



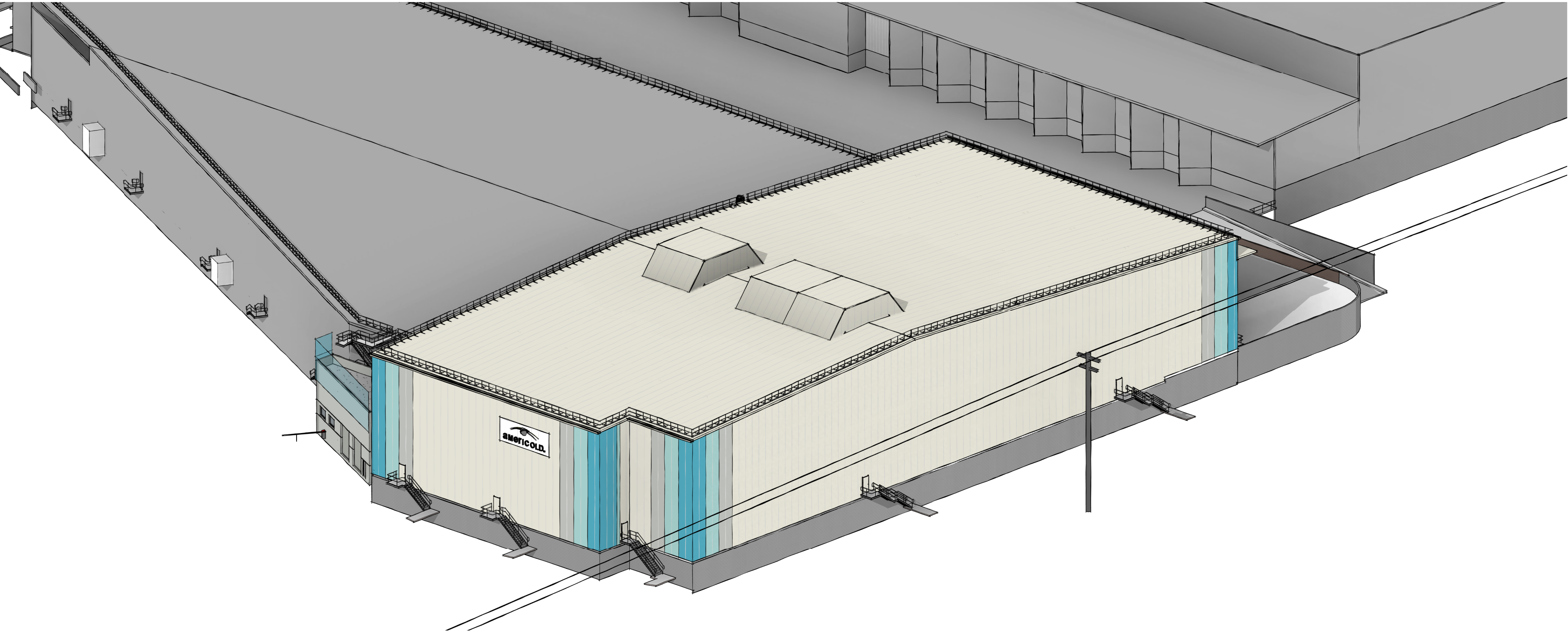
PROSPECT SOUTH EXPANSION

ARCHITECTURAL

Prepared for: AMERICOLD
At: 560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA
Prepared by: BECA PTY. LTD.
ABN: 85 004 974 341

Project No.: 2527456
REISSUED FOR DEVELOPMENT APPLICATION
OCTOBER 2022

ARCHITECTURAL DRAWING LIST	
SHEET NO.	SHEET NAME
DA-0101	COVER SHEET
DA-0201	DRAWING STANDARD CONVENTIONS & INDEX
DA-0501	SITE PLAN
DA-0502	STAGING PLAN - STAGE 1
DA-0503	STAGING PLAN - STAGE 2
DA-0504	STAGING PLAN - STAGE 3
DA-2101	EXISTING SITE CONDITION AND DEMOLITION PLAN
DA-3101	SOUTH BUILDING EXPANSION FLOOR PLAN
DA-3102	OFFICE, AMENITIES AND LUNCH ROOM PLANS
DA-3201	SOUTH BUILDING EXPANSION ROOF PLAN
DA-4101	ELEVATIONS - SHEET 1
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DA-5101	SECTIONS - SHEET 1
DA-5102	SECTIONS - SHEET 2
DA-9101	3D VIEWS

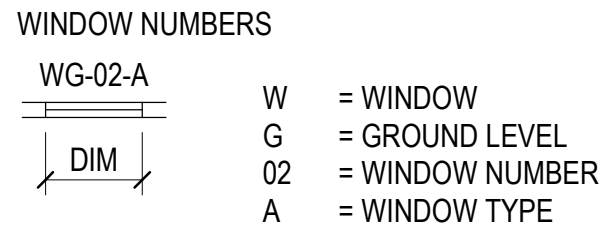
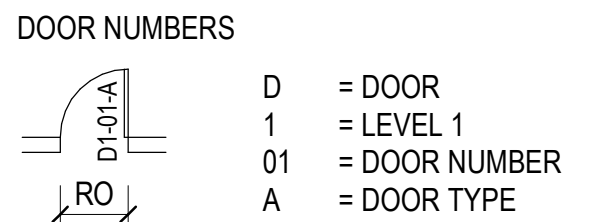


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DRAWING ANNOTATIONS

DOORS & WINDOWS



WALL TYPE AND FINISHES TAG



REFER IN CONJUNCTION WITH THE ARCHITECTURAL MATERIAL, FINISHES AND FIXTURES AND SPECIFIC LEGENDS WHICH ARE LOCATED ON EITHER THE FLOOR PLANS OR ON THIS SHEET

FLOOR TYPE AND FINISHES TAG

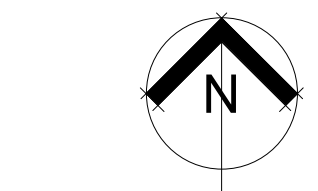


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CEILING TYPE AND FINISHES TAG

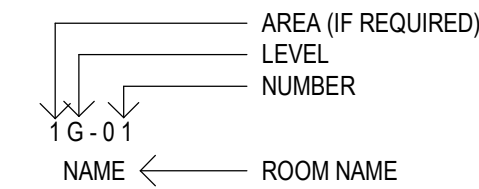


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NORTH SYMBOL

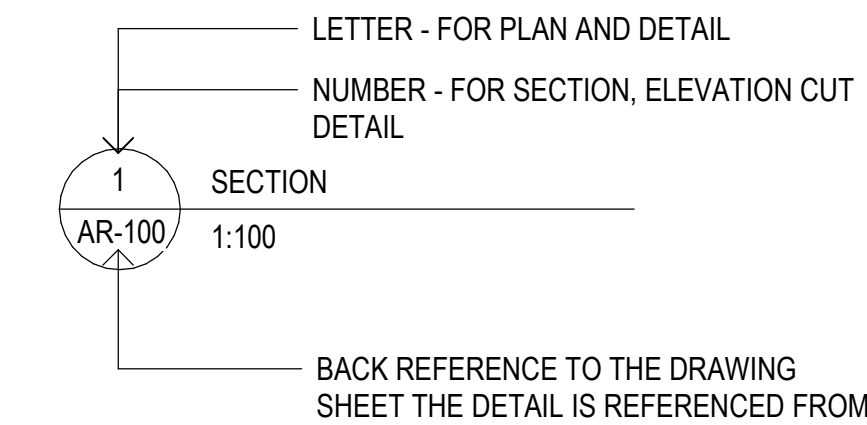
ROOM NUMBERS



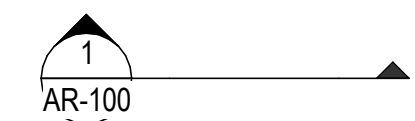
EXPRESSION OF LEVELS

RL 17.520	REDUCED LEVEL FOR PLAN VIEWS
+ 17.520	SPOT LEVEL
FFL 17.520	FINISHED FLOOR LEVEL FOR AREAS WITH CARPET, VINYL TILES FIXED DIRECTLY TO SL, AND PAINT FINISHES FFL = SURFACE LEVEL / FINISH FLOOR LEVEL
FCL 17.520	FINISHED CEILING LEVEL
SL 17.520	STRUCTURAL SURFACE LEVEL FOR CONCRETE WORK SL INCLUDES ALL CONCRETE TOPPING SLABS AND LEVELLING SCREEDS
RL 17.520	REDUCED LEVEL

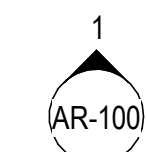
PROJECT TITLE REFERENCE



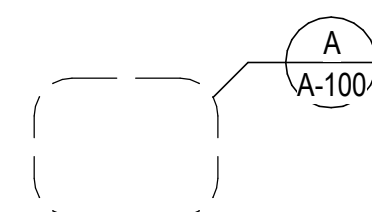
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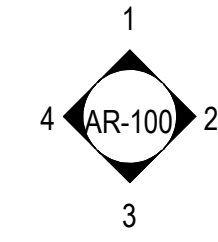
LONG, CROSS, & DETAIL SECTIONS



ELEVATIONS



PLAN DETAILS, CALLOUTS



ROOM ELEVATIONS

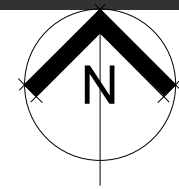
COMMON ABBREVIATIONS

ADJ	ADJUSTABLE
AFL	ABOVE FINISHED FLOOR LEVEL
AHD	AUSTRALIAN HEIGHT DATUM
AL	ALUMINIUM
AS	AUSTRALIAN STANDARD
BCA	BUILDING CODE OF AUSTRALIA
CE	CIVIL ENGINEERING ITEM
CHS	CIRCULAR HOLLOW SECTION
CJ	CONTROL JOINT
COL	COLUMN
COS	CHECK ON SITE
DB	DISTRIBUTION BOARD
DGP	DOUBLE GPO
DPC	DAMP PROOF COURSE
EA	EQUAL ANGLE
EDB	ELECTRICAL DISTRIBUTION BOARD
EJ	EXPANSION JOINT
EQ	EQUAL
EX	EXISTING
FCL	FINISHED CEILING LEVEL
FE	FIRE EXTINGUISHERS / BLANKETS
FFL	FINISHED FLOOR LEVEL
FG	FIXED GLASS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FIP	FIRE INDICATOR PANEL
FRL	FIRE RESISTANCE LEVEL
FW	FLOOR WASTE
GAL	GALVANISED
GPO	GENERAL PURPOSE OUTLET
GS	GAS OUTLET
HDG	HOT DIP GALVANISED
HMR	HIGH MOISTURE RESISTANCE
HP	HIGH POINT
HW	HOT WATER
LP	LOW POINT
m	METRES
m²	SQUARE METRES
m³	CUBIC METRES
MDF	MEDIUM DENSITY FIBREBOARD
mm	MILLIMETRES
MS	MILD STEEL
MSB	MAIN SWITCH BOARD
NCC	NATIONAL CONSTRUCTION CODE
NTS	NOT TO SCALE
PFC	PARALLEL FLANGE CHANNEL
PIR	POLYISOCYANURATE PANEL
PVC	POLYVINYL CHLORIDE
R	RADIUS
RL	REDUCED LEVEL
RWH	RAINWATER HEAD
RWO	RAINWATER OUTLET
SE	STRUCTURAL ENGINEERING ITEM
SHS	SQUARE HOLLOW SECTION
SIM	SIMILAR
TBC	TO BE CONFIRMED
TYP	TYPICAL
UA	UNEQUAL ANGLE
UB	UNIVERSAL BEAM
UC	UNIVERSAL COLUMN
UPS	UNINTERRUPTED POWER SUPPLY

