ST
	A204	2B
	A205	3B
	B201	3B + ST
	B202	3B + ST
	B203	2B + ST
	B204	3B
	B205	3B + ST
	B206	2B + ST
LEVEL 3		
	A301	3B + ST
	A302	3B + ST
	A303	3B
	B301	3B + ST
	B302	3B + ST
	B303	2B + ST
	B304	3B
	B305	3B + ST
	B306	2B + ST
LEVEL 4		
	A401	3B + ST
	A402	3B + ST
	A403	3B
	B401	3B
	B402	3B
	B403	3B + ST
	B404	2B
	B405	3B
LEVEL 5		
	B501	3B
	B502	2B + ST
		<b>49</b>

ARCHITECT

**CHROFI**

3/1 THE CORSO MANLY NSW 2095 AUSTRALIA  
 T +61 2 8096 8500 E info@chrofi.com  
 CHROFI ROPHA FIGHERA PLACON 144 714 855 A/F CHROFI ROPHA FIGHERA UNIT TRUST T/A CHROFI ABN 22 365  
 257 187 NOMINATED ARCHITECT TAI ROPHA 6566 STEVEN FIGHERA 6609  
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A 12/12/2025 Issue for DA



PROJECT  
 19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH	DRAWING NUMBER	REVISION
25023	12/12/25			1:1000, 1:1.67	A3 GA		DA-501	A

