# III Beca

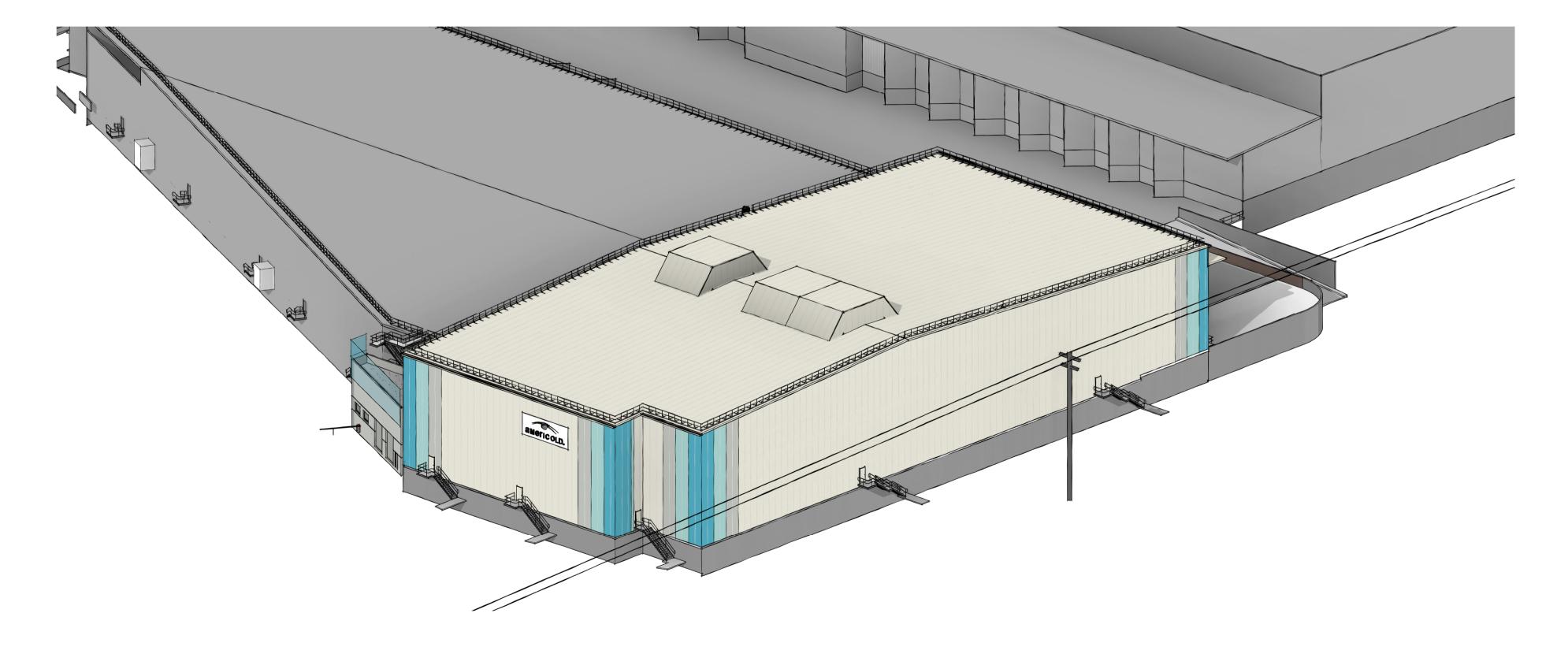
## PROSPECT SOUTH EXPANSION

ARCHITECTURAL

Prepared for: AMERICOLD At: 560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA Prepared by: BECA PTY. LTD. ABN: 85 004 974 341

Project No.: 2527456
REISSUED FOR DEVELOPMENT APPLICATION
OCTOBER 2022

SHEET NO.	SHEET NAME
DA-0101	COVER SHEET
DA-0201	DRAWING STANDARD CONVENTIONS & INDEX
DA-0501	SITE PLAN
DA-0502	STAGING PLAN - STAGE 1
DA-0503	STAGING PLAN - STAGE 2
DA-0504	STAGING PLAN - STAGE 3
DA-2101	EXISTING SITE CONDITION AND DEMOLITION PLAN
DA-3101	SOUTH BUILDING EXPANSION FLOOR PLAN
DA-3102	OFFICE, AMENITIES AND LUNCH ROOM PLANS
DA-3201	SOUTH BUILDING EXPANSION ROOF PLAN
DA-4101	ELEVATIONS - SHEET 1
DA-4102	ELEVATIONS - SHEET 2
DA-5101	SECTIONS - SHEET 1
DA-5102	SECTIONS - SHEET 2
A-9101	3D VIEWS



make everyday better



10/10/2022 3:20:01 PM

#### DRAWING ANNOTATIONS **COMMON ABBREVIATIONS** MATERIALS, FINISHES AND FIXTURES **ROOM NUMBERS DOORS & WINDOWS** ADJ ADJUSTABLE AFL ABOVE FINISHED FLOOR LEVEL BLOCKWORK WALL - GB SMOOTH AREA (IF REQUIRED) AHD AUSTRALIAN HEIGHT DATUM DOOR NUMBERS COLOUR: NICKEL LEVEL ALUMINIUM **表 288 表 288 表** 2 NUMBER = DOOR AUSTRALIAN STANDARD = LEVEL 1 BUILDING CODE OF AUSTRALIA NAME COM NAME 01 = DOOR NUMBER CE CIVIL ENGINEERING ITEM BK:02 (PUMP HOUSE AND BATTERY RECHARGE) A = DOOR TYPE CHS CIRCULAR HOLLOW SECTION BLOCKWORK WALL, RENDERED PAINTED FINISH **EXPRESSION OF LEVELS** CONTROL JOINT SEMI GLOSS ACRYLIC PAINT FINISH COL COLUMN COLOUR: COLORBOND® EVENING HAZE (COS) TO WINDOW NUMBERS RL 17.520 REDUCED LEVEL FOR PLAN VIEWS COS CHECK ON SITE MATCH NORTH BUILDING METAL CLADDING DISTRIBUTION BOARD DB WG-02-A = WINDOW DGP DOUBLE GPO + 17.520 SPOT LEVEL G = GROUND LEVEL DPC DAMP PROOF COURSE DIM PREFINISHED PROFILED METAL WALL CLADDING 02 = WINDOW NUMBER EA EQUAL ANGLE FFL 17.520 FINISHED FLOOR LEVEL FOR AREAS WITH CARPET, VINYL COLOUR: COLORBOND® SURFMIST A = WINDOW TYPE TILES FIXED DIRECTLY TO SL, AND PAINT FINISHES ELECTRICAL DISTRIBUTION BOARD FFL = SURFACE LEVEL / FINISH FLOOR LEVEL EJ EXPANSION JOINT EQ FCL 17.520 FINISHED CEILING LEVEL **EQUAL** EX. EXISTING **WALL TYPE AND FINISHES TAG** IP:01 (WALL AND ROOF) SL 17.520 STRUCTURAL SURFACE LEVEL FOR CONCRETE WORK SL INCLUDES FCL FINISHED CEILING LEVEL PREFINISHED PIR INSULATED PANELS ALL CONCRETE TOPPING SLABS AND LEVELLING SCREEDS FIRE EXTINGUISHERS / BLANKETS • LN:01 SKIN COLOUR: COLORBOND® SURFMIST, BOTH FFL FINISHED FLOOR LEVEL SIDES RL 17.520 REDUCED LEVEL FIXED GLASS FG REFER IN CONJUNCTION WITH THE ARCHITECTURAL MATERIAL, FINISHES AND FΗ FIRE HYDRANT FIXTURES AND SPECIFIC LEGENDS WHICH ARE FHR FIRE HOSE REEL PROJECT TITLE REFERENCE IP:02 LOCATED ON EITHER THE FLOOR PLANS OR FIRE INDICATOR PANEL PREFINISHED PIR INSULATED PANELS ON THIS SHEET FIRE RESISTANCE LEVEL FRL SKIN COLOUR OUTSIDE: COLORBOND® SHALE GREY FW FLOOR WASTE LETTER - FOR PLAN AND DETAIL SKIN COLOUR INSIDE: COLORBOND® SURFMIST **FLOOR TYPE AND FINISHES TAG** GAL GALVANISED NUMBER - FOR SECTION, ELEVATION CUT GPO GENERAL PURPOSE OUTLET DETAIL CN:01 • CN:01 GS GAS OUTLET IP:03 HDG HOT DIP GALVANISED SECTION PREFINISHED PIR INSULATED PANELS HMR HIGH MOISTURE RESISTANCE REFER IN CONJUNCTION WITH THE SKIN COLOUR OUTSIDE: COLORBOND® FAIRY WREN AR-100 / 1:100 ARCHITECTURAL MATERIAL, FINISHES AND HIGH POINT SKIN COLOUR INSIDE: COLORBOND® SURFMIST FIXTURES AND SPECIFIC LEGENDS WHICH HOT WATER ARE LOCATED ON EITHER THE FLOOR PLANS LOW POINT OR ON THIS SHEET **METRES** BACK REFERENCE TO THE DRAWING SQUARE METRES SHEET THE DETAIL IS REFERENCED FROM PREFINISHED PIR INSULATED PANELS **CEILING TYPE AND FINISHES TAG CUBIC METRES** SKIN COLOUR OUTSIDE: COLORBOND® FRASER MEDIUM DENSITY FIBREBOARD REFERENCE SYMBOLS mm MILLIMETRES SKIN COLOUR INSIDE: COLORBOND® SURFMIST • CL:01 CL:01 MS MILD STEEL \A-100 MSB MAIN SWITCH BOARD REFER IN CONJUNCTION WITH THE NCC NATIONAL CONSTRUCTION CODE PAINT FINISH / PREFINISHED SKIN FOR FIRE RATED AR-100 ARCHITECTURAL MATERIAL, FINISHES AND NOT TO SCALE WALL FIXTURES AND SPECIFIC LEGENDS WHICH PARALLEL FLANGE CHANNEL COLOUR: COLORBOND® SURFMIST ARE LOCATED ON EITHER THE FLOOR PIR POLYISOCYANURATE PANEL PLANS OR ON THIS SHEET PVC POLYVINYL CHLORIDE LONG, CROSS, & DETAIL SECTIONS PLAN DETAILS, CALLOUTS RADIUS REDUCED LEVEL PROFILED METAL ROOF SHEETING RWH RAINWATER HEAD WITH INSULATION PROFILE TO MATCH EXISTING RWO RAINWATER OUTLET COLOUR: COLORBOND® SURFMIST (AR-100) 4 **∢**AR-100 STRUCTURAL ENGINEERING ITEM SQUARE HOLLOW SECTION FLASHING, GUTTERS AND DOWNPIPES TO MATCH SIM SIMILAR ADJOINING WALL COLOURS **ELEVATIONS** TBC TO BE CONFIRMED NORTH SYMBOL ROOM ELEVATIONS TYP TYPICAL UA UNEQUAL ANGLE UNIVERSAL BEAM CONCRETE SLAB WITH WATERPROOFING UC UNIVERSAL COLUMN MEMBRANE ON TOP UPS UNINTERRUPTED POWER SUPPLY **KEY PLAN GENERAL NOTES** EXPANDED METAL PANEL FIXED TO STEEL STRUCTURE, POWDER COATED FINISH COLOUR TO MATCH COLORBOND® FAIRY WREN IF THE CONTRACTOR FINDS ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE NOTIFIED. THE CONTRACTOR IS TO READ ALL DRAWINGS TO COORDINATE SLATTED SCREEN FIXED TO STEEL STRUCTURE, FIXTURES, FITTINGS AND DIMENSIONS. GRIDS ARE PROVIDED FOR REFERENCE ONLY. POWDER COATED FINISH COLOUR: COLORBOND® SHALE GREY ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE BEFORE FABRICATION. MATERIAL PERFORMANCE TO COMPLY WITH ALL ASPECTS OF NCC / BCA AND RELEVANT AUSTRALIAN STANDARDS. PW:01 PRECAST WALL. TEXTURED PAINTED FINISH APPLY PROPRIETARY MATERIALS AND COMPONENTS TO THE COLOUR TO MATCH COLORBOND® SHALE GREY MANUFACTURER'S EXPRESS WRITTEN INSTRUCTIONS. DO NOT SCALE DRAWINGS ALL DIMENSIONS ARE IN MILLIMETRES REFER TO PROJECT SPECIFICATION AND MATERIAL, FINISHES AND FIXTURES SCHEDULE FOR PRODUCT SELECTION. **ELECTRICAL**: REFER TO ELECTRICAL SERVICES DRAWINGS WHEN APPLICABLE. 560 RESERVOIR RD PROSPECT NSW 2148 **PLUMBING & DRAINAGE** 1. REFER TO HYDRAULIC SERVICES DRAWINGS WHEN APPLICABLE **STRUCTURAL** REFER TO STRUCTURAL ENGINEERS DRAWINGS. TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DOCUMENTATION ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT

