

ACCESS REPORT – DEVELOPMENT APPLICATION

RESIDENTIAL DEVELOPMENT 11-23 RANGERS AVENUE MOSMAN NSW



Prepared by

iAccess Consultants

A division of iAccess Group Pty Ltd

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Summary of Actions to be undertaken

The following is a summary of actions to be addressed as part of the completion of the documentation for this project.

3.03.5. Height and width of continuous accessible path of travel- The future documentation to be prepared for this project will need document height and width of continuous accessible path of travel as required by Clause 3.2 and Clause 3.3 of AS1428.1:2021.	23
3.03.6. Wheelchair Circulation Zones - The detailed documentation to be prepared for this project will need document any turn and circulation zones as required by Clause 3.5 of AS1428.1 2021.....	25
3.05.4 Floor transitions – The future documentation to be prepared for this project will need to detail the various floor finishes and their respective junctions and transition	30
3.05.5. Grated drains – The future documentation to be prepared for this project will need to specify the heel guard grate to be installed.	31
3.06.4 Statutory Braille Tactile Exit Signage – The detailed documentation will need to document the braille tactile exit signage to be installed.	33
3.06.6 Luminance & Colour Contrast - Details of the braille tactile WC signage is to be provided for review as part of the detailed future documentation to be prepared for this project. <i>Please note that aluminium signs on a white wall will not achieve compliance.</i>	35
3.06.7 Braille Tactile Press to Exit Signage - Details of the braille tactile 'Press to Exit' signage to be installed will need to be provided for review as part of the detailed future documentation to be prepared for this project. Specific attention is directed to the font type, size of lettering and the selection of a field colour of the sign which will achieve a 30% luminance contrast with the wall or door the sign is installed on.	36
3.07.3. TGSIs – Luminance Contrast – The specification of the TGSIs to be installed is to be provided for review as part of the detailed future documentation to be prepared for this project. The TGSi specification will need to address compliance with the luminance contrast and slip resistance requirements for TGSIs.	38
3.07.4. TGSIs – Requirements to be satisfied - The selection of TGSIs will need to satisfy the requirements of NCC Clause D4D9 and the provisions of AS1428.4.1:2009. The TGSi documentation prepared as part of the detailed documentation will need to demonstrate compliance.	39
3.07.6. Setout of TGSIs associated with Stairs – Detailed TGSi setout plans will need to be prepared as part of the detailed construction documentation to be prepared for this project. The details will need to indicate the setout of the TGSIs from the face of risers and the nominated depth of TGSIs depending on the landing length.....	40
3.08.1. Stairs - Stair details and handrail drawings will need to be provided as part of the detailed construction documentation to be prepared for this project. Shop drawings of the proposed stairs and associated handrails will need to be prepared and submitted for review.	44
3.09 Handrails - The detailed documentation will need to demonstrate compliance with these requirements.	45
3.10.2. Clear Door Width - The detailed documentation to be prepared for this project will need to demonstrate compliance with these provisions.	46
3.10.3 Luminance Contrast - A table indicating wall colour and door colour with the associated luminance contrast level achieved will need to be prepared and provided to demonstrate compliance with the requirements of Clause 10.1 of AS1428.1 2021.	47
3.10.4 Door Controls – The selection of door hardware will need to be provided as part of the detailed documentation to be prepared for this project.	48
3.10.6. Circulation at Doorways – The detailed documentation to be prepared for this project will need to indicate compliance with the circulation at doorway provisions of Clause 10.3 of AS1428.1 2021.	50
3.10.7 Door Closers – Confirmation that the proposed door closer(s) can satisfy this requirement will need to be provided as part of the detailed construction documentation to be prepared for this project. Certification of compliance will be required for the issue of the Occupation Certificate.	50
3.10.9 Access to Garbage, chutes and Bin stores- The detailed documentation to be prepared for this project will need to demonstrate compliance with these provisions.	51

3.11 Switches – Details of the set out of switches will need to be provided as part of the detailed documentation to be prepared for this project.	54
3.11.7. Doorway Thresholds Level and smooth transitions are required between internal and external doorways. The detailed documentation will need to detail this junction.	50
3.12 Vertical transport - A design certificate will need to be provided from the lift supplier indicating compliance with AS1735.12:2020.	57
3.12 Vertical transport - Detailed lift drawings will need to be prepared and provided for review.	57
3.14.4. Carparking – Parking Bay Size – The detailed future documentation will need to compliance with the parking bay dimensions nominated in AS2890.6:2009.	60
3.14.5 Carparking – Linemarking – Linemarking details are to be provided as part of the detailed construction documentation to be prepared for this project. The line marking of the accessible parking spaces is to satisfy Section 3 of AS2890.6:2009.	61
3.14.6 Carparking – Clearance Aisleway - The detailed documentation will need to document aisleways with a minimum clear height of 2200mm.	61
3.14.7 Carparking – Clearance parking bays - The detailed documentation will need to document parking bays in accordance with Figure 2.7 of AS2890.6:2009	62
3.15.3 Adaptable Housing The completion of the AS4299 Schedule of features for adaptable housing will need to be completed as part of the detailed documentation to be prepared for this project. The DA plans indicate that compliance is capable of being achieved however the construction drawing yet to be prepared will document the requirements of this schedule.	67
 OC 3.03.4. Lighting Levels – On completion of the works certification of lighting levels achieved indicating compliance with these requirements will need to be provided for the issue of the Access Installation certificate at OC.	22
OC 3.04. Visual Indicators - On completion of the works certification will need to be provided for the issue of the OC Access Installation Certificate, indicating that visual indicators have been applied to full height glazing in accordance with the requirements of Clause 3.6 of AS1428.1.	27
OC 3.05.2. Slip Resistance - floor and ground surfaces – On completion of the works certification is to be provided by the contractors indicating the slip resistance of the flooring materials installed This information is required for the issue of the access installation certificate required for the issue of the Occupation Certificate.	28
OC 3.05.3. Carpet – On completion of the works certification is to be provided by the carpet contractor that the specified carpet has been installed and that the provisions of Clause 4.3.1 of AS1428.1:2021 have been satisfied.	29
OC 3.10.7. Door Closers – Certification of compliance that the doors installed with a door closer (other than fore rated doors) satisfy the provisions of Clause 10.5(e) of AS1428.1 2021 (20N Force) will be required for the issue of the Occupation Certificate.	50
OC 3.12 Vertical transport - A lift installation certificate referencing the NCC performance requirement of E3P4, NCC Clauses E3D7 & E3D8 and AS1735.12:1999 will need to be provided for the issue of the OC Access Installation Certificate.	57
OC 3.13 Lighting Levels – On completion of the works certification of lighting levels achieved indicating compliance with these requirements will need to be provided for the issue of the Access Installation Certificate at OC.	58

Abbreviations

The following abbreviations are employed in this Checklist:

- ACA Access Consultants Association
- AS Australian Standard
- BCA Building Code of Australia
- NCC National Construction Code
- Dts Deemed to satisfy
- CAPT Continuous Accessible Path of Travel
- GPO General Power Outlet
- USAT Unisex Accessible Sanitary Toilet
- AFFL Above Finished Floor Level
- TGSI Tactile Ground Surface Indicator
- PPE Principal Pedestrian Entrance
- DAPB Designated Accessible Parking Bay

Legend

The following list of differing colour toning are indicators of access compliance throughout this report:

	The design as proposed is capable of satisfying the NCC Performance Requirement and or the relevant clauses of AS1428.1:2021, AS1428.4.1:2009, AS2890.6:2009, AS1735.12:1999.
	Not Compliant, Design to be revised and resubmitted
	Information to be provided as part of the detailed documentation to be prepared for this project.
	Information to be provided for the issue of the OC Access Installation Certificate
	To be addressed by way of Performance Based Design Solution

Examples of these compliance summaries include:

Compliance:	An accessible path of travel is provided from the set-down point to the Principal Pedestrian Entry to the event.
Compliance:	Door circulation zones are not compliant. Ensure door latch-side clearance achieves a minimum of 530mm.
Compliance:	The doorways luminance contrast levels is not able to be assessed. Information is to be provided.

Lines that are written in red and highlighted in yellow (like this line of text) indicate an item that may require action by the project team, impacting on the overall design.

1. EXECUTIVE SUMMARY

This access report has been prepared to provide commentary on the documentation prepared for the Development Application for the proposed residential development. The design proposes 44 dwellings and 91 parking spaces. The mix includes affordable housing as well as build to sell housing.

The purpose of this access report is to highlight and review key accessible topics as they relate to design elements of the proposed development. The key accessible areas of assessment noted in the Legislative Frameworks and considered by this access report are: -

- Disability (Access to Premises – Buildings) 2010
- the National Construction Code 2022 addressing Access & Egress, Lift services, Sanitary facilities.
- The Australian Standards referenced by the National Construction Code

There is generally a high level of compliance throughout the project, however there are several items where additional information will need to be provided as part of the detailed documentation to be prepared for this project.

This access report has been prepared iAccess Residential to accompany a State Significant Development Application (SSDA) for the residential development at 11 -23 Rangers Avenue, Mosman. The site is made up of seven lots. The legal description of the site is outlined in Table 1.

Table 1 Legal Description

Property Address	Title Description
11 Rangers Avenue	Lot 42/DP2509
13 Rangers Avenue	Lot 41/DP2509
15 Rangers Avenue	Lot 2/DP748842
17 Rangers Avenue	Lot 1/DP748842
19 Rangers Avenue	Lot 39/DP2509
21 Rangers Avenue	Lot 38/DP2509
23 Rangers Avenue	Lot 37/DP2509
Total site area	3,594m ²

This report has been prepared to address the Secretary's Environmental Assessment Requirements (**SEARs**) issued for the project (**SSD-96272465**).

This report concludes that the proposed residential development is suitable and warrants approval

Following the implementation of the above mitigation measures, the remaining impacts are considered appropriate.

Introduction

The application seeks development consent for demolition of existing buildings and the construction of a part 6, part 7 storey residential flat building plus two levels of carparking at 11 -23 Rangers Avenue, Mosman. Specifically, the SSDA seeks development consent for:

Demolition of the existing structures on the sites at 11 -23 Rangers Avenue, Mosman.

Construction of residential flat building comprising part 6, part 7-storeys plus two levels of basement carparking on the site at 11 -23 Rangers Avenue, Mosman, comprising:

- 44 Residential apartments, including:
- 10 affordable housing apartments.

- Communal open space and amenities.
- 2 basement levels for car parking, bicycle parking, waste and plant.

Affordable housing contribution equivalent to 15% of new residential GFA proposed on the site.

Vehicular access from Rangers Avenue, in the location of the current access (current vehicle access from Bloxsome Lane will be removed)

Pedestrian access to Bloxsome Lane

Associated site landscaping.

As the development has a Capital Investment Value (**CIV**) of \$75 million or greater, the application triggers State Significant Development.

This report has been prepared in response to the requirements contained within the Secretary's Environmental Assessment Requirements (SEARs) dated 14/10/2025 and issued for the SSDA (SSD-96272465).

The Site

The site is located at 11 -23 Rangers Avenue, Mosman, within the Mosman local government area (LGA). The site is made up of the following lots:

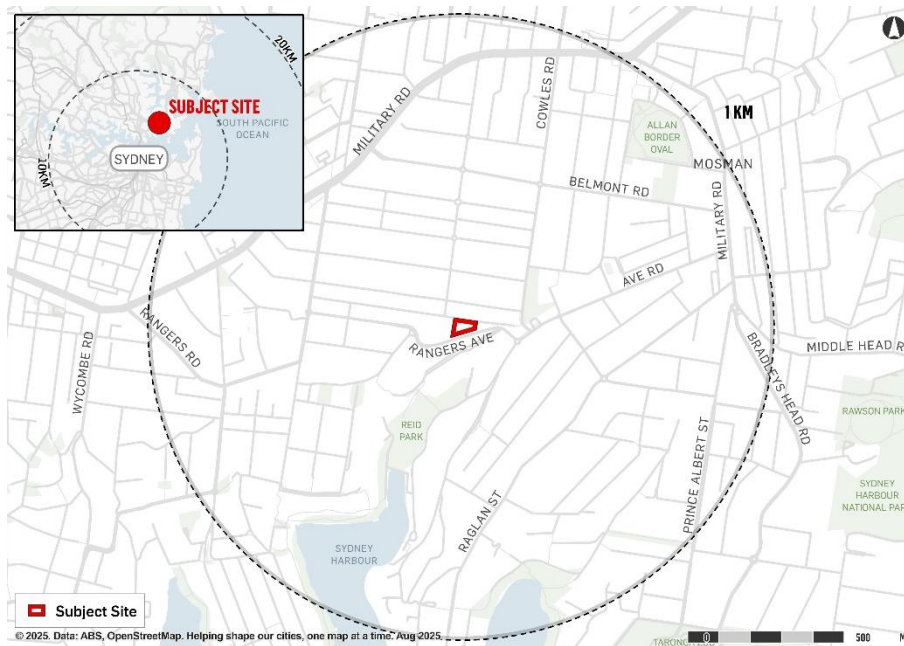
Lot	Address	Site Area
Lot 42/DP2509	11 Rangers Avenue	538.7 sqm
Lot 41/DP2509	13 Rangers Avenue	473.5 sqm
Lot 2/DP748842	15 Rangers Avenue	262.8 sqm
Lot 1/DP748842	17 Rangers Avenue	279.3sqm
Lot 39/DP2509	19 Rangers Avenue	611 sqm
Lot 38/DP2509	21 Rangers Avenue	679.9 sqm
Lot 37/DP2509	23 Rangers Avenue	748.8sqm

The site has a frontage of approximately 80m to Rangers Avenue and approximately 78m to Bloxsome Lane. The side boundary to the east is approximately 28m and 64m to the west. The site has a total area of 3,594m².

The site is located within the LMR 'outer area' and within 800 metres walking distance to Cremorne Town Centre and as such, is subject to the LMR housing controls.

The site is currently occupied by seven single, 2, 3 and 4 storey residential dwellings at 11 -23 Rangers Avenue, Mosman which will be demolished. The site currently has vehicular access from Rangers Avenue and Bloxsome Lane.

Figure 1 Site Location Plan



Source: Urbis GIS, 2025

Figure 2 Distance to Town Centre



Source: Urbis GIS, 2025

Figure 3 Aerial Photograph



Source: Urbis GIS, 2025

Methodology

The access report has been developed following an assessment of the proposal against the following statutory frameworks:

- Disability (Access to Premises – Buildings) Standard 2010 As amended November 2024
- Parts D & E of the National Construction Code 2022 Amendment 2
- AS1428.1:2021
- AS1428.4.1:2009
- AS1735.12:1999
- AS2890.6:2009
- LHA requirements

Assessment and findings

This report documents compliance with the nominated legislative framework utilising a colour coded summary of recommendations. It is clear that the detail nominated in the above legislative framework is not relevant to this stage of the project process. The detailed construction documentation process will close out the items identified in this report.

Cumulative impacts

There are no cumulative impacts concerning compliance with the accessibility provisions

Mitigation Measures

No access mitigation issues are proposed for this project.

1.1. Access Declaration

This report confirms that the provisions for compliance with the accessible requirements nominated in the Disability (Access to Premises – Building) Standard 2010 where possible have been incorporated into the proposed design.

1.2. Scope of Works

The works include the following:

Basement

- Car parking's

Lower Ground

- Services
- Car parking
- Lobbies (AFH & BTS)

Ground Floor

- Apartments (SOUs)
- Services
- Car parking

Level 1

- Communal Space
- Apartments (SOUs)

Level 2 & 3

- Apartments (SOUs)

Level 4 & 5

- Apartments (SOUs)

Penthouse

- Apartments (SOUs)

1.3. Building Classification

The NCC classification for this Development is:

Building Class A6G8(2)(a) Class 7a - Carpark

Building Class A6G3(1) Class 2 - Residential Apartment

1.4. Report Exclusions

The assessment discussed in this report is limited to the Scope of Works highlighted in the above Executive Summary.

1.5. Performance Solutions

The proposed design does not rely upon any Performance Based Design Solutions. It is possible that Performance Solutions may need to accompany the future Construction Certificate applications.

1.6. Equitable Egress Strategy - NCC Clauses D1P4 Exits & D1P6 Paths of travel to exits

An NCC Deemed to Satisfy solution addressing egress from a building satisfies the provisions of D1P4 and D1P6.

1.7. NCC Clause D4D5 Concession

The NCC Clause **D4D5** notes a concession for accessibility to particular areas/rooms:

- (a) *An area where access would be inappropriate because of the particular purpose for which the area is used.*
- (b) *An area that would pose a health or safety risk for people with a disability.*
- (c) *Any path of travel providing access only to an area exempted by (a) or (b).*

The building has several rooms of which the NCC **D4D5** concession applies:

- Plant rooms
- Storerooms

1.8. Architectural Documentation

This Access Report references the following architectural documentation.

Dwg No	Title	Revision
DA0000	COVER SHEET	A
DA0100	SHEET LIST	A
DA0200	DEVELOPMENT SUMMARY	A
DA1001	LOCATION PLAN	A
DA1002	SITE ANALYSIS PLAN	A
DA1003	SITE PLAN	A
DA1004	SETBACK DIAGRAM	A
DA1005	DEMOLITION PLAN	A
DA1101	RENDER - VIEW 01	A
DA1102	RENDER - VIEW 02	A
DA1103	RENDER VIEW 03	A
DA2008	BASEMENT	A
DA2009	LOWER GROUND - RANGERS AVENUE	A
DA2010	GROUND LEVEL	A
DA2011	LEVEL 1	A
DA2012	LEVELS 2-3	A
DA2014	LEVELS 4-5	A
DA2016	LEVEL 6	A
DA2017	ROOF PLAN	A
DA5010	LHA & ADAPTABLE LAYOUTS - SHEET 01	A
DA5011	LHA & ADAPTABLE LAYOUTS - SHEET 02	A

1.9. Occupation Certificate Checklist – Access NCC Section D, Clauses E3D7, E3P4, E3D8, F4P1, F4D6 and F4D8.

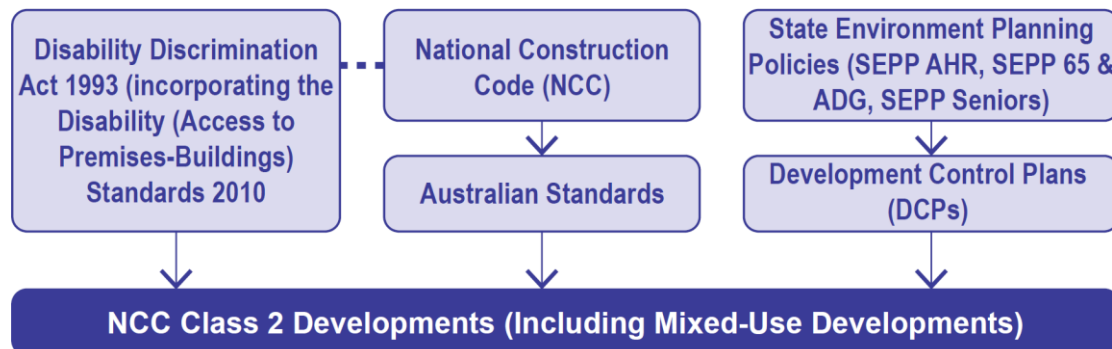
The following requirements are to be provided for the issue of the Occupation Certificate Access Installation Certificate.

- Lift installation certificate for each lift nominating compliance with NCC 2022 Clause E3D8 Accessible features required for passenger lifts and AS1735.12.
- Slip resistance rating for external pavements.

- Slip resistance rating for internal floor finishes to corridors and wet areas of rooms required to be accessible.
- Slip resistance rating of stair nosing
- Slip resistance rating of stair going
- Slip resistance rating of TGSIs
- Luminous contrast of TGSIs to background floor finish
- Luminous contrast of stair nosing to going.
- Luminous contrast of Visual Indicators installed to full height glazing.
- Luminous contrast at doorways
- Installation of wall strengthening to locations where grabrails are installed.
- Setout of Accessible WCs to the requirements of Clause 15 of AS1428.1:2021
- Setout of Ambulant WCs to the requirements of Clause 16 of AS1428.1:2021
- Certification of hearing augmentation systems installed to the provisions of NCC Clause D4D8 and AS1428.5:2021.
- Certification that the Statutory Braille Tactile signage is designed and installed to NCC Clause D4D7, NCC Specification 15 and Section 5 of AS1428.5:2010 where hearing augmentation is installed.
- Detailing of handrails to ramps and stairs to the provisions of Clause 10, 11 & 12 of AS1428.1:2021
- Line marking of any accessible parking spaces to be to Section 3 of AS2890.6:2009.
- Gradients of kerb ramps to be not more than 1:8
- Gradients of ramps to be between 1:14 and 1:20
- Gradients of walkways to be shallower than 1:20
- Certification of force to operate doors other than fire or smoke doors fitted with door closers to be not more than 20N force
- Setout of door release buttons
- Location of switches to be not closer than 500mm to an internal corner

2. STATUTORY FRAMEWORK

The legislation addressing accessibility is documented in the following Act, Code and Standards:



2.1. Disability Discrimination Act 1992

Section 23 of the Disability Discrimination Act 1992 states:

It is unlawful for a person to discriminate against another person on the ground of the other person's disability:

- a) *by refusing to allow the other person access to, or the use of, any premises that the public or a section of the public is entitled or allowed to enter or use (whether for payment or not); or*
- b) *in the terms or conditions on which the first-mentioned person is prepared to allow the other person access to, or the use of, any such premises; or*
- c) *in relation to the provision of means of access to such premises; or*
- d) *by refusing to allow the other person the use of any facilities in such premises that the public or a section of the public is entitled or allowed to use (whether for payment or not); or*
- e) *in the terms or conditions on which the first-mentioned person is prepared to allow the other person the use of any such facilities; or*
- f) *by requiring the other person to leave such premises or cease to use such facilities.*

The Disability Discrimination Act 1992 is complaints-based legislation and the Commissioner once having heard and assessed the level of discrimination may issue orders to rectify.