DRAWING TITLE

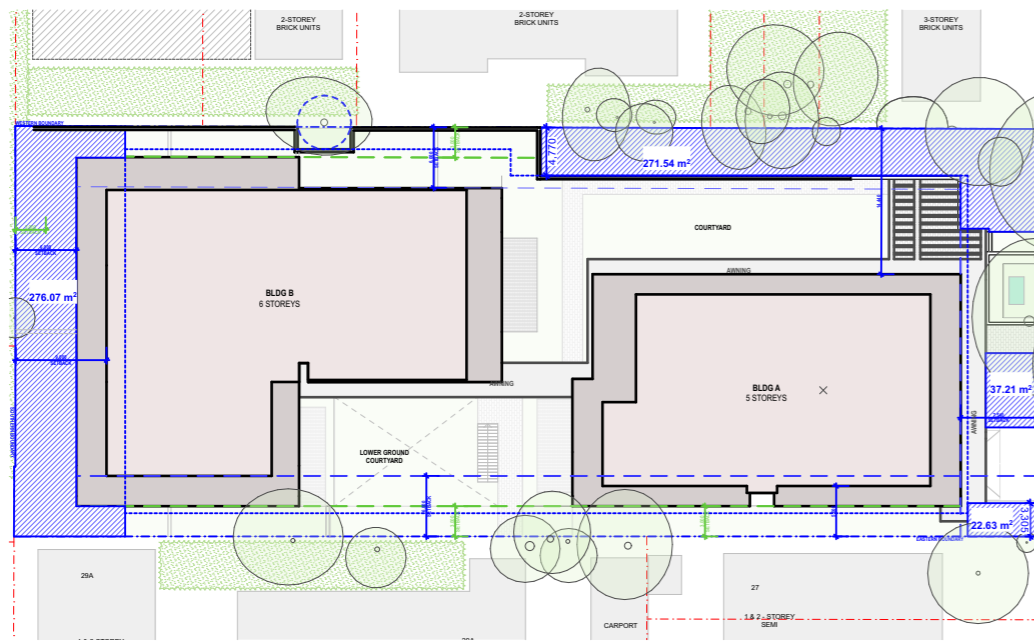
UNIT MIX

DRAWING NUMBER

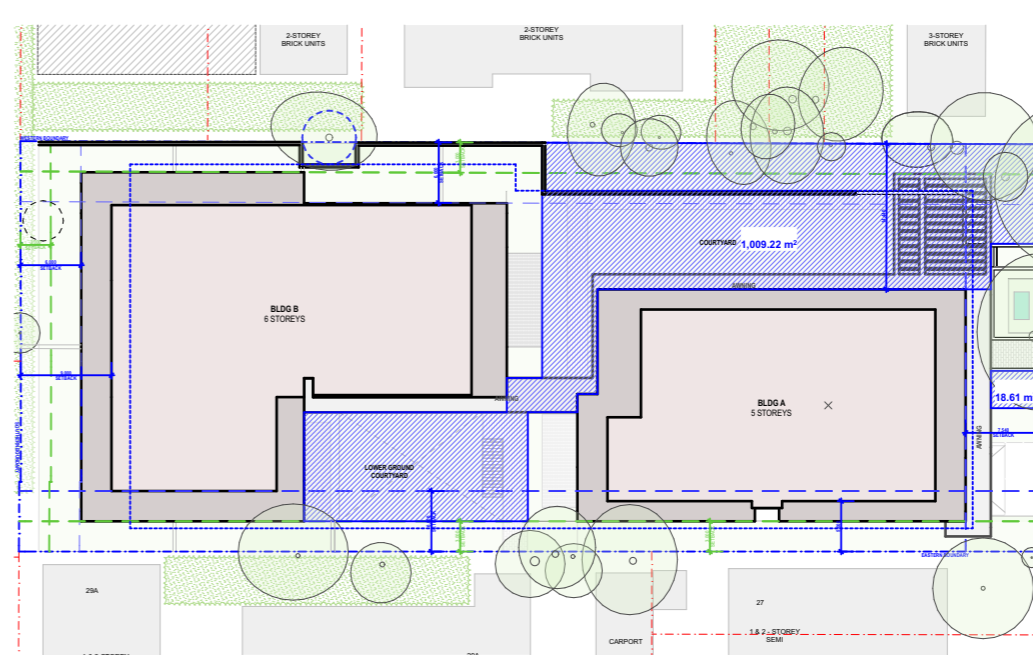
DA-501

REVISION

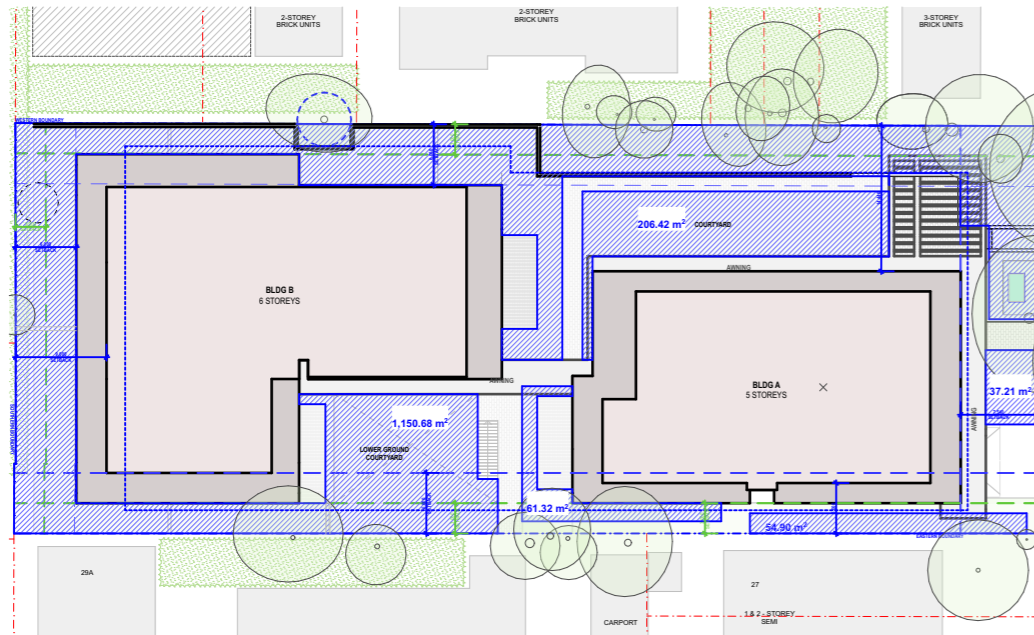
A



DEEP SOIL	
TOTAL AREA (M2)	607.45
% OF SITE AREA	15%
SITE AREA (M2)	4100
MIN SEPP REQ. (M2)	615M2 (15%)



COMMUNAL OPEN SPACE	
TOTAL AREA (M2)	1,027.83
% OF SITE AREA	25%
SITE AREA (M2)	4100
MIN ADG REQ. (M2)	1025 (25%)