D REISSUED FOR DEVELOPMENT APPLICATION GL | BT | AM | 10.10.22 DM BT AM 28.06.22 C ISSUED FOR DEVELOPMENT APPLICATION As indicated Dsg Verifier M. WARNE B ISSUED FOR DEVELOPMENT APPLICATION - DRAFT DM BT AM 25.05.22 A ISSUED FOR PRICING DM BT AM 11.05.22 Scale (A3)

By Chk Appd Date



Design D.MCNAMARA 07.10.22

07.10.22

10.10.22

10.10.22

Drawn R. HANDAYANI

Drg Check D. MCNAMARA

MUST BE NOTIFIED.

1. REFER TO FIRE REPORT FOR DETAILED INFORMATION

OTHER:

1. AT COMPLETION LEAVE THE SITE CLEAN AND TIDY.



PROSPECT SOUTH EXPANSION 560 RESERVOIR RD PROSPECT NSW 2148.

AUSTRALIA

DRAWING STANDARD **CONVENTIONS & INDEX**  **ARCHITECTURAL** 

**FOR APPROVAL** 

NOT FOR CONSTRUCTION

2527456-DA-0201

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By Chk Appd Date

Design D.MCNAMARA 07.10.22 Drawn R. HANDAYANI 07.10.22 As indicated Dsg Verifier M. WARNE 10.10.22 Scale (A3) Drg Check D. MCNAMARA 10.10.22





PROSPECT SOUTH EXPANSION 560 RESERVOIR RD PROSPECT NSW 2148.

AUSTRALIA

SITE PLAN	ARCHITECTURAL AR
	Drawing No.
	2527456-DA-0501

DO NOT SCALE FOR SET OUT DIMENSIONS

HITECTURAL

**FOR APPROVAL NOT FOR CONSTRUCTION** 

ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE

BACKGROUND EQUIPMENT AND RACKING LAYOUT SHOWN INDICATIVE. EQUIPMENT/ VENDOR LAYOUT

SUBJECT TO CHANGE DEPENDING ON APPROVED

4. SITE BOUNDARY AND EASEMENT ZONES BASED ON

RECEIVED FROM AMERICOLD ON 05/06/2020. FOR DETAILED EXTERNAL LEVELS AND LOCATION OF RETAINING WALLS REFER TO CIVIL DRAWINGS

FINALIZED ON DETAILED DESIGN STAGE.

FROM LAND PARTNERS ON 11/08/2020. 5. EXISTING BUILDING LAYOUT BASED ON DRAWING

SITE SURVEY FILE "SY074943.000.3.1" RECEIVED

INDICATIVE ZONE FOR IN-GROUND WEIGHBRIDGE LOCATION SHOWN FOR REFERENCE ONLY. EXACT WEIGHBRIDGE DIMENSION AND SETOUT TO

REFER TO LANDSCAPE DRAWING FOR DETAILED LOCATION OF NEW TREES AND DETAILED

1. IF THE CONTRACTOR FINDS ANY INCONSISTENCY,

2. INTERNAL EGRESS TO BE FURTHER ASSESSED AFTER CONFIRMATION OF RACKING LAYOUT.

NOTIFIED.

VENDOR LAYOUT.





**EXISTING NORTH** 

BUILDING

MANEOUVRING AREA

**EXISTING ANNEXE** 

**EXISTING AWNING ABOVE** 

**EXISTING SOUTH** BUILDING

PREPARATION OF AREA FOR FIRE SEPARATION WALL —

AREA OF EXISTING PALLET

YARD MIGHT BE REDUCED

FOR CONTRACTORS AREA

(CONTRACTOR TO

COORDINATE WITH

AMERICOLD) -

CONSTRUCTION OF BATTERY

RECHARGE EXTENSION

**EXISTING BATTERY** 

RECHARGE ROOM

PROSPECT HIGHWAY





STAGING PLAN - STAGE 1

SITE LEGEND

POWER LINE EASEMENT BOUNDARY

EXISTING HARDSTAND

NEW BUILDING AND STRUCTURES

EXISTING DOCKS TO BE MODIFIED

EXISTING BUILDING AND STRUCTURES

LANDSCAPE SETBACK LINE

••• SECURITY FENCE LINE

NEW FOOTPATH

LANDSCAPE ZONE

SITE BOUNDARY

**ARCHITECTURAL** 2527456-DA-0502

By Chk Appd Date

AUSTRALIA

HOARDING

D REISSUED FOR DEVELOPMENT APPLICATION Design D.MCNAMARA 07.10.22 GL | BT | AM | 10.10.22 | DM BT AM 28.06.22 C ISSUED FOR DEVELOPMENT APPLICATION Drawn R. HANDAYANI 07.10.22 As indicated Dsg Verifier M. WARNE DM BT AM 25.05.22 B ISSUED FOR DEVELOPMENT APPLICATION - DRAFT 10.10.22 
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 Scale (A3)
 A ISSUED FOR PRICING Drg Check D. MCNAMARA 10.10.22

EXISTING SERVICES

EXISTING \_WORKSHOP

AND BATTERY RECHARGE

> PROSPECT SOUTH EXPANSION 560 RESERVOIR RD PROSPECT NSW 2148,

Drawing No.

DO NOT SCALE FOR SET OUT DIMENSIONS

STAGING PLAN - STAGE 1

RESERVOIR ROAD

EXISTING CARPARK TO BE

TEMPORARILY USED FOR `

PALLET STORAGE AT STAGE 1

**EXISTING OFFICE** 

BUILDING

LANDSCAPE SCOPE. 9. DO NOT SCALE DRAWINGS 10. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE STAGING LEGEND AND NOTES EXISTING BUILDING AND STRUCTURES - SITE GRADING - EXTERNAL PAVEMENT AND ASSOCIATED - BATTERY RECHARGE - AWNING TO BICYCLE PARKING - OUTDOOR SEATING AT ASC BUILDING STAGE 2 - SOUTH COLD STORAGE EXPANSION - LOADING DOCKS TO EXISTING - TIMBER PALLET STORAGE - OUTDOOR SEATING AREA AT SOUTH BUILDING - INSTALLATION OF BATTERY RECHARGE STATION - MODIFICATION OF EXISTING EGRESS STAIRS TO COLDSTORE - EXTERNAL STAIRS AND RAILING TO OFFICE AND AMENITIES - WEIGHBRIDGE - NEW SECURITY OFFICE AND PLANT ROOM STAGE 3 - TRANSPORT DOCK, LUNCHROOM AND AMENITIES INTERNAL FITOUT ----- COLDSTORE TRUCK ROUTE DURING STAGE 1 CONSTRUCTION ----- COLDSTORE TRUCK ROUTE DURING STAGE 2 CONSTRUCTION ---- COLDSTORE TRUCK ROUTE DURING STAGE 3 CONSTRUCTION NOTES: 1. THIS STAGING DRAWING IS PROVIDED FOR REFERENCE / GUIDE ONLY. PART OF CONTRACTOR'S SCOPE IS TO PROVIDE DETAILED STAGING PLAN FOR PRINCIPAL'S REVIEW AND APPROVAL. 2. CONTRACTOR TO INCLUDE HOARDING PLAN AND ALTERNATIVE EGRESS ROUTE FOR DIFFERENT CONSTRUCTION STAGES. REFER TO PPR DOCUMENT FOR BUILDING SERVICES STAGING.

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3. REFER TO PPR DOCUMENT FOR BUILDING SERVICES STAGING.

1. IF THE CONTRACTOR FINDS ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE NOTIFIED. 2. INTERNAL EGRESS TO BE FURTHER ASSESSED AFTER CONFIRMATION OF RACKING LAYOUT. BACKGROUND EQUIPMENT AND RACKING LAYOUT SHOWN INDICATIVE. EQUIPMENT/ VENDOR LAYOUT

**GENERAL NOTES** 

SITE LEGEND

POWER LINE EASEMENT BOUNDARY

EXISTING HARDSTAND

NEW BUILDING AND STRUCTURES

EXISTING DOCKS TO BE MODIFIED

EXISTING BUILDING AND STRUCTURES

LANDSCAPE SETBACK LINE

SECURITY FENCE LINE

NEW FOOTPATH

LANDSCAPE ZONE

SITE BOUNDARY

VENDOR LAYOUT. 4. SITE BOUNDARY AND EASEMENT ZONES BASED ON SITE SURVEY FILE "SY074943.000.3.1" RECEIVED FROM LAND PARTNERS ON 11/08/2020.

SUBJECT TO CHANGE DEPENDING ON APPROVED

5. EXISTING BUILDING LAYOUT BASED ON DRAWING RECEIVED FROM AMERICOLD ON 05/06/2020. FOR DETAILED EXTERNAL LEVELS AND LOCATION

OF RETAINING WALLS REFER TO CIVIL DRAWINGS

INDICATIVE ZONE FOR IN-GROUND WEIGHBRIDGE LOCATION SHOWN FOR REFERENCE ONLY. EXACT WEIGHBRIDGE DIMENSION AND SETOUT TO FINALIZED ON DETAILED DESIGN STAGE.