MATERIALS, FINISHES AND FIXTURES

	BK:01 BLOCKWORK WALL - GB SMOOTH COLOUR: NICKEL
	BK:02 (PUMP HOUSE AND BATTERY RECHARGE) BLOCKWORK WALL, RENDERED PAINTED FINISH SEMI GLOSS ACRYLIC PAINT FINISH COLOUR: COLORBOND® EVENING HAZE (COS) TO MATCH NORTH BUILDING METAL CLADDING
	CD:01 PREFINISHED PROFILED METAL WALL CLADDING COLOUR: COLORBOND® SURFMIST
	IP:01 (WALL AND ROOF) PREFINISHED PIR INSULATED PANELS SKIN COLOUR: COLORBOND® SURFMIST, BOTH SIDES
	IP:02 PREFINISHED PIR INSULATED PANELS SKIN COLOUR OUTSIDE: COLORBOND® SHALE GREY SKIN COLOUR INSIDE: COLORBOND® SURFMIST
	IP:03 PREFINISHED PIR INSULATED PANELS SKIN COLOUR OUTSIDE: COLORBOND® FAIRY WREN SKIN COLOUR INSIDE: COLORBOND® SURFMIST
	IP:04 PREFINISHED PIR INSULATED PANELS SKIN COLOUR OUTSIDE: COLORBOND® FRASER COAST SKIN COLOUR INSIDE: COLORBOND® SURFMIST
	PAINT FINISH / PREFINISHED SKIN FOR FIRE RATED WALL COLOUR: COLORBOND® SURFMIST
	RF:01 PROFILED METAL ROOF SHEETING WITH INSULATION PROFILE TO MATCH EXISTING COLOUR: COLORBOND® SURFMIST
	FLASHING, GUTTERS AND DOWNPIPES TO MATCH ADJOINING WALL COLOURS
	RF:02 CONCRETE SLAB WITH WATERPROOFING MEMBRANE ON TOP
	SC:01 EXPANDED METAL PANEL FIXED TO STEEL STRUCTURE, POWDER COATED FINISH COLOUR TO MATCH COLORBOND® FAIRY WREN
	SC:02 SLATTED SCREEN FIXED TO STEEL STRUCTURE, POWDER COATED FINISH COLOUR: COLORBOND® SHALE GREY
	PW:01 PRECAST WALL, TEXTURED PAINTED FINISH COLOUR TO MATCH COLORBOND® SHALE GREY

KEY PLAN



560 RESERVOIR RD
PROSPECT NSW 2148

GENERAL NOTES

- IF THE CONTRACTOR FINDS ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE NOTIFIED.
- THE CONTRACTOR IS TO READ ALL DRAWINGS TO COORDINATE FIXTURES, FITTINGS AND DIMENSIONS.
- GRIDS ARE PROVIDED FOR REFERENCE ONLY.
- ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE BEFORE FABRICATION.
- MATERIAL PERFORMANCE TO COMPLY WITH ALL ASPECTS OF NCC / BCA AND RELEVANT AUSTRALIAN STANDARDS.
- APPLY PROPRIETARY MATERIALS AND COMPONENTS TO THE MANUFACTURER'S EXPRESS WRITTEN INSTRUCTIONS.
- DO NOT SCALE DRAWINGS
- ALL DIMENSIONS ARE IN MILLIMETRES
- REFER TO PROJECT SPECIFICATION AND MATERIAL, FINISHES AND FIXTURES SCHEDULE FOR PRODUCT SELECTION.

ELECTRICAL:

- REFER TO ELECTRICAL SERVICES DRAWINGS WHEN APPLICABLE.

PLUMBING & DRAINAGE

- REFER TO HYDRAULIC SERVICES DRAWINGS WHEN APPLICABLE

STRUCTURAL

- REFER TO STRUCTURAL ENGINEERS DRAWINGS.
- TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DOCUMENTATION ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE NOTIFIED.

FIRE

- REFER TO FIRE REPORT FOR DETAILED INFORMATION

OTHER:

- AT COMPLETION LEAVE THE SITE CLEAN AND TIDY.

D	REISSUED FOR DEVELOPMENT APPLICATION	GL	BT	AM	10.10.22
C	ISSUED FOR DEVELOPMENT APPLICATION	DM	BT	AM	28.06.22
B	ISSUED FOR DEVELOPMENT APPLICATION - DRAFT	DM	BT	AM	25.05.22
A	ISSUED FOR PRICING	DM	BT	AM	11.05.22
No.	Revision	By	Chk	Appd	Date

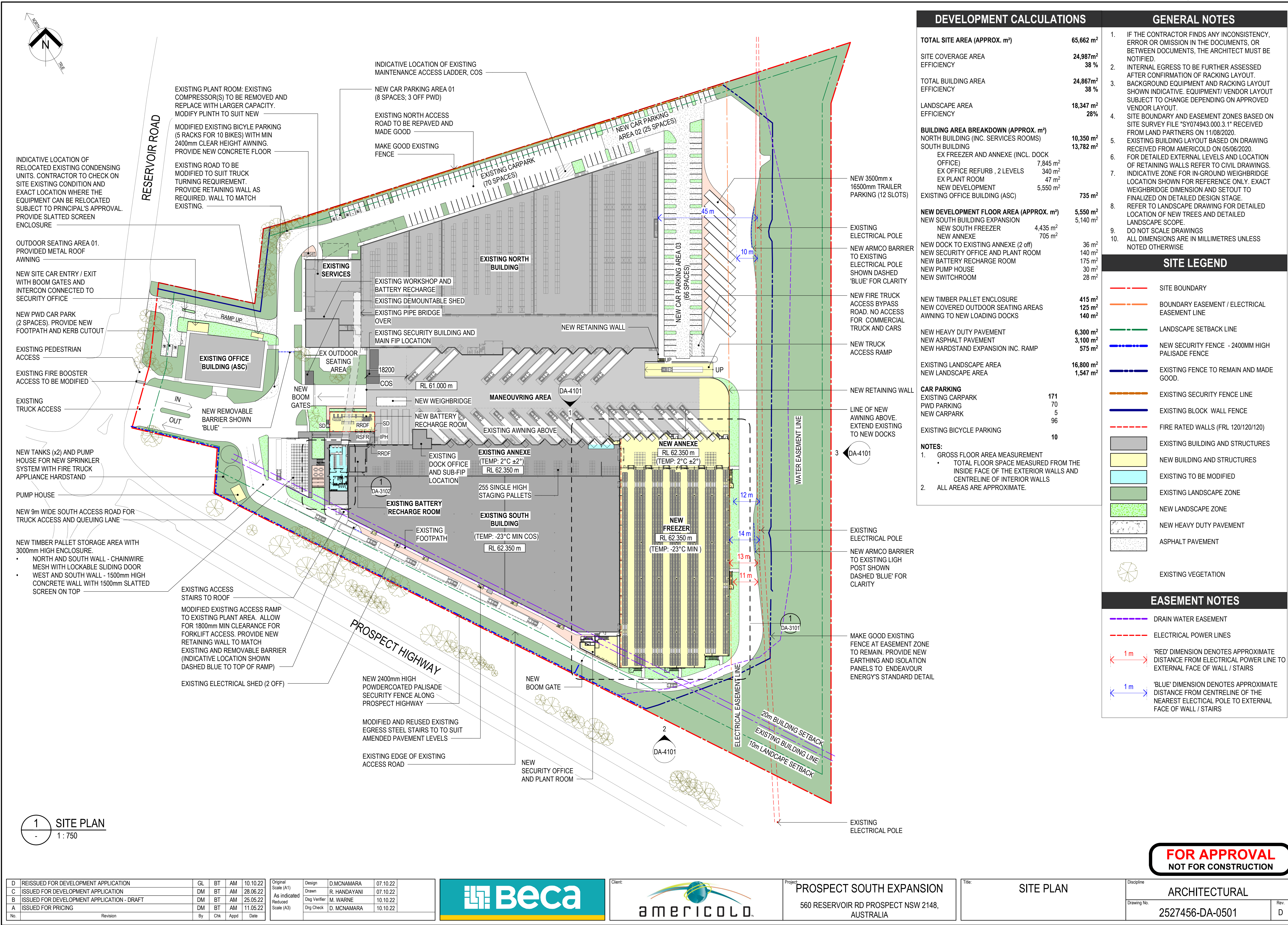
Original Scale (A1)	Design	D.MCNAMEARA	07.10.22
As indicated	Drawn	R. HANDAYANI	07.10.22
Reduced Scale (A3)	Dsg Verifier	M. WARNE	10.10.22
	Drg Check	D. MCNAMEARA	10.10.22

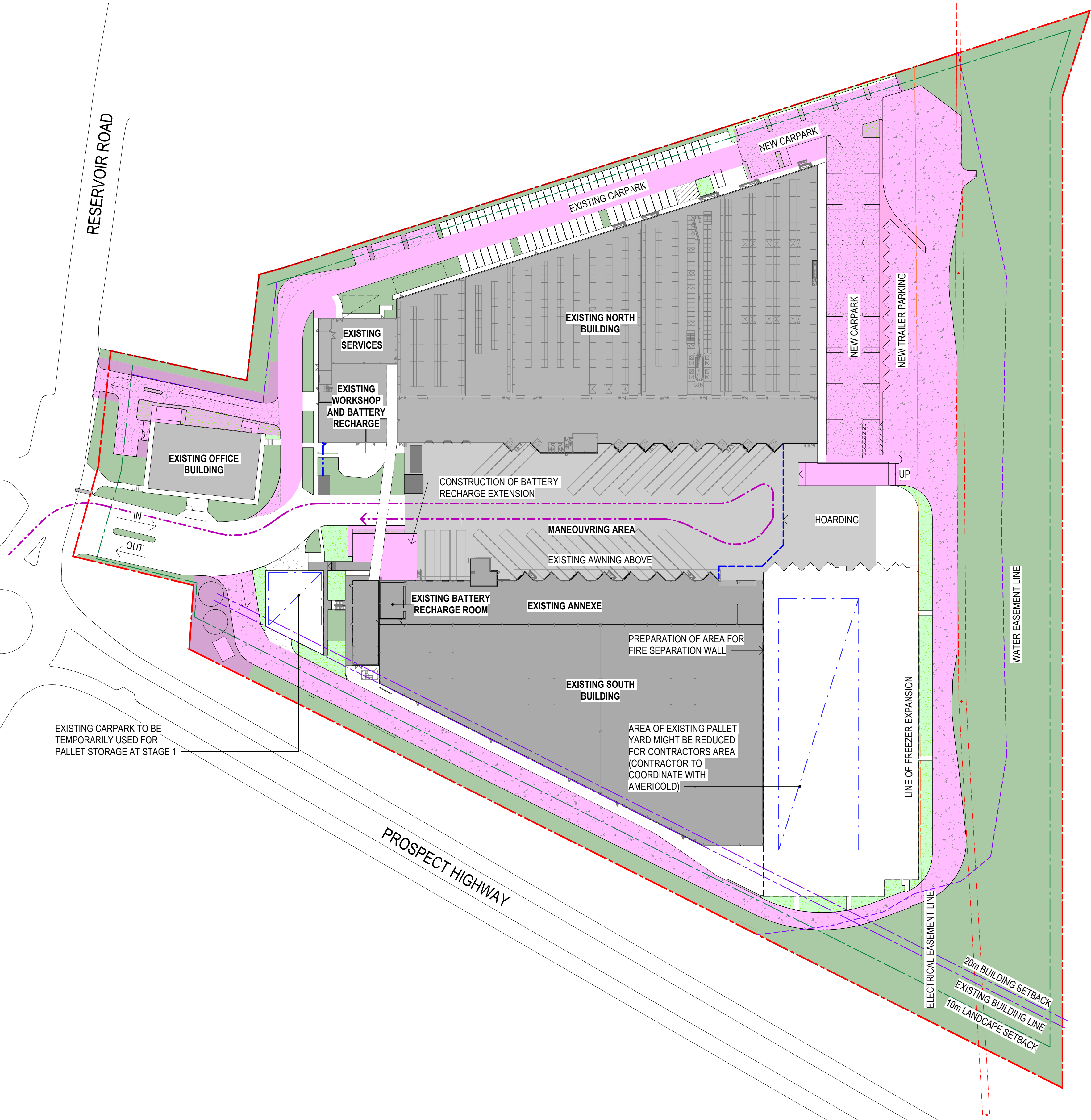
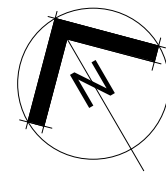


Client:	PROSPECT SOUTH EXPANSION
Project:	560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

Title:	DRAWING STANDARD CONVENTIONS & INDEX
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Discipline:	ARCHITECTURAL
Drawing No:	2527456-DA-0201
Rev:	D





SITE LEGEND	
	SITE BOUNDARY
	POWER LINE EASEMENT BOUNDARY
	LANDSCAPE SETBACK LINE
	SECURITY FENCE LINE
	EXISTING HARDSTAND
	NEW BUILDING AND STRUCTURES
	NEW FOOTPATH
	EXISTING DOCKS TO BE MODIFIED
	EXISTING BUILDING AND STRUCTURES
	LANDSCAPE ZONE