LANDSCAPED AREA	
TOTAL AREA (M2)	1,510.53
% OF SITE AREA	37%
SITE AREA (M2)	4100
MIN SEPP REQ. (M2)	1230 (30%)

ARCHITECT

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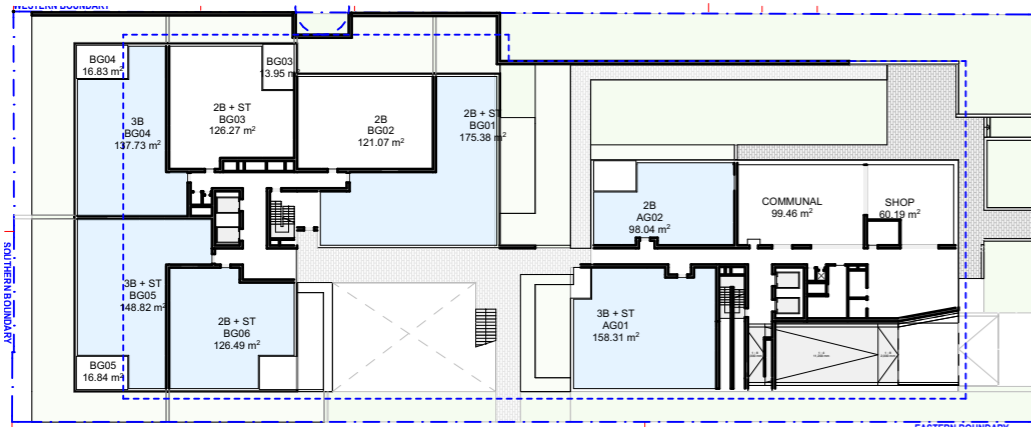


PROJECT  
 19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

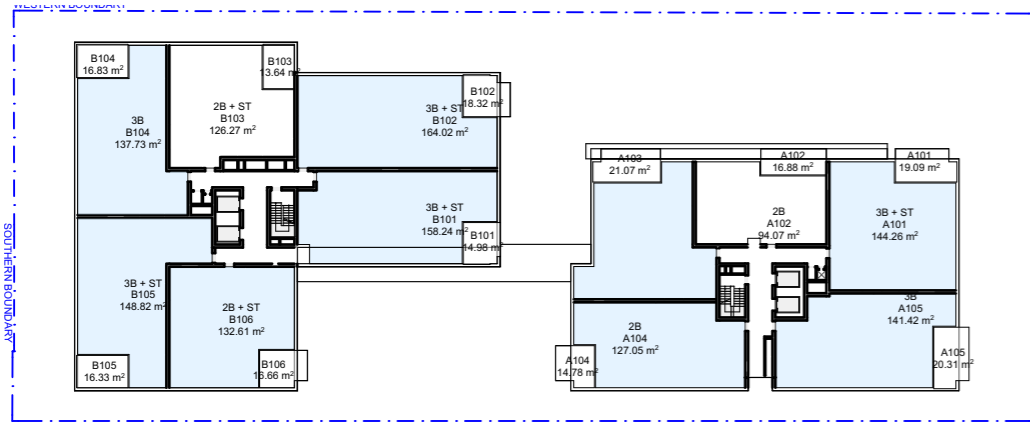
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH	DRAWING NUMBER	REVISION
25023	12/12/25			1:750, 1:1	A3 GA		DA-502	A