REFER TO LANDSCAPE DRAWING FOR DETAILED LOCATION OF NEW TREES AND DETAILED LANDSCAPE SCOPE. 9. DO NOT SCALE DRAWINGS

10. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE

STAGING LEGEND AND NOTES

- SITE GRADING - EXTERNAL PAVEMENT AND ASSOCIATED

- BATTERY RECHARGE - AWNING TO BICYCLE PARKING

- OUTDOOR SEATING AT ASC BUILDING

EXISTING BUILDING AND STRUCTURES

STAGE 2 - SOUTH COLD STORAGE EXPANSION - LOADING DOCKS TO EXISTING

- OUTDOOR SEATING AREA AT SOUTH BUILDING - INSTALLATION OF BATTERY

- TIMBER PALLET STORAGE

RECHARGE STATION - MODIFICATION OF EXISTING EGRESS STAIRS TO COLDSTORE

- EXTERNAL STAIRS AND RAILING TO OFFICE AND AMENITIES

- WEIGHBRIDGE - NEW SECURITY OFFICE AND PLANT ROOM

- TRANSPORT DOCK, LUNCHROOM AND AMENITIES INTERNAL FITOUT

----- COLDSTORE TRUCK ROUTE DURING STAGE 1 CONSTRUCTION

----- COLDSTORE TRUCK ROUTE DURING STAGE 2 CONSTRUCTION

----- COLDSTORE TRUCK ROUTE DURING STAGE 3 CONSTRUCTION

NOTES:

STAGE 3

1. THIS STAGING DRAWING IS PROVIDED FOR REFERENCE / GUIDE ONLY. PART OF CONTRACTOR'S SCOPE IS TO PROVIDE DETAILED STAGING PLAN FOR PRINCIPAL'S REVIEW AND APPROVAL.

CONSTRUCTION STAGES.

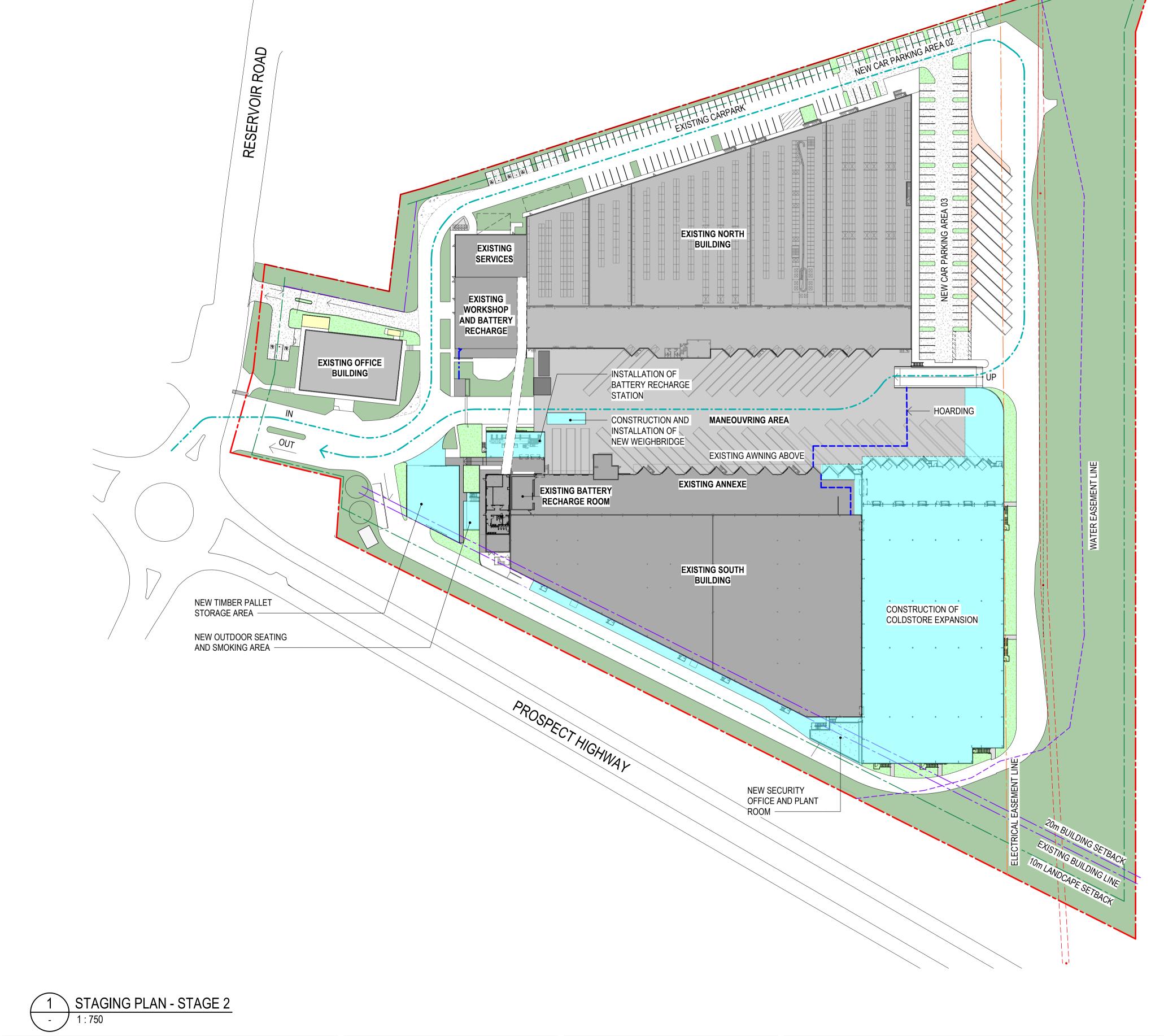
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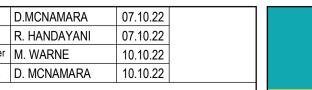
PROSPECT SOUTH EXPANSION STAGING PLAN - STAGE 2

**ARCHITECTURAL** Drawing No.

2527456-DA-0503



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l	В	ISSUED FOR DEVELOPMENT APPLICATION - DRAFT	DM	ВТ	AM	25.05.22	Reduced
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R. HANDAYANI

Dsg Verifier M. WARNE

Drg Check D. MCNAMARA



ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE

BACKGROUND EQUIPMENT AND RACKING LAYOUT SHOWN INDICATIVE. EQUIPMENT/ VENDOR LAYOUT

SUBJECT TO CHANGE DEPENDING ON APPROVED

4. SITE BOUNDARY AND EASEMENT ZONES BASED ON

RECEIVED FROM AMERICOLD ON 05/06/2020. FOR DETAILED EXTERNAL LEVELS AND LOCATION OF RETAINING WALLS REFER TO CIVIL DRAWINGS

FINALIZED ON DETAILED DESIGN STAGE.

10. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS

- SITE GRADING

STAGE 2

BUILDING

- BATTERY RECHARGE

- AWNING TO BICYCLE PARKING

- OUTDOOR SEATING AT ASC BUILDING

- SOUTH COLD STORAGE EXPANSION - LOADING DOCKS TO EXISTING - TIMBER PALLET STORAGE

- OUTDOOR SEATING AREA AT SOUTH

- MODIFICATION OF EXISTING EGRESS

- EXTERNAL STAIRS AND RAILING TO

- NEW SECURITY OFFICE AND PLANT ROOM

- TRANSPORT DOCK, LUNCHROOM AND

- INSTALLATION OF BATTERY

RECHARGE STATION

STAIRS TO COLDSTORE

OFFICE AND AMENITIES

AMENITIES INTERNAL FITOUT

----- COLDSTORE TRUCK ROUTE DURING STAGE 1 CONSTRUCTION

----- COLDSTORE TRUCK ROUTE DURING STAGE 2 CONSTRUCTION

----- COLDSTORE TRUCK ROUTE DURING STAGE 3 CONSTRUCTION

REFERENCE / GUIDE ONLY. PART OF CONTRACTOR'S SCOPE IS TO PROVIDE DETAILED STAGING PLAN FOR

1. THIS STAGING DRAWING IS PROVIDED FOR

PRINCIPAL'S REVIEW AND APPROVAL.

CONSTRUCTION STAGES.

STAGING.

2. CONTRACTOR TO INCLUDE HOARDING PLAN AND ALTERNATIVE EGRESS ROUTE FOR DIFFERENT

3. REFER TO PPR DOCUMENT FOR BUILDING SERVICES

- WEIGHBRIDGE

STAGE 3

NOTES:

FROM LAND PARTNERS ON 11/08/2020. 5. EXISTING BUILDING LAYOUT BASED ON DRAWING

SITE SURVEY FILE "SY074943.000.3.1" RECEIVED

INDICATIVE ZONE FOR IN-GROUND WEIGHBRIDGE LOCATION SHOWN FOR REFERENCE ONLY. EXACT WEIGHBRIDGE DIMENSION AND SETOUT TO

REFER TO LANDSCAPE DRAWING FOR DETAILED LOCATION OF NEW TREES AND DETAILED

STAGING LEGEND AND NOTES

EXISTING BUILDING AND STRUCTURES

- EXTERNAL PAVEMENT AND ASSOCIATED

1. IF THE CONTRACTOR FINDS ANY INCONSISTENCY,

2. INTERNAL EGRESS TO BE FURTHER ASSESSED AFTER CONFIRMATION OF RACKING LAYOUT.

NOTIFIED.

VENDOR LAYOUT.

LANDSCAPE SCOPE.

NOTED OTHERWISE

9. DO NOT SCALE DRAWINGS

SITE LEGEND

POWER LINE EASEMENT BOUNDARY

LANDSCAPE SETBACK LINE

SECURITY FENCE LINE

NEW FOOTPATH

LANDSCAPE ZONE

EXISTING HARDSTAND

NEW BUILDING AND STRUCTURES

EXISTING DOCKS TO BE MODIFIED

EXISTING BUILDING AND STRUCTURES

SITE BOUNDARY





**Beca** 

Design D.MCNAMARA 07.10.22

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10.10.22

10.10.22

Drawn R. HANDAYANI

Drg Check D. MCNAMARA

As indicated Dsg Verifier M. WARNE

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By Chk Appd Date

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	PROSPECT SOUTH EXPAN
a w e L I C O L D"	560 RESERVOIR RD PROSPECT NSW AUSTRALIA