GENERAL NOTES	
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2.	INTERNAL EGRESS TO BE FURTHER ASSESSED AFTER CONFIRMATION OF RACKING LAYOUT.
3.	BACKGROUND EQUIPMENT AND RACKING LAYOUT SHOWN INDICATIVE. EQUIPMENT/ VENDOR LAYOUT SUBJECT TO CHANGE DEPENDING ON APPROVED VENDOR LAYOUT.
4.	SITE BOUNDARY AND EASEMENT ZONES BASED ON SITE SURVEY FILE "SY074943.000.3.1" RECEIVED FROM LAND PARTNERS ON 11/08/2020.
5.	EXISTING BUILDING LAYOUT BASED ON DRAWING RECEIVED FROM AMERICOLD ON 05/06/2020.
6.	FOR DETAILED EXTERNAL LEVELS AND LOCATION OF RETAINING WALLS REFER TO CIVIL DRAWINGS.
7.	INDICATIVE ZONE FOR IN-GROUND WEIGHBRIDGE LOCATION SHOWN FOR REFERENCE ONLY. EXACT WEIGHBRIDGE DIMENSION AND SETOUT TO FINALIZED ON DETAILED DESIGN STAGE.
8.	REFER TO LANDSCAPE DRAWING FOR DETAILED LOCATION OF NEW TREES AND DETAILED LANDSCAPE SCOPE.
9.	DO NOT SCALE DRAWINGS
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STAGING LEGEND AND NOTES	
	EXISTING BUILDING AND STRUCTURES
	STAGE 1 - SITE GRADING - EXTERNAL PAVEMENT AND ASSOCIATED KERBS - BATTERY RECHARGE - AWNING TO BICYCLE PARKING - OUTDOOR SEATING AT ASC BUILDING
	STAGE 2 - SOUTH COLD STORAGE EXPANSION - LOADING DOCKS TO EXISTING - TIMBER PALLET STORAGE - OUTDOOR SEATING AREA AT SOUTH BUILDING - INSTALLATION OF BATTERY RECHARGE STATION - MODIFICATION OF EXISTING EGRESS STAIRS TO COLDSTORE - EXTERNAL STAIRS AND RAILING TO OFFICE AND AMENITIES - WEIGHBRIDGE - NEW SECURITY OFFICE AND PLANT ROOM
	STAGE 3 - TRANSPORT DOCK, LUNCHROOM AND AMENITIES INTERNAL FITOUT
	COLDSTORE TRUCK ROUTE DURING STAGE 1 CONSTRUCTION
	COLDSTORE TRUCK ROUTE DURING STAGE 2 CONSTRUCTION
	COLDSTORE TRUCK ROUTE DURING STAGE 3 CONSTRUCTION

NOTES:	
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2.	CONTRACTOR TO INCLUDE HOARDING PLAN AND ALTERNATIVE EGRESS ROUTE FOR DIFFERENT CONSTRUCTION STAGES.
3.	REFER TO PPR DOCUMENT FOR BUILDING SERVICES STAGING.

1 STAGING PLAN - STAGE 1
1 : 750

D	REISSUED FOR DEVELOPMENT APPLICATION	GL	BT	AM	10.10.22
C	ISSUED FOR DEVELOPMENT APPLICATION	DM	BT	AM	28.06.22
B	ISSUED FOR DEVELOPMENT APPLICATION - DRAFT	DM	BT	AM	25.05.22
A	ISSUED FOR PRICING	DM	BT	AM	11.05.22
No.	Revision	By	Chk	Appd	Date

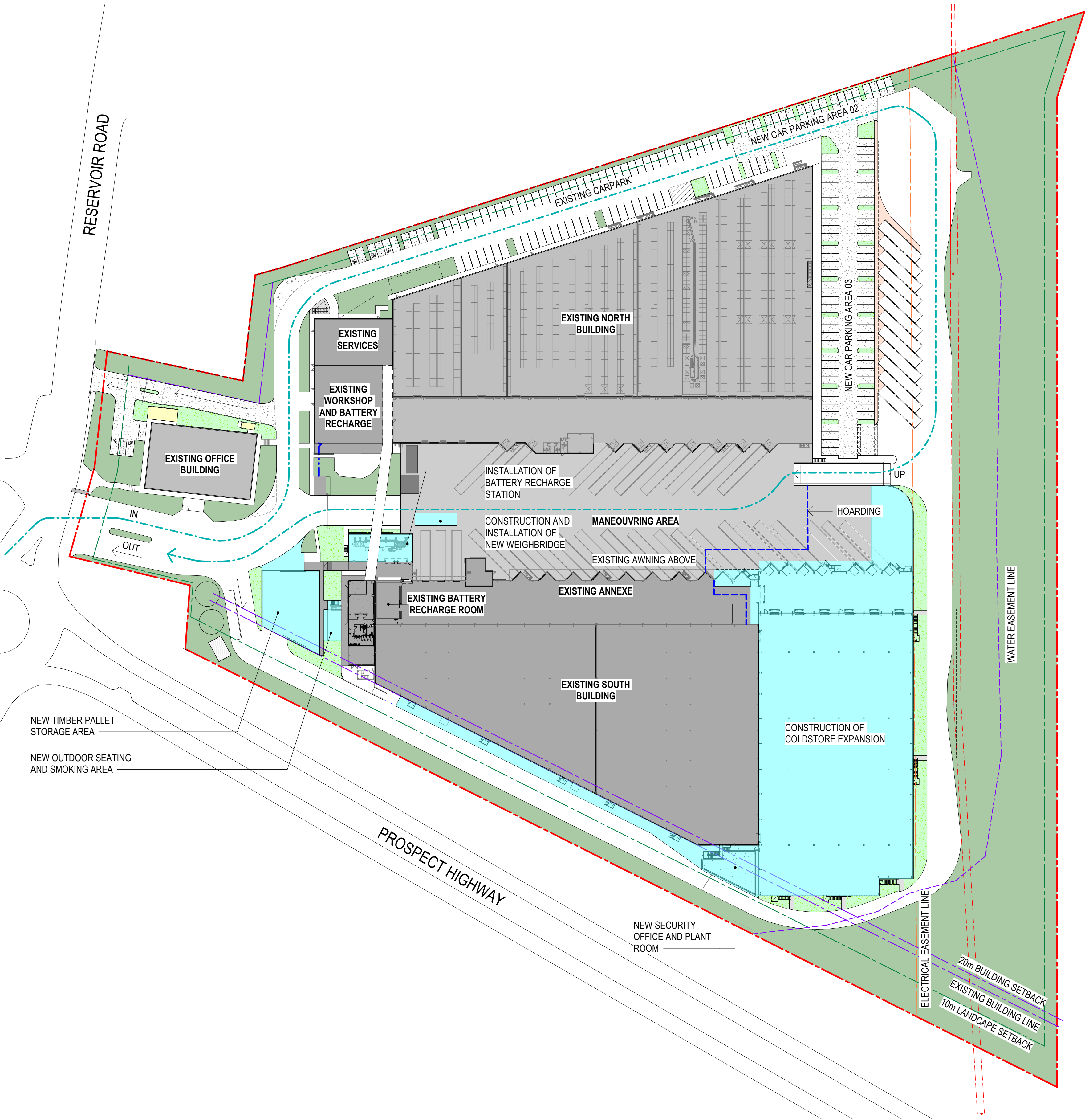
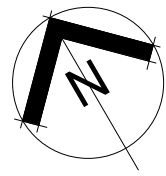
Original Scale (A1)	Design	D.MCNAMEARA	07.10.22
As indicated	Drawn	R. HANDAYANI	07.10.22
Reduced Scale (A3)	Disg Verifier	M. WARNE	10.10.22
	Drg Check	D. MCNAMEARA	10.10.22



Client:
Project: PROSPECT SOUTH EXPANSION
560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

Title: STAGING PLAN - STAGE 1
Discipline: ARCHITECTURAL
Drawing No: 2527456-DA-0502
Rev: D

FOR APPROVAL
NOT FOR CONSTRUCTION



SITE LEGEND	
	SITE BOUNDARY
	POWER LINE EASEMENT BOUNDARY
	LANDSCAPE SETBACK LINE
	SECURITY FENCE LINE
	EXISTING HARDSTAND
	NEW BUILDING AND STRUCTURES
	NEW FOOTPATH
	EXISTING DOCKS TO BE MODIFIED
	EXISTING BUILDING AND STRUCTURES
	LANDSCAPE ZONE

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5.	EXISTING BUILDING LAYOUT BASED ON DRAWING RECEIVED FROM AMERICOLD ON 05/06/2020.
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STAGING LEGEND AND NOTES	
	EXISTING BUILDING AND STRUCTURES
	STAGE 1 - SITE GRADING - EXTERNAL PAVEMENT AND ASSOCIATED KERBS - BATTERY RECHARGE - AWNING TO BICYCLE PARKING - OUTDOOR SEATING AT ASC BUILDING
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1 STAGING PLAN - STAGE 2
1 : 750

D	REISSUED FOR DEVELOPMENT APPLICATION	GL	BT	AM	10.10.22
C	ISSUED FOR DEVELOPMENT APPLICATION	DM	BT	AM	28.06.22
B	ISSUED FOR DEVELOPMENT APPLICATION - DRAFT	DM	BT	AM	25.05.22
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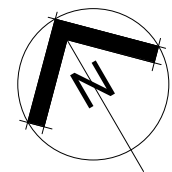
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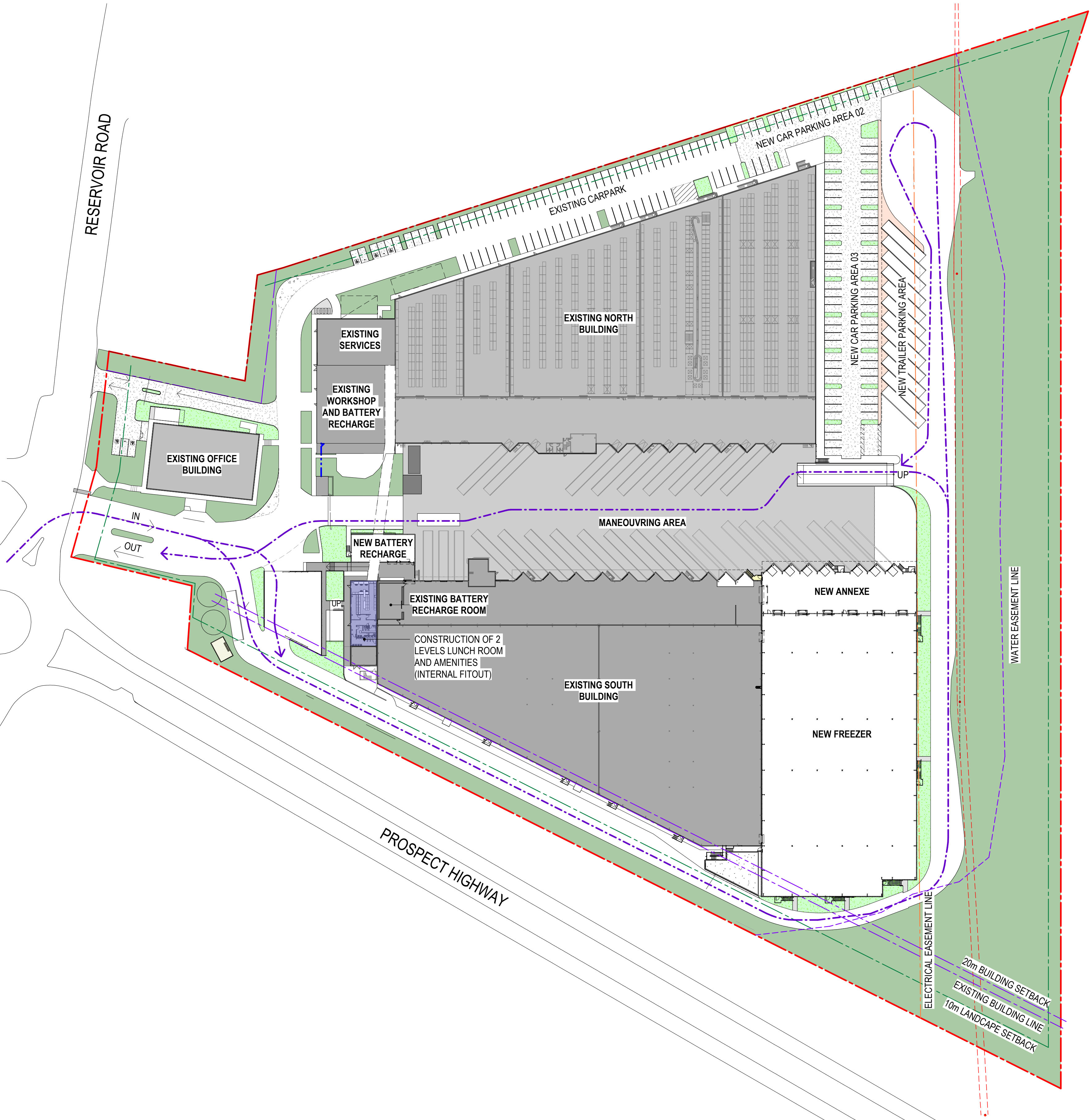
Client:
Project: PROSPECT SOUTH EXPANSION
560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