2.2. Legislative Framework (including Australian Standards referenced by NCC 2022)

- Disability Discrimination Act 1992
- Disability (Access to Premises - Buildings) Standards 2010 (DDA 1992)
- National Construction Code 2022 Amendment 2
- AS1428.1:2021 Design for access and mobility - General requirements for access - New building work
- AS1428.2:1992 Design for access and mobility - Enhanced and additional requirements - Buildings and facilities
- AS1428.4.1:2009 Design for access and mobility - Means to assist the orientation of people with vision impairment - Tactile ground surface indicators
- AS1680.2.1:2008 Interior and workplace lighting - Specific applications - Circulation spaces and other general areas
- AS1735.12:1999 Lifts, escalators and moving walks - Facilities for persons with disabilities.

- AS2890.6:2009 Parking facilities - Off-street parking for people with disabilities

2.3. Australian Standards not referenced by NCC 2022

The following Australian Standards address accessibility and may be referenced by this access report. The following Australian Standards are not referenced by National Construction Code 2019 Amend 1 or National Construction Code 2022 (yet to come into effect).

- AS1428.2:1992 Design for access and mobility - Enhanced and additional requirements - Buildings and facilities
- AS1428.4.2:2018 Means to assist the orientation of people with vision impairment - Wayfinding signs.
- AS1428.5:2021 Design for access and mobility - Communication for people who are deaf or hearing impaired.
- AS1735.12:2020 Lifts, escalators and moving walks - Facilities for persons with disabilities.
- HB198:2014 Guide to the specification and testing of slip resistance of pedestrian surfaces.

3. ACCESS REPORT

3.1. Access Report Preamble

The Access Report following has adopted the headings of the Disability (Access to Premises) Standard 2010. The Standard provides a framework for analysis and when coupled with the technical provisions of the current National Construction Code 2022 and the provisions of Australian Standards AS1428.

Australian Standards provide certainty and direction to address accessibility compliance.

3.2. General Building Access Requirement

3.2.1. Legislative references

NCC 2022	D1P1 Access for people with a disability
	D4D2 General building access requirements
	D4D3 Access to buildings
	D4D4(c) Parts of buildings to be accessible.

3.2.2. Preamble

This section discusses the general building access requirement in accordance with the building classification.

The requirements for general building access requirements are noted in the National Construction Code at Clause D4D2 and Table D4D2(b).

The development proposes 44 sole occupancy units (SOUs).

20% of the dwellings are required to be adaptable dwellings compliant to AS4299 Class C.

100% of the dwellings are required to be designed to meet the Silver LHA requirements as per Council's DCP.

3.2.3. Accessible access to common areas.

The design proposes a pedestrian entry accessway connecting Rangers Avenue to the development. The development proposes the open communal space on Level 1.

Lift access enables all residents to access the Level 1 common area.

Compliance: The provisions of NCC Performance requirement D4D2(4)(b) are satisfied by this design.

3.3. Continuous Accessible Paths of Travel

3.3.1. Legislative references

NCC 2022	D1P1 Access for people with a disability
	D1P2 Safe movement to and within a building
	D4D2 General building access requirements
	D4D3 Access to buildings
	D4D4(c) Parts of buildings to be accessible.

AS Reference: Clause 3 (Continuous Accessible Paths of Travel) of AS1428.1- 2021

3.3.2. Preamble

This section discusses Continuous Accessible Paths of Travel (CAPT) throughout the development. The requirements for Continuous Accessible Paths of Travel are noted in the National Construction Code at Clauses D1P1 and D4D3.

A continuous accessible path of travel to accessible facilities will need to be provided to enable people to 'approach the building from the road boundary' so that they can 'access work and public spaces, accommodation and facilities for personal hygiene' in accordance with the requirements of **D1P1** of the National Construction Code 2022.

The NCC Clause **D4D3(1)** identifies that

An accessway must be provided to a building required to be accessible—

- (a) from the main points of a pedestrian entry at the allotment boundary; and*
- (b) from another accessible building connected by a pedestrian link; and*
- (c) from any required accessible carparking space on the allotment.*

Compliance: The provisions of NCC Performance requirements D1P1(a)(i) and (ii) are capable of being satisfied.

3.3.3. Site

Pedestrian entry is proposed to be provided via Rangers Avenue via Lower Ground Level to the Blocks 1 & 2 of the site.

Carpark entry is proposed via Rangers Avenue connecting Lower Ground Level.

3.3.4. Lighting Levels

The lighting level along path of travels will need to achieve a minimum level of 150lx as noted at Clause 19 of AS1428.2:1992 or the minimum lighting levels noted at AS1680.

3.3.4. OC Lighting Levels – On completion of the works certification of lighting levels achieved indicating compliance with these requirements will need to be provided for the issue of the Access Installation certificate at OC.

3.3.5. Height and Width of Continual Accessible Paths of Travel

The minimum unobstructed height of a continuous accessible path of travel shall be 2000mm or 1980mm at doorways.

Unless otherwise specified (such as at doors, curved ramps and similar), the minimum unobstructed width of a continuous accessible path of travel shall be 1000 mm and the following shall not intrude into the minimum unobstructed width of a continuous accessible path of travel:

- (a) *Fixtures and fittings such as lights, awnings, windows that, when open, intrude into the circulation space, telephones, skirtings and similar objects.*
- (b) *Essential fixtures and fittings such as fire hose reels, fire extinguishers and switchboards.*
- (c) *Door handles less than 900 mm above the finished floor level.*

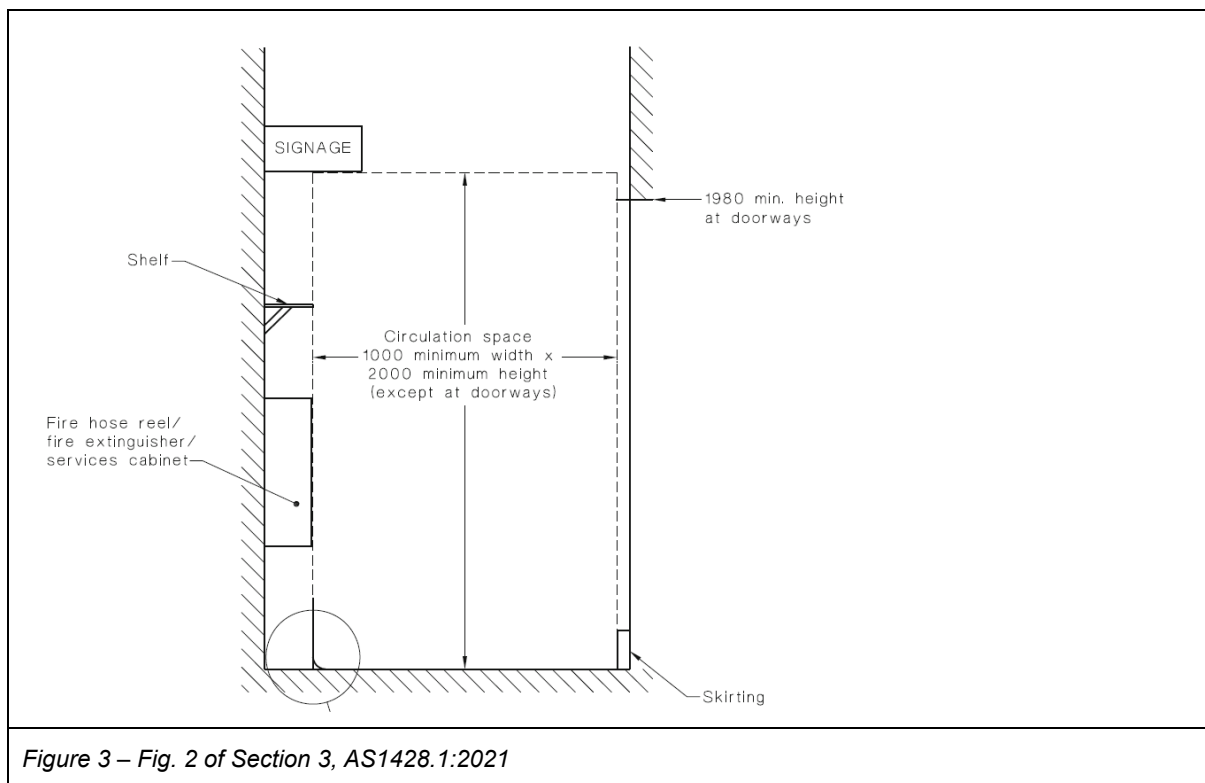


Figure 3 – Fig. 2 of Section 3, AS1428.1:2021

3.3.5. Height and width of continuous accessible path of travel- *The future documentation to be prepared for this project will need document height and width of continuous accessible path of travel as required by Clause 3.2 and Clause 3.3 of AS1428.1:2021.*

3.3.6. Circulation Zones

A minimum pathway of 1m width is required throughout all accessible areas.

The design also requires locations where a wheelchair user can make a 180deg turn (1540 x 2070mm) at corridor/pathway ends in accordance with the provisions of Fig. 5, Clause 6 of AS1428.1 2009 as well as 1500x1500 circulation zones where the path of travel changes direction.

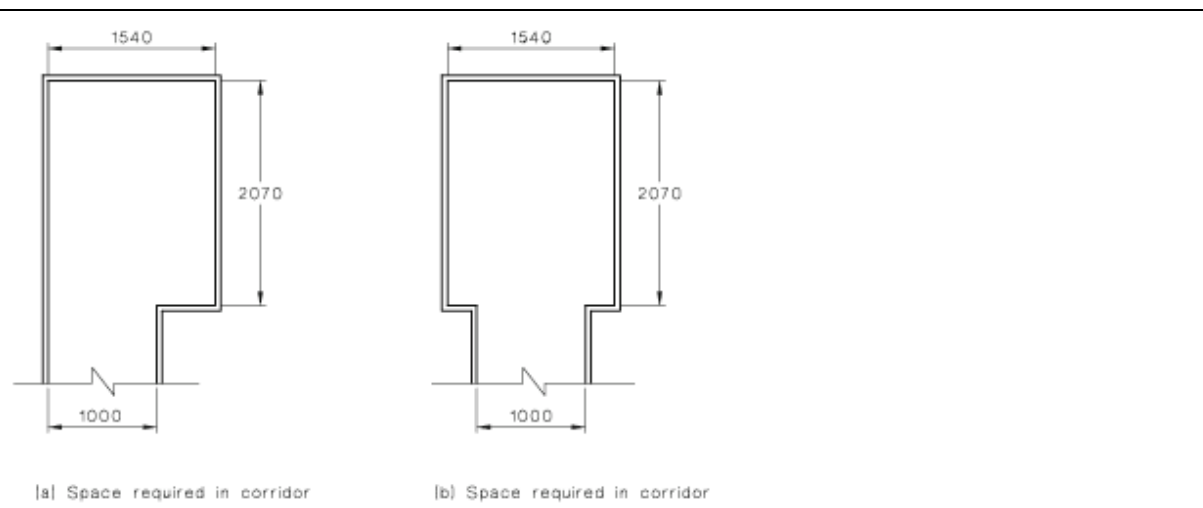


Figure 4 – Fig.3 Section 3 AS1428.1 2009

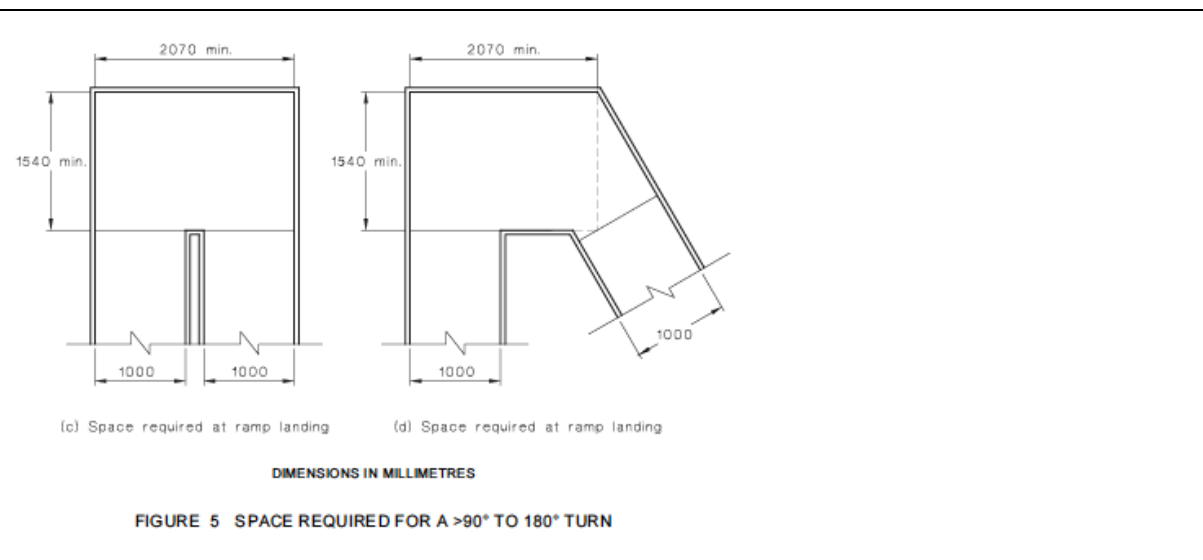


Figure 5 – Fig.5 Section 3 AS1428.1 2009

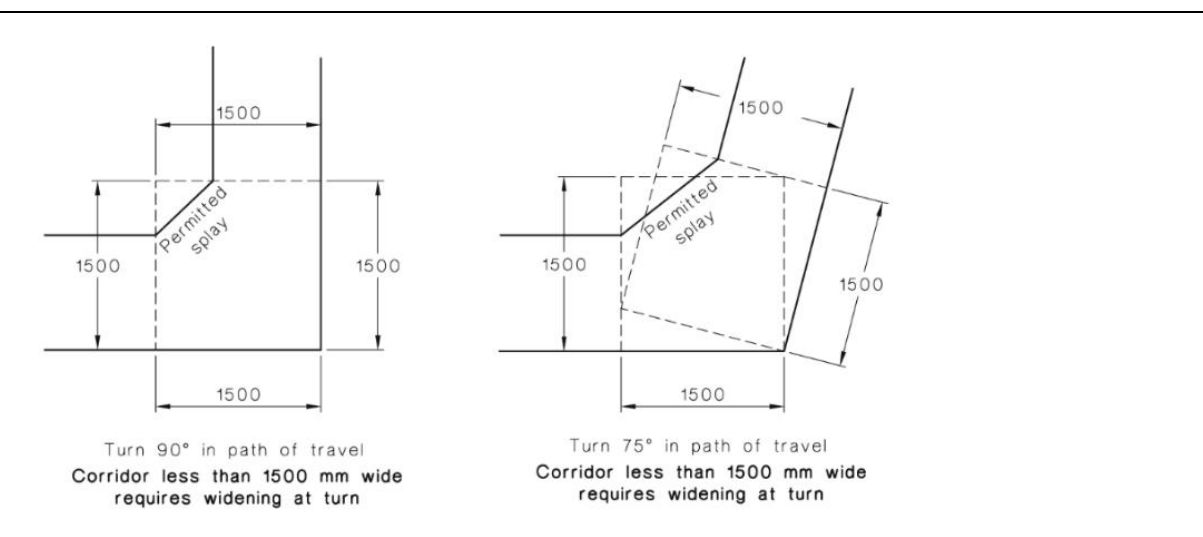


Figure 6 – Fig.4 Section 3 AS1428.1 2009

3.3.6. Wheelchair Circulation Zones - *The detailed documentation to be prepared for this project will need document any turn and circulation zones as required by Clause 3.5 of AS1428.1:2021.*

3.4. Visual Indicators on Glazing

3.4.1. Visual Indicators - Legislative references

NCC 2022 D1P1(a)(iii) Access for people with a disability
 D4D13 Glazing on an accessway.

AS Reference: Clause 3.6 (Visual Indicators on Glazing) of AS1428.1 2021

3.4.2. Visual Indicators - Assessment

The design may propose full height glazing as part of the development works.

Visual indicators will need to be applied in locations where full height glazing is provided.

Please note that these markings on the glazing are additional to the marking on glazing requirements nominated at Clause 5.19 of AS1288:2021 (Referenced by NCC 2022)

3.4.3. Visual Indicators - Informational

Where full height glazing is proposed, visual indicators will need to be fixed to the glazing in accordance with Clause 3.6 of AS1428.1:2021:

Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights, including any glazing capable of being mistaken for a doorway or opening, shall be clearly marked for their full width with a solid and non-transparent contrasting line. The contrasting line shall be not less than 75 mm wide and shall extend across the full width of the glazing panel. The lower edge of the contrasting line shall be located between 900 mm and 1000 mm above the plane of the finished floor level.

Any contrasting line on the glazing shall provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 m of the glazing on the opposite side.