SW 2148,

STAGING PLAN - STAGE 3 2527456-DA-0504

DO NOT SCALE FOR SET OUT DIMENSIONS

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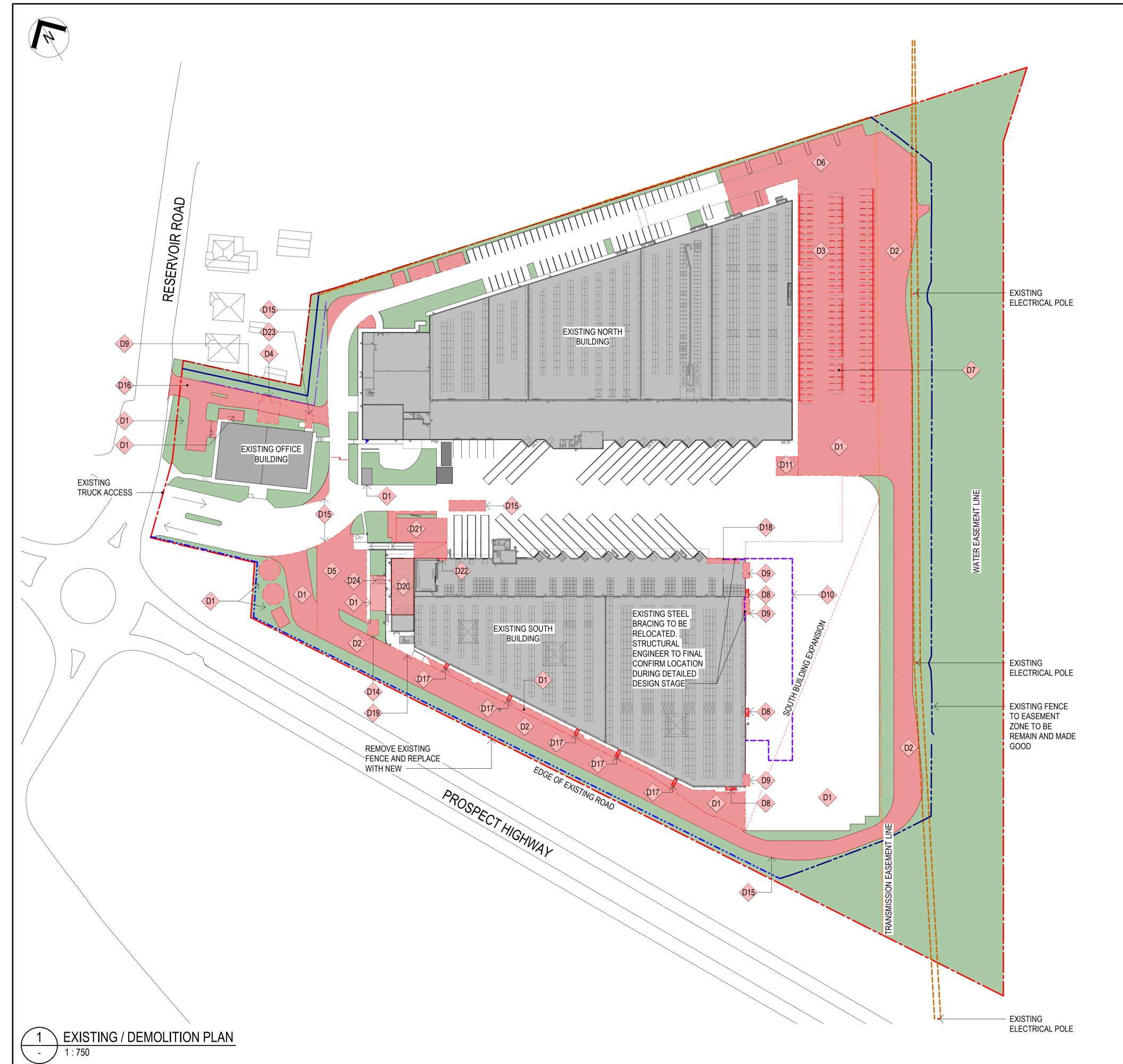
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B ISSUED FOR DEVELOPMENT APPLICATION - DRAFT

C ISSUED FOR DEVELOPMENT APPLICATION

**ARCHITECTURAL** 

D



#### **DEMOLITION LEGEND**

EXISTING LANDSCAPE AREA TO BE MODIFIED TO SUIT NEW SITE LAYOUT

EXISTING ACCESS ROAD / HARD STAND TO BE MODIFIED AND RE-PAVED TO SUIT NEW LAYOUT

EXISTING CARPARK AREA TO BE MODIFIED TO SUIT NEW LAYOUT. REFER TO CIVIL DETAILS FOR REGRADING OF EXISTING PAVEMENT

DEMOLISH EXISTING OUTDOOR SEATING SHELTER.

EXISTING CARPARK TO BE REMOVED. AREA TO BE MODIFIED TO ACCOMMODATE NEW TIMBER PALLET STORAGE.

MODIFY EXISTING DRIVEWAY AND LANDSCAPE AREA FOR NEW CAR PARK AREA.

EXISTING CARPARK TO BE REMOVED. EXISTING PAVEMENT TO BE MODIFIED TO SUIT NEW LAYOUT

CAREFULLY REMOVE EXISTING EGRESS DOORS AND STAIRS. INFILL REDUNDANT WALL OPENING TO SUIT NEW LAYOUT

CAREFULLY REMOVE PART OF EXISTING INSULATED PANEL WALL FOR NEW DOOR **OPENING** 

CAREFULLY DEMOLISH EXISTING CONCRETE BLOCK RETAINING WALL FOR NEW BUILDING **EXPANSION** 

CAREFULLY CUT BACK EXISTING CONCRETE HARDSTAND FOR NEW TRUCK RAMP AND MAKE GOOD UPON COMPLETION

CAREFULLY REMOVE PART OF EXISTING INSULATED PANEL AND ASSOCIATED DOORS AND METALWORK TO SUIT NEW DOCK LAYOUT. DEMOLISH PART OF EXISTING FLOOR TO SUIT NEW DOCK LEVELLER

CAREFULLY REMOVE EXISTING DOOR AND ENLARGE OPENING TO ACCEPT NEW DOOR

DEMOLISH EXISTING OUTDOOR SEATING AREA. PAVED ADJACENT EXISTING LANDSCAPE AREA TO FOR NEW OUTDOOR SEATING AREA.

AMEND ROAD ALIGNMENT AND PREPARE FOR A NEW RETAINING WALL (WHERE REQUIRED)

REMOVE EXISTING VEGETATION TO SUIT NEW LAYOUT

CAREFULLY REMOVE EXISTING EGRESS STEEL STAIRS. MODIFY AND RELOCATE TO NEW POSITION

CAREFULLY DEMOLISH EXISTING EXTERNAL INSULATED WALL PANEL TO ACCOMMODATE TWO NEW DOCKS. MODIFY EXISTING SLAB TO ACCEPT NEW DOCK LEVELLERS

DEMOLISH EXISTING RETAINING WALL AND MODIFY EXTENT OF RAMP

GROUND FLOOR - DEMOLISH INTERNAL FITOUT OF EXISTING OFFICE AND AMENITIES. MODIFICATION TO EXISTING EXTERNAL WALLS AND WINDOWS REQUIRED TO SUIT NEW LAYOUT. INFILL REDUNDANT WALL OPENING. MAKE GOOD EXISTING

FIRST FLOOR - DEMOLISH AND REMOVE INTERNAL OFFICE FITOUT. MAKE GOOD EXISTING

DEMOLISHED EXISTING TRUCK WASH BAY SHELTER AND ADJACENT AWNING TO SOUTH BUILDING **ENTRY** 

MODIFY EXISTING WALL AND CAREFULLY REMOVE EXISTING RAPID ROLLER AND INSULATED PANEL DOORS TO ACCOMMODATE FOR NEW DOOR SIZE

CAREFULLY REMOVE EXISTING HVAC UNIT AFFECTED BY VEHICLE ACCESS. REROUTE DUCTS / PIPE CONNECTIONS TO SUIT NEW LAYOUT

MAKE GOOD EXISTING CONCRETE STAIRS OR RECONSTRUCT TO COMPLY WITH NCC. BALUSTRADE TO FIRST FLOOR LEVEL TO BE REMOVED AND REPLACED WITH NEW.

PROSPECT SOUTH EXPANSION

560 RESERVOIR RD PROSPECT NSW 2148.

AUSTRALIA

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#### **GENERAL NOTES**

- 1. IF THE CONTRACTOR FINDS ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS. OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE
- NOTIFIED. 2. INTERNAL EGRESS TO BE FURTHER ASSESSED
  - AFTER CONFIRMATION OF RACKING LAYOUT. BACKGROUND EQUIPMENT AND RACKING LAYOUT SHOWN INDICATIVE. EQUIPMENT/ VENDOR LAYOUT SUBJECT TO CHANGE DEPENDING ON APPROVED VENDOR LAYOUT.
- SITE BOUNDARY AND EASEMENT ZONES BASED ON SITE SURVEY FILE "SY074943.000.3.1" RECEIVED FROM LAND PARTNERS ON 11/08/2020.
- EXISTING BUILDING LAYOUT BASED ON DRAWING RECEIVED FROM AMERICOLD ON 05/06/2020.
- FOR DETAILED EXTERNAL LEVELS AND LOCATION OF RETAINING WALLS REFER TO CIVIL DRAWINGS
- INDICATIVE ZONE FOR IN-GROUND WEIGHBRIDGE LOCATION SHOWN FOR REFERENCE ONLY. EXACT WEIGHBRIDGE DIMENSION AND SETOUT TO FINALIZED ON DETAILED DESIGN STAGE.
- REFER TO LANDSCAPE DRAWING FOR DETAILED LOCATION OF NEW TREES AND DETAILED LANDSCAPE SCOPE.
- 9. DO NOT SCALE DRAWINGS
- 10. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE

#### **GENERAL DEMOLITION LEGEND AND NOTES**

EXISTING DOOR TO REMAIN AND MADE GOOD

EXISTING DOOR TO BE REMOVED. MAKE GOOD EXISTING WALL OPENING

EXISTING WALL TO BE RETAINED AND MADE GOOD

EXTERNAL SITE AREA TO BE MODIFIED TO SUIT **NEW LAYOUT** 

EXISTING STRUCTURE TO BE REMOVED / DEMOLISHED. MAKE GOOD ADJOINING WALL EDGES TO BE RETAINED

DEMOLISHED VEGETATION

REMAINING VEGETATION

### **NOTES**

- A. MAKE GOOD ALL AREAS AND MATERIALS AFFECTED BY DEMOLITION.
- REASONABLE CARE SHOULD ALWAYS BE TAKEN TO PROTECT AND PRESERVE ALL ELEMENTS WHICH ARE NOT DUE FOR DEMOLITION. PRIOR TO REMOVING WALL / PARTITIONS, CONFIRM ON
  - SITE IF ANY OR PART OF THE EXISTING WALLS / PARTITIONS TO BE REMOVED ARE LOAD BEARING OR CONTRACTOR TO TERMINATE AND CAP ALL EXISTING
- SERVICES INCLUDING AND WHERE APPLICABLE ELECTRICAL, MECHANICAL, WATER, SEWER, STORM WATER AND FIRE MAIN.
- ALLOW FOR ALL DEMOLISHED MATERIALS TO BE REMOVED OFF-SITE. ALLOW FOR ALL PAYMENT OF TRANSPORT AND TIP FEES.
- THESE DRAWINGS OUTLINE THE GENERAL DEMOLITION WORKS REQUIRED TO FACILITATE THE PROPOSED BUILDING WORKS. THE CONTRACTOR SHALL MAKE THEIR OWN DETAILED INVESTIGATIONS TO IDENTIFY THE FULL EXTENT OF THE DEMOLITION WORKS REQUIRED, PRIOR TO COMMENCING ANY WORK.