Title: STAGING PLAN - STAGE 2
Discipline: ARCHITECTURAL
Drawing No: 2527456-DA-0503
Rev: D

FOR APPROVAL
NOT FOR CONSTRUCTION



RESERVOIR ROAD



SITE LEGEND

- SITE BOUNDARY
- POWER LINE EASEMENT BOUNDARY
- LANDSCAPE SETBACK LINE
- SECURITY FENCE LINE
- EXISTING HARDSTAND
- NEW BUILDING AND STRUCTURES
- NEW FOOTPATH
- EXISTING DOCKS TO BE MODIFIED
- EXISTING BUILDING AND STRUCTURES
- LANDSCAPE ZONE

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STAGING LEGEND AND NOTES

- EXISTING BUILDING AND STRUCTURES
- STAGE 1**
 - SITE GRADING
 - EXTERNAL PAVEMENT AND ASSOCIATED KERBS
 - BATTERY RECHARGE
 - AWNING TO BICYCLE PARKING
 - OUTDOOR SEATING AT ASC BUILDING
- STAGE 2**
 - SOUTH COLD STORAGE EXPANSION
 - LOADING DOCKS TO EXISTING
 - TIMBER PALLET STORAGE
 - OUTDOOR SEATING AREA AT SOUTH BUILDING
 - INSTALLATION OF BATTERY RECHARGE STATION
 - MODIFICATION OF EXISTING EGRESS STAIRS TO COLDSTORE
 - EXTERNAL STAIRS AND RAILING TO OFFICE AND AMENITIES
 - WEIGHBRIDGE
 - NEW SECURITY OFFICE AND PLANT ROOM
- STAGE 3**
 - TRANSPORT DOCK, LUNCHROOM AND AMENITIES INTERNAL FITOUT
- COLDSTORE TRUCK ROUTE DURING STAGE 1 CONSTRUCTION
- COLDSTORE TRUCK ROUTE DURING STAGE 2 CONSTRUCTION
- COLDSTORE TRUCK ROUTE DURING STAGE 3 CONSTRUCTION

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1 STAGING PLAN - STAGE 3
- 1 : 750

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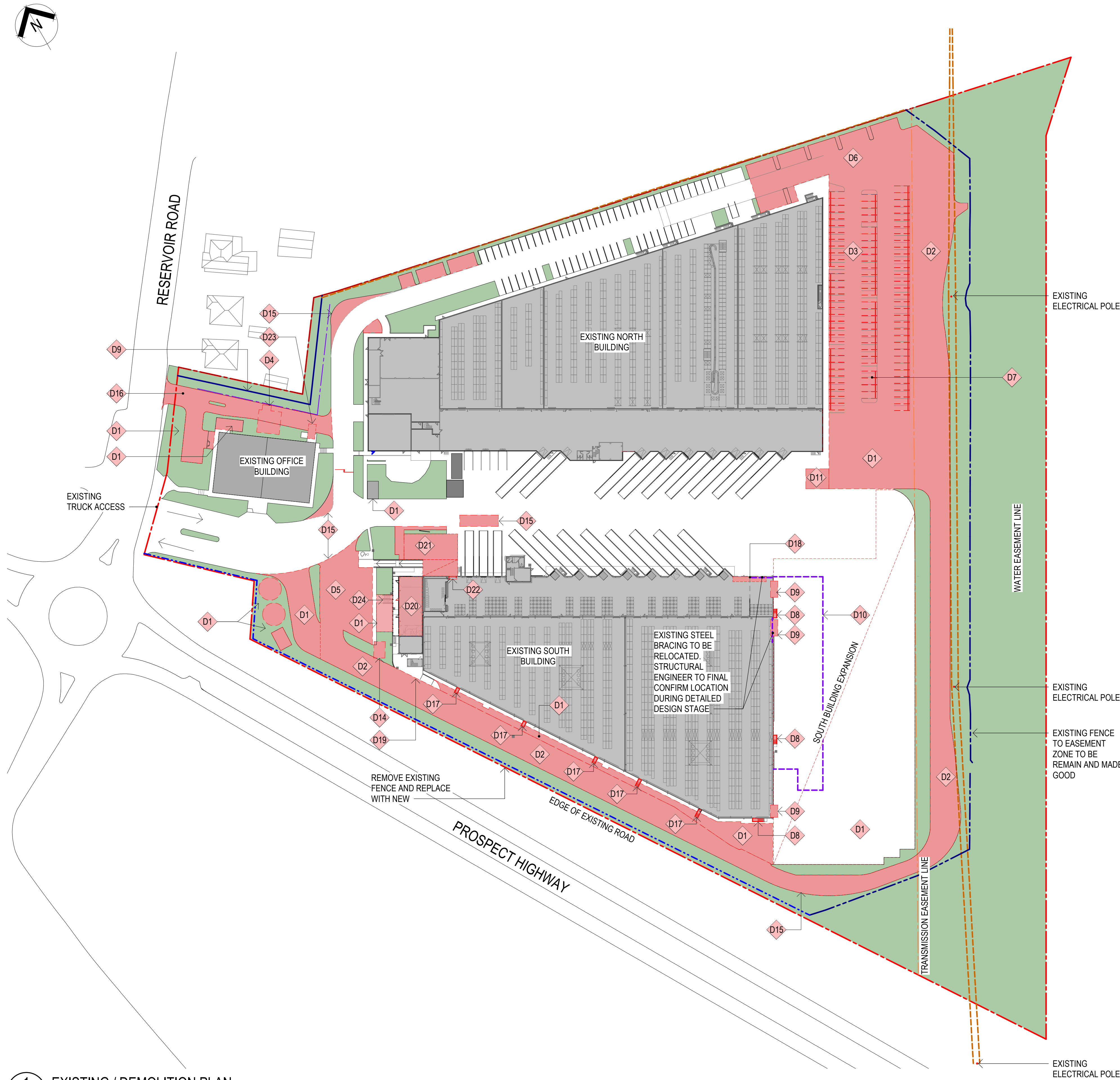
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Client: PROSPECT SOUTH EXPANSION
560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

Title: STAGING PLAN - STAGE 3

Discipline	ARCHITECTURAL
Drawing No.	2527456-DA-0504
Rev.	D



DEMOLITION LEGEND	
D1	EXISTING LANDSCAPE AREA TO BE MODIFIED TO SUIT NEW SITE LAYOUT
D2	EXISTING ACCESS ROAD / HARD STAND TO BE MODIFIED AND RE- PAVED TO SUIT NEW LAYOUT
D3	EXISTING CARPARK AREA TO BE MODIFIED TO SUIT NEW LAYOUT. REFER TO CIVIL DETAILS FOR REGRADING OF EXISTING PAVEMENT
D4	DEMOLISH EXISTING OUTDOOR SEATING SHELTER.
D5	EXISTING CARPARK TO BE REMOVED. AREA TO BE MODIFIED TO ACCOMMODATE NEW TIMBER PALLET STORAGE.
D6	MODIFY EXISTING DRIVEWAY AND LANDSCAPE AREA FOR NEW CAR PARK AREA.
D7	EXISTING CARPARK TO BE REMOVED. EXISTING PAVEMENT TO BE MODIFIED TO SUIT NEW LAYOUT
D8	CAREFULLY REMOVE EXISTING EGRESS DOORS AND STAIRS. INFILL REDUNDANT WALL OPENING TO SUIT NEW LAYOUT
D9	CAREFULLY REMOVE PART OF EXISTING INSULATED PANEL WALL FOR NEW DOOR OPENING
D10	CAREFULLY DEMOLISH EXISTING CONCRETE BLOCK RETAINING WALL FOR NEW BUILDING EXPANSION
D11	CAREFULLY CUT BACK EXISTING CONCRETE HARDSTAND FOR NEW TRUCK RAMP AND MAKE GOOD UPON COMPLETION
D12	CAREFULLY REMOVE PART OF EXISTING INSULATED PANEL AND ASSOCIATED DOORS AND METALWORK TO SUIT NEW DOCK LAYOUT. DEMOLISH PART OF EXISTING FLOOR TO SUIT NEW DOCK LEVELLER
D13	CAREFULLY REMOVE EXISTING DOOR AND ENLARGE OPENING TO ACCEPT NEW DOOR
D14	DEMOLISH EXISTING OUTDOOR SEATING AREA. PAVED ADJACENT EXISTING LANDSCAPE AREA TO FOR NEW OUTDOOR SEATING AREA.
D15	AMEND ROAD ALIGNMENT AND PREPARE FOR A NEW RETAINING WALL (WHERE REQUIRED)
D16	REMOVE EXISTING VEGETATION TO SUIT NEW LAYOUT
D17	CAREFULLY REMOVE EXISTING EGRESS STEEL STAIRS. MODIFY AND RELOCATE TO NEW POSITION
D18	CAREFULLY DEMOLISH EXISTING EXTERNAL INSULATED WALL PANEL TO ACCOMMODATE TWO NEW DOCKS. MODIFY EXISTING SLAB TO ACCEPT NEW DOCK LEVELLERS
D19	DEMOLISH EXISTING RETAINING WALL AND MODIFY EXTENT OF RAMP
D20	GROUND FLOOR - DEMOLISH INTERNAL FITOUT OF EXISTING OFFICE AND AMENITIES. MODIFICATION TO EXISTING EXTERNAL WALLS AND WINDOWS REQUIRED TO SUIT NEW LAYOUT. INFILL REDUNDANT WALL OPENING. MAKE GOOD EXISTING
FIRST FLOOR - DEMOLISH AND REMOVE INTERNAL OFFICE FITOUT. MAKE GOOD EXISTING	
D21	DEMOLISHED EXISTING TRUCK WASH BAY SHELTER AND ADJACENT AWNING TO SOUTH BUILDING ENTRY
D22	MODIFY EXISTING WALL AND CAREFULLY REMOVE EXISTING RAPID ROLLER AND INSULATED PANEL DOORS TO ACCOMMODATE FOR NEW DOOR SIZE
D23	CAREFULLY REMOVE EXISTING HVAC UNIT AFFECTED BY VEHICLE ACCESS. REROUTE DUCTS / PIPE CONNECTIONS TO SUIT NEW LAYOUT
D24	MAKE GOOD EXISTING CONCRETE STAIRS OR RECONSTRUCT TO COMPLY WITH NCC. BALUSTRADE TO FIRST FLOOR LEVEL TO BE REMOVED AND REPLACED WITH NEW.