DRAWING TITLE  
**COMPLIANCE DIAGRAMS**

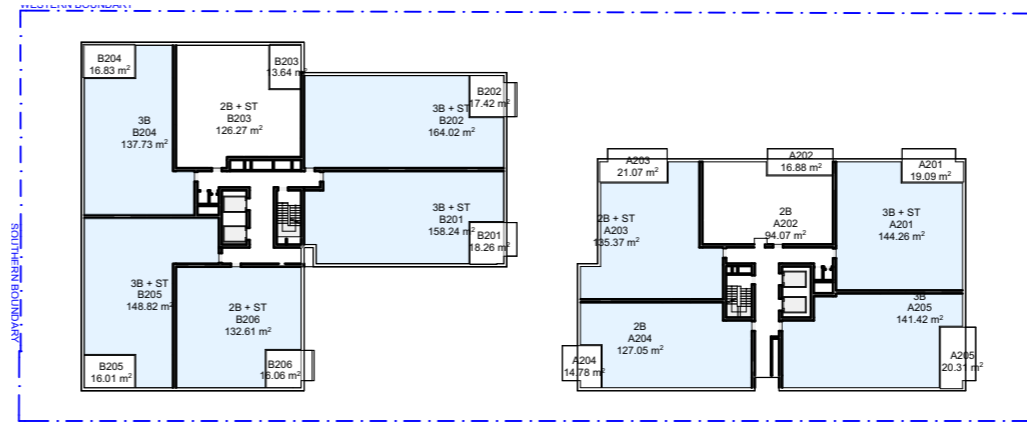
DRAWING NUMBER  
 DA-502



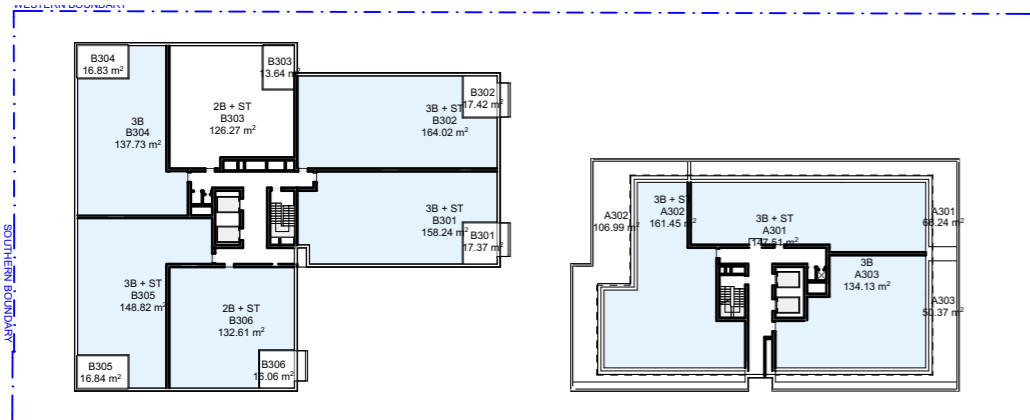
GROUND



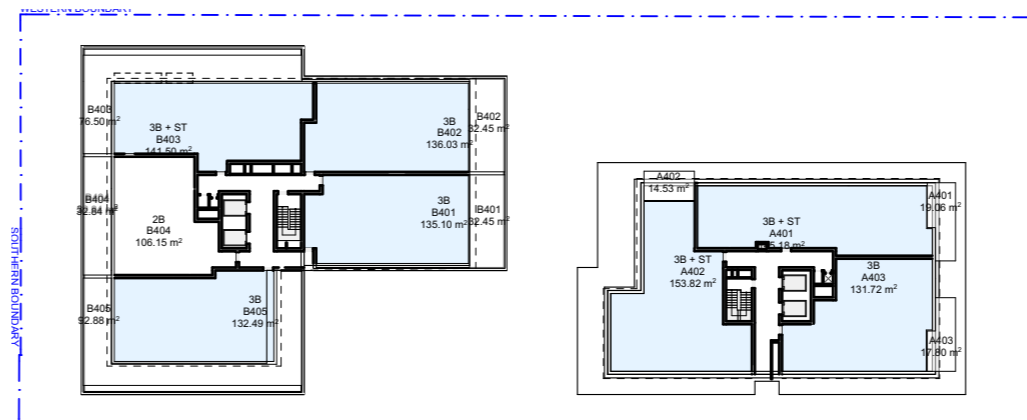
LEVEL 1



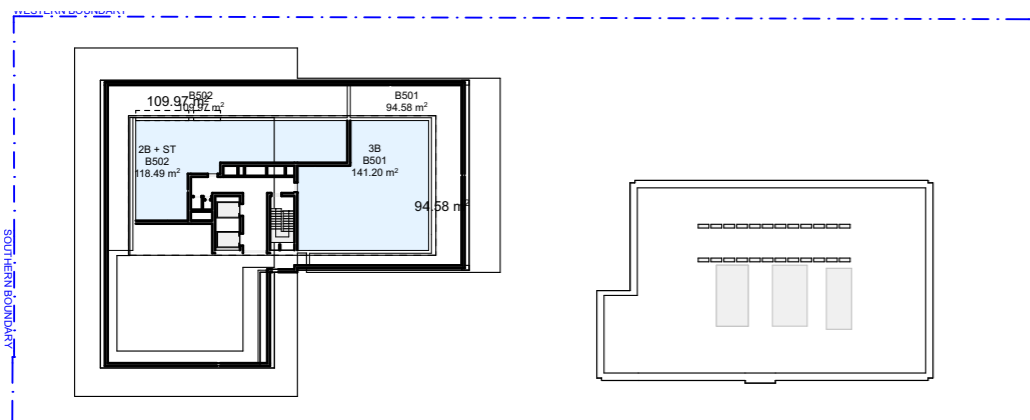
LEVEL 2



LEVEL 3



LEVEL 4



LEVEL 5

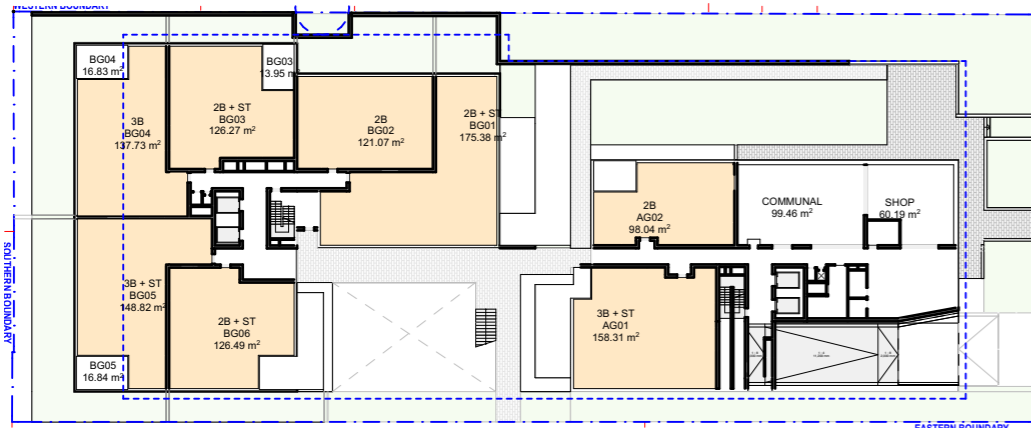


ADG - CROSS VENTILATION			
LEVEL	UNIT NUMBER	COMPLIANCE	
GROUND	AG01	YES	
	AG02	YES	
	BG01	YES	
	BG02	NO	
	BG03	NO	
	BG04	YES	
8	BG05	YES	
	BG06	YES	
	LEVEL 1	A101	YES
		A102	NO
		A103	YES
		A104	YES
A105		YES	
B101		YES	
11	B102	YES	
	B103	NO	
	B104	YES	
	B105	YES	
	B106	YES	
	LEVEL 2	A201	YES
A202		NO	
A203		YES	
A204		YES	
A205		YES	
B201		YES	
11	B202	YES	
	B203	NO	
	B204	YES	
	B205	YES	
	B206	YES	
	LEVEL 3	A301	YES
A302		YES	
A303		YES	
B301		YES	
B302		YES	
B303		NO	
9	B304	YES	
	B305	YES	
	B306	YES	
LEVEL 4	A401	YES	
	A402	YES	
	A403	YES	
	B401	YES	
	B402	YES	
	B403	YES	
8	B404	NO	
	B405	YES	
	B406	YES	
LEVEL 5	B501	YES	
	B502	YES	
2			
49			