**FOR APPROVAL** NOT FOR CONSTRUCTION

EXISTING SITE CONDITION AND **DEMOLITION PLAN** 

**ARCHITECTURAL** 

2527456-DA-2101

DO NOT SCALE FOR SET OUT DIMENSIONS

A ISSUED FOR PRICING

D REISSUED FOR DEVELOPMENT APPLICATION

B ISSUED FOR DEVELOPMENT APPLICATION - DRAFT

C ISSUED FOR DEVELOPMENT APPLICATION

GL | BT | AM | 10.10.22 |

DM BT AM 28.06.22

DM BT AM 25.05.22

DM BT AM 11.05.22

By Chk Appd Date

Design D.MCNAMARA

Drawn R. HANDAYANI

Drg Check D. MCNAMARA

Dsg Verifier M. WARNE

As indicated

Reduced

Scale (A3)

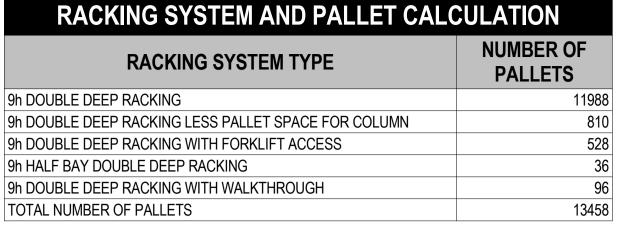
07.10.22

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10.10.22

**Beca** 



LESS 3 HORIZONTAL BRACING TO WALL ALONG GRID G = 13,444 TOTAL NUMBER OF PALLETS TO FREEZER EXPANSION

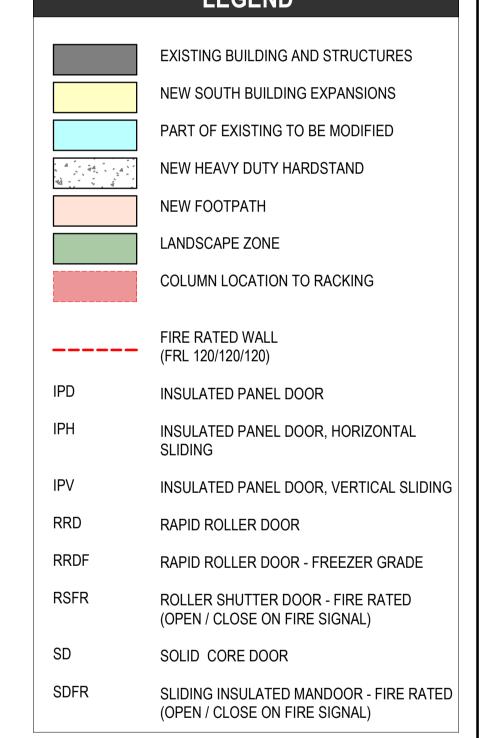
#### IF THE CONTRACTOR FINDS ANY INCONSISTENCY,

ERROR OR OMISSION IN THE DOCUMENTS, OR
BETWEEN DOCUMENTS, THE ARCHITECT MUST BE

**GENERAL NOTES** 

- ALL DIMENSIONS ARE TO FACE OF STRUCTURE OR
- WALLS UNLESS NOTED OTHERWISE. FINISHED FLOOR LEVEL ARE NOTED AS 'RL'
- ALL DOORS TO FIRE SEPARATION WALL MUST ACHIEVE THE REQUIRED FIRE RATING REQUIRED FOR COMPLIANCE. FULLY SEAL WALL PENETRATIONS.
- 5. ALL NEW DOCKS TO BE TAILGATE DOCKS. DOCK LEVELLER TO MATCH EXISTING
- 6. LOCATION OF RELOCATED STRUCTURAL BRACING TO EXISTING BUILDING NOT SHOWN ON THIS DRAWING. FINAL LOCATION TO BE CONFIRMED BY THE CONTRACTOR'S STRCUTURAL ENGINEER DURING DETAILED DESIGN STAGE.
- 7. ALLOW FOR FLOOR INSULATION TO UNDERSIDE OF ANNEXE SLAB.
- 8. INTERNAL EGRESS TO BE FURTHER ASSESSED AFTER CONFIRMATION OF RACKING LAYOUT.
- BACKGROUND EQUIPMENT AND RACKING LAYOUT SHOWN INDICATIVE. EQUIPMENT/ VENDOR LAYOUT SUBJECT TO CHANGE DEPENDING ON APPROVED VENDOR LAYOUT.
- 10. ALLOW FOR A-SAFE BARRIERS AND BOLLARDS TO NEW ANNEXE AREA. LAYOUT BY OTHERS. YPE OF SAFETY BARRIER INCLUDING GATES TO IDENTIFIED WORK AREA IS TO BE CONFIRMED BY THE PRINCIPAL
- 11. SITE BOUNDARY AND EASEMENT ZONES BASED ON SITE SURVEY FILE "SY074943.000.3.1" RECEIVED FROM LAND PARTNERS ON 11/08/2020.
- 12. EXISTING BUILDING LAYOUT BASED ON DRAWING RECEIVED FROM AMERICOLD ON 05/06/2020.
- 13. DO NOT SCALE DRAWINGS14. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE

### LEGEND



## FOR APPROVAL NOT FOR CONSTRUCTION

E REISSUED FOR DEVELOPMENT APPLICATION

D ISSUED FOR DEVELOPMENT APPLICATION

C REISSUED FOR PRICING

B ISSUED FOR DEVELOPMENT APPLICATION - DRAFT

No. Revision

DM BT AM 14.06.22

As indicate Reduced Scale (A3)

Original Scale (A1)

As indicate Reduced Scale (A3)

**GROUND FLOOR PLAN** 

(8)

DA-0501 1 : 250

NEW DOCKS WITH INSULATED WALL

**EXISTING SLAB FITTED WITH NEW** 

DOCK LEVELLERS (2 OFF). LEVELLERS

**EXISTING ANNEXE** 

**EXISTING WALL** 

**EXISTING FREEZER** 

ROOM

OPENING —

MAKE GOOD WALL OF EXISTING

FREEZER AT ALL PENETRATION

INTO NEW FREEZER —

**EXISTING STRUCTURAL** 

BRACING TO REMAIN -

EGRESS STAIRS AND

FOOTPATH LEVEL TO

NEW PLANT ROOM —

STAIRS TO COOLING

TOWER AND NEW WAREHOUSE ROOF

FREEZER ----

MAINTENANCE

NEW SECURITY

OFFICE AND

SWITCHROOM ABOVE

PLATFORM FROM EXISTING

PANEL AND DOORS. MODIFIED

TO MATCH EXISTING

(XM)

5

6

 
 Original Scale (A1)
 Design
 D.MCNAMARA
 07.10.22

 As indicated Reduced Scale (A3)
 Drawn
 R. HANDAYANI
 07.10.22

 Drawn
 R. WARNE
 10.10.22

 Drg Check
 D. MCNAMARA
 10.10.22



IP:01

(D)

49340

49500

**NEW ANNEXE** 

RL 62.350 m

(98 FLOOR PALLETS)

**NEW FREEZER** 

**ROOM**RL 62.350 m

(APPROX. 13,444 PALLETS)

8050

3500

TYP

3175

CLEAR

8050

IP:01

RACKING WITH

FORKLIFT ACCESS

FIRE RATED WALL TO

FIXED TO FIRE RATED

STRUCTURAL FRAME

UNDERSIDE OF THE ROOF

(E)

k=\*k=\*k=\*

8050

8050

(F)

G

**NEW RETAINING** 

**NEW STEEL** 

STAIRS, TYPICAL

EASEMENT LINE

**CONCRETE PATH** 

EGRESS STEEL STAIRS

(5 OFF). ALLOW FOR

EARTH STAKE IN TO

'ENDEAVOUR ENERGY'

COMPLY WITH

REQUIREMENT

DA-5102

WALL

7600



PROSPECT SOUTH EXPANSION
560 RESERVOIR RD PROSPECT NSW 2148,
AUSTRALIA

SOUTH BUILDING EXPANSION FLOOR PLAN

Discipline

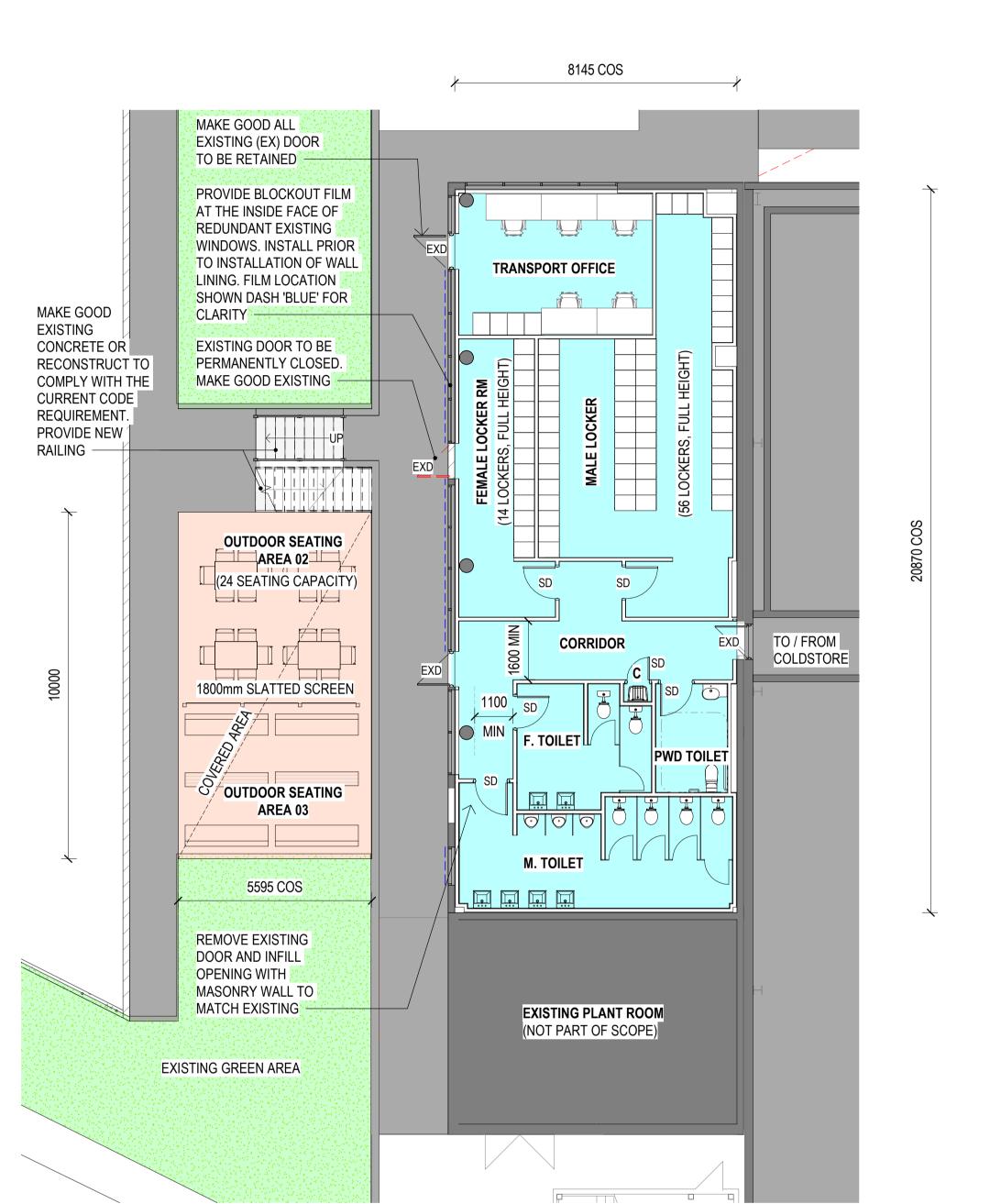
ARCHITECTURAL

Drawing No.