GENERAL NOTES	
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2.	INTERNAL EGRESS TO BE FURTHER ASSESSED AFTER CONFIRMATION OF RACKING LAYOUT.
3.	BACKGROUND EQUIPMENT AND RACKING LAYOUT SHOWN INDICATIVE. EQUIPMENT/ VENDOR LAYOUT SUBJECT TO CHANGE DEPENDING ON APPROVED VENDOR LAYOUT.
4.	SITE BOUNDARY AND EASEMENT ZONES BASED ON SITE SURVEY FILE "SY074943.000.3.1" RECEIVED FROM LAND PARTNERS ON 11/08/2020.
5.	EXISTING BUILDING LAYOUT BASED ON DRAWING RECEIVED FROM AMERICOLD ON 05/06/2020.
6.	FOR DETAILED EXTERNAL LEVELS AND LOCATION OF RETAINING WALLS REFER TO CIVIL DRAWINGS.
7.	INDICATIVE ZONE FOR IN-GROUND WEIGHBRIDGE LOCATION SHOWN FOR REFERENCE ONLY. EXACT WEIGHBRIDGE DIMENSION AND SETOUT TO FINALIZED ON DETAILED DESIGN STAGE.
8.	REFER TO LANDSCAPE DRAWING FOR DETAILED LOCATION OF NEW TREES AND DETAILED LANDSCAPE SCOPE.
9.	DO NOT SCALE DRAWINGS
10.	ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE
GENERAL DEMOLITION LEGEND AND NOTES	
	EXISTING DOOR TO REMAIN AND MADE GOOD
	EXISTING DOOR TO BE REMOVED. MAKE GOOD EXISTING WALL OPENING
	EXISTING WALL TO BE RETAINED AND MADE GOOD
	EXTERNAL SITE AREA TO BE MODIFIED TO SUIT NEW LAYOUT
	EXISTING STRUCTURE TO BE REMOVED / DEMOLISHED. MAKE GOOD ADJOINING WALL EDGES TO BE RETAINED
	DEMOLISHED VEGETATION
	REMAINING VEGETATION
NOTES	
A.	MAKE GOOD ALL AREAS AND MATERIALS AFFECTED BY DEMOLITION.
B.	REASONABLE CARE SHOULD ALWAYS BE TAKEN TO PROTECT AND PRESERVE ALL ELEMENTS WHICH ARE NOT DUE FOR DEMOLITION.
C.	PRIOR TO REMOVING WALL / PARTITIONS, CONFIRM ON SITE IF ANY OR PART OF THE EXISTING WALLS / PARTITIONS TO BE REMOVED ARE LOAD BEARING OR NOT.
D.	CONTRACTOR TO TERMINATE AND CAP ALL EXISTING SERVICES INCLUDING AND WHERE APPLICABLE ELECTRICAL, MECHANICAL, WATER, SEWER, STORM WATER AND FIRE MAIN.
E.	ALLOW FOR ALL DEMOLISHED MATERIALS TO BE REMOVED OFF-SITE. ALLOW FOR ALL PAYMENT OF TRANSPORT AND TIP FEES.
F.	THESE DRAWINGS OUTLINE THE GENERAL DEMOLITION WORKS REQUIRED TO FACILITATE THE PROPOSED BUILDING WORKS. THE CONTRACTOR SHALL MAKE THEIR OWN DETAILED INVESTIGATIONS TO IDENTIFY THE FULL EXTENT OF THE DEMOLITION WORKS REQUIRED, PRIOR TO COMMENCING ANY WORK.

1 EXISTING / DEMOLITION PLAN
1:750

D	REISSUED FOR DEVELOPMENT APPLICATION	GL	BT	AM	10.10.22
C	ISSUED FOR DEVELOPMENT APPLICATION	DM	BT	AM	28.06.22
B	ISSUED FOR DEVELOPMENT APPLICATION - DRAFT	DM	BT	AM	25.05.22
A	ISSUED FOR PRICING	DM	BT	AM	11.05.22
No.	Revision	By	Chk	Appd	Date

Original Scale (A1)	Design	D.MCNAMARA	07.10.22
As indicated	Drawn	R. HANDAYANI	07.10.22
Reduced Scale (A3)	Dsg Verifier	M. WARNE	10.10.22
	Drg Check	D. MCNAMARA	10.10.22

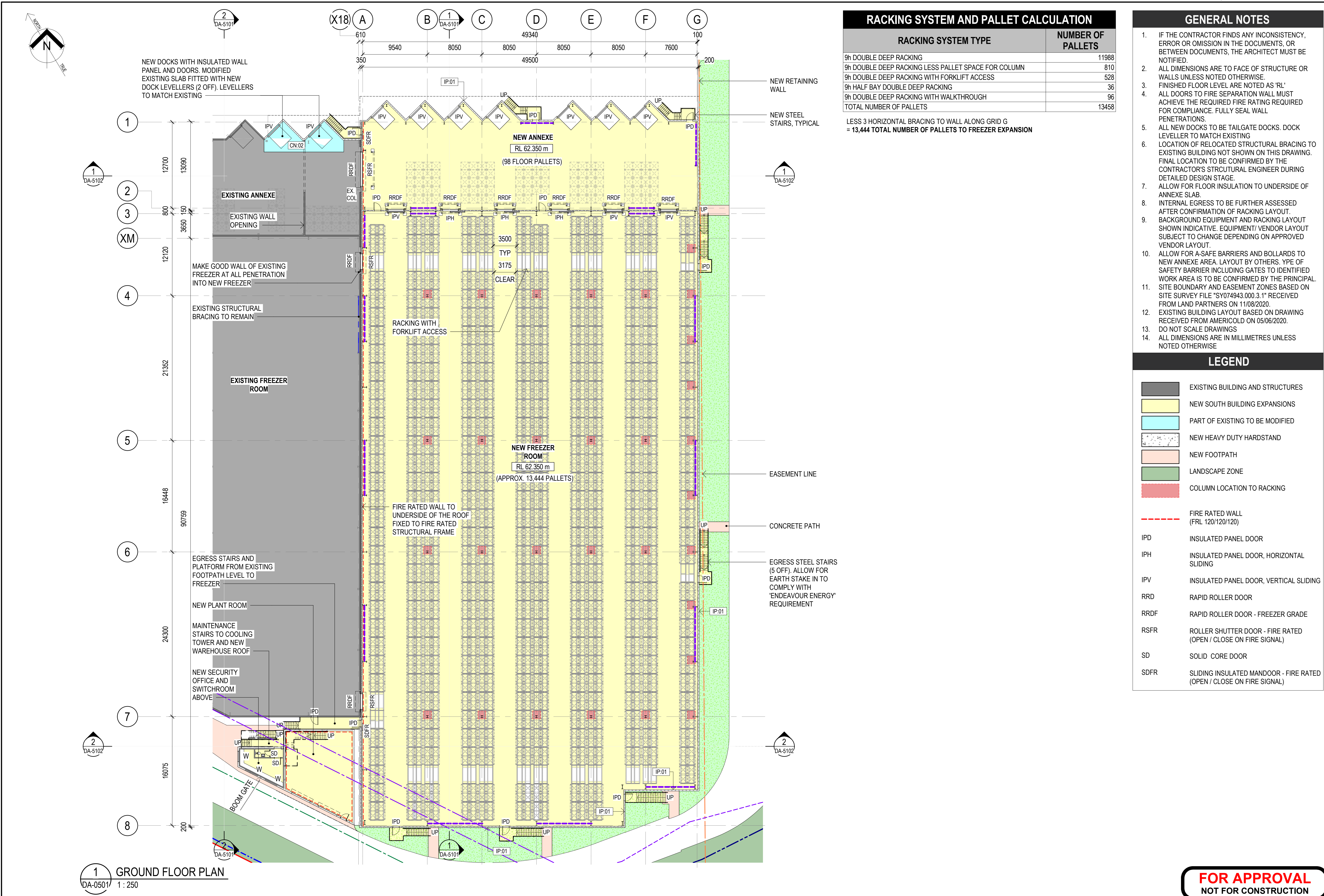


Client:
Project: PROSPECT SOUTH EXPANSION
560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

Title: EXISTING SITE CONDITION AND DEMOLITION PLAN

Discipline	ARCHITECTURAL
Drawing No.	2527456-DA-2101
Rev.	D

FOR APPROVAL
NOT FOR CONSTRUCTION



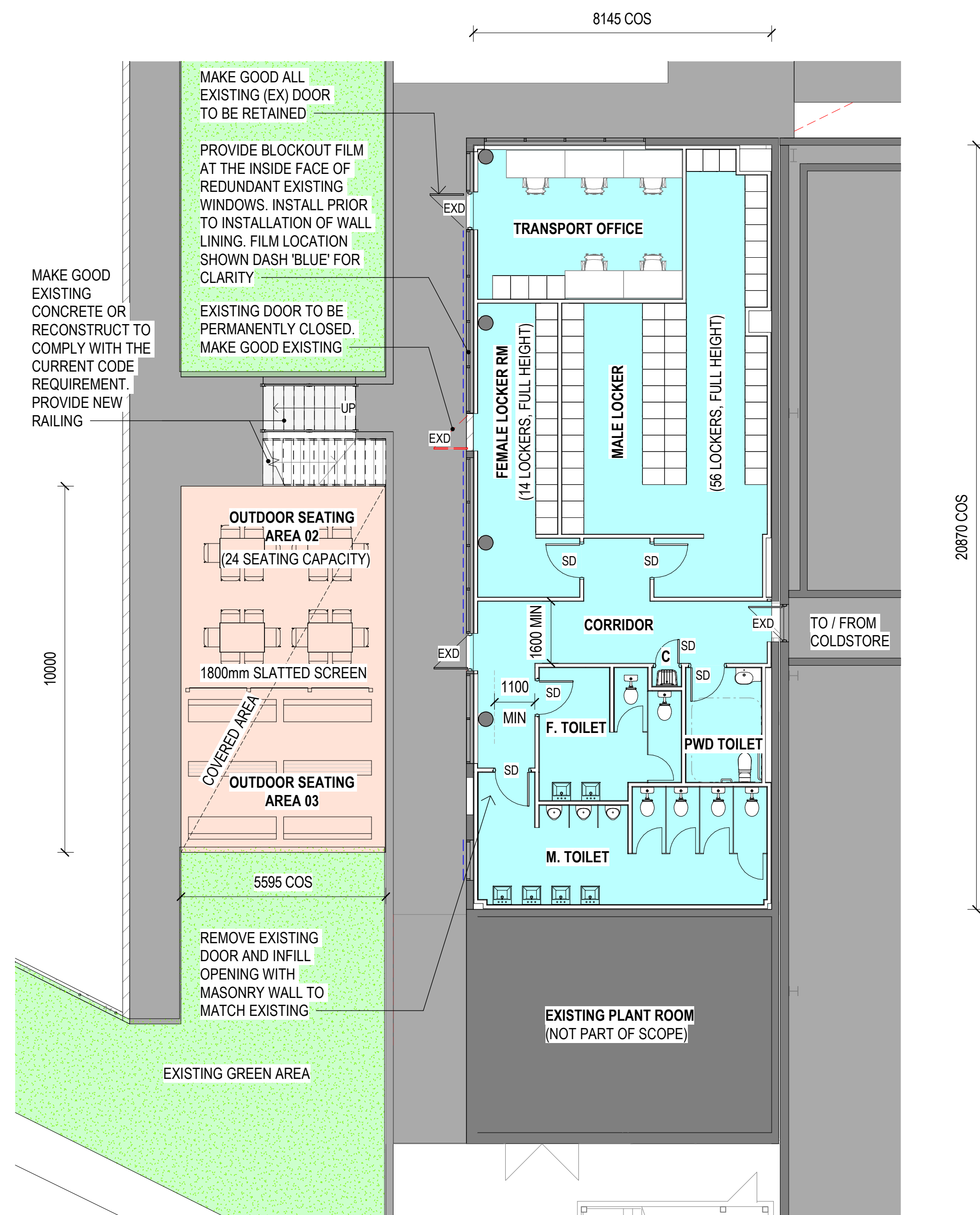
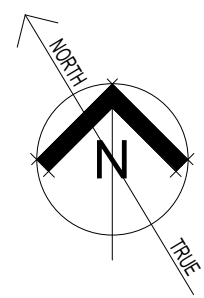
E	REISSUED FOR DEVELOPMENT APPLICATION	GL	BT	AM	10.10.22	Original	Design	D.MCNAMARA	07.10.22
D	ISSUED FOR DEVELOPMENT APPLICATION	DM	BT	AM	28.06.22	Scale (A1)	Drawn	R. HANDAYANI	07.10.22
C	REISSUED FOR PRICING	DM	BT	AM	14.06.22	As indicated	Desg Verifier	M. WARNE	10.10.22
B	ISSUED FOR DEVELOPMENT APPLICATION - DRAFT	DM	BT	AM	25.05.22	Reduced	Drg Check	D. MCNAMARA	10.10.22
No.	Revision	By	Chk	Appd	Date	Scale (A3)			