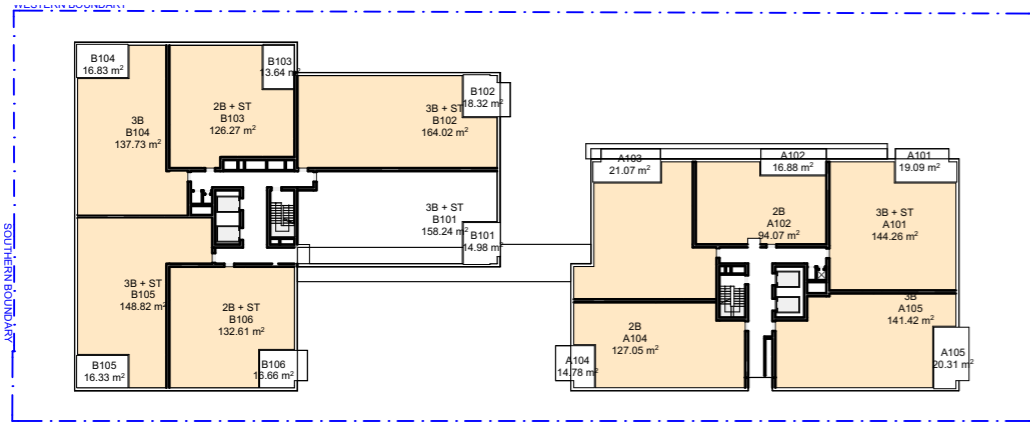
SUMMARY 41/49 (83%)

COMPLIANCE (60%)