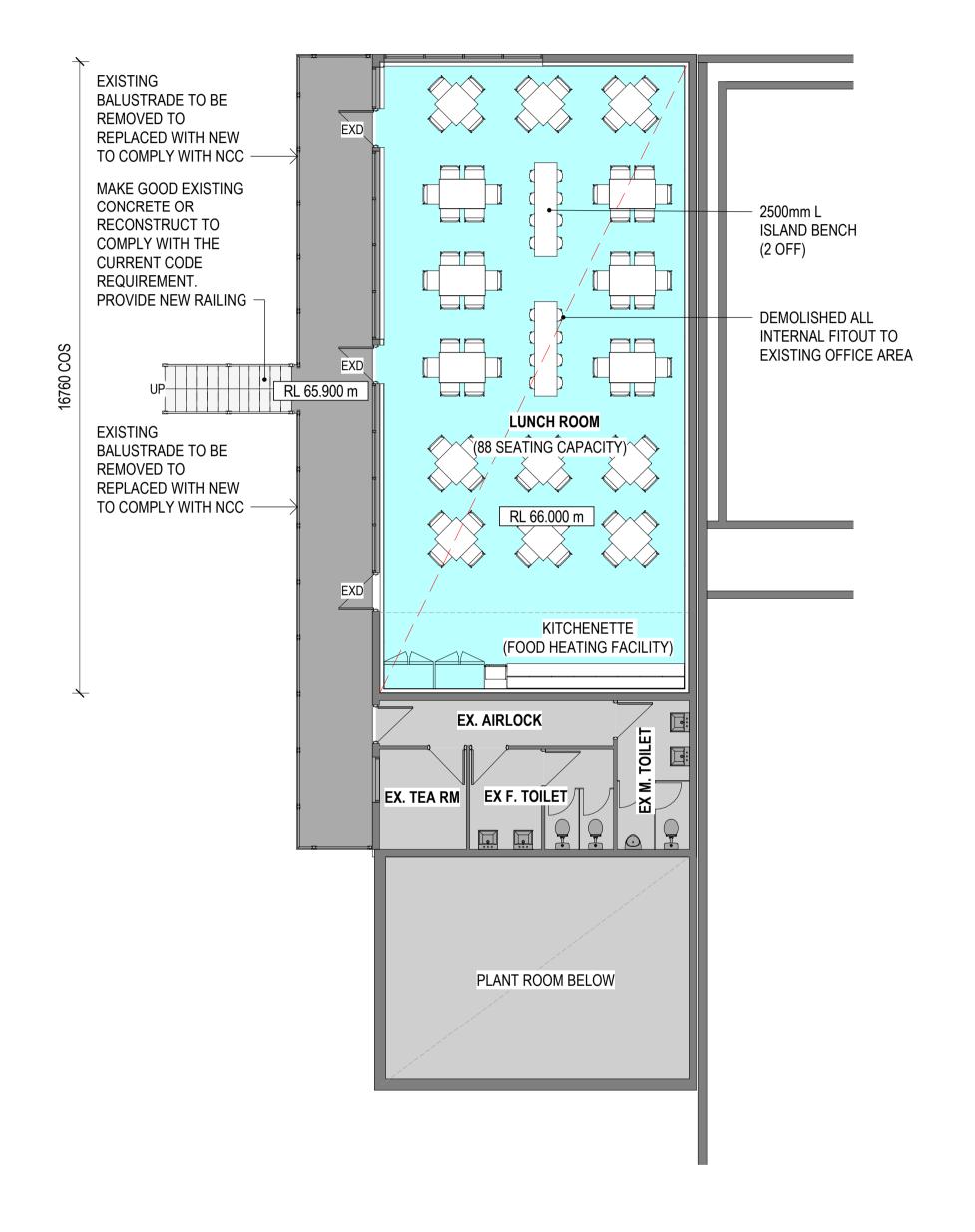
2527456-DA-3101

**GENERAL NOTES AND LEGENDS** 

10/10/2022 3:21:10 PM



8145 COS



**EXISTING** 

EXISTING REFUBISHMENT FITOUT OF EXISTING TO REMAIN. MAKE GOOD

EXISTING BUILDING AND STRUCTURE

——— EXISTING WINDOW TO BE BLOCKED OFF

EXD EXISTING DOOR TO REMAIN AND MAKE GOOD

NEW SOLID CORE DOOR, PAINTED FINISH

EXISTING DOOR TO REMAIN AND MADE GOOD

EXISTING DOOR TO BE REMOVED. MAKE GOOD EXISTING WALL OPENING

MADE GOOD EXISTING WALLS TO BE REMOVED /

DEMOLISHED. MAKE GOOD ADJOINING WALL EDGES TO BE RETAINED

EXISTING WALL TO BE RETAINED AND

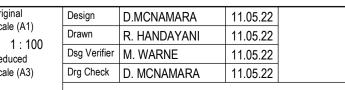
1. ALL INTERNAL PARTITIONS TO BE FULL HEIGHT WALLS (UP TO UNDERSIDE OF STRUCTURE) UNLESS NOTED OTHERWISE. 2. PROVIDE THERMAL INSULATION TO ALL

- EXTERNAL WALLS AND ROOF TO COMPLY WITH PART J REQUIREMENT OF THE NCC 3. PROVIDE ACOUSTIC INSULATION TO INTERNAL
- 4. ALL FITTINGS WITHIN ACCESSIBLE TOILETS AND
- SHOWERS ARE TO COMPLY WITH AS 1428.1-2021 DESIGN FOR ACCESS & MOBILITY. 5. DO NOT SCALE DRAWINGS
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE





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ı	С	ISSUED FOR DEVELOPMENT APPLICATION	DM	ВТ	AM	28.06.22	Sc	ale;
ı	В	ISSUED FOR DEVELOPMENT APPLICATION - DRAFT	DM	ВТ	AM	25.05.22	Re	edu
ı	Α	ISSUED FOR PRICING	DM	BT	AM	11.05.22	Sc	ale
ı	No.	Revision	Ву	Chk	Appd	Date		







PROSPECT SOUTH EXPANSION 560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

OFFICE, AMENITIES AND LUNCH **ROOM PLANS** 

Discipline	ARCHITECTUR
Drawing No.	
	0007400 DA 0400

2527456-DA-3102

1. IF THE CONTRACTOR FINDS ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS. OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE AFTER CONFIRMATION OF RACKING LAYOUT.

NOTIFIED. 2. INTERNAL EGRESS TO BE FURTHER ASSESSED

3. BACKGROUND EQUIPMENT AND RACKING LAYOUT SHOWN INDICATIVE. EQUIPMENT/ VENDOR LAYOUT SUBJECT TO CHANGE DEPENDING ON APPROVED VENDOR LAYOUT.

**GENERAL NOTES** 

4. SITE BOUNDARY AND EASEMENT ZONES BASED ON SITE SURVEY FILE "SY074943.000.3.1" RECEIVED FROM LAND PARTNERS ON 11/08/2020.

5. EXISTING BUILDING LAYOUT BASED ON DRAWING RECEIVED FROM AMERICOLD ON 05/06/2020.

6. FOR DETAILED EXTERNAL LEVELS AND LOCATION OF RETAINING WALLS REFER TO CIVIL DRAWINGS.

7. INDICATIVE ZONE FOR IN-GROUND WEIGHBRIDGE LOCATION SHOWN FOR REFERENCE ONLY. EXACT WEIGHBRIDGE DIMENSION AND SETOUT TO FINALIZED ON DETAILED DESIGN STAGE.

8. REFER TO LANDSCAPE DRAWING FOR DETAILED LOCATION OF NEW TREES AND DETAILED LANDSCAPE SCOPE.

DO NOT SCALE DRAWINGS

10. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE

**FOR APPROVAL** NOT FOR CONSTRUCTION

 
 GL
 BT
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 28.06.22

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 14.06.22
 E REISSUED FOR DEVELOPMENT APPLICATION Design D.MCNAMARA 07.10.22 **Beca** D ISSUED FOR DEVELOPMENT APPLICATION Drawn R. HANDAYANI 07.10.22 As indicated Dsg Verifier M. WARNE C REISSUED FOR PRICING 10.10.22 | DM | BT | AM | 25.05.22 | Scale (A3) | B ISSUED FOR DEVELOPMENT APPLICATION - DRAFT Drg Check D. MCNAMARA

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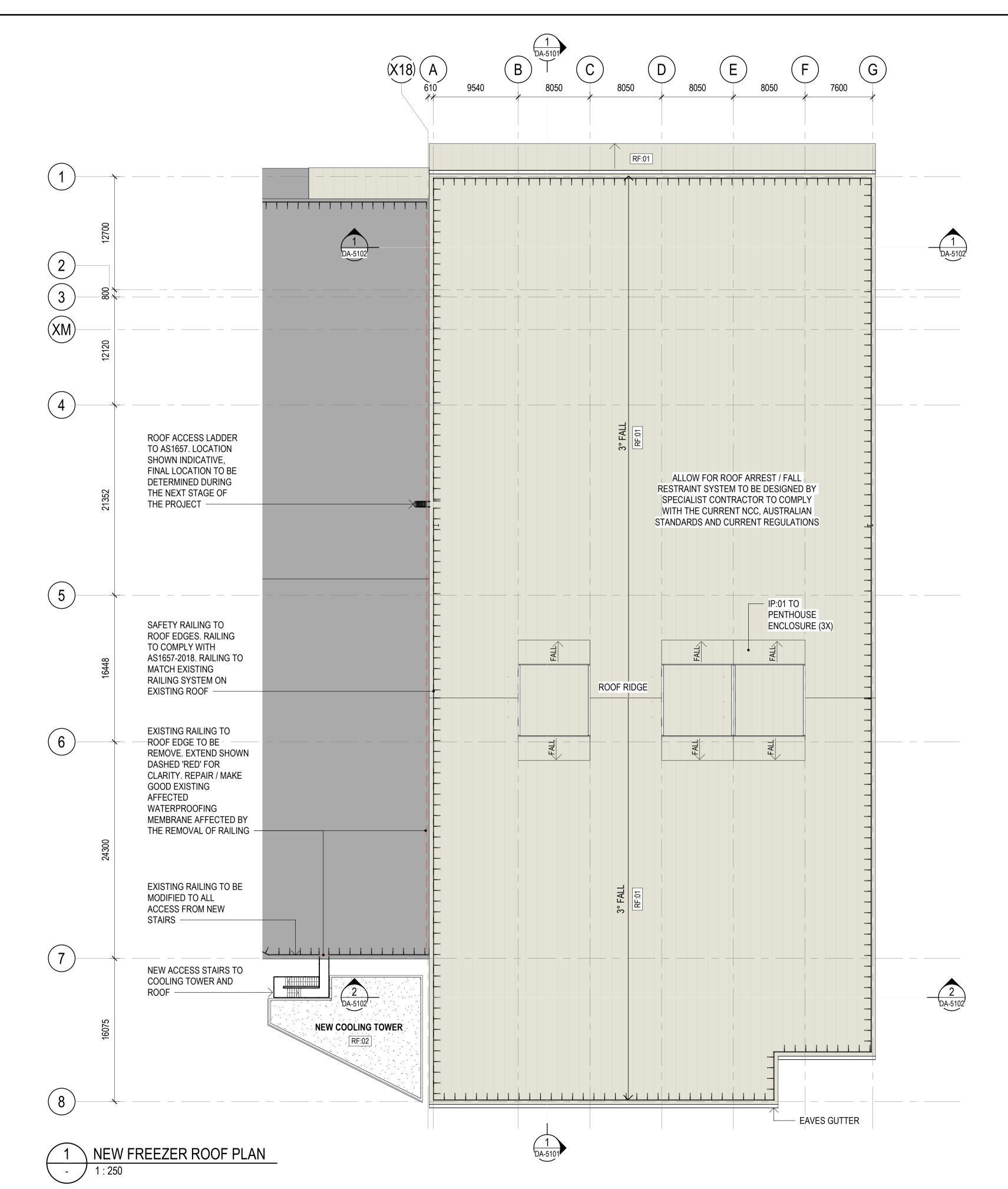
PROSPECT SOUTH EXPANSION 560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

SOUTH BUILDING EXPANSION **ROOF PLAN** 

ARCHITECTURAL Drawing No.