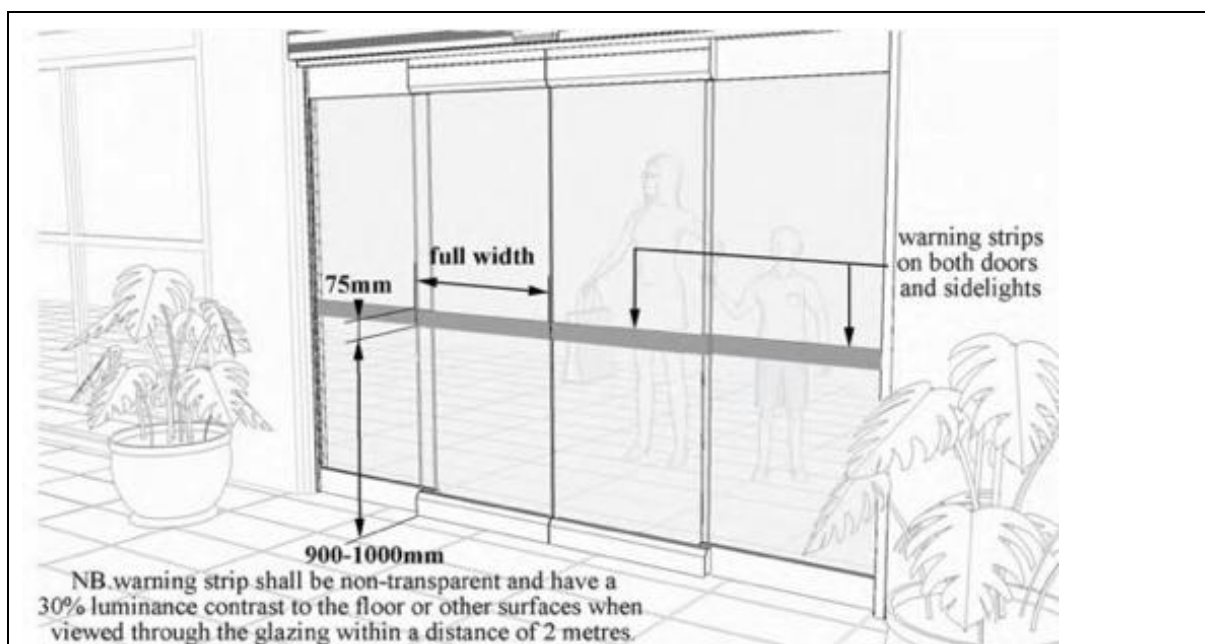
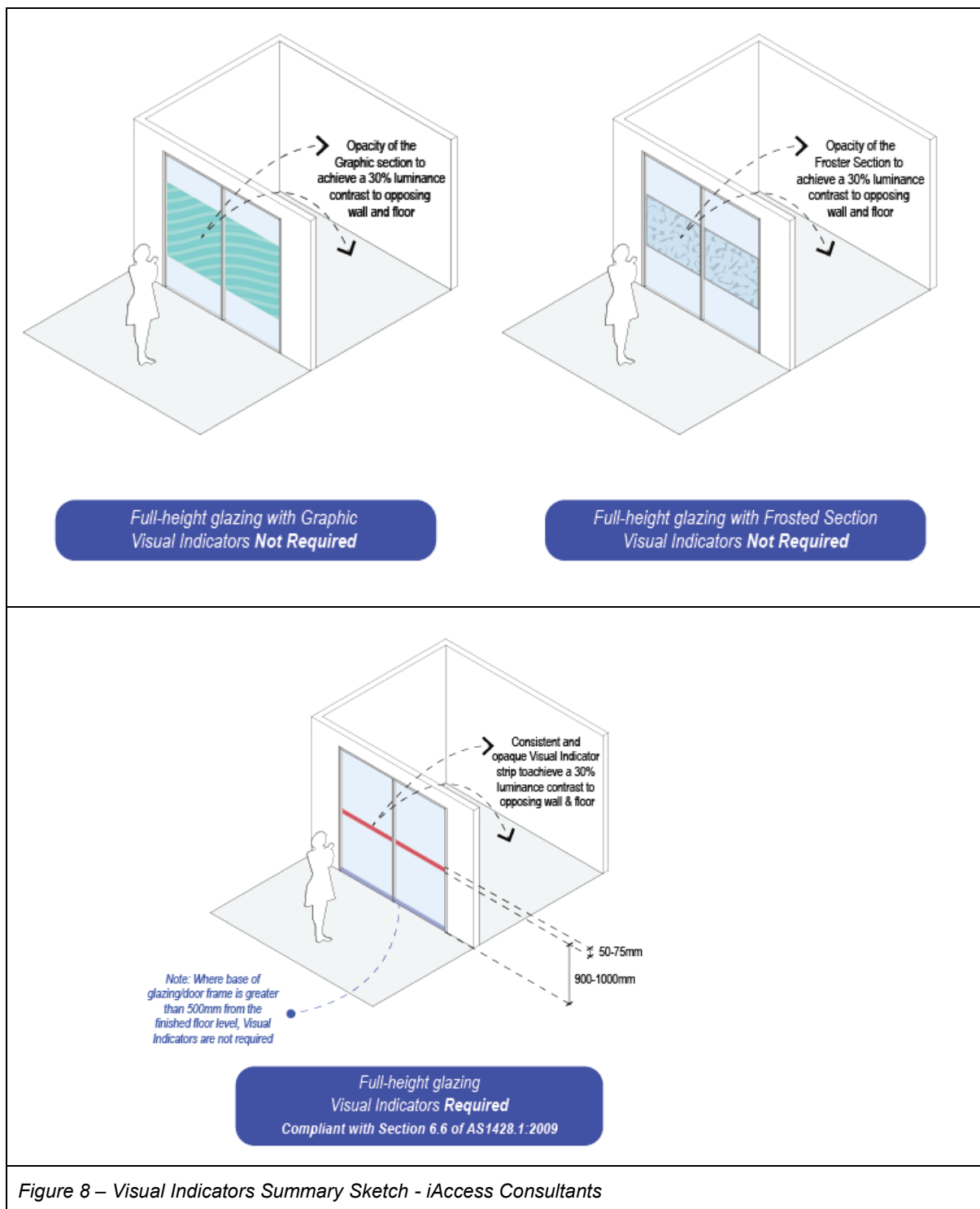


Figure 7 – Diag.4 DE-IG02 2013



3.4. Visual Indicators - On completion of the works certification will need to be provided for the issue of the OC Access Installation Certificate, indicating that visual indicators have been applied to full height glazing in accordance with the requirements of Clause 3.6 of AS1428.1:2021.

3.5. Floor or Ground Surfaces

3.5.1. Floor or Ground Surfaces - Legislative references

NCC 2022	D1P1(a)(iii) Access for people with a disability D1P2 Safe movement to and within a building D3D15(a) Landings Table D3D15: Slip-resistance classification
AS Reference:	Clause 4 of AS1428.1:2021 HB198:2014 (slip resistance)

3.5.2. Slip Resistance - Informational

The slip resistance of the floor finishes will need to satisfy the minimum requirements of NCC Table D3D15 and the slip resistance ratings noted within HB198.

Certification indicating compliance with the slip resistance provisions will need to be provided from the respective flooring suppliers.

The table following summarises the minimum slip resistance levels of flooring materials to be achieved within this development.

Location	NCC Table D3D15	HB198	Criterion Satisfied
Ramp steeper than 1:20 but not steeper than 1:14	Dry P3/R10 – Wet P4/R11		Additional Information to be provided
Tread or landing surface	Dry P3/R10 – Wet P4/R11	Dry P3/R10 – Wet P4/R11	Additional Information to be provided
Nosing	Dry P3 – Wet P4	Dry P3 – Wet P4	Additional Information to be provided
Transition Areas		P2/R9	Additional Information to be provided
External ramps including sloping driveways, footpaths, etc., under 1:14, external sales areas (e.g. markets), external carpark areas, external colonnades, walkways, pedestrian crossings, balconies, verandas, carports, driveways, courtyards and roof decks		P4/R11	Additional Information to be provided
External Ramps (including sloping driveways, footpaths etc.) steeper than 1 in 14		P5/R12	Not Applicable
Wet area / sanitary facilities		P3/R10	Additional Information to be provided

3.5.2. Slip Resistance - floor and ground surfaces – On completion of the works certification is to be provided by the contractors indicating the slip resistance of the flooring materials installed. This information is required for the issue of the access installation certificate required for the issue of the Occupation Certificate.

3.5.3. Carpets and other soft flexible materials

The finishes schedule may propose carpet finishes within this development.

It will be necessary that the specification and application of the carpet satisfy the provisions of Section 4.3.1 of AS1428.1-2021 which states:

Where carpets or any soft flexible materials are used on the ground or floor surface —

- (a) *the pile height or pile thickness shall not exceed 11 mm and the carpet backing thickness shall not exceed 4 mm; and*
- (b) *the carpet pile height or pile thickness dimension, carpet backing thickness dimension and the combined dimensions shall be a maximum of 11 mm, maximum of 4 mm and a maximum of 15 mm respectively.*

Abutting floor coverings shall have a smooth transition. At the leading edge, carpet trim and mat edges shall have a vertical face no higher than 3 mm, or a rounded or bevelled edge no higher than 5 mm or above that height a gradient of 1:4 up to a maximum of 10 mm.

A range of trims are available, such as curved metal covers, cap vinyl covers, small and larger threshold trims, flat metal covers, metal edge trims, smooth edge trims, plank ramp and the like.

This clause also applies to mats, rugs and temporary matting/rugs on other floor finishes.

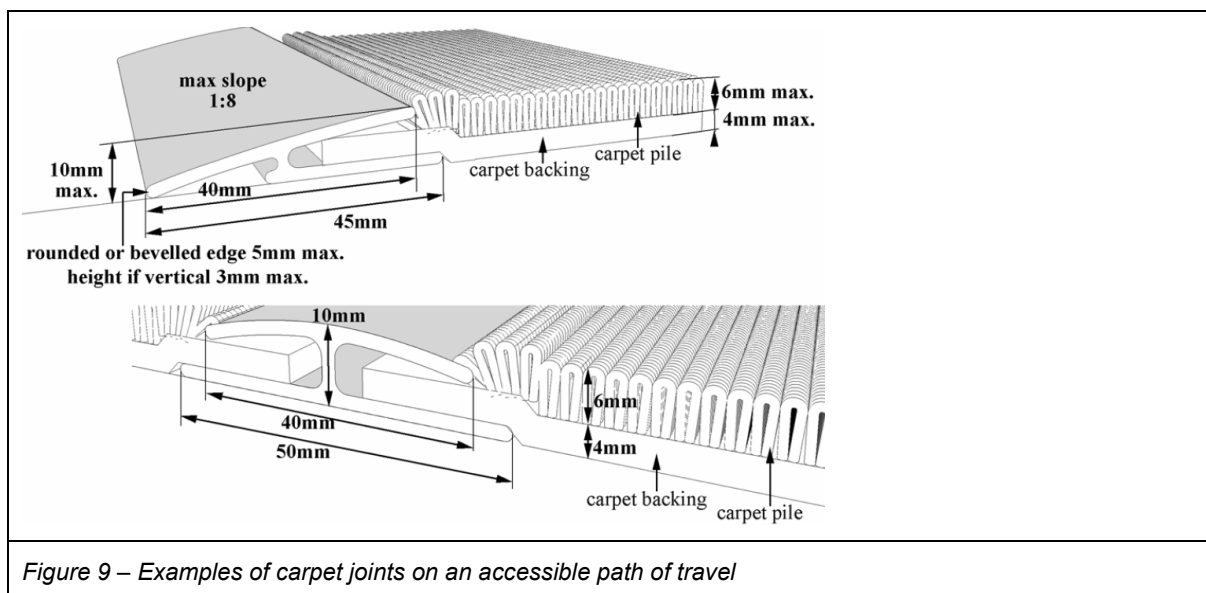
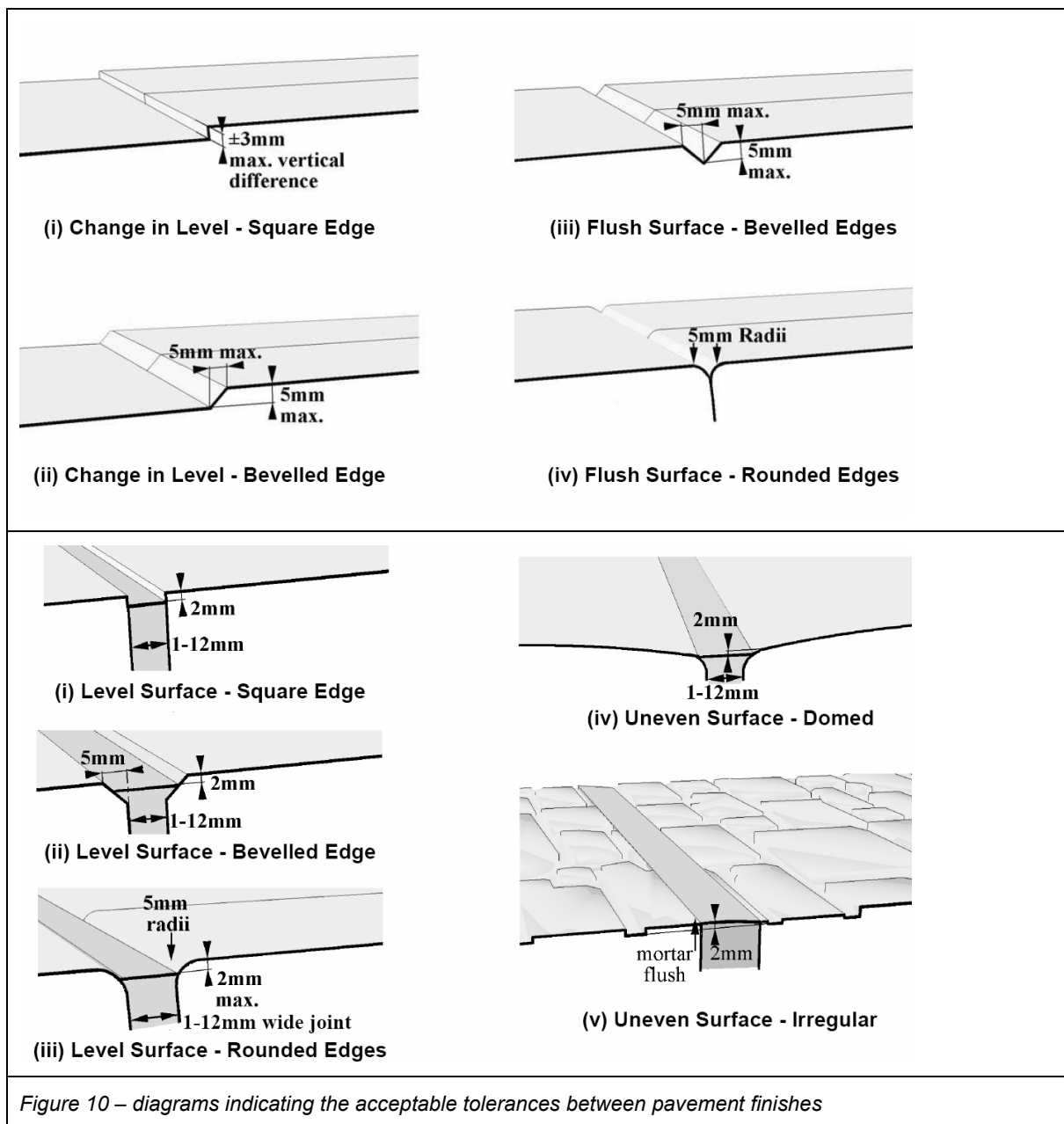


Figure 9 – Examples of carpet joints on an accessible path of travel

3.5.3. Carpet – On completion of the works certification is to be provided by the carpet contractor that the specified carpet has been installed and that the provisions of Clause 4.3.1 of AS1428.1:2021 have been satisfied.

3.5.4. Floor transitions

Transitions between floor finishes will need to comply with Clause 4.2 of AS1428.1:2021.



3.5.4. Floor transitions – The future documentation to be prepared for this project will need to detail the various floor finishes and their respective junctions and transition

3.5.5. Grated Drains

Any grated drains located on any paths of travel will need to be fitted with compliant heel guard grates (Clause 4.5).

4.5 Grates

Grates shall comply with the following:

- (a) Circular openings shall be not greater than 13 mm in diameter.
- (b) Slotted openings shall be not greater than 13 mm wide and be oriented so that the long dimension is transverse to the dominant direction of travel.

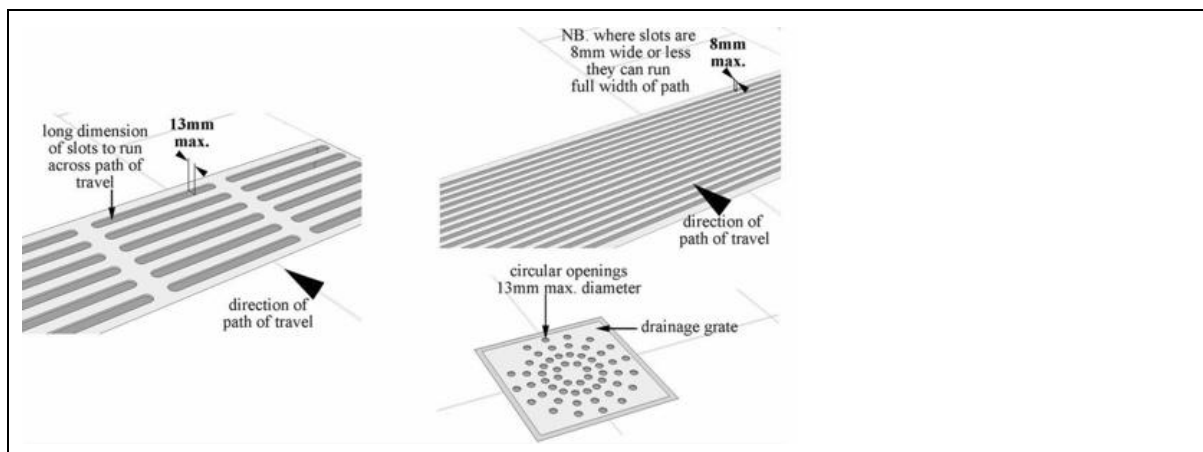


Figure 11 –Diag.7 DE-IG02 2013 – example of heel guard grates

3.5.5. Grated drains – The future documentation to be prepared for this project will need to specify the heel guard grate to be installed.

3.6. Statutory Braille Tactile Signage

3.6.1. Legislative references

NCC 2022	D1P1(a)(iii) Access for people with a disability Clause D3D26(2)(b) Operation of latch Clause D4D7 Signage Specification 15 Braille Tactile Signs
AS Reference:	Clause 5 – Signage, AS1428.1 2021 Design for access and mobility - Means to assist the orientation of people with vision impairment. Clause 16 – Symbols, AS1428.4.2 1992 Design for access and mobility - Enhanced and additional requirements - Buildings and facilities Clause 17 – Signs, AS1428.2 1992 Design for access and mobility - Enhanced and additional requirements - Buildings and facilities AS1428.4.2:2018 Design for access and mobility – Wayfinding

3.6.2. Braille Tactile Signage - Preamble

The NCC nominates the statutory requirements for Braille Tactile signage. Braille Tactile signs are to be provided in the following locations:

- WC locations
- Exits
- Locations where hearing augmentation is provided.
- Directional information to accessible entrances.
- Push to Exit locations.

3.6.3. Statutory Signage Requirements to be satisfied

NCC Section **D4D7 Signage** states:

In a building required to be accessible—

- (a) *braille and tactile signage complying with **Specification 15** must—*
 - (i) *incorporate the international symbol of access or deafness, as appropriate, in accordance with AS 1428.1 and identify each—*
 - (A) *sanitary facility, except a sanitary facility within a sole-occupancy unit in a Class 1b or Class 3 building; and*
 - (B) *space with a hearing augmentation system; and*
 - (ii) *identify each door required by E4.5 to be provided with an exit sign and state—*
 - (A) **"Exit"**; and
 - (B) **"Level"**; and either
 - (aa) *the floor level number; or*
 - (bb) *a floor level descriptor; or*
 - (cc) *a combination of (aa) and (bb); and*

- (b) *signage including the international symbol for deafness in accordance with AS 1428.1 must be provided within a room containing a hearing augmentation system identifying—*
 - (i) *the type of hearing augmentation; and*
 - (ii) *the area covered within the room; and*
 - (iii) *if receivers are being used and where the receivers can be obtained; and*
- (c) *signage in accordance with AS 1428.1 must be provided for accessible unisex sanitary facilities to identify if the facility is suitable for left or right-handed use; and*
- (d) *signage to identify an ambulant accessible sanitary facility in accordance with AS 1428.1 must be located on the door of the facility; and*
- (e) *where a pedestrian entrance is not accessible, directional signage incorporating the international symbol of access, in accordance with AS 1428.1 must be provided to direct a person to the location of the nearest accessible pedestrian entrance; and*
- (f) *where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility, directional signage incorporating the international symbol of access in accordance with AS 1428.1 must be placed at the location of the sanitary facilities that are not accessible, to direct a person to the location of the nearest accessible unisex sanitary facility.*

3.6.4. Braille Tactile Exit Signage

Braille tactile Exit signage will need to be provided at each level of the building associated with the fire egress door and at horizontal exits between fire compartments.

Examples of Braille Tactile Signage include:



(Figure 12 – Examples of Braille Tactile Signage from www.brailletactilesigns.com.au)

3.6.4. Statutory Braille Tactile Exit Signage – The detailed documentation will need to document the braille tactile exit signage to be installed.

3.6.5. Mounting Heights – General signs

The mounting heights of signage will need to incorporate the viewing zones as identified in AS1428.2:1992.