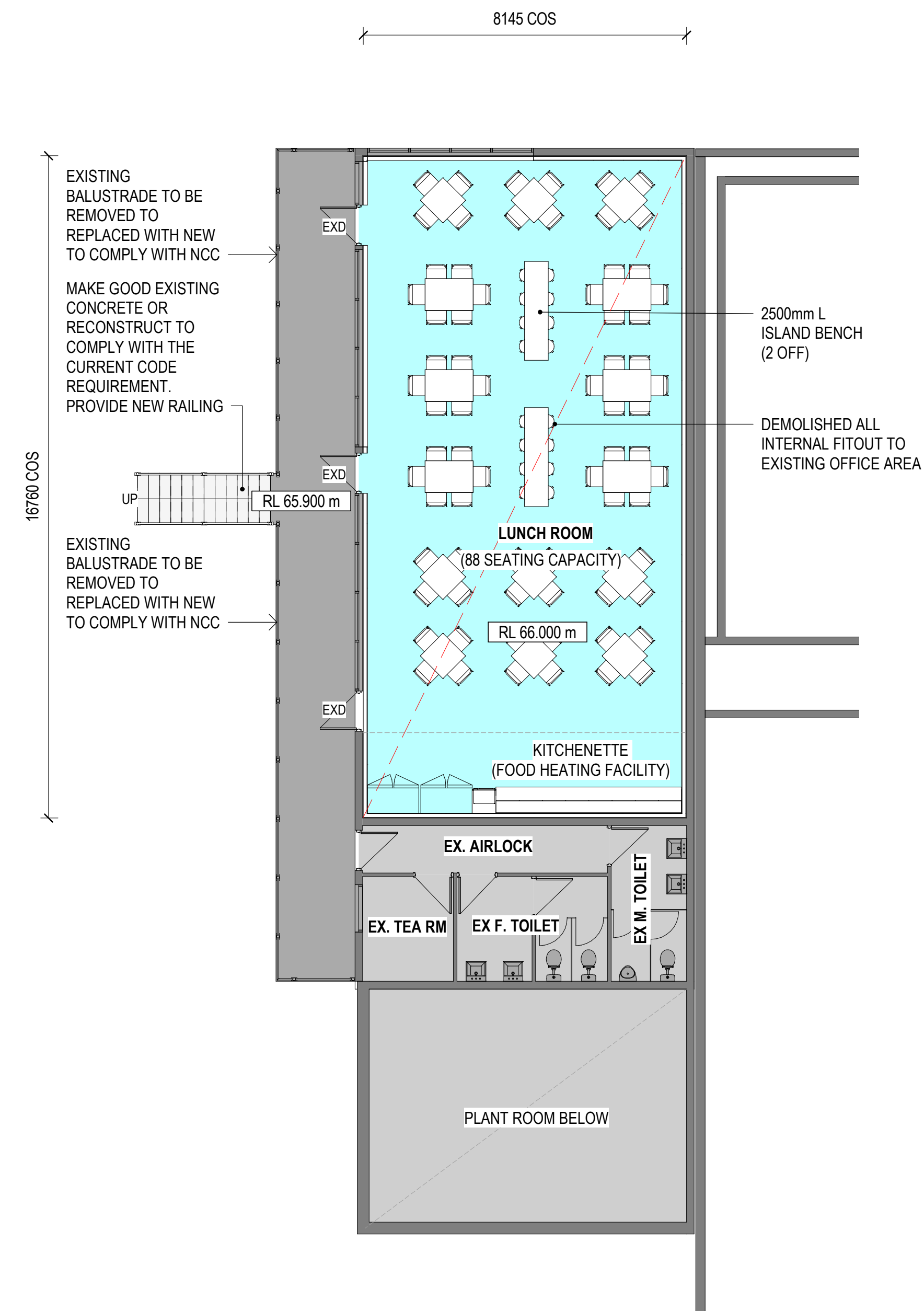
Client: PROSPECT SOUTH EXPANSION
560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

Title: SOUTH BUILDING EXPANSION FLOOR PLAN

Discipline	ARCHITECTURAL
Drawing No.	2527456-DA-3101
Rev.	E



1 GROUND FLOOR - OFFICE AND AMENITIES PLAN
DA-0501 1 : 100



2 FIRST FLOOR - LUNCH ROOM PLAN
- 1 : 100

GENERAL NOTES AND LEGENDS

- EXISTING BUILDING AND STRUCTURE
- EXISTING REFURBISHMENT
- FITOUT OF EXISTING TO REMAIN. MAKE GOOD EXISTING
- EXISTING WINDOW TO BE BLOCKED OFF
- EXD EXISTING DOOR TO REMAIN AND MAKE GOOD
- SD NEW SOLID CORE DOOR, PAINTED FINISH
- EXISTING DOOR TO REMAIN AND MADE GOOD
- EXISTING DOOR TO BE REMOVED. MAKE GOOD EXISTING WALL OPENING
- EXISTING WALL TO BE RETAINED AND MADE GOOD
- EXISTING WALLS TO BE REMOVED / DEMOLISHED. MAKE GOOD ADJOINING WALL EDGES TO BE RETAINED

- NOTE:
- ALL INTERNAL PARTITIONS TO BE FULL HEIGHT WALLS (UP TO UNDERSIDE OF STRUCTURE) UNLESS NOTED OTHERWISE.
 - PROVIDE THERMAL INSULATION TO ALL EXTERNAL WALLS AND ROOF TO COMPLY WITH PART J REQUIREMENT OF THE NCC
 - PROVIDE ACOUSTIC INSULATION TO INTERNAL WALLS
 - ALL FITTINGS WITHIN ACCESSIBLE TOILETS AND SHOWERS ARE TO COMPLY WITH AS 1428.1-2021 DESIGN FOR ACCESS & MOBILITY. DO NOT SCALE DRAWINGS
 - ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE

No.	Revision	By	Chk	Appd	Date
C	ISSUED FOR DEVELOPMENT APPLICATION	DM	BT	AM	28.06.22
B	ISSUED FOR DEVELOPMENT APPLICATION - DRAFT	DM	BT	AM	25.05.22
A	ISSUED FOR PRICING	DM	BT	AM	11.05.22

Original Scale (A1)	Design	D. MCNAMARA	11.05.22
1 : 100	Drawn	R. HANDAYANI	11.05.22
Reduced Scale (A3)	Dsg Verifier	M. WARNE	11.05.22
	Drg Check	D. MCNAMARA	11.05.22



Project: PROSPECT SOUTH EXPANSION
560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

Title: OFFICE, AMENITIES AND LUNCH ROOM PLANS

Discipline	ARCHITECTURAL
Drawing No.	2527456-DA-3102
Rev.	C

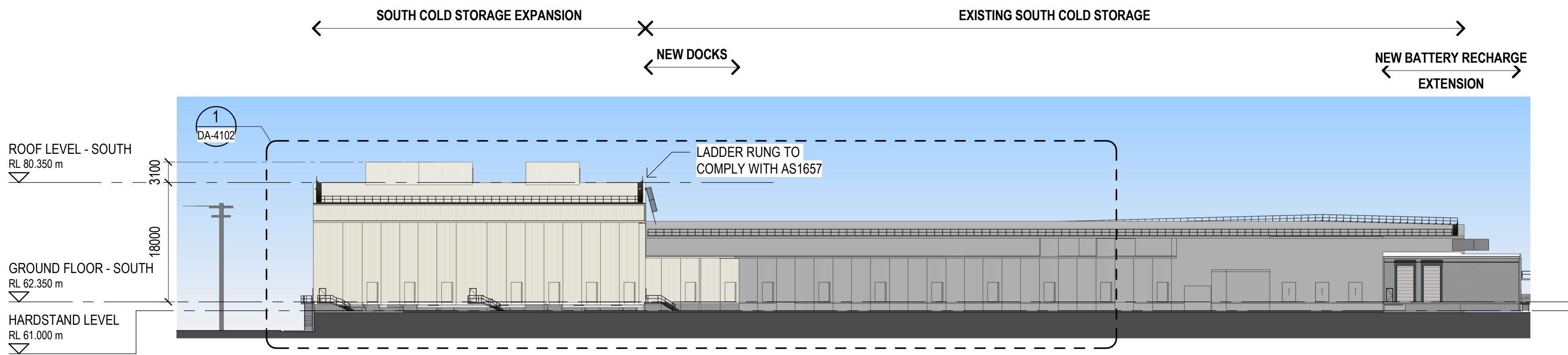
FOR APPROVAL
NOT FOR CONSTRUCTION



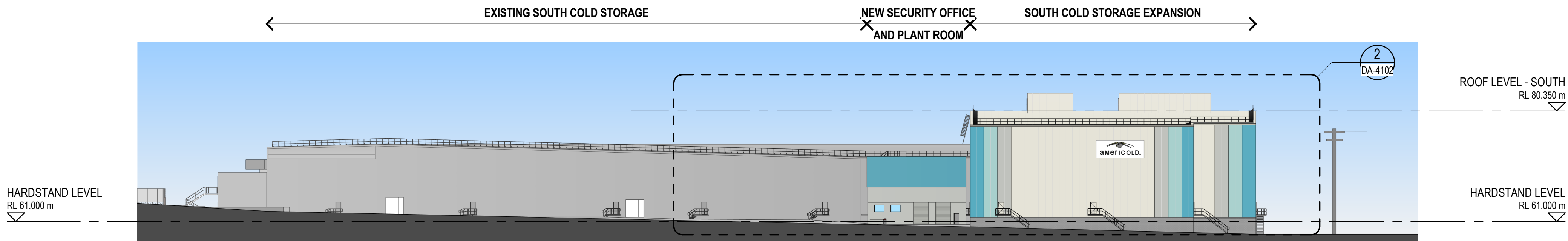
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Discipline		ARCHITECTURAL
Drawing No.	2527456-DA-3201	Rev. E

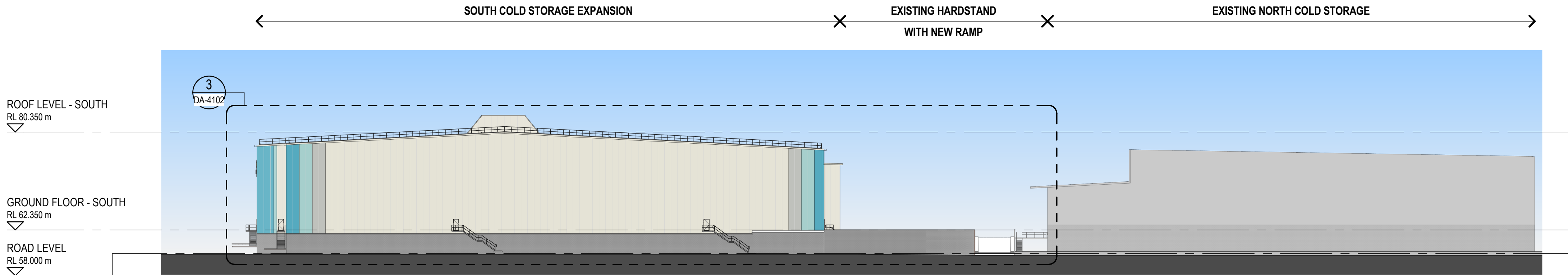
FOR APPROVAL
NOT FOR CONSTRUCTION



1 OVERALL - NORTH ELEVATION
DA-0501 1 : 500

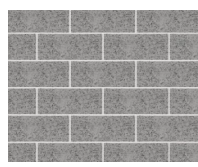


2 OVERALL - SOUTH ELEVATION
DA-0501 1 : 500

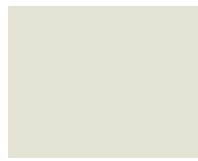


3 OVERALL EAST ELEVATION
DA-0501 1 : 500

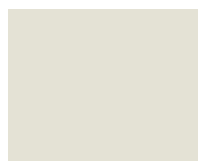
MATERIAL FINISHES & LEGEND



BK:01
BLOCKWORK WALL - GB SMOOTH
COLOUR: NICKEL



CD:01
PREFINISHED PROFILED METAL WALL
CLADDING
COLOUR: COLORBOND® SURFMIST



IP:01 / RF:01
PREFINISHED PIR INSULATED PANELS
SKIN COLOUR: COLORBOND® SURFMIST,
BOTH SIDES



IP:02
PREFINISHED PIR INSULATED PANELS
SKIN COLOUR OUTSIDE: COLORBOND®
SHALE GREY
SKIN COLOUR INSIDE: COLORBOND®
SURFMIST



IP:03
PREFINISHED PIR INSULATED PANELS
SKIN COLOUR OUTSIDE: COLORBOND®
FAIRY WREN
SKIN COLOUR INSIDE: COLORBOND®
SURFMIST



IP:04
PREFINISHED PIR INSULATED PANELS
SKIN COLOUR OUTSIDE: COLORBOND®
FRASER COAST
SKIN COLOUR INSIDE: COLORBOND®
SURFMIST



**PAINT FINISH / PREFINISHED SKIN FOR
FIRE RATED WALL**
COLOUR: COLORBOND® SURFMIST

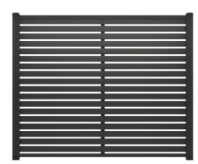


RF:01
PROFILED METAL ROOF SHEETING
WITH INSULATION PROFILE TO MATCH
EXISTING TO ANCILLARY BUILDING
COLOUR: COLORBOND® SURFMIST