2527456-DA-3201

DO NOT SCALE FOR SET OUT DIMENSIONS



PRECAST WALL, TEXTURED PAINTED COLOUR TO MATCH COLORBOND® SHALE

MATERIAL FINISHES & LEGEND

COLOUR: NICKEL

PREFINISHED PROFILED METAL WALL CLADDING COLOUR: COLORBOND® SURFMIST

IP:01 / RF:01 PREFINISHED PIR INSULATED PANELS SKIN COLOUR: COLORBOND® SURFMIST.

**BOTH SIDES** 

PREFINISHED PIR INSULATED PANELS

SHALE GREY SKIN COLOUR INSIDE: COLORBOND® SURFMIST

SKIN COLOUR OUTSIDE: COLORBOND®

PREFINISHED PIR INSULATED PANELS SKIN COLOUR OUTSIDE: COLORBOND® FAIRY WREN SKIN COLOUR INSIDE: COLORBOND® SURFMIST

PREFINISHED PIR INSULATED PANELS SKIN COLOUR OUTSIDE: COLORBOND® FRASER COAST SKIN COLOUR INSIDE: COLORBOND® SURFMIST

PAINT FINISH / PREFINISHED SKIN FOR

COLOUR: COLORBOND® SURFMIST

FIRE RATED WALL

PROFILED METAL ROOF SHEETING WITH INSULATION PROFILE TO MATCH EXISTING TO ANCILLARY BUILDING COLOUR: COLORBOND® SURFMIST

FLASHING, GUTTERS AND DOWNPIPES TO MATCH ADJOINING WALL COLOURS

SC:01 STRUCTURE, POWDER COATED FINISH COLOUR TO MATCH COLORBOND® FRASER COAST

**FOR APPROVAL** NOT FOR CONSTRUCTION

ARCHITECTURAL

2527456-DA-4101

BLOCKWORK WALL - GB SMOOTH

Design D.MCNAMARA 07.10.22 PROSPECT SOUTH EXPANSION **ELEVATIONS - SHEET 1 Beca** 07.10.22 Drawn R. HANDAYANI 10.10.22 560 RESERVOIR RD PROSPECT NSW 2148, a w e L I C O F D" Drg Check D. MCNAMARA AUSTRALIA

**NEW BATTERY RECHARGE** 

**EXTENSION** 

DA-4102

**EXISTING NORTH COLD STORAGE** 

**ROOF LEVEL - SOUTH** 

HARDSTAND LEVEL

RL 80.350 m

RL 61.000 m

 $\overline{\phantom{a}}$ 

SOUTH COLD STORAGE EXPANSION

americold

DO NOT SCALE FOR SET OUT DIMENSIONS

C REISSUED FOR PRICING

E REISSUED FOR DEVELOPMENT APPLICATION

B ISSUED FOR DEVELOPMENT APPLICATION - DRAFT

D ISSUED FOR DEVELOPMENT APPLICATION

SOUTH COLD STORAGE EXPANSION

DA-4102

**OVERALL - NORTH ELEVATION** 

2 OVERALL - SOUTH ELEVATION DA-0501 1:500

3 OVERALL EAST ELEVATION

3 DA-4102

**ROOF LEVEL - SOUTH** 

**GROUND FLOOR - SOUTH** 

HARDSTAND LEVEL

DA-0501 1:500

HARDSTAND LEVEL

**ROOF LEVEL - SOUTH** 

GROUND FLOOR - SOUTH

RL 80.350 m

RL 62.350 m

**ROAD LEVEL** 

DA-0501 1:500

RL 58.000 m

RL 61.000 m

 $\nabla$ 

RL 80.350 m

RL 62.350 m

RL 61.000 m

 $\nabla$ 

 $\nabla$ 

NEW DOCKS

**EXISTING SOUTH COLD STORAGE** 

SOUTH COLD STORAGE EXPANSION

 GL
 BT
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 10.10.22

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 AM
 28.06.22

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 AM
 14.06.22

 DM
 BT
 AM
 25.05.22

 By
 Chk
 Appd
 Date

As indicated Dsg Verifier M. WARNE

- LADDER RUNG TO

COMPLY WITH AS1657

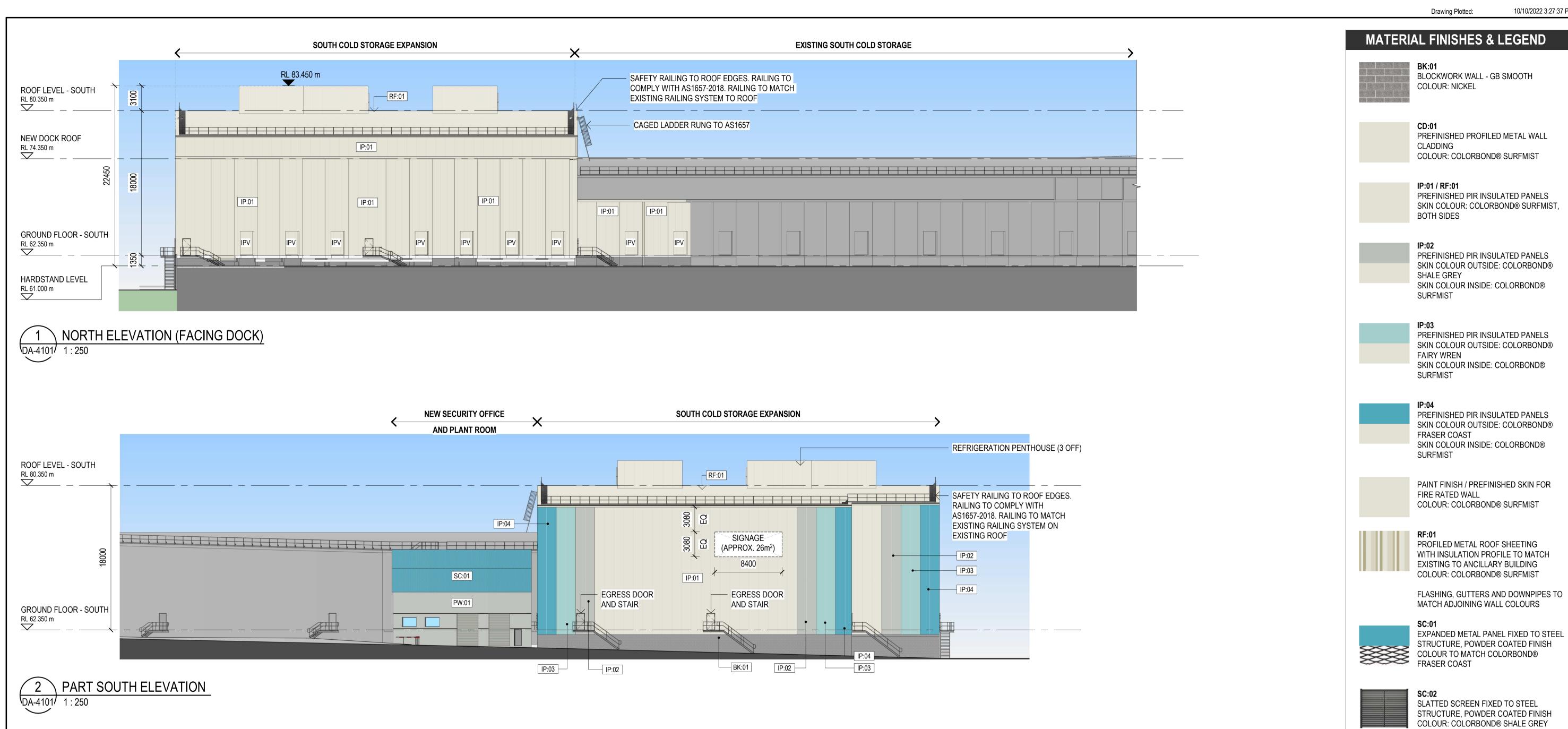
**EXISTING SOUTH COLD STORAGE** 

**NEW SECURITY OFFICE** 

**EXISTING HARDSTAND** 

WITH NEW RAMP

AND PLANT ROOM



SAFETY RAILING TO ROOF EDGES. RAILING TO COMPLY RL 83.450 m WITH AS1657-2018. RAILING ROOF LEVEL - SOUTH
RL 80.350 m TO MATCH EXISTING RAILING RF:01 SYSTEM ON EXISTING ROOF UNDERSIDE OF ELECTRICAL LINES AT FOREGROUND (EAST OF INTERNAL ROAD) RL 70.320 m • IP:02 IP:01 IP:04 IP:02 NEW RAMP UP EGRESS DOOR AND STAIR TO DOCK -EGRESS DOOR IP:03 AND STAIR IP:03 GROUND FLOOR - SOUTH RL 62.500 m RL 62.350 m IP:04 - EGRESS DOOR BK:01 AND STAIR

\ EAST ELEVATION DA-4101 1 : 250

ı	E	REISSUED FOR DEVELOPMENT APPLICATION	GL	BT	AM	10.10.22
ı	D	ISSUED FOR DEVELOPMENT APPLICATION	DM	BT	AM	28.06.22
ı	С	REISSUED FOR PRICING	DM	BT	AM	14.06.22
ı	В	ISSUED FOR DEVELOPMENT APPLICATION - DRAFT	DM	BT	AM	25.05.22
ı	No.	Revision	Ву	Chk	Appd	Date

07.10.22 10.10.22 10.10.22

Design D.MCNAMARA

Drg Check D. MCNAMARA

Dsg Verifier M. WARNE

As indicated

Scale (A3)

R. HANDAYANI





PROSPECT SOUTH EXPANSION 560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

**ELEVATIONS - SHEET 2** 

NOT FOR CONSTRUCTION **ARCHITECTURAL** 

2527456-DA-4102

**FOR APPROVAL** 

PRECAST WALL, TEXTURED PAINTED

COLOUR TO MATCH COLORBOND® SHALE

1. IF THE CONTRACTOR FINDS ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE

2. INTERNAL EGRESS TO BE FURTHER ASSESSED AFTER CONFIRMATION OF RACKING LAYOUT. 3. BACKGROUND EQUIPMENT AND RACKING LAYOUT

> SHOWN INDICATIVE. EQUIPMENT/ VENDOR LAYOUT SUBJECT TO CHANGE DEPENDING ON APPROVED

4. SITE BOUNDARY AND EASEMENT ZONES BASED ON SITE SURVEY FILE "SY074943.000.3.1" RECEIVED

OF RETAINING WALLS REFER TO CIVIL DRAWINGS.