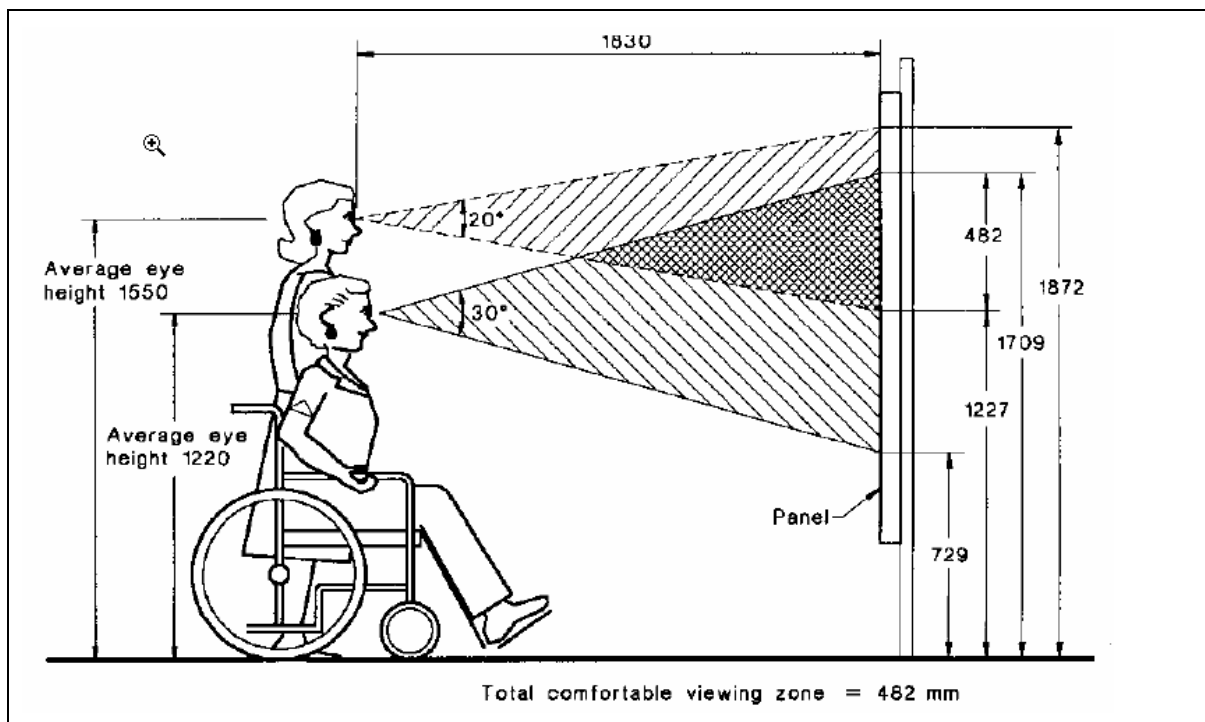


Figure 13 – Extract from Australian Standard indicating acceptable view range for signage

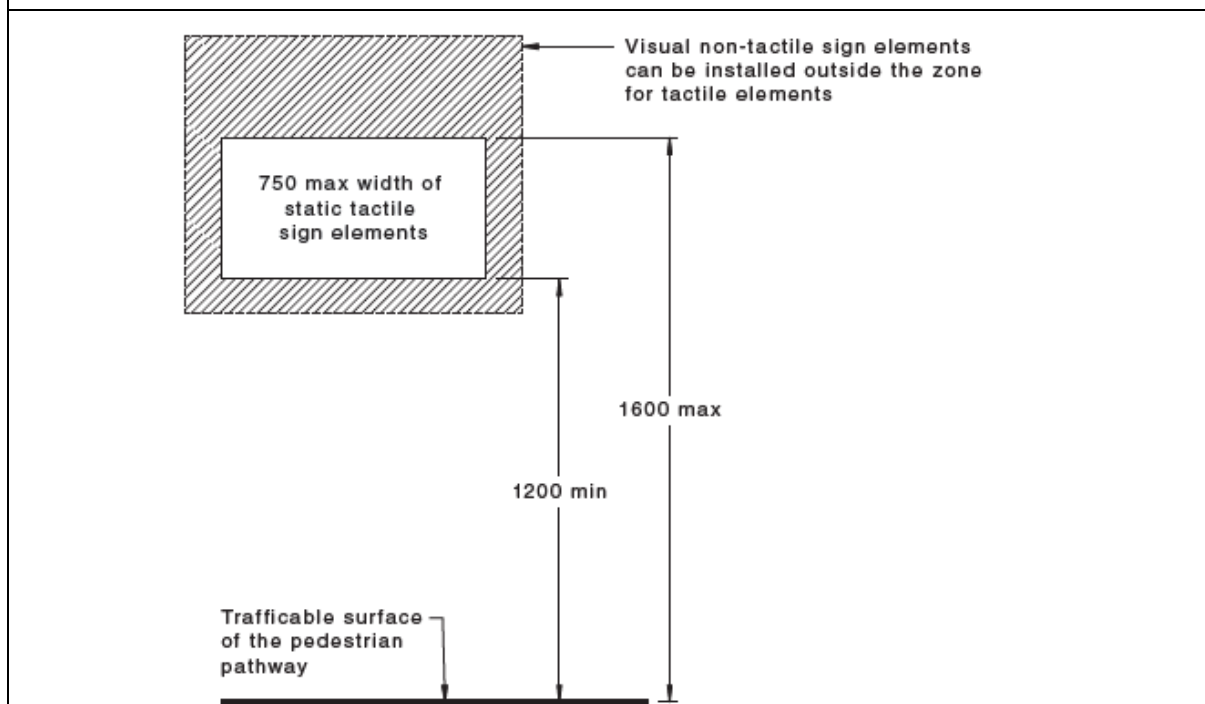


Figure 4.2.1(B) — Installation requirements for static vertically mounted tactile and braille sign elements — Elevation

Figure 14 – Extract from AS1428.4.2:2018

3.6.6. Luminance & Colour Contrast

Signs should be matt in colour, instead of a gloss finish to avoid any glare.

The minimum recommended luminance contrast for lettering on signage to the sign background is 30%.

The minimum recommended luminance contrast of a sign to its context is 30%.

This can be achieved by the sign field colour achieving a 30% luminous contrast with the wall surface the sign is mounted on **or** by providing a 5mm black border to the sign as per the following examples.



3.6.6 Luminance & Colour Contrast - Details of the braille tactile WC signage is to be provided for review as part of the detailed future documentation to be prepared for this project. **Please note that aluminium signs on a white wall will not achieve compliance.**

3.6.7. Push to release door locations.

The design may include door release by way of push buttons.

NCC Clause D3D26(2)(b) states:

Where the latch operation device referred to in (1)(b) is not located on the door leaf itself braille and tactile signage complying with S15C3 and S15C6 must identify the latch operation device.

The following are examples of sign types for this instance.



3.6.7 Braille Tactile Press to Exit Signage - Details of the braille tactile 'Press to Exit' signage to be installed will need to be provided for review as part of the detailed future documentation to be prepared for this project. Specific attention is directed to the font type, size of lettering and the selection of a field colour of the sign which will achieve a 30% luminance contrast with the wall or door the sign is installed on.

3.6.8. Locations of Braille Tactile door signs

The following sketches have been prepared to indicate the preferred installation locations for the placement of Braille Tactile signs.

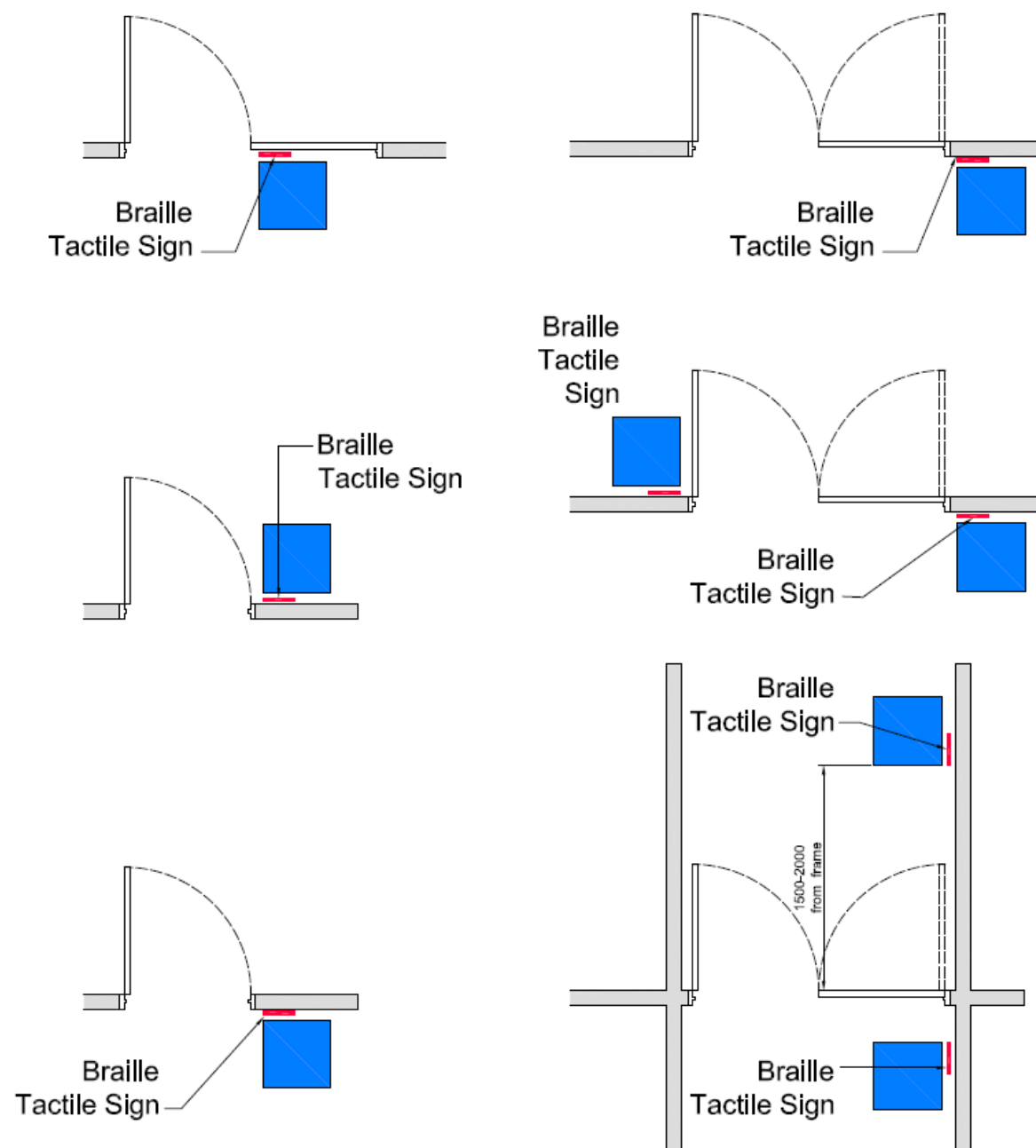


Figure 15 – Possible locations of Braille tactile signage in relation to door setouts

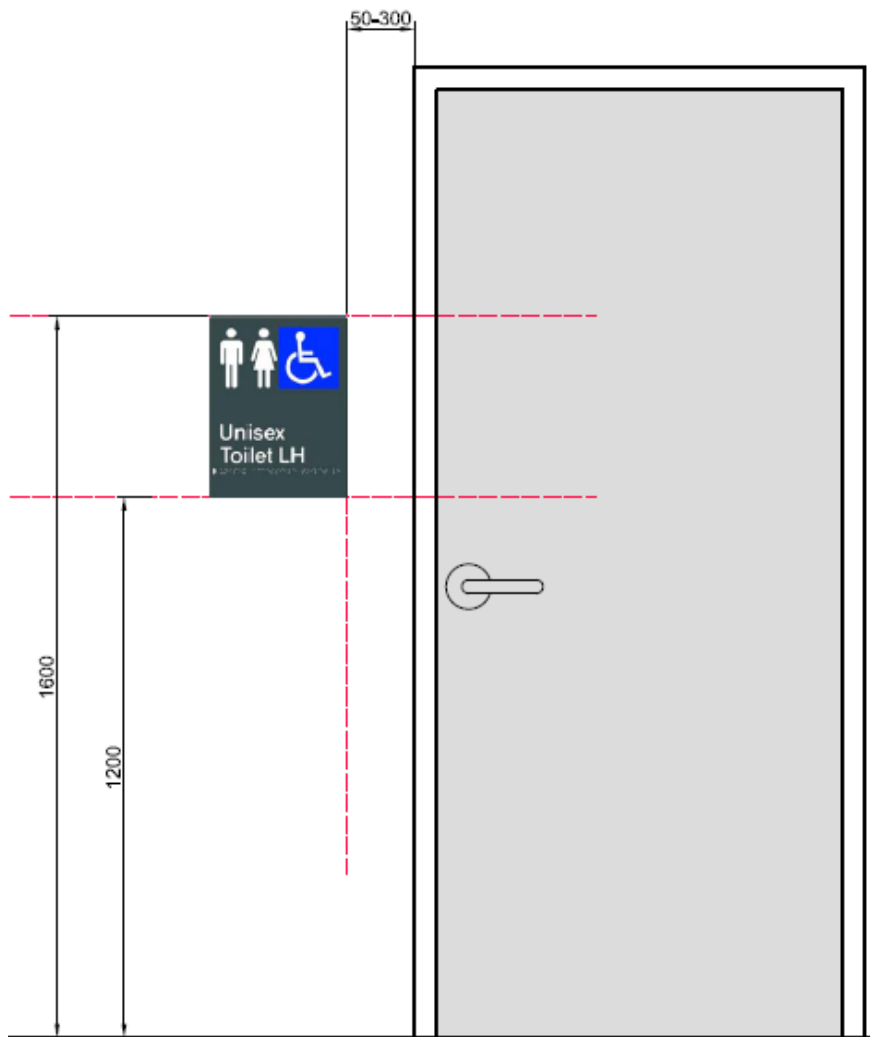


Figure 16 – Elevation setout of Braille Tactile signs adjacent to doors

3.7. Tactile Indicators (TGSIs)

3.7.1. Legislative references

NCC 2022 D1P1(a)(iii) Access for people with a disability
Clause D4D9 Tactile Indicators

AS Reference: Clause 6 (Tactile Ground Surface Indicators (TGSIs) of AS1428.1 2021
AS 1428.4.1 2009 Design for access and mobility - Means to assist the orientation of people with vision impairment.

3.7.2. TGSIs – Overview

Where stairs are provided as part of this development TGSIs will need to be provided at the top and bottom of the stair flight in accordance with the requirements of AS1428.4.1:2009.

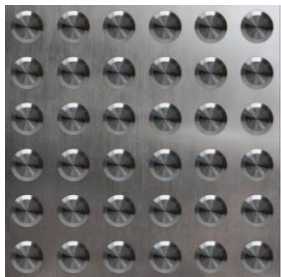
TGSIs will be required to the stairs connecting all levels.

TGSIs are not required at the mid landings of the stairways with continuous handrails.

3.7.3. TGSIs – Luminance Contrast

Clause 2.2 of AS1428.4.1:2009 requires that luminance contrast be provided between the TGSIs and the adjacent base as follows:

- (i) *Where the integrated TGSIs are of the same colour as the underlying surface—not less than 30% across its entire area.*
- (ii) *Where discrete TGSIs—not less than 45%.*
- (iii) *Where discrete TGSIs are constructed using two colours or materials, the raised surface shall have a section that has 60% luminance contrast for a diameter of 25 ±1 mm.*

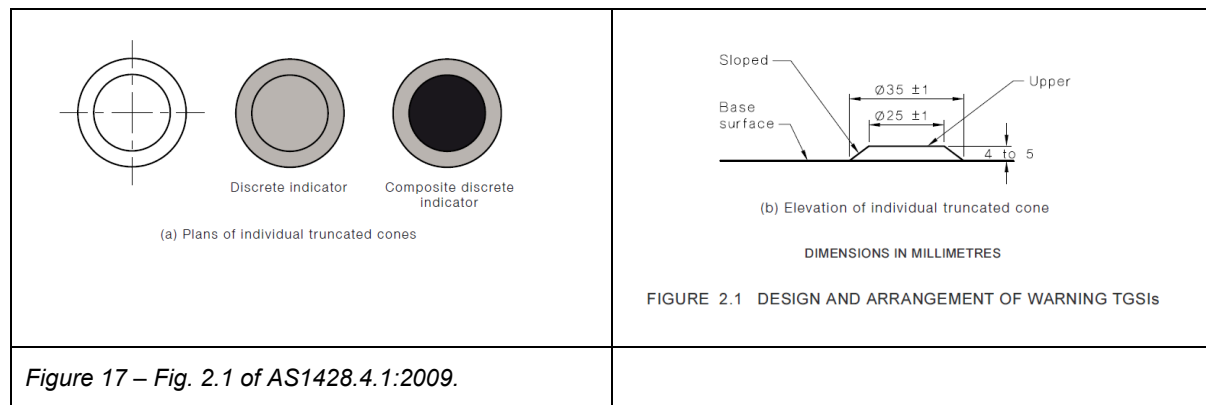
		
<i>The above integrated TGSIs format requires 30% luminous contrast to adjacent floor finish</i>	<i>The above discrete TGSIs format requires 45% luminous contrast to adjacent floor finish</i>	<i>The above two colour/material discrete TGSIs format requires 60% luminous contrast to adjacent floor finish</i>

3.7.3 TGSIs – Luminance Contrast – *The specification of the TGSIs to be installed is to be provided for review as part of the detailed future documentation to be prepared for this project. The TGSIs specification will need to address compliance with the luminance contrast and slip resistance requirements for TGSIs.*

3.7.4. TGSIs – Requirements to be satisfied

TGSIs to warn people of hazards shall comply with AS/NZS 1428.4.1.

The design and arrangement of warning tactile ground surface indicators (TGSIs) shall comply with Figure 2.1 of AS1428.4.1:2009.



3.7.4. TGSIs – Requirements to be satisfied - The selection of TGSIs will need to satisfy the requirements of NCC Clause D4D9 and the provisions of AS1428.4.1:2009. The TGSI documentation prepared as part of the detailed documentation will need to demonstrate compliance.

3.7.5. Warning TGSIs – Requirements to be satisfied

Warning indicators shall be installed as follows:

- (a) For the full width of the path of travel.
- (b) Perpendicular to the direction of travel when approaching the hazard.
- (c) Set back 300 +/- 10 mm from the edge of the hazard
- (d) Where integrated warning TGSIs are used, they shall be arranged according to Figures 2.1(c), over the required area [see Figures 2.2(A), 2.2(B), 2.3(A), 2.3(B), 2.4, 2.5(A), 2.5(B), 2.6(A) and 2.6(B)].
- (e) Where integrated warning TGSIs need to be detected by a person approaching at an angle to the continuous accessible path of travel, the TGSIs shall be arranged as shown in Figure 2.1, over a minimum depth of 600 mm to 800 mm from the direction of approach.
- (f) Where discrete warning TGSIs are used over a depth of 300 mm to 400 mm, the arrangement shall be as shown in Figure 2.1 with a minimum of 6 discrete truncated cones in the direction of travel.
- (g) Where discrete warning TGSIs need to be detected by a person approaching at an angle to the continuous accessible path of travel, the TGSIs shall be arranged as shown in Figure 2.1 with a minimum of 12 discrete truncated cones in the direction of travel.

Refer to AS1428.4.1:2009 for detailed information as to the specific placement of TGSIs for varying stairway and ramp configurations.

3.7.6. Setout of TGSIs associated with Stairs

TGSIs to warn people of hazards shall comply with AS/NZS 1428.4.1. TGSIs are to be provided to stairways which are not fire isolated stairways. These stairways are general access stairs and are available for use by all. TGSIs are not required to be installed within fire isolated stairs unless the fire isolated stair also functions as a general circulation stair

TGSIs are setout from the face of the riser at the top and bottom of the stair. The first row of TGSIs is located 300mm from the face of the riser. The depth of the TGSIs is generally 600-800mm where length of the landing is greater than 3m. Where the length of the landing is less than 3m the depth of the TGSIs is reduced to 300mm.

TGSIs are not located at mid landings where no additional population is address to the stair system.

3.7.6. Setout of TGSIs associated with Stairs – Detailed TGSi setout plans will need to be prepared as part of the detailed construction documentation to be prepared for this project. The details will need to indicate the setout of the TGSIs from the face of risers and the nominated depth of TGSIs depending on the landing length.

3.8. Stairways

3.8.1. Stairways - Legislative references

NCC 2022 D1P1(a)(iii) Access for people with a disability
 D1P2(c) Safe movement to and within a building
 D4D4(a)(i) Parts of buildings to be accessible.
 Table D3D15 Slip Resistance Classification

AS Reference: Clause 8 Stairways AS1428.1:2021

3.8.2. Stairs

The design proposes multiple sets of stairways within this development.

3.8.3. Fire Stairs

The detailing of fire stairs will need to satisfy the requirements of Clauses 8.1 (f) & (g) of AS1428.1:2021.

Specific attention is directed to the following:

- f) *At the nosing, each tread shall have a strip not less than 50 mm and not more than 75 mm deep across the full width of the path of travel. The strip may be set back a maximum of 15 mm from the front of the nosing. The strip shall have a minimum luminance contrast of 30% to the background. Where the luminous contrasting strip is affixed to the surface of the tread, any change in level shall comply with Clause 7.2 and Clause 7.3.*
- g) *Where the luminance contrasting strip is not set back from the front of the nosing then any area of luminance contrast shall not extend down the riser more than 10 mm*

The detailing of the handrail provided within the fire stairs will need to satisfy the provisions of Clause 8.2(c) which requires that there be no vertical sections in the handrail design and that the handrail follow the angle of the stairway nosing.

The details of the handrail design will need to be provided as part of the Construction Certificate documentation.