FLASHING, GUTTERS AND DOWNPIPES TO
MATCH ADJOINING WALL COLOURS



SC:01
EXPANDED METAL PANEL FIXED TO STEEL
STRUCTURE, POWDER COATED FINISH
COLOUR TO MATCH COLORBOND®
FRASER COAST



SC:02
SLATTED SCREEN FIXED TO STEEL
STRUCTURE, POWDER COATED FINISH
COLOUR: COLORBOND® SHALE GREY



PW:01
PRECAST WALL, TEXTURED PAINTED
FINISH
COLOUR TO MATCH COLORBOND® SHALE
GREY

E	REISSUED FOR DEVELOPMENT APPLICATION	GL	BT	AM	10.10.22
D	ISSUED FOR DEVELOPMENT APPLICATION	DM	BT	AM	28.06.22
C	REISSUED FOR PRICING	DM	BT	AM	14.06.22
B	ISSUED FOR DEVELOPMENT APPLICATION - DRAFT	DM	BT	AM	25.05.22
No.	Revision	By	Chk	Appd	Date

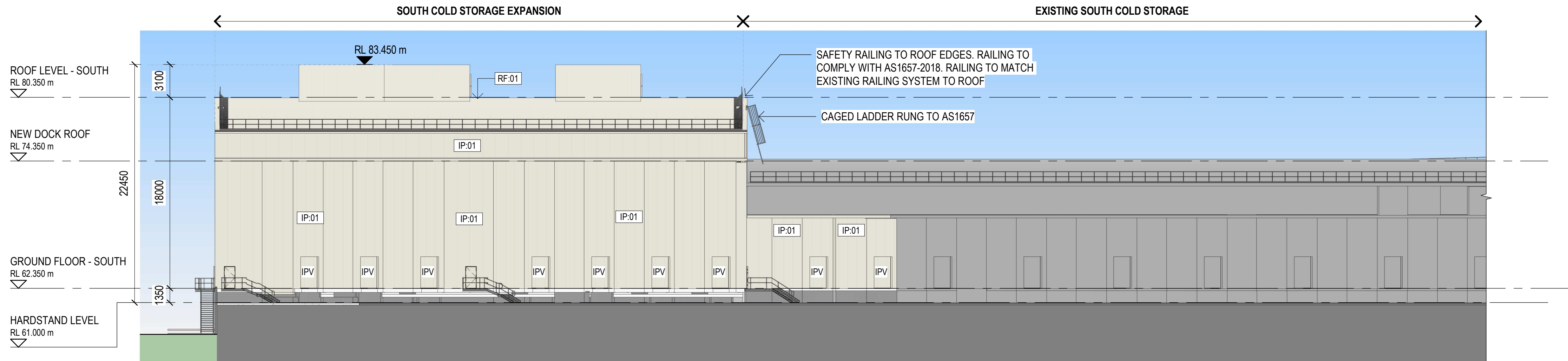
Original Scale (A1)	Design	D.MCNAMARA	07.10.22
As indicated	Drawn	R. HANDAYANI	07.10.22
Reduced Scale (A3)	Disg Verifier	M. WARNE	10.10.22
	Drg Check	D. MCNAMARA	10.10.22



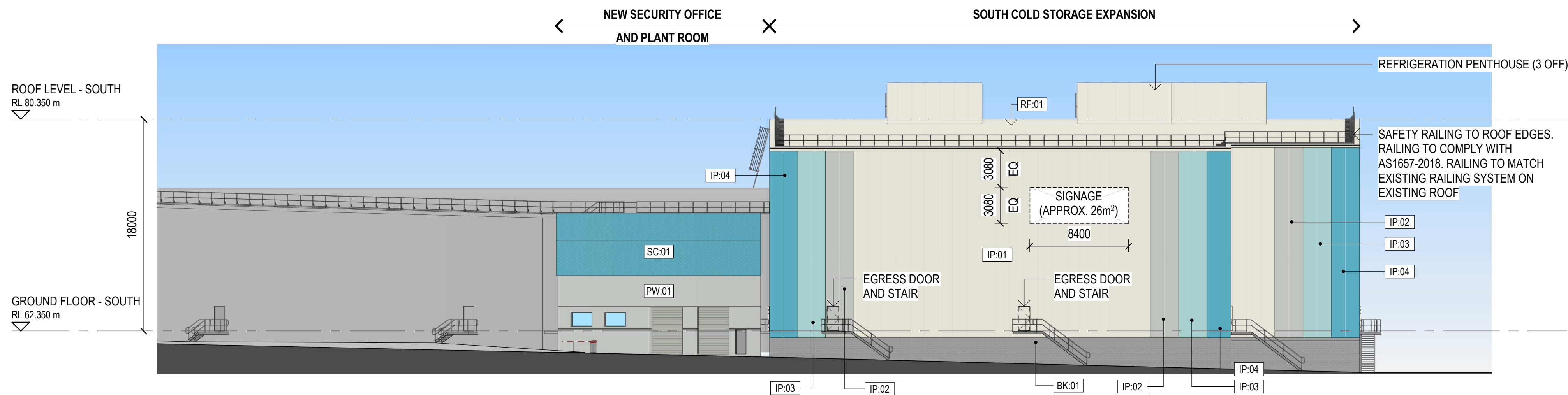
Client: PROSPECT SOUTH EXPANSION
560 RESERVOIR RD PROSPECT NSW 2148,
AUSTRALIA

Title: ELEVATIONS - SHEET 1

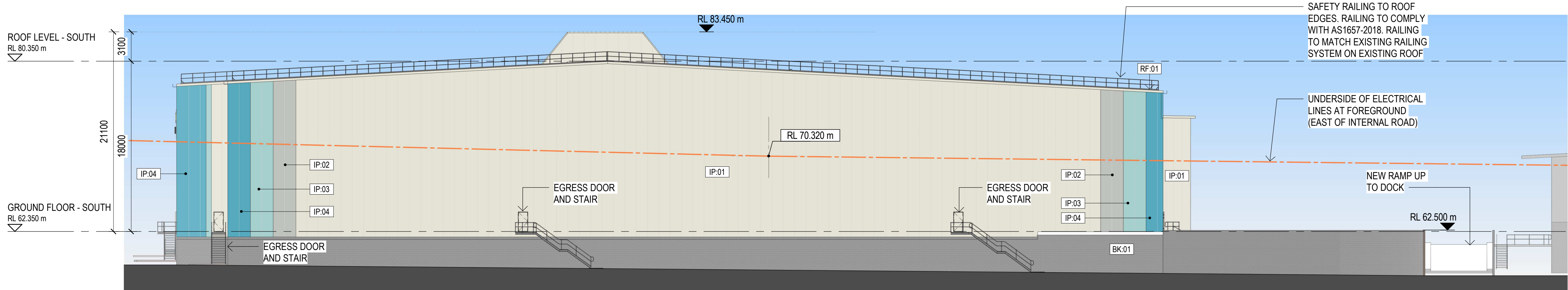
Discipline	ARCHITECTURAL
Drawing No.	2527456-DA-4101
Rev.	E



1 NORTH ELEVATION (FACING DOCK)
DA-4101 1 : 250



2 PART SOUTH ELEVATION
DA-4101 1 : 250



3 EAST ELEVATION
DA-4101 1 : 250

MATERIAL FINISHES & LEGEND

- BK:01**
BLOCKWORK WALL - GB SMOOTH
COLOUR: NICKEL
- CD:01**
PREFINISHED PROFILED METAL WALL
CLADDING
COLOUR: COLORBOND® SURFMIST
- IP:01 / RF:01**
PREFINISHED PIR INSULATED PANELS
SKIN COLOUR: COLORBOND® SURFMIST,
BOTH SIDES
- IP:02**
PREFINISHED PIR INSULATED PANELS
SKIN COLOUR OUTSIDE: COLORBOND®
SHALE GREY
SKIN COLOUR INSIDE: COLORBOND®
SURFMIST
- IP:03**
PREFINISHED PIR INSULATED PANELS
SKIN COLOUR OUTSIDE: COLORBOND®
FAIRY WREN
SKIN COLOUR INSIDE: COLORBOND®
SURFMIST
- IP:04**
PREFINISHED PIR INSULATED PANELS
SKIN COLOUR OUTSIDE: COLORBOND®
FRASER COAST
SKIN COLOUR INSIDE: COLORBOND®
SURFMIST
- PAINT FINISH / PREFINISHED SKIN FOR
FIRE RATED WALL**
COLOUR: COLORBOND® SURFMIST
- RF:01**
PROFILED METAL ROOF SHEETING
WITH INSULATION PROFILE TO MATCH
EXISTING TO ANCILLARY BUILDING
COLOUR: COLORBOND® SURFMIST
- FLASHING, GUTTERS AND DOWNPIPES TO
MATCH ADJOINING WALL COLOURS**
- SC:01**
EXPANDED METAL PANEL FIXED TO STEEL
STRUCTURE, POWDER COATED FINISH
COLOUR TO MATCH COLORBOND®
FRASER COAST
- SC:02**
SLATTED SCREEN FIXED TO STEEL
STRUCTURE, POWDER COATED FINISH
COLOUR: COLORBOND® SHALE GREY
- PW:01**
PRECAST WALL, TEXTURED PAINTED
FINISH
COLOUR TO MATCH COLORBOND® SHALE
GREY

E	REISSUED FOR DEVELOPMENT APPLICATION	GL	BT	AM	10.10.22
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No.	Revision	By	Chk	Appd	Date

Original Scale (A1)	Design	D.MCNAMARA	07.10.22
As indicated	Drawn	R. HANDAYANI	07.10.22
Reduced Scale (A3)	Disg Verifier	M. WARNE	10.10.22
	Drng Check	D. MCNAMARA	10.10.22



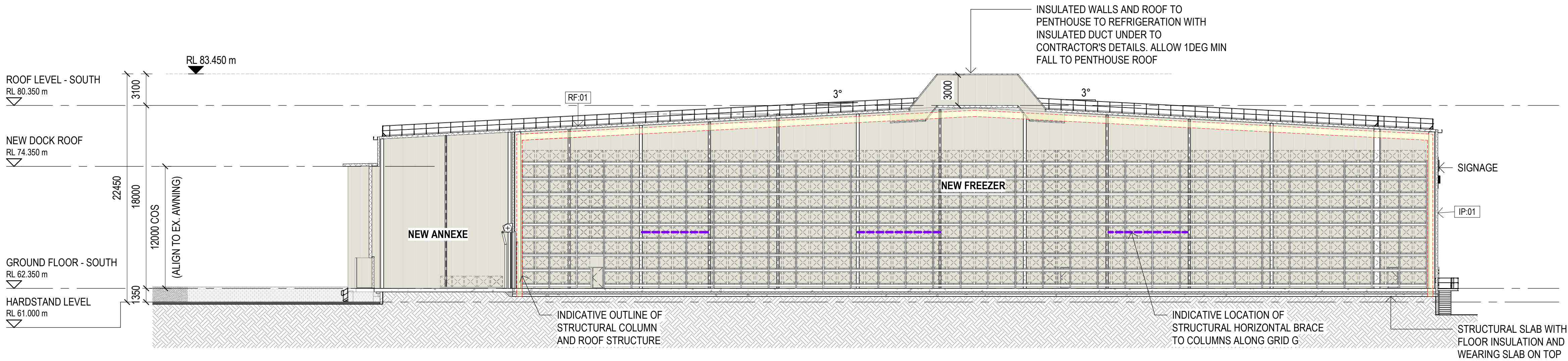
Client: PROSPECT SOUTH EXPANSION
560 RESERVOIR RD PROSPECT NSW 2148,
AUSTRALIA

Title: ELEVATIONS - SHEET 2

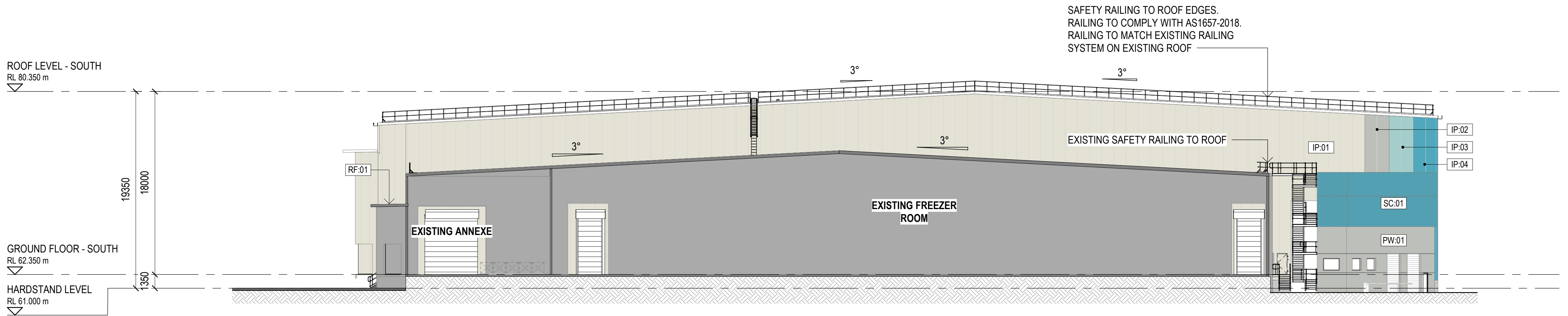
Discipline	ARCHITECTURAL
Drawing No.	2527456-DA-4102
Rev.	E