LOCATION SHOWN FOR REFERENCE ONLY. EXACT

7. INDICATIVE ZONE FOR IN-GROUND WEIGHBRIDGE

WEIGHBRIDGE DIMENSION AND SETOUT TO

8. REFER TO LANDSCAPE DRAWING FOR DETAILED

LOCATION OF NEW TREES AND DETAILED

10. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS

FINALIZED ON DETAILED DESIGN STAGE.

FROM LAND PARTNERS ON 11/08/2020. 5. EXISTING BUILDING LAYOUT BASED ON DRAWING RECEIVED FROM AMERICOLD ON 05/06/2020. 6. FOR DETAILED EXTERNAL LEVELS AND LOCATION

NOTIFIED.

VENDOR LAYOUT.

LANDSCAPE SCOPE.

9. DO NOT SCALE DRAWINGS

NOTED OTHERWISE



PROSPECT SOUTH EXPANSION 560 RESERVOIR RD PROSPECT NSW 2148,

**SECTIONS - SHEET 1** 

ARCHITECTURAL

2527456-DA-5101

INSULATED WALLS AND ROOF TO PENTHOUSE TO REFRIGERATION WITH INSULATED DUCT UNDER TO CONTRACTOR'S DETAILS. ALLOW 1DEG MIN RL 83.450 m FALL TO PENTHOUSE ROOF **ROOF LEVEL - SOUTH** RL 80.350 m **NEW DOCK ROOF** RL 74.350 m  $\overline{\phantom{a}}$ SIGNAGE NEW FREEZER 12000 COS IP:01 NEW ANNEXE **GROUND FLOOR - SOUTH** RL 62.350 m HARDSTAND LEVEL RL 61.000 m INDICATIVE OUTLINE OF INDICATIVE LOCATION OF  $\nabla$ STRUCTURAL COLUMN STRUCTURAL HORIZONTAL BRACE STRUCTURAL SLAB WITH AND ROOF STRUCTURE TO COLUMNS ALONG GRID G FLOOR INSULATION AND WEARING SLAB ON TOP

SECTION THROUGH NEW ANNEXE AND FREEZER ROOM DA-3101 1 : 250

SAFETY RAILING TO ROOF EDGES. RAILING TO COMPLY WITH AS1657-2018. RAILING TO MATCH EXISTING RAILING SYSTEM ON EXISTING ROOF ROOF LEVEL - SOUTH RL 80.350 m IP:02 EXISTING SAFETY RAILING TO ROOF IP:03 IP:01 IP:04 SC:01 **EXISTING FREEZER** ROOM **EXISTING ANNEXE** PW:01 **GROUND FLOOR - SOUTH** RL 62.350 m HARDSTAND LEVEL RL 61.000 m

SECTION THROUGH EXISTING FREEZER ROOM DA-3101 1 : 250

(NOTE: SIMILAR TO WEST ELEVATION VIEW OF COLD STORAGE EXPANSION)

Е	REISSUED FOR DEVELOPMENT APPLICATION	GL	BT	AM	10.10.22	Original
D	ISSUED FOR DEVELOPMENT APPLICATION	DM	ВТ	AM	28.06.22	Scale (A1) As indicate
С	REISSUED FOR PRICING	DM	BT	AM	14.06.22	Reduced
В	ISSUED FOR DEVELOPMENT APPLICATION - DRAFT	DM	BT	AM	25.05.22	Scale (A3)
No.	Revision	Bv	Chk	Appd	Date	

Design D.MCNAMARA 07.10.22 10.10.22 Dsg Verifier M. WARNE Drg Check D. MCNAMARA

As indicated

AUSTRALIA

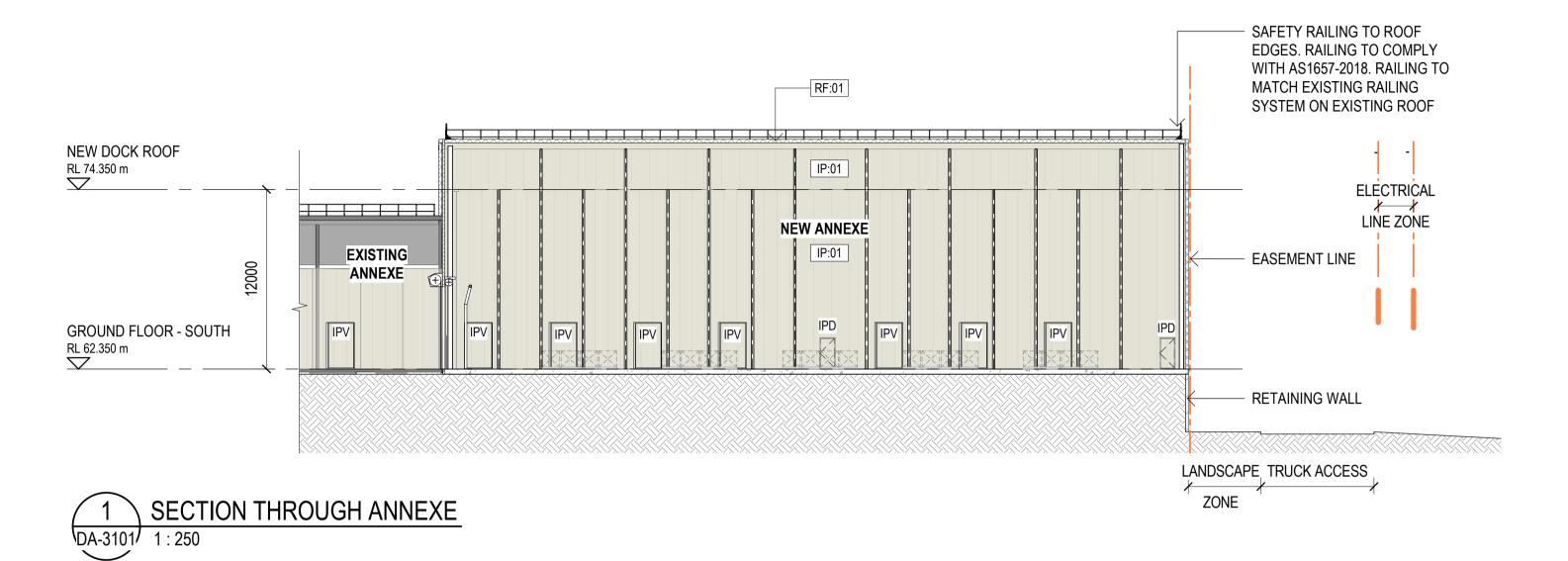
DO NOT SCALE FOR SET OUT DIMENSIONS

NOT FOR CONSTRUCTION

- 1. IF THE CONTRACTOR FINDS ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE NOTIFIED.
- 2. INTERNAL EGRESS TO BE FURTHER ASSESSED
- AFTER CONFIRMATION OF RACKING LAYOUT.

  3. BACKGROUND EQUIPMENT AND RACKING LAYOUT SHOWN INDICATIVE. EQUIPMENT/ VENDOR LAYOUT SUBJECT TO CHANGE DEPENDING ON APPROVED VENDOR LAYOUT.
- 4. SITE BOUNDARY AND EASEMENT ZONES BASED ON SITE SURVEY FILE "SY074943.000.3.1" RECEIVED FROM LAND PARTNERS ON 11/08/2020.
- 5. EXISTING BUILDING LAYOUT BASED ON DRAWING
- RECEIVED FROM AMERICOLD ON 05/06/2020.

  6. FOR DETAILED EXTERNAL LEVELS AND LOCATION OF RETAINING WALLS REFER TO CIVIL DRAWINGS.
- 7. INDICATIVE ZONE FOR IN-GROUND WEIGHBRIDGE LOCATION SHOWN FOR REFERENCE ONLY. EXACT WEIGHBRIDGE DIMENSION AND SETOUT TO FINALIZED ON DETAILED DESIGN STAGE.
- 8. REFER TO LANDSCAPE DRAWING FOR DETAILED LOCATION OF NEW TREES AND DETAILED LANDSCAPE SCOPE.
- 9. DO NOT SCALE DRAWINGS
- 10. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE



INSULATED WALLS AND ROOF TO PENTHOUSE TO REFRIGERATION WITH INSULATED DUCT UNDER TO ROOF LEVEL - SOUTH RL 80.350 m CONTRACTOR'S DETAILS. ALLOW 1DEG RF:01 MIN FALL TO PENTHOUSE ROOF ELECTRICAL LINES ZONE EASEMENT LINE I UNDERSIDE OF ELECTRICAL LINES
RL 70.320 m APPROXIMATE RF:02 NEW FREEZER GROUND FLOOR - SOUTH PLANT ROOM RL 62.350 m HARDSTAND LEVEL RL 61.000 m LANDSCAPE TRUCK
ZONE ACCESS SECTION THROUGH FREEZER ROOM

FOR APPROVAL NOT FOR CONSTRUCTION

D ISSUED FOR DEVELOPMENT APPLICATION

C REISSUED FOR PRICING

B ISSUED FOR DEVELOPMENT APPLICATION - DRAFT

A ISSUED FOR PRICING

No. Revision

DM BT AM 28.06.22

DM BT AM 14.06.22

As indicated Reduced Scale (A3)

No. Revision

DM BT AM 11.05.22

No. Revision

DM BT AM 11.05.22

No. Revision

DM BT AM 11.05.22





PROSPECT SOUTH EXPANSION

560 RESERVOIR RD PROSPECT NSW 2148,
AUSTRALIA

SECTIONS - SHEET 2

Discipline

ARCHITECTURAL

Drawing No.

2527456-DA-5102

DO NOT SCALE FOR SET OUT DIMENSIONS



VIEW ALONG PROSPECT HIGHWAY



VIEW FACING SOUTH COLD STORE DOCKS

ı							Or Sc
ı	С	REISSUED FOR DEVELOPMENT APPLICATION	GL	BT	AM	10.10.22	50
ı	В	ISSUED FOR DEVELOPMENT APPLICATION	DM	BT	AM	28.06.22	Re
ı	Α	ISSUED FOR DEVELOPMENT APPLICATION - DRAFT	DM	BT	AM	25.05.22	Sc
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	Original Scale (A1)	Design	D.MCNAMARA	07.10.22
0.22	As indicated	Drawn	R. HANDAYANI	07.10.22
6.22	Reduced	Dsg Verifier	M. WARNE	10.10.22
5.22	Scale (A3)	Drg Check	D. MCNAMARA	10.10.22
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PROSPECT SOUTH EXPANSION 560 RESERVOIR RD PROSPECT NSW 2148, AUSTRALIA

	FOR APPROVAL NOT FOR CONSTRUCTION
3D VIEWS	Discipline  ARCHITECTURAL
	Drawing No. Rev.

DO NOT SCALE FOR SET OUT DIMENSIONS

2527456-DA-9101