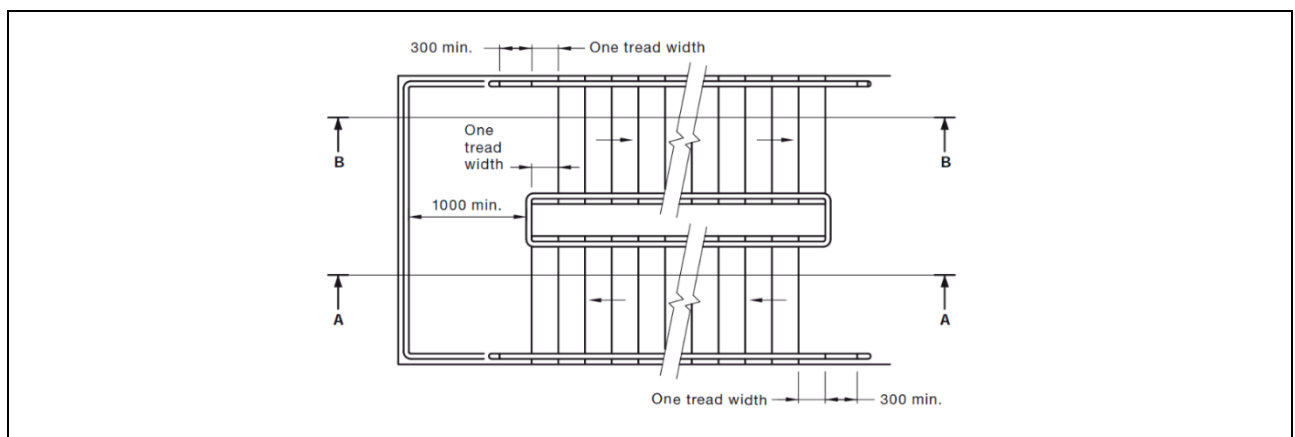


Figure 18 – Fig. 28 of AS1428.1:2021

Appropriate exit Braille Tactile Signage is required. Refer to the 'Signage' section of this access report.

3.8.4. Circulation Stairs

The circulation stairs will need to comply with the provisions noted at Clause 8 and 9 of AS1428.1:2021.

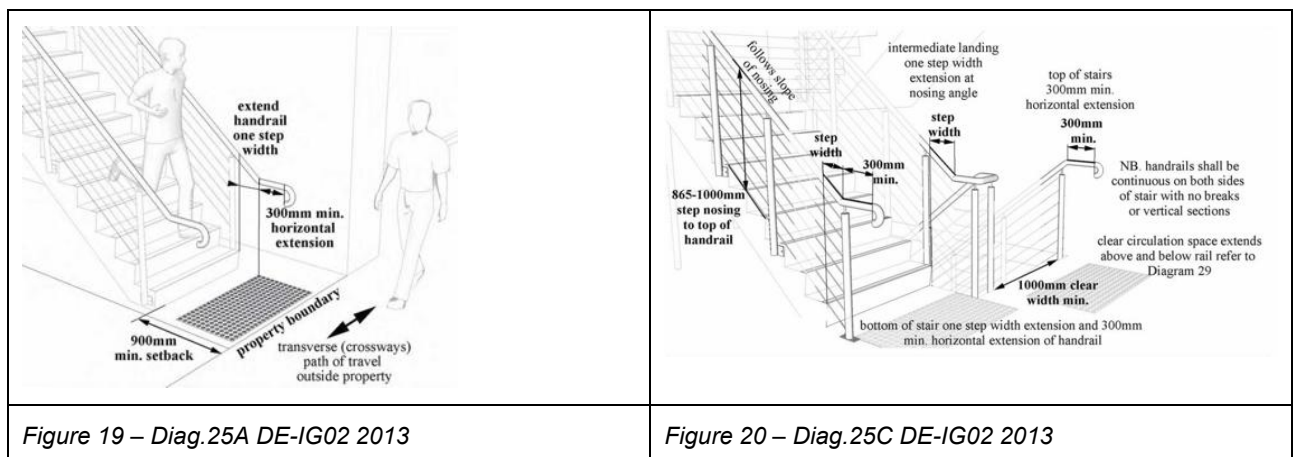
Specific attention is directed to the following:

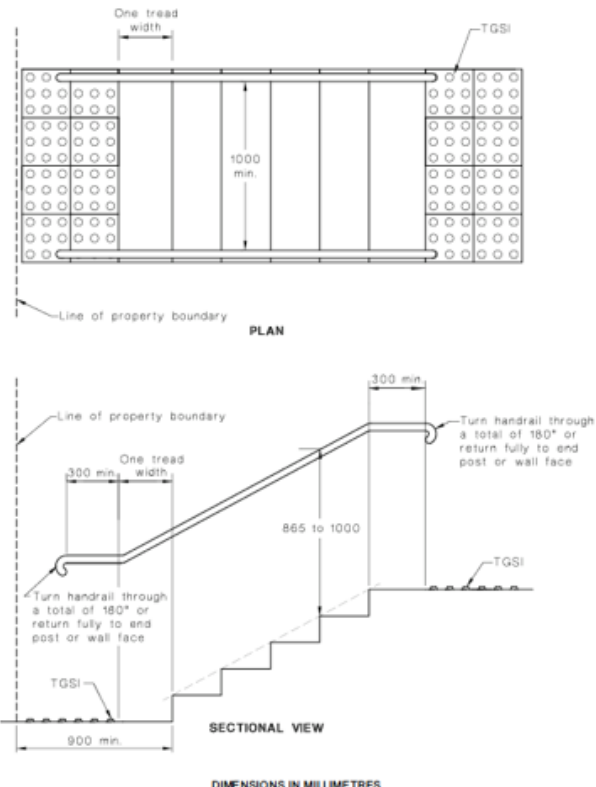
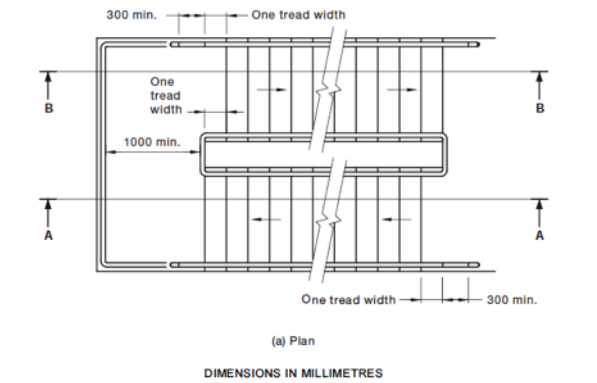
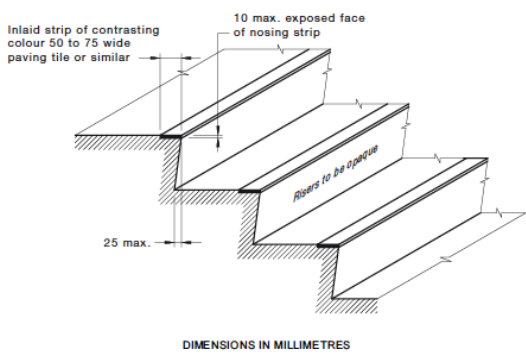
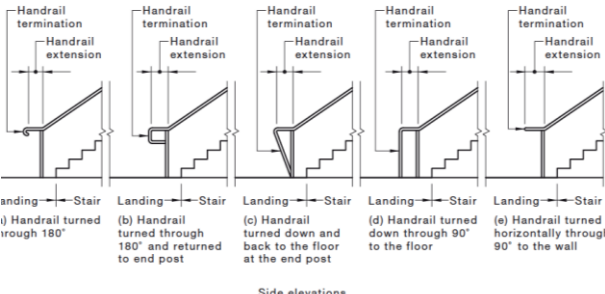
- Compliant handrail designs
- Compliant handrail extensions to the top and bottom of each flight
- Non-slip finish to going (Refer to NCC Table D3D15)
- Non-slip 50-75 nosing fixed to each going
- Opaque risers
- Compliant TGSIs located at the top and bottom of each flight. TGSIs are not required at mid-landings where no additional pedestrians are added to the stair system

Note: TGSIs shall be 600mm in width (or 300mm wide where the stair is closer than 3m to an adjacent wall.)

- Minimum lighting level of 150 lx to be achieved

The following extract Figures below highlight the main features of a compliant stair design.



 Figure 26(A) STAIRWAY LOCATION AND HANDRAIL EXTENSIONS AT BOUNDARY	 Figure 28 (in part) HANDRAILS TO STAIRS WITH INTERMEDIATE LANDINGS
Figure 21 – Fig.26A Section 11 AS1428.1 2009  Figure 27(B) A TYPICAL STAIR NOSING PROFILE WITH EXPOSED NOSING STRIP	Figure 22 – Fig.28 Section 11 AS1428.1 2009  Figure 24 – Fig.26C Section 11 AS1428.1 2009

3.8.5. Stair nosing

The stair nosing are to meet the following performance requirements:

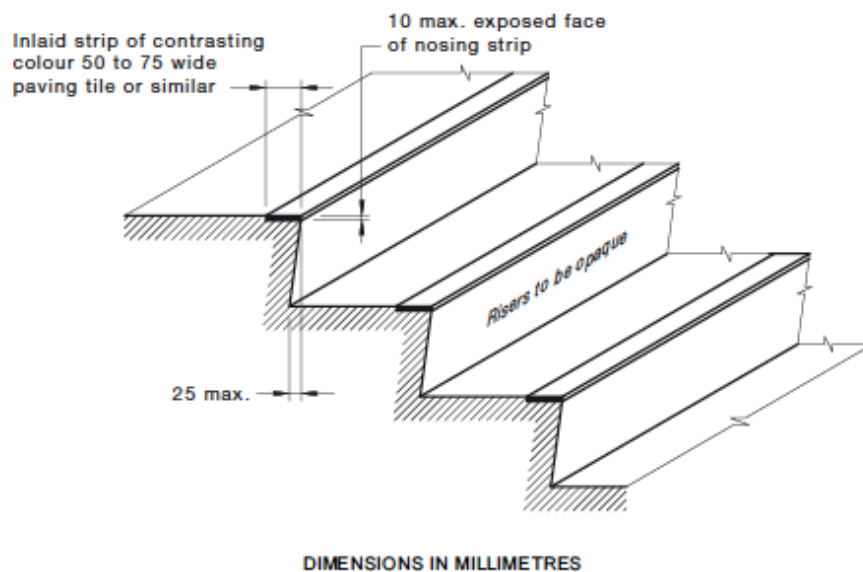
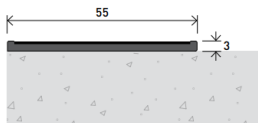
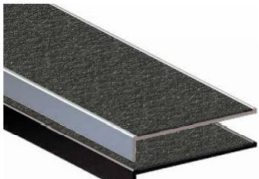
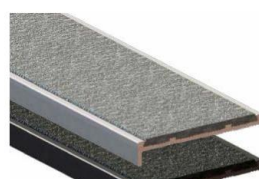
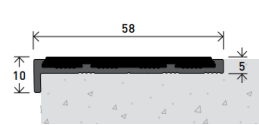
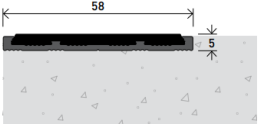


FIGURE 27(B) A TYPICAL STAIR NOSING PROFILE WITH EXPOSED NOSING STRIP

Examples of compliant nosing include:

 NCC COMPLIANT P5 GRIP PEMKO® SUEDE EDGING 50X3 PRODUCT CODES: NATURAL ANODISED DE0500C Slip resistant insert BLACK ANODISED DE0500B Slip resistant insert 	 NCC COMPLIANT P5 GRIP PEMKO® SUEDE EDGING 10X50X3 PRODUCT CODES: NATURAL ANODISED DE0510C Slip resistant insert BLACK ANODISED DE0510B Slip resistant insert 	 NCC COMPLIANT P5 GRIP PEMKO® URBAN EDGING 10X58X5 PRODUCT CODES: NATURAL ANODISED DE0680C Grey silicon carbide infill BLACK ANODISED DE0680B Black silicon carbide infill 	 NCC COMPLIANT P5 GRIP PEMKO® URBAN EDGING 58X5 PRODUCT CODES: NATURAL ANODISED DE0690C Grey silicon carbide infill BLACK ANODISED DE0690B Black silicon carbide infill 
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3.8.1. Stairs - Stair details and handrail drawings will need to be provided as part of the detailed construction documentation to be prepared for this project. Shop drawings of the proposed stairs and associated handrails will need to be prepared and submitted for review.

3.9. Handrails

3.9.1. Handrails - Legislative references

NCC 2022	D1P2(c)(ii) Safe movement to and within a building
	D1P2(c)(v) Safe movement to and within a building
	D4D4(a) Parts of buildings to be accessible.
AS Reference:	Clause 9 Handrails AS1428.1:2021

3.9.2. Handrails - Requirements

The design and construction of handrails shall comply with the following:

- (a) *Handrails and balustrades shall not encroach into required circulation spaces.*
- (b) *The cross-section of handrails shall be circular or elliptical, not less than 30 mm or greater than 50 mm in height or width for not less than 270° around the uppermost surface as shown in Figures 29(a) and 29(b). Elliptical handrails shall have the greater dimension in the horizontal axis as shown in Figure 29(b).*
- (c) *Exposed edges at ends and corners of handrails shall have a radius of not less than 5 mm.*
- (d) *The top of handrails shall be not less than 865 mm nor more than 1000 mm above the nosing of stairway tread or the plane of the finished floor of the walkway, ramp or landing.*
- (e) *The height of the top of the handrail, measured in accordance with Item (d), shall be consistent through the ramp (or stairs) and any landings.*
- (f) *If a balustrade is required at a height greater than the handrail, both shall be provided.*
- (g) *Handrails shall be securely fixed and rigid, and their ends shall be turned through a total of 180°, or to the ground, or returned fully to end post or wall face*
- (h) *The clearance between a handrail and an adjacent wall surface or other obstruction shall be not less than 50 mm. This clearance shall extend above the top of the handrail by not less than 600 mm.*
- (i) *Handrails shall have no obstruction to the passage of a hand along the rail*
- (j) *The inside handrail at landings shall always be continuous.*

3.9 Handrails - The detailed documentation will need to demonstrate compliance with these requirements.
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3.10. Doorways

3.10.1. Doorways Legislative references

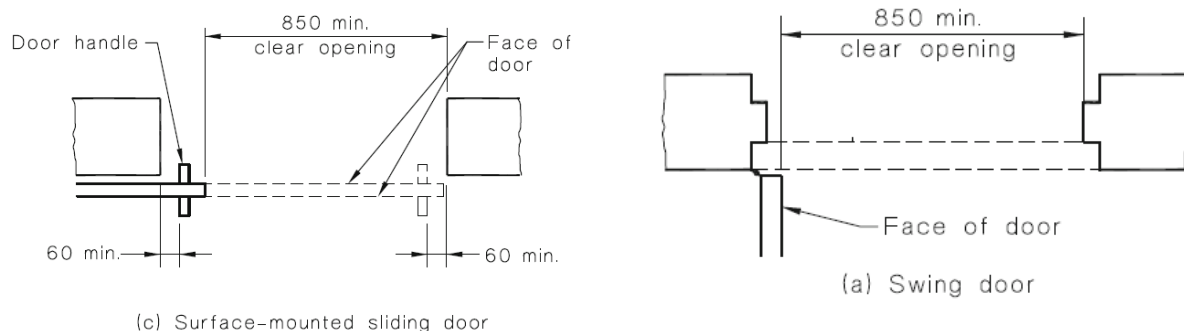
NCC 2022	D1P1 Access for people with a disability
	D4D2(8) General building access requirements
AS Reference:	Clause 10 (Doorways, Doors and Circulation Spaces at Doorways) of AS1428.1 2021

3.10.2. Clear Door Width

The minimum clear width of all doorways (including swing and sliding doorways) to rooms required to be accessible is to be not less than 850mm clear.

Where double doors are proposed, the active leaf is to have a minimum clear width of 850mm.

Provide confirmation of all door clear open widths.



3.10.2. Clear Door Width - The detailed documentation to be prepared for this project will need to demonstrate compliance with these provisions.

3.10.3. Door identification

Rooms that are not required to be accessible do not need to satisfy the requirements for doorway luminance contrast.

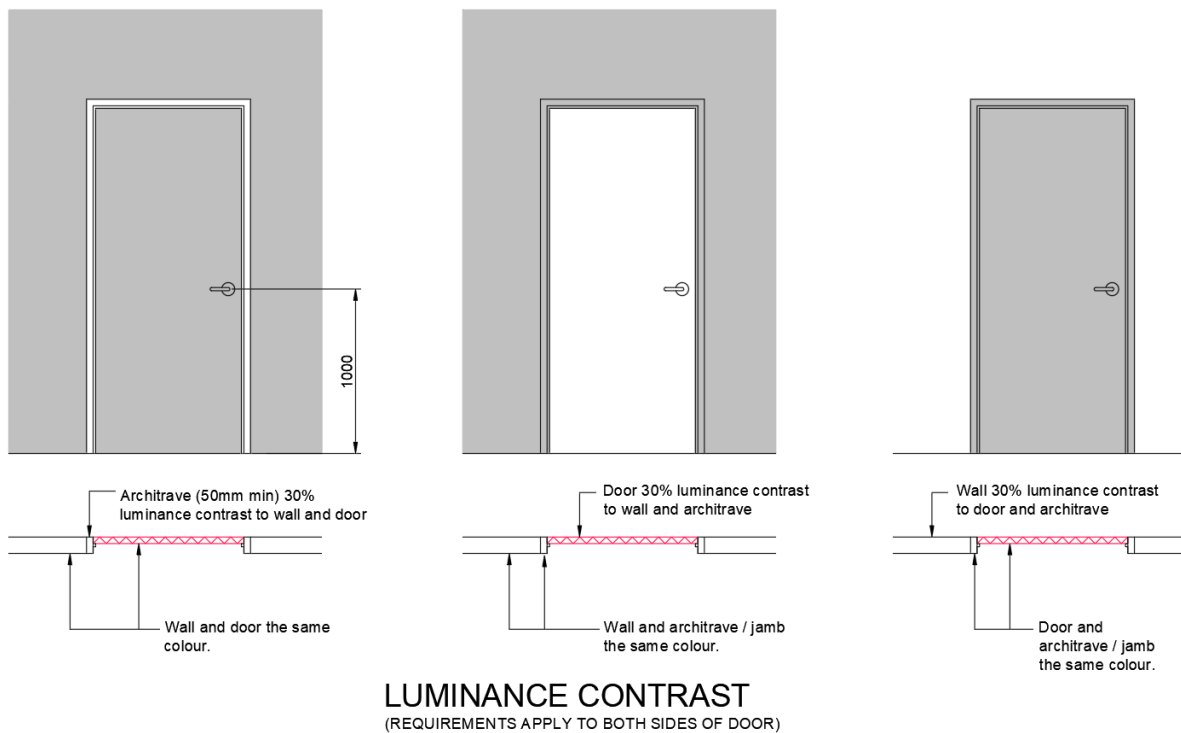
All other rooms required to be accessible require compliance with doorway luminance contrast requirements noted at Clause 10.1 of AS1428.1:2021

All doorways shall have a minimum luminance contrast of 30% provided between—

- (a) door leaf and door jamb;*
- (b) door leaf and adjacent wall;*
- (c) architrave and wall;*
- (d) door leaf and architrave; or*
- (e) door jamb and adjacent wall.*

The minimum width of the area of luminance contrast shall be 50 mm

The prevailing view is that option (b) – indicating luminance contrast between the *door leaf and adjacent wall* is the preferred option.

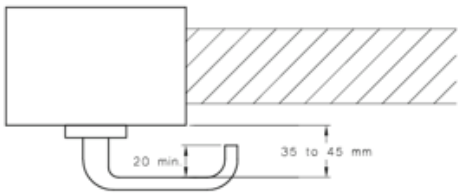


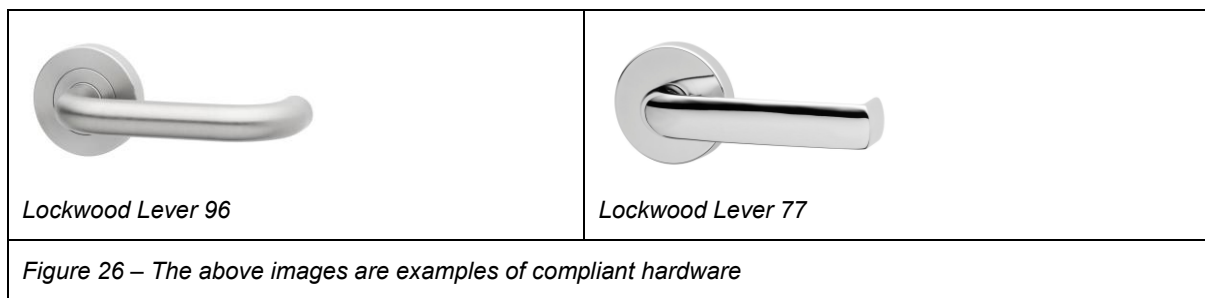
3.10.3 Luminance Contrast - A table indicating wall colour and door colour with the associated luminance contrast level achieved will need to be prepared and provided to demonstrate compliance with the requirements of Clause 10.1 of AS1428.1:2021.

3.10.4. Door Controls

The Australian Standard requires that door hardware be located within 900-1100mm AFFL.

If lever hardware is proposed to be utilised it will be necessary for the design of the lever to comply with the provisions of Clause 10.5 of AS1428.1:2021.