GENERAL NOTES

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8. REFER TO LANDSCAPE DRAWING FOR DETAILED LOCATION OF NEW TREES AND DETAILED LANDSCAPE SCOPE.
9. DO NOT SCALE DRAWINGS
10. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE



1 SECTION THROUGH NEW ANNEXE AND FREEZER ROOM
DA-3101 1 : 250



2 SECTION THROUGH EXISTING FREEZER ROOM
DA-3101 1 : 250
(NOTE: SIMILAR TO WEST ELEVATION VIEW OF COLD STORAGE EXPANSION)

E	REISSUED FOR DEVELOPMENT APPLICATION	GL	BT	AM	10.10.22
D	ISSUED FOR DEVELOPMENT APPLICATION	DM	BT	AM	28.06.22
C	REISSUED FOR PRICING	DM	BT	AM	14.06.22
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No.	Revision	By	Chk	Appd	Date

Original Scale (A1)	Design	D.MCNAMEARA	07.10.22
As indicated	Drawn	R. HANDAYANI	07.10.22
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	Drg Check	D. MCNAMEARA	10.10.22



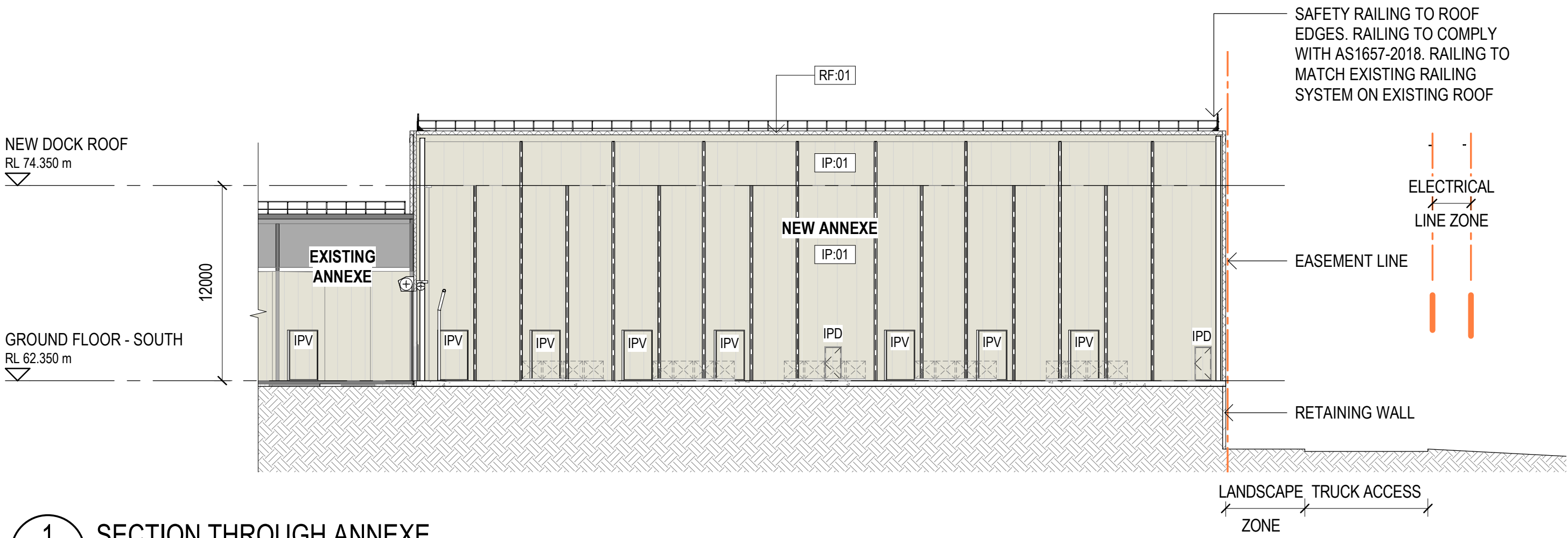
Client: PROSPECT SOUTH EXPANSION
560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

Title: SECTIONS - SHEET 1

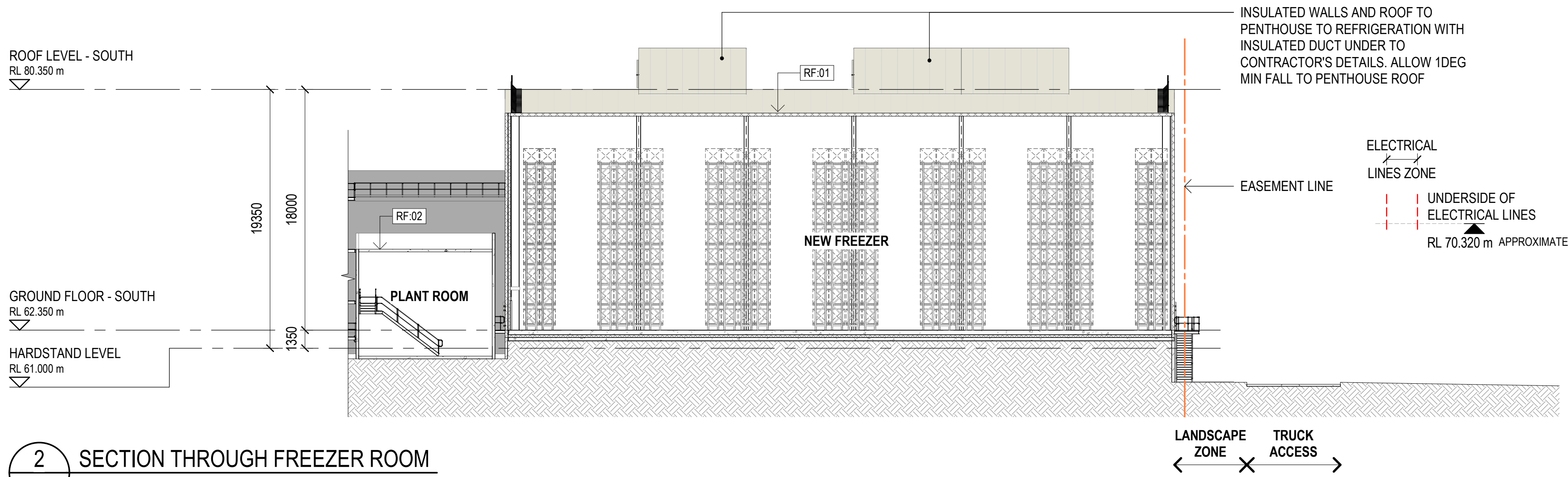
Discipline	ARCHITECTURAL
Drawing No.	2527456-DA-5101
Rev.	E

GENERAL NOTES

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1 SECTION THROUGH ANNEXE
DA-3101 1 : 250



2 SECTION THROUGH FREEZER ROOM
DA-3101 1 : 250

D	ISSUED FOR DEVELOPMENT APPLICATION	DM	BT	AM	28.06.22
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Original Scale (A1)	Design	D.MCNAME	11.05.22
As indicated	Drawn	R. HANDAYANI	11.05.22
Reduced Scale (A3)	Disg Verifier	M. WARNE	11.05.22
	Drg Check	D. MCNAME	11.05.22



Client: PROSPECT SOUTH EXPANSION
560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

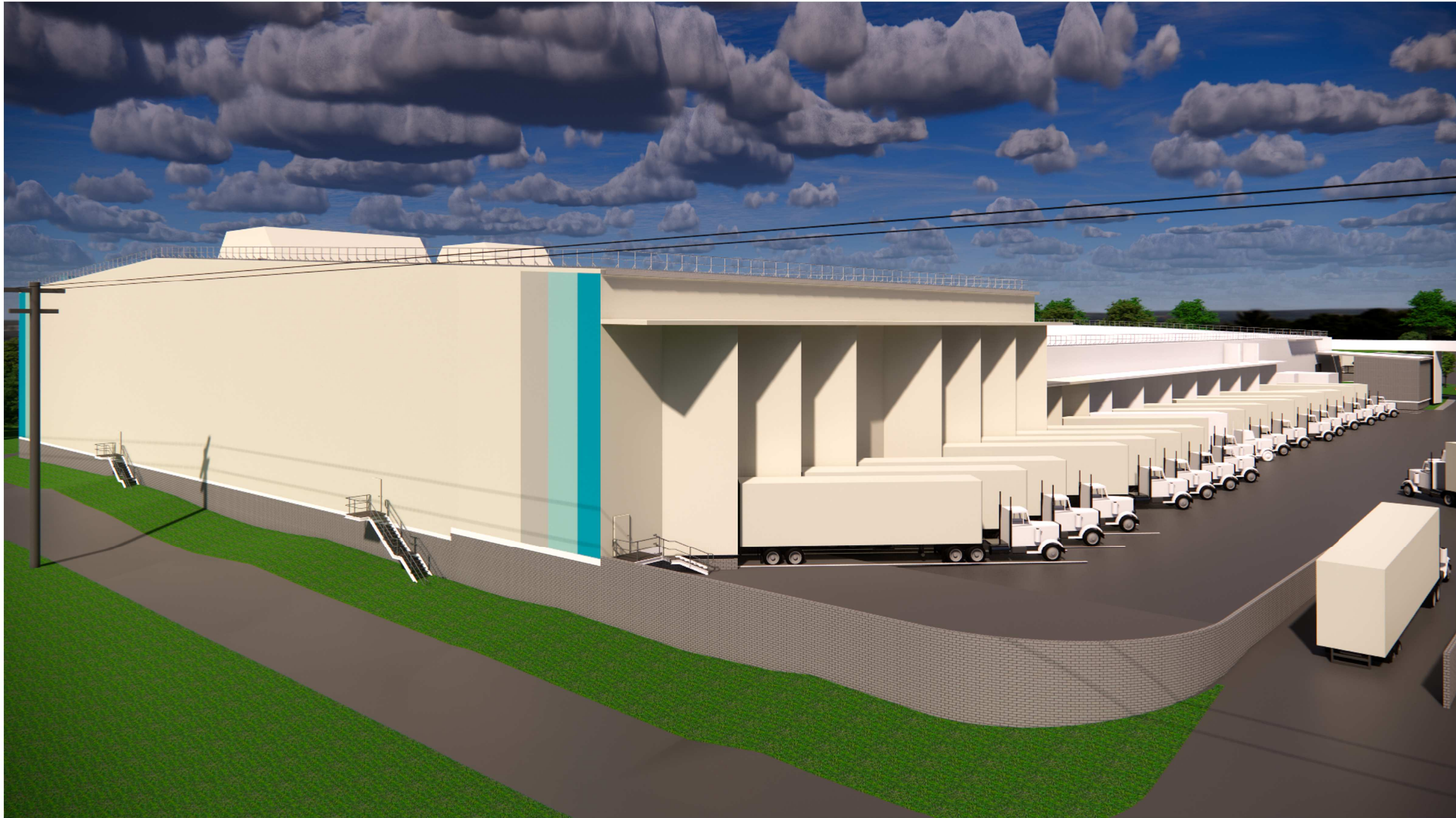
Title: SECTIONS - SHEET 2

Discipline	ARCHITECTURAL
Drawing No.	2527456-DA-5102
Rev.	D

FOR APPROVAL
NOT FOR CONSTRUCTION



VIEW ALONG PROSPECT HIGHWAY



VIEW FACING SOUTH COLD STORE DOCKS

C	REISSUED FOR DEVELOPMENT APPLICATION	GL	BT	AM	10.10.22
B	ISSUED FOR DEVELOPMENT APPLICATION	DM	BT	AM	28.06.22
A	ISSUED FOR DEVELOPMENT APPLICATION - DRAFT	DM	BT	AM	25.05.22
No.	Revision	By	Chk	Appd	Date

Original Scale (A1)	Design	D.MCNAMARA	07.10.22
As indicated	Drawn	R. HANDAYANI	07.10.22
Reduced	Dsg Verifier	M. WARNE	10.10.22
Scale (A3)	Drg Check	D. MCNAMARA	10.10.22



Client:	Project:
	PROSPECT SOUTH EXPANSION
	560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

Title:	3D VIEWS
Drawing No:	2527456-DA-9101

Discipline:	ARCHITECTURAL
Rev.	C

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