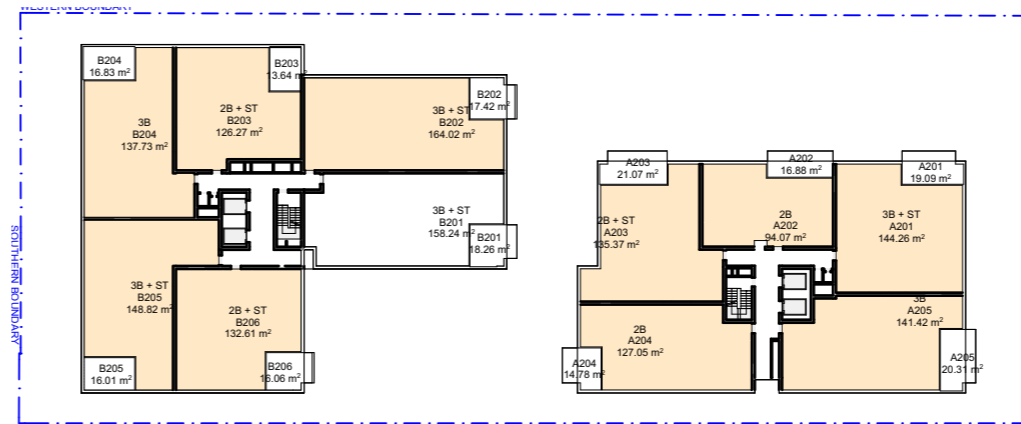
ACHIEVES NATURAL CROSS VENTILATION AS PER ADG



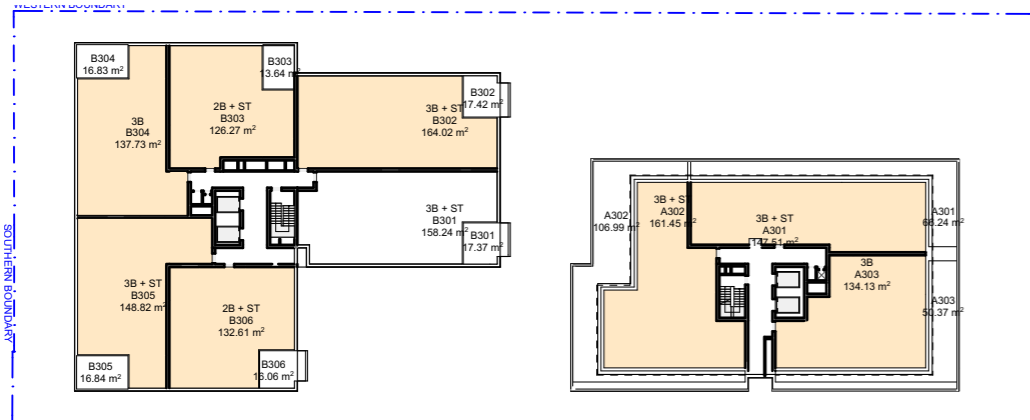
GROUND



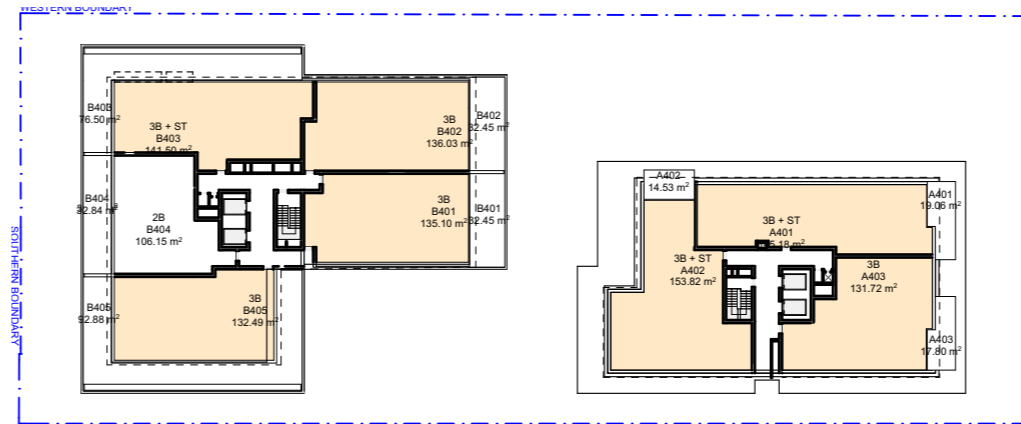
LEVEL 1



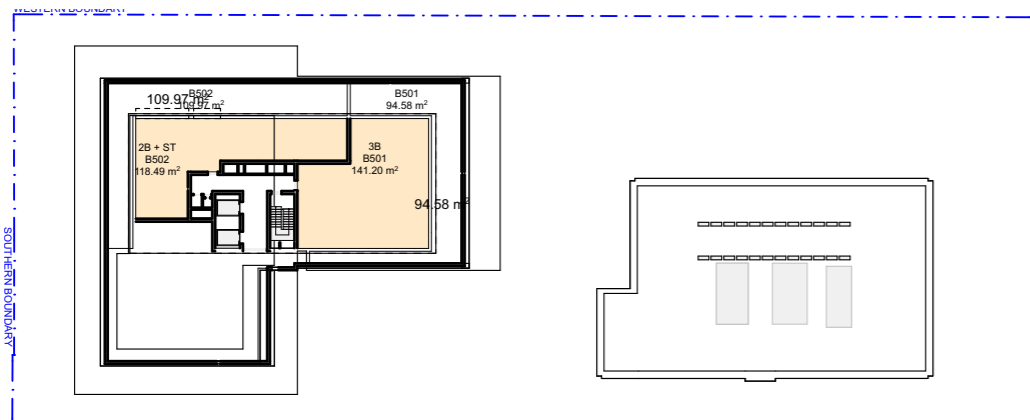
LEVEL 2



LEVEL 3



LEVEL 4



LEVEL 5



ADG - SOLAR			
LEVEL	UNIT NUMBER	COMPLIANCE	
GROUND	AG01	YES	
	AG02	YES	
	BG01	YES	
	BG02	YES	
	BG03	YES	
	BG04	YES	
8	BG05	YES	
	BG06	YES	
	LEVEL 1	A101	YES
		A102	YES
		A103	YES
		A104	YES
A105		YES	
B101		NO	
B102		YES	
B103		YES	
B104		YES	
B105		YES	
11	B106	YES	
	LEVEL 2	A201	YES
		A202	YES
		A203	YES
		A204	YES
		A205	YES
B201		NO	
B202		YES	
B203		YES	
B204		YES	
B205		YES	
11	B206	YES	
	LEVEL 3	A301	YES
		A302	YES
		A303	YES
		B301	NO
		B302	YES
B303		YES	
9	B304	YES	
	B305	YES	
	B306	YES	
	LEVEL 4	A401	YES
		A402	YES
		A403	YES
B401		YES	
B402		YES	
8	B403	YES	
	B404	NO	
	B405	YES	
LEVEL 5	B501	YES	
	B502	YES	
2			
49			

SUMMARY 45/49 (91%)

COMPLIANCE (70%)

ACHIEVES SOLAR COMPLIANCE AS PER ADG



ARCHITECT

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PROJECT

19-23 Rosalind Street, Cammeray  
 #Site Address1, #Site Address2

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH	DRAWING NUMBER	REVISION
25023	12/12/25			1:142.86	A3 GA		DA-505	A

DRAWING TITLE

HEIGHT PLANE DIAGRAM

DRAWING NUMBER: DA-505  
 REVISION: A