 (b) Plan view FIGURE 35(A) EXAMPLE OF ACCEPTABLE DOOR HARDWARE FOR HINGED DOORS	
Figure 25 – Fig. 35 Section 10 AS1428.1:2021	
 Lockwood Lever 80	 Lockwood Lever 70



3.10.4 Door Controls – The selection of door hardware will need to be provided as part of the detailed documentation to be prepared for this project.

3.10.5. Hardware to sliding doors

The hardware to sliding doors will need to be a “D” handle style fixed to both sides of the door assembly as required by Clause 10.5.2(c) of AS1428.1:2021.

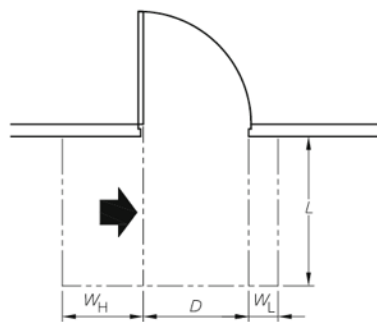
Please note that a 530mm latch side clearance is required to be provided with sliding doors. The detailing of the sliding doors in the following locations will need to incorporate compliant latch side clearances associated with sliding doors.

3.10.6. Circulation at Doorways

Clause 10.3 of AS1428.1:2021 provides direction as to the required circulation space to approach and enter rooms required to be accessible. Doorways to rooms that are not required to be accessible do not need to comply with the requirements for circulation at doorways.

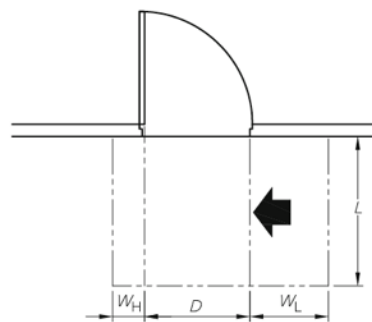
If the furniture arrangement of the rooms precludes compliant circulation from being achieved, the commitment by the school will be to modify the workspace to meet the specific needs of the occupants. The work-place policy statement will need to be provided to substantiate this approach.

The following extracts from the Standard is provided by way of information.



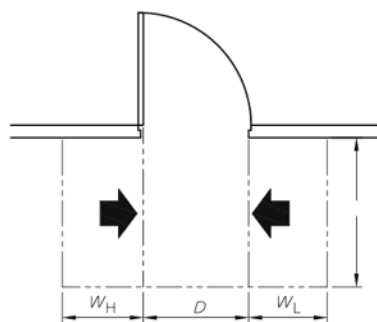
Dimension D	Dimension L	Dimension W_H	Dimension W_L
850	1220	560	340
900	1185	510	340
950	1160	460	340
1000	1140	410	340

(a) Hinge-side approach,
door opens away from user



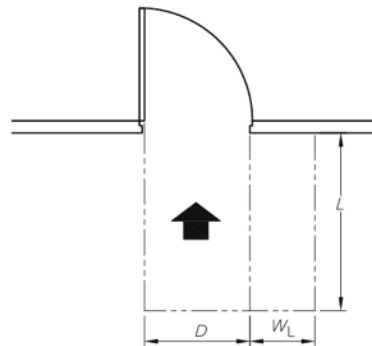
Dimension D	Dimension L	Dimension W_H	Dimension W_L
850	1240	240	660
900	1210	190	660
950	1175	140	660
1000	1155	90	660

(b) Latch-side approach,
door opens away from user



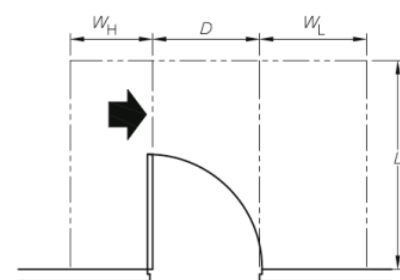
Dimension D	Dimension L	Dimension W_H	Dimension W_L
850	1240	560	660
900	1210	510	660
950	1175	460	660
1000	1155	410	660

(c) Either side approach,
door opens away from user



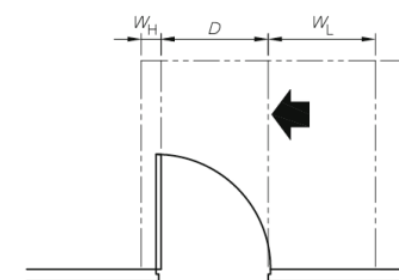
Dimension D	Dimension L	Dimension W_H	Dimension W_L
850	1450	0	510
900	1450	0	510
950	1450	0	510
1000	1450	0	510

(d) Front approach,
door opens away from user



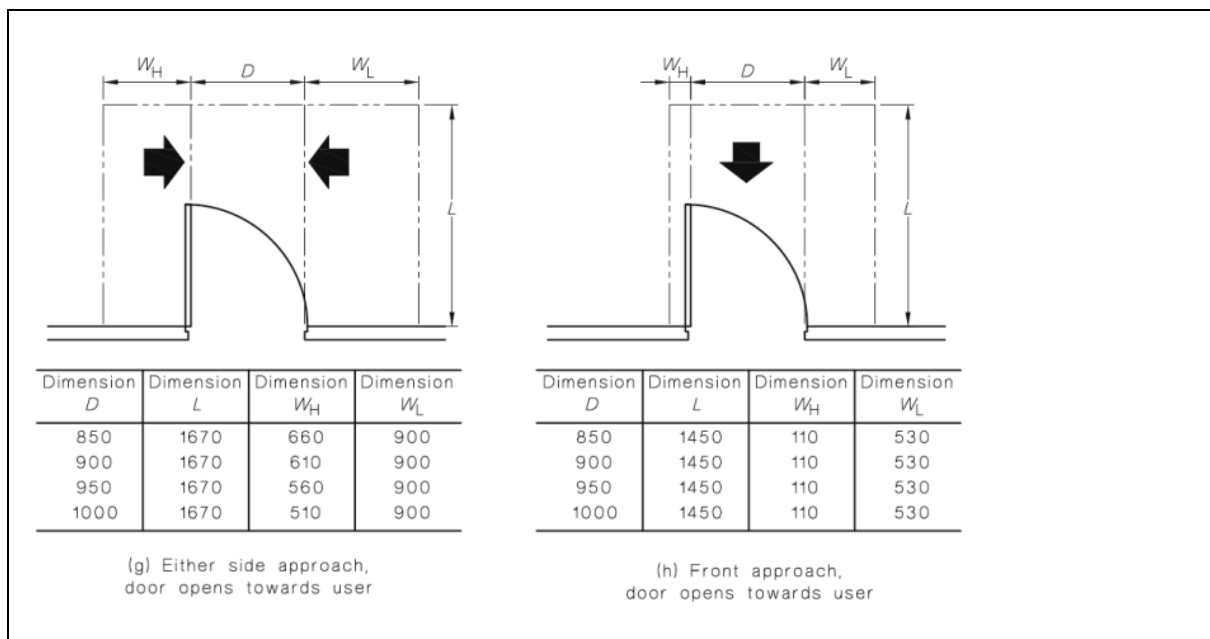
Dimension D	Dimension L	Dimension W_H	Dimension W_L
850	1670	660	900
900	1670	610	900
950	1670	560	900
1000	1670	510	900

(e) Hinge-side approach,
door opens towards user



Dimension D	Dimension L	Dimension W_H	Dimension W_L
850	1670	110	900
900	1670	110	900
950	1670	110	900
1000	1670	110	900

(f) Latch-side approach,
door opens towards user



3.10.6. Circulation at Doorways – The detailed documentation to be prepared for this project will need to indicate compliance with the circulation at doorway provisions of Clause 10.3 of AS1428.1:2021.

3.10.7. Door Closers (20N Force)

Where door closers are fitted to doors, other than fire doors associated with the fire stairs, the maximum force required to be applied to the door to open the door is not to be greater than 20N force. (Clause 10.5.2(e) AS1428.1:2021).

3.10.7 Door Closers – Confirmation that the proposed door closer(s) can satisfy this requirement will need to be provided as part of the detailed construction documentation to be prepared for this project. Certification of compliance will be required for the issue of the Occupation Certificate.

3.10.7 Door Closers – Certification of compliance that the doors installed with a door closer (other than fire rated doors) satisfy the provisions of Clause 10.5(e) of AS1428.1:2021 (20N Force) will be required for the issue of the Occupation Certificate.

3.10.8. Doorway Thresholds

Doors to all accessible rooms require a level threshold whereby the maximum lip shall be 3mm high for a straight edge or 5mm high for a bevelled edge. Specific attention is drawn to the doorways leading to outdoor areas.

3.11.7. Doorway Thresholds Level and smooth transitions are required between internal and external doorways. The detailed documentation will need to detail this junction.

3.10.9. Access to Garbage chutes within the building

The residential levels of this building include waste rooms and chute discharge rooms.

The detailed design of the doorways to the waste rooms and chute discharge rooms of the building will need to be detailed to incorporate the following minimum requirements:

- The minimum clear width of a single doorway leading to a chute discharge rooms or bin store is to be 850mm clear.
- The minimum clear width of the active leaf in a double doorway installation leading to a garbage chute or bin store is to be 850mm clear.
- The circulation at doorways provisions of Clause 10.3.3 of AS1428.1:2021 apply to these doorways.
- The force to operate the door(s) if fitted with a door closer is to be not more than 20N force.
- The Doorway identification at doorways provisions of Clause 10.1 of AS1428.1:2021 apply to these doorways.

3.10.9 Access to Garbage, chutes - The detailed documentation to be prepared for this project will need to demonstrate compliance with these provisions.

3.11. Switches

3.11.1. Legislative references

NCC 2022 D1P1 Access for people with a disability

D4D2(8) General building access requirements

AS Reference: Clause 11 (Switches and General Purpose Outlets) of AS1428.1 2021

3.11.2. General

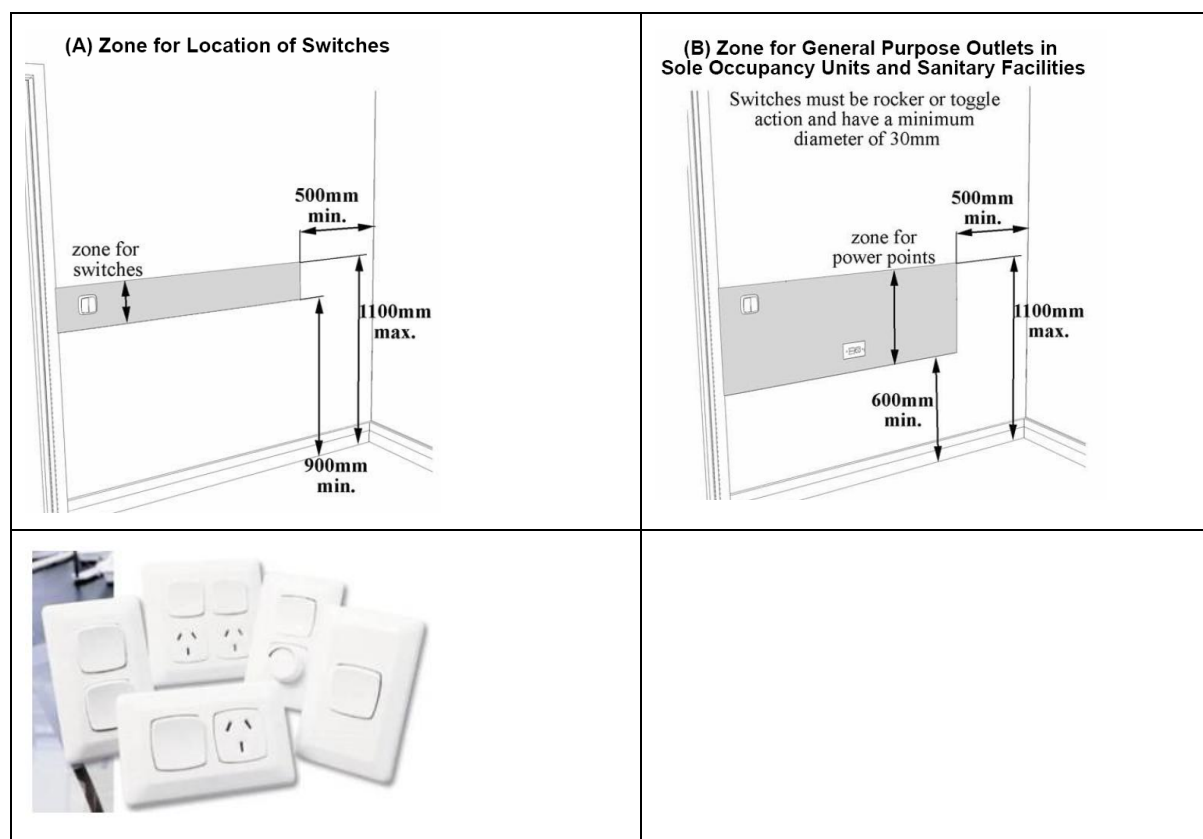
The operation of some of the doors within this building will be connected to the building access control system.

All switches and controls on an accessible path of travel, other than general purpose outlets, shall be located not less than 900 mm nor more than 1100 mm above the plane of the finished floor and not less than 500 mm from internal corners.

3.11.3. Access Control

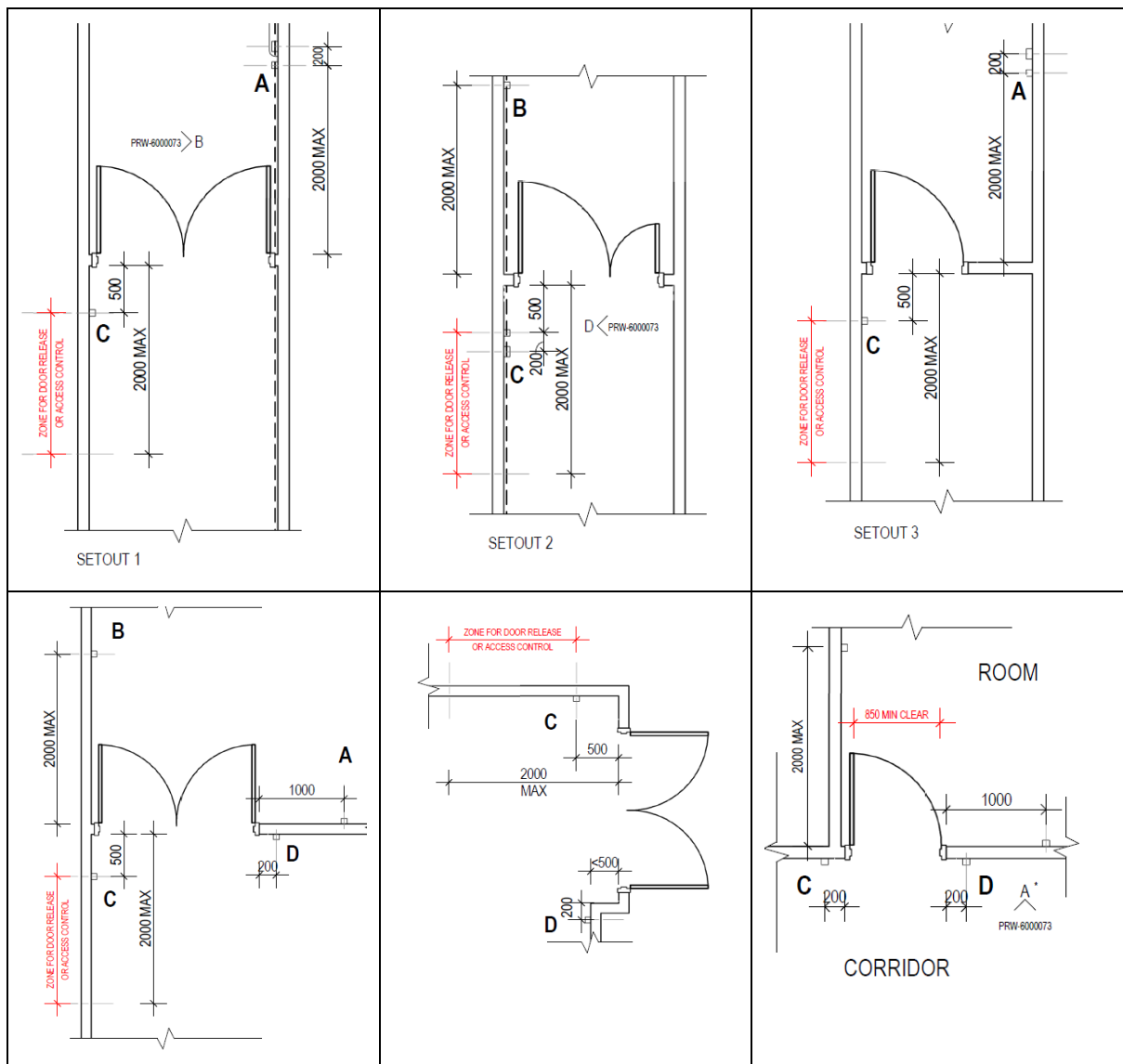
Access control swipe or fob readers will need to be installed between 900-1100mm AFFL and not closer than 500mm to an internal corner.

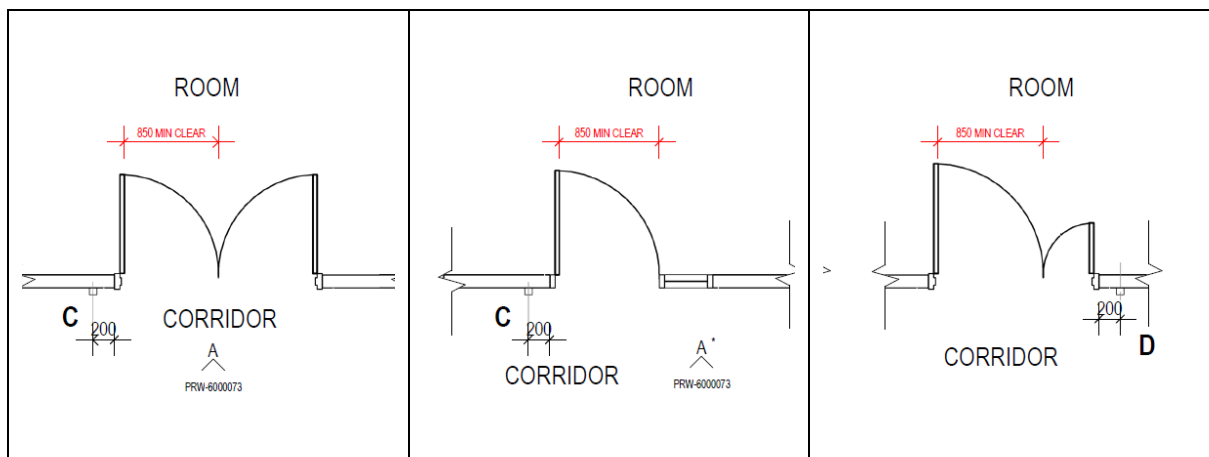
Door release buttons will need to be located between 900-1100mm AFFL and not closer than 500mm to an internal corner. The door release button will need to be the large format switches (35 x 35mm rocker switch) or the “mushroom” push button type.





The following diagrams have been prepared to indicate the location of Light switches card readers, push to exit buttons and the like in relation to doorways.





3.11 Switches – Details of the set out of switches will need to be provided as part of the detailed documentation to be prepared for this project.

3.12. Vertical transport

NCC 2022:	D1P1 Access for people with a disability
	E3P4 Lift access for people with a disability
	D4D4(b) Parts of buildings to be accessible
	E3D7 Passenger Lifts Types and their limitations
	E3D8 Accessible features required for passenger lifts
AS Reference:	AS1735.12:1999 Lifts, Escalators and Moving Walks

3.12.1. Lifts - Overview

Passenger lifts will be provided as part of this development.

The detailing of the lift car will need to satisfy the requirements of NCC Clause E3D7 and E3D8, the provisions of AS1735.12:1999.

The provision of a lift service designed to the provisions of AS1735.12:2020 will address the Categories of Disability considered at Annex A of AS1735.12.

3.12.2. AS1735.12:2020 Assessment

The lift design will need to satisfy the provisions of AS1735.12:2020. The following table identifies the accessible features to be provided.

CI	Requirement	Status																																		
5.1.2	Luminance Contrast (comply with Table 2) Table 2 — Minimum difference of light reflectance value (LRV) <table><tr><th rowspan="2">Clause</th><th rowspan="2">Item</th><th colspan="2">At landings</th><th colspan="2">In the car</th></tr><tr><th>Minimum LRV point difference</th><th>Viewing angle</th><th>Minimum LRV point difference</th><th>Viewing angle</th></tr><tr><td>Table 4, item c)</td><td>Active part of push buttons to their surrounding</td><td>30</td><td>45° above horizontal</td><td>30</td><td>45° above horizontal</td></tr><tr><td>Table 4, item d)</td><td>Face plate to its surrounding</td><td>30</td><td>Perpendicular</td><td>30</td><td>Perpendicular</td></tr><tr><td>Table 4, item j)</td><td>Symbols on push buttons to active areas</td><td>30 (60 recommended)</td><td>45° above horizontal</td><td>30 (60 recommended)</td><td>45° above horizontal</td></tr><tr><td>5.4.3.3 c)</td><td>Lift identification to background</td><td>30 (60 recommended)</td><td>Perpendicular</td><td>-</td><td>-</td></tr></table>	Clause	Item	At landings		In the car		Minimum LRV point difference	Viewing angle	Minimum LRV point difference	Viewing angle	Table 4, item c)	Active part of push buttons to their surrounding	30	45° above horizontal	30	45° above horizontal	Table 4, item d)	Face plate to its surrounding	30	Perpendicular	30	Perpendicular	Table 4, item j)	Symbols on push buttons to active areas	30 (60 recommended)	45° above horizontal	30 (60 recommended)	45° above horizontal	5.4.3.3 c)	Lift identification to background	30 (60 recommended)	Perpendicular	-	-	Additional Information to be provided
Clause	Item			At landings		In the car																														
		Minimum LRV point difference	Viewing angle	Minimum LRV point difference	Viewing angle																															
Table 4, item c)	Active part of push buttons to their surrounding	30	45° above horizontal	30	45° above horizontal																															
Table 4, item d)	Face plate to its surrounding	30	Perpendicular	30	Perpendicular																															
Table 4, item j)	Symbols on push buttons to active areas	30 (60 recommended)	45° above horizontal	30 (60 recommended)	45° above horizontal																															
5.4.3.3 c)	Lift identification to background	30 (60 recommended)	Perpendicular	-	-																															
5.1.3	When an audible signal or voice announcement is required, the sound shall be adjustable between 35dB(A) and at least 65dB(A) to suit the site conditions.	Additional Information to be provided																																		
5.2.1	The clear opening door width shall be at least 900mm for Type 2 cars	Additional Information to be provided																																		
5.2.2	Minimum door dwell time – 6s	Additional Information to be provided																																		
5.3.1	Table 3 Minimum car dimensions - Type 2 lift car - 1100 x 1400mm (630kg) Car decorations that reduce the minimum car dimensions shall not exceed 15mm in thickness. Any protruding decorations shall not extend below 800mm AFFL.	Additional Information to be provided																																		

CI	Requirement	Status
5.3.2.1	A handrail shall be installed on the side wall where the car operating panel is located.	Additional Information to be provided
	(a) The handrail shall be interrupted where the car operating panel is located	Additional Information to be provided
	(b) Handrail length to be a minimum of 400mm	Additional Information to be provided
	(c) The cross section of the handrail is to be between 30-45mm with a minimum radius of 10mm	Additional Information to be provided
	(d) The distance between the wall and the gripping part of the handrail shall be at least 35mm	Additional Information to be provided
	(e) The top of the rail shall be 900+/-25mm AFFL	Additional Information to be provided
	(f) The ends of the rail shall be closed.	Additional Information to be provided
5.3.2.3	For Type 2 cars a device shall be installed to enable passengers to observe obstacles behind them when moving backwards out of the car	Additional Information to be provided
5.3.2.4	The car floor shall be slip resistant (P3/R10)	Additional Information to be provided
5.4.2	Control devices and signals for collective control systems (Refer to Table 4 of AS1735.12:2020)	Additional Information to be provided

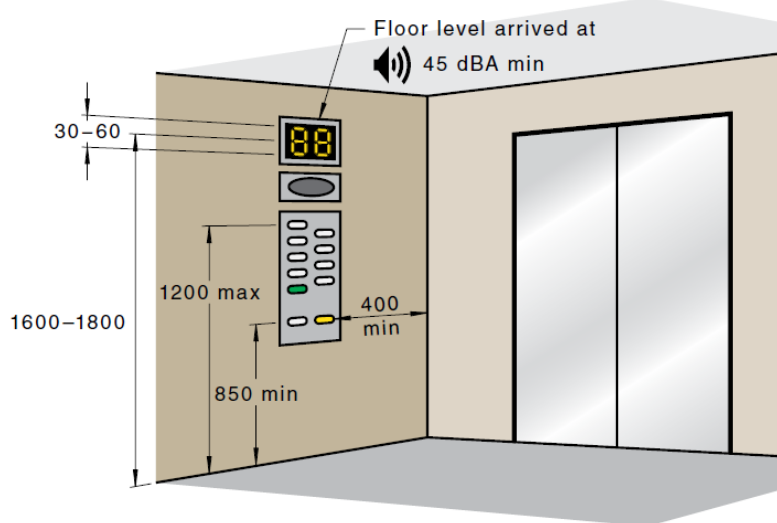
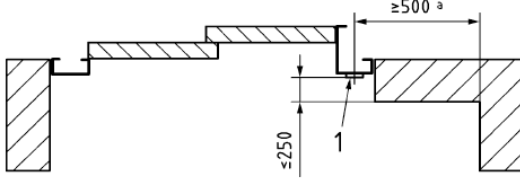


Figure ZA.1 — In car control station

CI	Requirement	Status
5.4.2.2	Landing control devices The minimum setout of landing control devices is to be as follows:  Key 1 landing button a preferably 700 Figure 3 — Arrangement of landing buttons	Additional Information to be provided
ZA.5.2	Raised tactile and braille signs identifying both the lift car and building level shall be provided on both sides of every lift landing door frame. Signs shall be visible from inside the lift car. 	Additional Information to be provided
ZA.6	Lift identification sign content shall be in accordance with AS1428.4.2.	Additional Information to be provided

3.12 Vertical transport - Detailed lift drawings will need to be prepared and provided for review.

3.12 Vertical transport - A design certificate will need to be provided from the lift supplier indicating compliance with AS1735.12:2020.

3.12 Vertical transport - A lift installation certificate referencing the NCC performance requirement of E3P4, NCC Clauses E3D7 & E3D8 and AS1735.12:1999 will need to be provided for the issue of the OC Access Installation Certificate.

3.13. Lighting

3.13.1. Legislative references

NCC 2022 D1P1(a)(iii) Access for people with a disability

AS Reference: Clause 19 of AS1428.2:1992

Appendix D of AS1680.2.1:2008

The plans presently do not indicate the minimum lighting levels to be achieved. It will be necessary that the Construction Certificate documentation confirm that the minimum lighting levels nominated by the Australian Standards are achieved.

In additional to the minimum lighting levels identified at Clause 19 of AS1428.2:1992 the provisions of Table D1 of AS1680.2.1:2008 which nominates interior light levels to be achieved must be considered.

The following table schedules the lighting levels nominated within the Australian Standards for accessibility:

LOCATION	CLAUSE 19 AS1428.2:1992	APPENDIX D AS1680.2.1:2008
Entrances, passages & walkways	150lx	160lx
Waiting rooms	-	160lx
Corridors Passageways	-	40lx
Ramps	150lx	40lx
Toilets and locker Rooms	200lx	80lx
Counter tops	250lx	320lx

The electrical documentation will need to indicate compliance with these minimum lighting levels.

3.13. Lighting Levels – On completion of the works certification of lighting levels achieved indicating compliance with these requirements will need to be provided for the issue of the Access Installation Certificate at OC.

3.14. Carparking

3.14.1. Legislative references

NCC 2022	D1P8(a) and (b)
	D4D6 Accessible Parking
AS Reference:	AS 2890.6:2009 Carparking
	AS 1680.2.1:2008 Carparking (undercover)

3.14.2. Carparking - overview

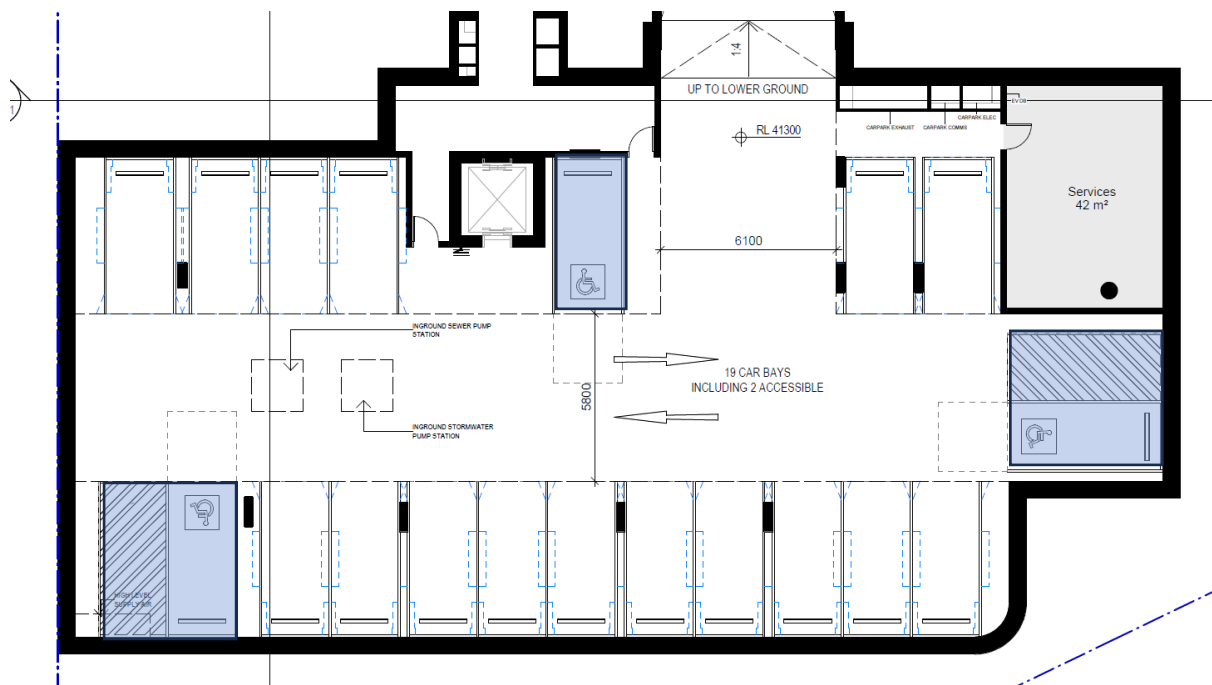
Carparking is provided at the basement level and lower ground level of this building. The design is required to include a minimum of 9 accessible residential parking spaces. These parking spaces are required to be in compliance with AS2890.6:2009.

One of the designated accessible parking spaces utilises the driveway for the shared zone component of accessible parking spaces. This approach is in accordance with Clause 1.3.2 Shared Area of AS2890.6:2009 which states:

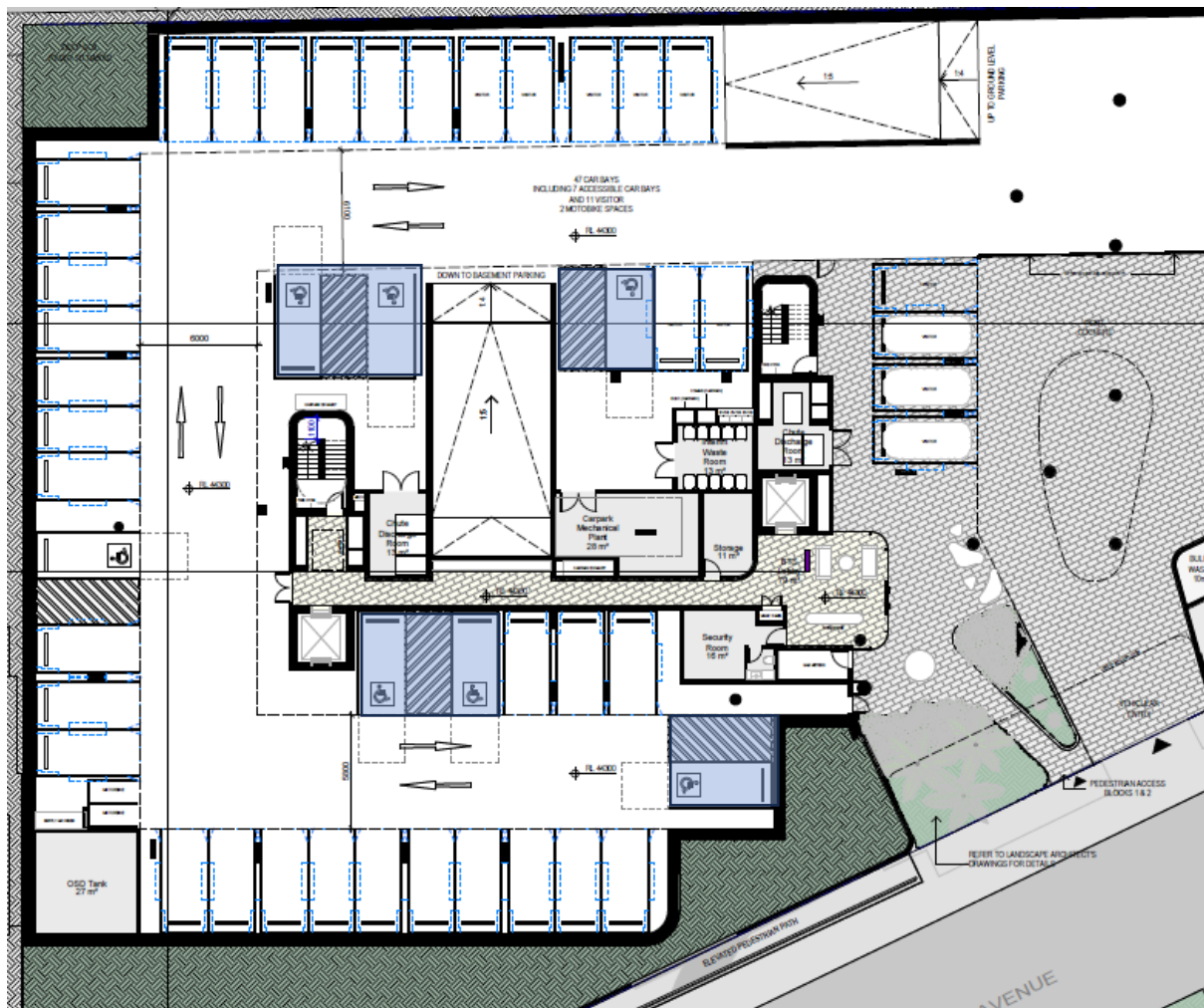
1.3.2 Shared area

An area adjacent to a dedicated space provided for access or egress to or from a parked vehicle and which may be shared with any other purpose that does not involve other than transitory obstruction of the area, e.g. a walkway, a vehicular aisle, dual use with another adjacent dedicated space

The following extracts from the plan locate the 9 accessible parking spaces to be allocated to the designated adaptable dwelling lots.



Basement Plan



Lower Ground Plan

3.14.3. AS2890.6:2022

Please note that AS2890.6:2022 has not been referenced in this access report as it is not NCC 2022 Reference document.

3.14.4. Carparking – Parking Bay size

The spatial requirements for an accessible parking space are as per the figure following, which details a 2.4m wide parking space with a 2.4m wide shared zone.

3.14.4. Carparking – Parking Bay Size– The detailed future documentation will need to compliance with the parking bay dimensions nominated in AS2890.6:2009.

3.14.5. Carparking - Linemarking

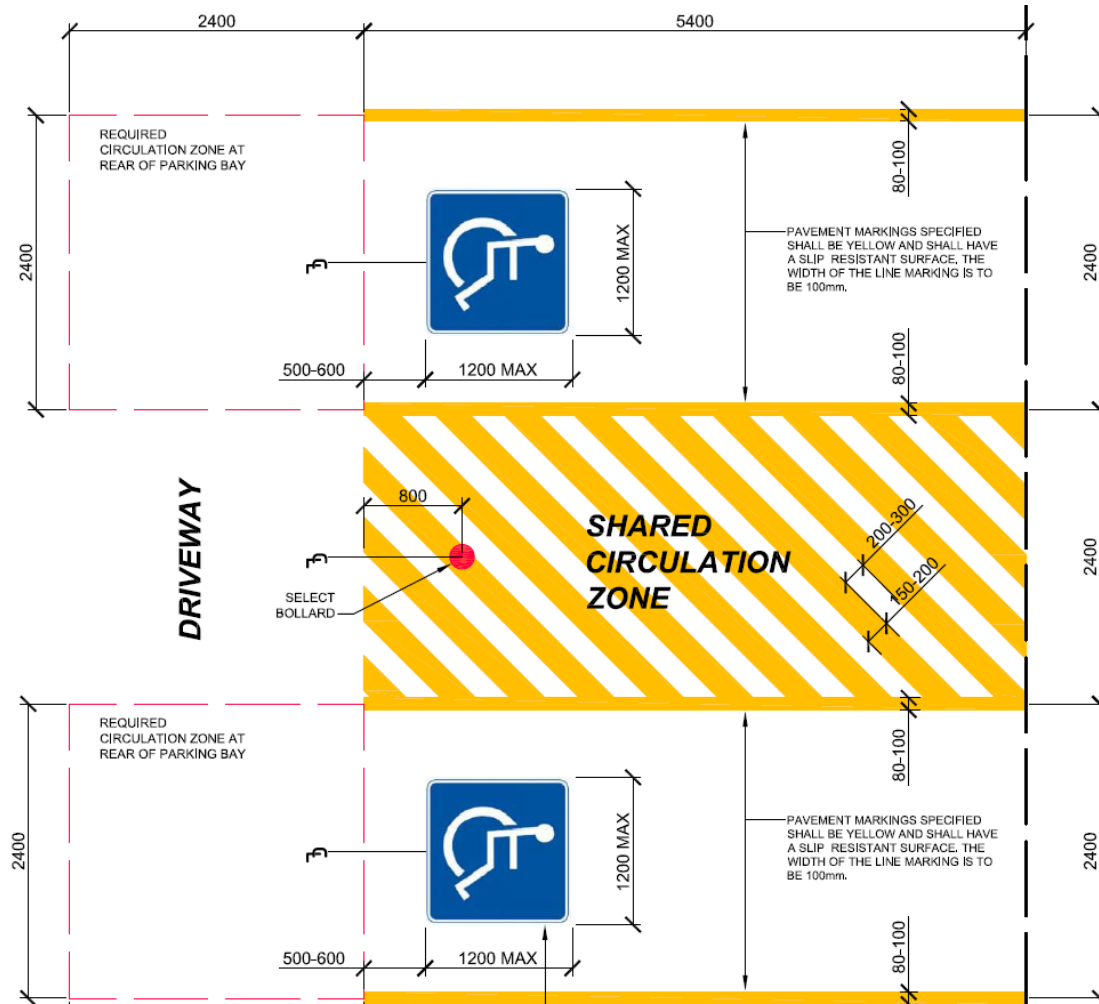
The line marking associated with the accessible parking spaces will need to satisfy the provisions of Section 3 of AS2890.6:2009.

The international symbol for access is not required to be provided as the parking spaces are not shared.

The slip resistance of the line marking is to be P4.

The following sketch indicates the minimum linemarking requirements to be achieved.

3.14.5 Carparking – Linemarking – Linemarking details are to be provided as part of the detailed construction documentation to be prepared for this project. The line marking of the accessible parking spaces is to satisfy Section 3 of AS2890.6:2009.



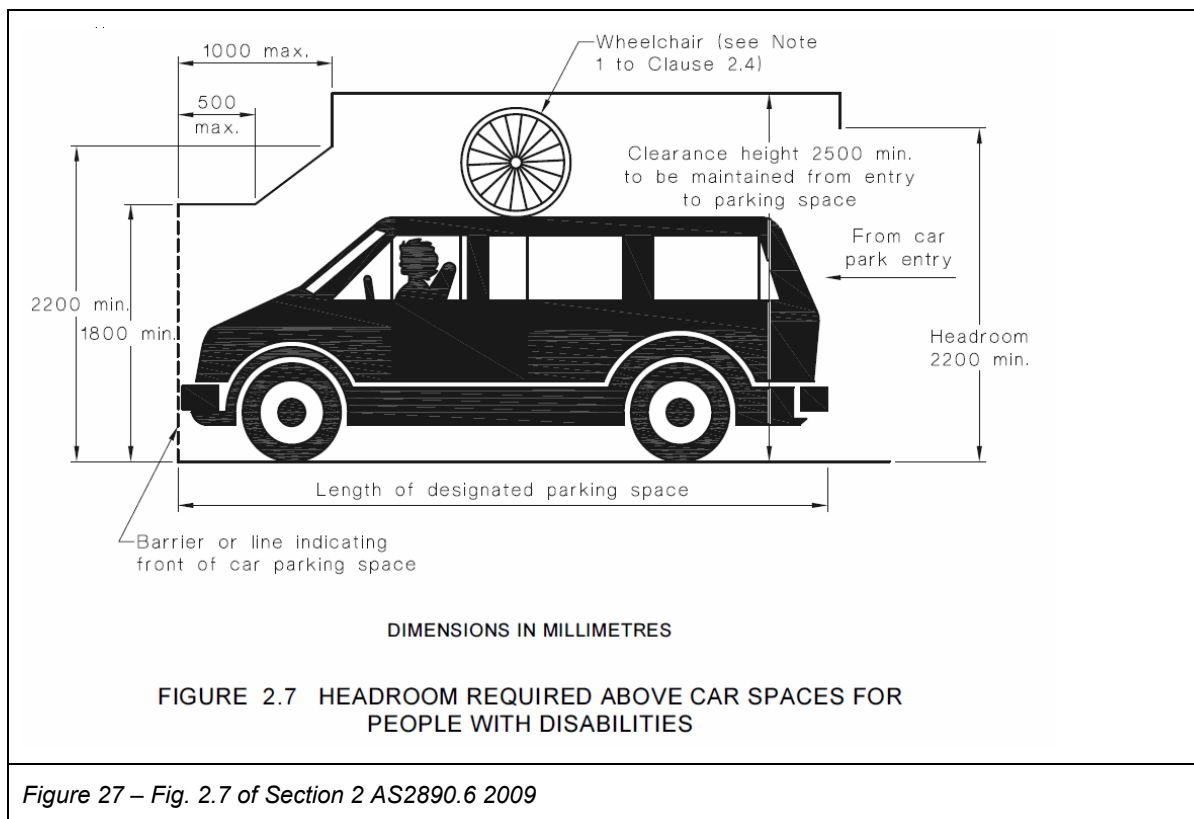
3.14.6. Carparking – Clearance Aisleway

A 2200mm high clear path of travel is to be provided within the traffic aisle ways of the carpark.

3.14.6 Carparking – Clearance Aisleway - The detailed documentation will need to document aisleways with a minimum clear height of 2200mm.

3.14.7. Carparking – Clearance parking bays

A clear zone of 2500mm will need to be provided above the accessible parking space.



3.14.7 Carparking – Clearance parking bays - The detailed documentation will need to document parking bays in accordance with Figure 2.7 of AS2890.6:2009

3.15. Unit designs

3.15.1. DCP requirements

The development comprises 44 Sole Occupancy Units. Council DCP requires the following concerning the residential component of this development.

20% of dwellings (9 dwellings) are required to be adaptable (AS4299:1995)

100% of dwellings (44 dwellings) are required to be LHA Silver Level.

3.15.2. Adaptable Housing

20% of all dwellings within this development will need to be adaptable

The plans list the following dwellings as the adaptable dwellings to be provided as part of this development.

Compliance *Adaptable Housing - The pre and post adaptable plans provided indicate that compliance is capable of being achieved.*

3.15.3. AS4299:1995 Adaptable Housing Assessment

The following Table summarises the requirements to be satisfied for adaptable Housing (AS4299 Class C).

Modified Extract

APPENDIX A - AS4299-1995

SCHEDULE OF FEATURES FOR ADAPTABLE HOUSING

CLASS C

Review undertaken by iAccess Residential.

(a division of iAccess Group Pty Ltd ACN 37 002 648 615)

The table shown below indicates essential features to be incorporated into a housing unit for it to be termed an 'Adaptable House'. All essential items are pre-checked in the 'essential' features column.

Prior to commencing construction, the Architect is to sign the checklist to certify that the essential features have been incorporated into the design.

The Head Contractor must initial the second column to certify that each essential feature has been incorporated into the building (prior to Handover).

The Head Contractor shall sign the checklist signifying achievement of Class C adaptability.

Although this table is generally completed for OC, it is provided as part of this CC Access Report for reference.

Item No.	Room/Item	Clause No.	Essential	
			Required feature	Certified by
	DRAWINGS			
1	Provision of drawings showing the housing unit in its pre-adaptation and post-adaptation stages	2.3	√	

Item No.	Room/Item	Clause No.	Essential	
			Required feature	Certified by
	SITING			
3	A continuous accessible path of travel from street frontage and vehicle parking to entry complying with AS 1428.1	3.3.2	√	
	LETTERBOXES IN ESTATE DEVELOPMENTS			
11	Letterboxes to be on hard standing area connected to accessible pathway	3.8	√	
	PRIVATE CAR ACCOMMODATION			
14	Carparking space or garage min. area 5.4m × 3.8 m	3.7.2	√	
16	Internal clearance of garage or carport 2.5 m min.	3.7.2	√	
	ACCESSIBLE ENTRY			
20	Accessible entry	4.3.1	√	
22	Accessible entry to be level (i.e. max. 1:40 slope)	4.3.2	√	
23	Threshold to be low-level	4.3.2	√	
24	Landing to enable wheelchair manoeuvrability	4.3.2	√	
25	Accessible entry door to have 850 mm min. clearance	4.3.1	√	
27	Door lever handles and hardware to AS 1428.1	4.3.4	√	
	INTERIOR: GENERAL			
32	Internal doors to have 820 mm <u>min.</u> clearance	4.3.3	√	
33	Internal corridors min. width of 1000 mm	4.3.7	√	
34	Provision for compliance with AS 1428.1 for door approaches	4.3.7	√	
	LIVING ROOM & DINING ROOM			
36	Provision for circulation space of min. 2250 mm diameter	4.7.1	√	
38	Telephone adjacent to GPO	4.7.4	√	
41	Potential illumination level min. 300 lux	4.10	√	
	KITCHEN			
42	Minimum width 2.7 m (1550 mm clear between benches)	4.5.2	√	

Item No.	Room/Item	Clause No.	Essential	
			Required feature	Certified by
43	Provision for circulation at doors to comply with AS 1428.1	4.5.1	√	
44	Provision for benches planned to include at least one work surface of 800 mm length, adjustable in height from 750 mm to 850 mm or replaceable. Refer to Figure 4.8	4.5.5	√	
45	Refrigerator adjacent to work surface	4.5.5	√	
46	Kitchen sink adjustable to heights from 750 mm to 850 mm or replaceable	4.5.6	√	
47	Kitchen sink bowl max. 150 mm deep	4.5.6	√	
48	Tap set capstan or lever handles or lever mixer	4.5.6(e)	√	
49	Tap set located within 300 mm of front of sink	4.5.6(e)	√	
51	Cooktops to include either front or side controls with raised cross bars	4.5.7	√	
52	Cooktops to include isolating switch	4.5.7	√	
53	Work surface min. 800 mm length adjacent to cooktop at same height	4.5.7	√	
54	Oven located adjacent to an adjustable height or replaceable work surface	4.5.8	√	
59	GPOs to comply with AS 1428.1. At least one double GPO within 300 mm of front of work surface	4.5.11	√	
60	GPO for refrigerator to be easily reachable when the refrigerator is in its operating position	4.5.11	√	
61	Slip-resistant floor surface	4.5.4	√	
	MAIN BEDROOM			
62	At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulation space requirements of AS 1428.2	4.6.1	√	
	BATHROOM			
75	Provision for bathroom area to comply with AS 1428.1	4.4.1	√	
76	Slip-resistant floor surface	4.4.2	√	

Item No.	Room/Item	Clause No.	Essential	
			Required feature	Certified by
77	Shower recess - no hob. Minimum size 1160 × 1100 to comply with AS 1428.1. (Refer Figures 4.6 and 4.7)	4.4.4(f)	√	
78	Shower area waterproofed to AS 3740 with floor to fall to waste	4.4.4(f)	√	
79	Recessed soap holder	4.4.4(f)	√	
80	Shower taps positioned for easy reach to access side of shower sliding track	4.4.4(f)	√	
82	Provision for adjustable, detachable handheld shower rose mounted on a slider grabrail or fixed hook (plumbing and wall – strengthening provision)	4.4.4(h)	√	
83	Provision for grabrail in shower (Refer to Figure 4.7) to comply with AS 1428.1	4.4.4(h)	√	
86	Tap sets to be capstan or lever handles with single outlet	4.4.4(c)	√	
88	Provision for washbasin with clearances to comply with AS1428.1	4.4.4(g)	√	
90	Double GPO beside mirror	4.4.4(d)	√	
	TOILET			
92	Provision of either 'visitable toilet' or accessible toilet	4.4.3	√	
93	Provision to comply with AS 1428.1	4.4.1	√	
94	Location of WC pan at correct distance from fixed walls	4.4.3	√	
95	Provision for grab rail zone. (Refer Figure 4.6)	4.4.4(h)	√	
96	Slip resistant floor surface. (Vitreous tiles or similar)	4.4.2	√	
	LAUNDRY			
98	Circulation at doors to comply with AS 1428.1	4.8	√	
99	Provision for adequate circulation space in front of or beside appliances (min. 1550 mm depth)	4.8	√	
100	Provision for automatic washing machine	4.8(e)	√	
102	Where clothes line is provided, an accessible path of travel to this	4.8(a)	√	

Item No.	Room/Item	Clause No.	Essential	
			Required feature	Certified by
105	Double GPO	4.8(g)	√	
108	Slip-resistant floor surface	4.9.1	√	
	DOOR LOCKS			
110	Door hardware operable with one hand, located 900–1100 mm above floor	4.3.4	√	

3.15.3 Adaptable Housing *The completion of the AS4299 Schedule of features for adaptable housing will need to be completed as part of the detailed documentation to be prepared for this project. The DA plans indicate that compliance is capable of being achieved however the construction drawing yet to be prepared will document the requirements of this schedule.*

3.15.4. Silver LHA dwellings

The table following identify the silver LHA design guideline requirements to be achieved in this development.

1. DWELLING ACCESS	
SILVER CRITERIA	ASSESSMENT
a. Provide a safe and continuous pathway from:	
i. the front boundary of the allotment; or	Satisfied
ii. a car parking space, where provided, which may include the driveway on the allotment, to an entrance that is level (step- free) as specified in Element 2.	N/A
b. The path of travel as referred to in (a) should have a minimum clear width of 1000mm and –	Information to be provided with CC
i. an even, firm, slip resistant surface;	Information to be provided with CC
ii. a crossfall of not more than 1:40;	Information to be provided with CC
iii. a maximum pathway slope of 1:14, with landings provided at no greater than 9m for a 1:14 ramp and no greater than 15m for ramps steeper than 1:20. Landings should be no less than 1200mm in length; and	Information to be provided with CC
iv. be step-free	Satisfied
c. A step ramp may be incorporated at an entrance doorway where there is a change in height of 190mm or less. The step ramp should provide:	N/A
i. a maximum gradient of 1:10	N/A
ii. a minimum clear width of 1000mm (please note: width should reflect the pathway width)	N/A
iii. a maximum length of 1900mm	N/A
Level landings no less than 1200mm in length, exclusive of the swing of the door or gate than opens onto them, must be provided at the head and foot of the ramp	N/A

2. DWELLING ENTRANCE	
SILVER CRITERIA	ASSESSMENT
a. The dwelling should provide an entrance door with -	
i. a minimum clear opening width of 820mm;	Satisfied
ii. a level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled); and	Satisfied
iii. reasonable shelter from the weather.	Satisfied
b. A level landing area of at least 1200mm x 1200mm should be provided at the level (step free) entrance door	Satisfied
c. Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided (see Figure 1(b))	N/A
d. The level (step-free) entrance should be connected to the safe and continuous pathway as specified in Element 1	Information to be provided with CC
The entrance must incorporate waterproofing and termite management requirements as specified in the NCC.	Information to be provided with CC

3. INTERNAL DOORS & CORRIDORS	
SILVER CRITERIA	ASSESSMENT
a. Doorways to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide	
i. a minimum clear opening width of 820mm and	Satisfied
ii. a level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled).	Satisfied
b. Internal corridors/passageways to the doorways referred to in (a) should provide a minimum clear width of 1000mm	Satisfied

4. TOILET	
SILVER CRITERIA	ASSESEMNT
a. Dwellings should have a toilet on the ground (or entry) level that provides:	
i. a minimum clear width of 900mm between the walls of the bathroom if located in a separate room; and	Satisfied
ii. a minimum 1200mm clear circulation space forward of the toilet pan exclusive of the swing of the door in accordance with Figure 3(a).	Satisfied
b. If the toilet is located within the ground (or entry) level bathroom, the toilet pan should be located in the corner of the room to enable the installation of grabrails	Satisfied

5. SHOWER	
SILVER CRITERIA	ASSESSMENT
a. One bathroom should feature a slip resistant, hobless (step- free) shower recess. Shower screens are permitted provided they can be easily removed at a later date	Information to be provided with CC

b. The shower recess should be located in the corner of the room to enable the installation of grabrails at a future date	Satisfied
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6. REINFORCEMENT OF BATHROOM & TOILET WALLS	
SILVER CRITERIA	ASSESSMENT
a. Except for walls constructed of solid masonry or concrete, the walls around the shower, bath (if provided) and toilet should be reinforced to provide a fixing surface for the safe installation of grabrails.	Information to be provided with CC
b. The walls around the toilet are to be reinforced by installing: i. noggings with a thickness of at least 25mm in accordance with Figure 6(a); or ii. sheeting with a thickness of at least 12mm in accordance with Figure 6(b).	
c. The walls around the bath are to be reinforced by installing: i. noggings with a thickness of at least 25mm in accordance with Figure 7(a); or ii. sheeting with a thickness of at least 12mm in accordance with Figure 7(b).	
d. The walls around the hobless shower recess are to be reinforced by installing: i. noggings with a thickness of at least 25mm in accordance with Figure 8(a); or ii. sheeting with a thickness of at least 12mm in accordance with Figure 8(b).	

7. INTERNAL STAIRWAYS	
SILVER CRITERIA	ASSESSMENT
a. Stairways in dwellings must feature: i. a continuous handrail on one side of the stairway where there is a rise of more than 1m.	N/A

4. Disability (Access to Premises - Building) Standard 2010 – Compliance Summary

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE	ACTION / COMMENT
A4.1	Classifications NCC Building Classification - Class 2 – Residential / Social Housing NCC Building Classification - Class 7a – Carparking	Note	
DP1	Performance requirement Access must be provided, to the degree necessary, to enable: a) people to:	Satisfied	
	i. approach the building from the road boundary and from any <i>accessible</i> carparking spaces associated with the building; and		
	ii. approach the building from any accessible associated building; and	Not Applicable	
	iii. access work and public spaces, accommodation and facilities for personal hygiene; and	Satisfied	
	b) Identification of accessways at appropriate locations which are easy to find.	Satisfied	
DP4	Performance requirement <i>Exits</i> must be provided from a building to allow occupants to evacuate safely, with their number, location and dimensions being appropriate to: a) the travel distance; and b) the number, mobility and other characteristics of occupants; and c) the function or use of the building; and d) the height of the building; and e) Whether the <i>exit</i> is from above or below ground level.	Satisfied	
DP6	Performance requirement So that occupants can safely evacuate the building, <i>accessways</i> to <i>exits</i> must have dimensions appropriate to: a) the number, mobility and other characteristics of occupants; and b) the function or use of the building.	Satisfied	

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE	ACTION / COMMENT
DP8	Performance requirement Carparking spaces for use by people with a disability must be: - provided, to the degree necessary, to give equitable access for carparking; and - designated and easy to find.	Additional Information to be provided	
DP9	Performance requirement An inbuilt communication system for entry, information, entertainment, or for the provision of a service, must be suitable for occupants who are deaf or hearing impaired.	Not Applicable	
D3.1	General Building Access Requirements Class 2		
	From a pedestrian entrance required to be accessible to at least 1 floor containing sole-occupancy units and to the entrance doorway of each sole-occupancy unit located on that level. To and within not less than 1 of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, swimming pool, common laundry, games room, individual shop, eating area, or the like. Where a ramp complying with AS 1428.1 or a passenger lift is installed— - to the entrance doorway of each sole-occupancy unit; and - to and within rooms or spaces for use in common by the residents, located on the levels served by the lift or ramp.	Satisfied	
D3.2	Access to Buildings		
	(1) An <i>accessway</i> must be provided:	Satisfied	
	(a) to a building <i>required</i> to be <i>accessible</i> ;		
	(b) from the main points of a pedestrian entry at the allotment boundary; and	Satisfied	
	I. from another <i>accessible</i> building connected by a pedestrian link; and	Not Applicable	
	II. from any required accessible carparking space on the allotment.	Additional Information to be provided	

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE	ACTION / COMMENT
	(2) In a building <i>required</i> to be <i>accessible</i>, an <i>accessway</i> must be provided through the principal pedestrian entrance, and: a. through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and b. in a building with a total <i>floor area</i> more than 500sqm, a pedestrian entrance which is not <i>accessible</i> must not be located more than 50 m from an <i>accessible</i> pedestrian entrance; Except for pedestrian entrances serving only areas exempted by clause D3.4.	Satisfied	
D3.3	Parts of buildings to be accessible		
	In a building <i>required</i> to be <i>accessible</i>: a) every ramp and stairway, except for ramps and stairways in areas exempted by clause D3.4, must comply with:		
	i. for a ramp, except a fire-isolated ramp, clause 10 of AS 1428.1; and	Not Applicable	
	ii. for a stairway, except a fire-isolated stairway, clause 11 of AS 1428.1;	Additional Information to be provided	
	iii. for a fire-isolated stairway, clause 11.1(f) and (g) of AS 1428.1;	Additional Information to be provided	
	b) every passenger lift must comply with clause E3.6;	Additional Information to be provided	
	c) <i>accessways</i> must have: i. passing spaces complying with AS 1428.1 at maximum 20 m intervals on those parts of an <i>accessway</i> where a direct line of sight is not available; and ii. turning spaces complying with AS 1428.1: A. within 2m of the end of <i>accessways</i> where it is not possible to continue travelling along the <i>accessway</i>; and B. at maximum 20 m intervals along the <i>accessway</i>;	Satisfied	
	d) an intersection of <i>accessways</i> satisfies the spatial requirements for a passing and turning space;	Satisfied	
	e) a passing space may serve as a turning space;	Satisfied	

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE	ACTION / COMMENT
	f) a ramp complying with AS 1428.1 or a passenger lift need not be provided to serve a <i>storey</i> or level other than the entrance <i>storey</i> in a Class 5, 6, 7b or 8 building- (i) containing not more than 3 <i>storeys</i> ; and (ii) with a <i>floor area</i> for each <i>storey</i> , excluding the entrance <i>storey</i> , of not more than 200sqm.	Not Applicable	
D3.5	Carparking	Additional Information to be provided	
D3.6	Signage	Additional Information to be provided	
D3.7	Hearing Augmentation	Not Applicable	
D3.8	Tactile Indicators	Additional Information to be provided	
D3.9	Wheelchair seating	Not Applicable	
D3.10	Swimming pool	Not Applicable	
D3.11	Ramps (Connecting Ramps)	Not Applicable	
D3.12	Glazing on an accessway On an <i>accessway</i> , where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with Clause 6.6 of AS 1428.1.	Additional Information to be provided	If full-height glazing is provided, visual indicators are required.
Specification D3.6	Braille & Tactile Signs	Additional Information to be provided	The signage detailing will need to comply with the nominated signage provisions of NCC 2022 Clauses 16.3 and 17 of AS1428.2 which addresses the size of the pictogram as well as the height of lettering.
E3.6	Lift Installation	Additional Information to be provided	

PART / CLAUSE	DISABILITY (ACCESS TO PREMISES) STANDARD 2010 CRITERIA TO BE SATISFIED	COMPLIANCE	ACTION / COMMENT
F2.4	Sanitary and other facilities	Additional Information to be provided	

5. STATEMENT OF EXPERTISE



Name	Richard Seidman
Qualifications	• 2019 Diploma in Access (Access Institute) • 2018 Accredited Access Consultant • 2014 Accredited assessor Livable Housing Australia • 2011 Certificate IV Access Consulting (IATA) • 2008 Accredited Green Star Professional (GBCA) • 2007 Graduate Diploma in Building Surveying (Fire Engineering) University of Western Sydney • 2005 Masters in Property Development University of Technology (Graduating 1st in year) • 1999 Graduate Diploma in Architectural Design Science (Facilities Management) University of Sydney • 1983 Bachelor of Architecture (Hons) University of NSW
Memberships	• Royal Australian Institute of Architects (No. 4700) • NSW Architects Registration Board (No. 4829) • Access Consultants Association (Accredited Access Consultant No 330) • Livable Housing Australia (10041)
Experience	Richard Seidman has practised for more than 35 years in the built environment and has developed extensive skills and expertise in the residential, commercial, industrial, health, retail, education and transport industries. Richard has extensive expertise in all aspects of AS1428, AS4299 and AS2890.6 which has been honed as part of the plan check role undertaken as part of the NBESP Social Housing Initiative undertaken for the Department of Human Services – Housing NSW and 10 years' experience with Westfield Design and Construction in the capacity of Project Design Manager. In 2010 Richard established iAccess Consultants a division of iAccess Group Pty Ltd. Since 2010 Richard has undertaken a wide range of consultancies