

MOD 1 SSD6746 - UTS BLACKFRIARS INDUSTRY HUB



Planning & Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 4.55 (...2...) Modification Application

No. 1 granted on the 26/7/19

in respect to SSD 6746

Signed [Signature]

Sheet No. 1 of 3



COMPETITION STAGE DESIGN: PERSPECTIVE VIEW

DRAWING LIST- DA STAGE 1

STAGE 1 DA MODIFICATION

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CONTACTS LIST

17014: UTS BLACKFRIARS INDUSTRY HUB

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RESPONSE TO SUBMISSIONS REQUESTED BY DEPARTMENT OF PLANNING FOR SSD 6746 MOD 1, DATED 12 FEBRUARY 2019

Schedule 1

Plans

- Condition A7 of SSD 6746 requires the submission of revised building envelope plans. You are requested to provide plans and sections of the revised building envelope and plans clearly identifying the changes sought to the approved envelope as part of the current modification.
- Show the proposed RL's on the building envelope plan. The RL is to identify the maximum proposed height of the eastern side of the building (i.e. include provision for any future balustrade).
- Identify the gross building area and gross floor area that can be achieved in the envelope as approved by the conditions of consent.
- Provide 3D images of the proposed building envelope in the context of the site and surrounding buildings, including the southern elevation, Buckland Street views and the view from University of Notre Dame courtyard.

Setbacks

- Identify on plan the southern setback of the sloped facade/ roof to the existing buildings on the site.
- Identify on plan the setback of the proposed retaining walls/ lightwell to Buckland Street.
- Identify any low height retaining walls within the setback to Buckland Street and provide the dimensions from the boundary.

Heritage fence

- Condition A7a requires the retention of the palisade fence adjacent to Buckland Street in its entirety. Clarification is sought how the proposed salvage, temporary removal and re-use (as annotated on the plans) is consistent with this condition.
- The RIS advises Stage 2 will seek to relocate gate pillars and redistribute fence panels along the line of the fence. Further information is required to understand how this is consistent with condition A7a.
- Clarify why works to the heritage fence are shown outside building CB22.

Eastern edge building height

- As acknowledged in the RIS, the use of the roof on the eastern side of level 3 is subject to Stage 2 detailed design. As such any reference to the balustrade should be removed from the plans.
- Identify the total height increase on the eastern edge from the 9m (RL 20.27m) approved under SSD 6746.
- Provide a shadow diagram at 3pm, June 21, of the University of Notre Dame courtyard, comparing the impact from the eastern edge height of the approved concept plan (as modified by the conditions of consent) and the proposed modification.
- Provide views of the skyline from Abercrombie Street and Broadway, showing the additional height proposed to the building envelope in relation to the St Benedict's Church.

Shadow diagrams

- Provide elevational shadow diagrams identifying the existing, approved concept plan and proposed modification, solar access to 23 Buckland Street/ 2 Grafton Street.
- Provide an internal floor plan for unit 29/23 Buckland Street.

Rev.	Description	Issue Date
1	MOD 1 SSD6746	20.08.2018
2	MOD 1 SSD6746 - COS Response	28.11.2018
3	MOD 1 SSD6746 - DPE Response	28.02.2019

Consultants
For all consultants contact details, Please refer to Page Coverpage

Notes
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Project Name
UTS BLACKFRIARS
INDUSTRY HUB

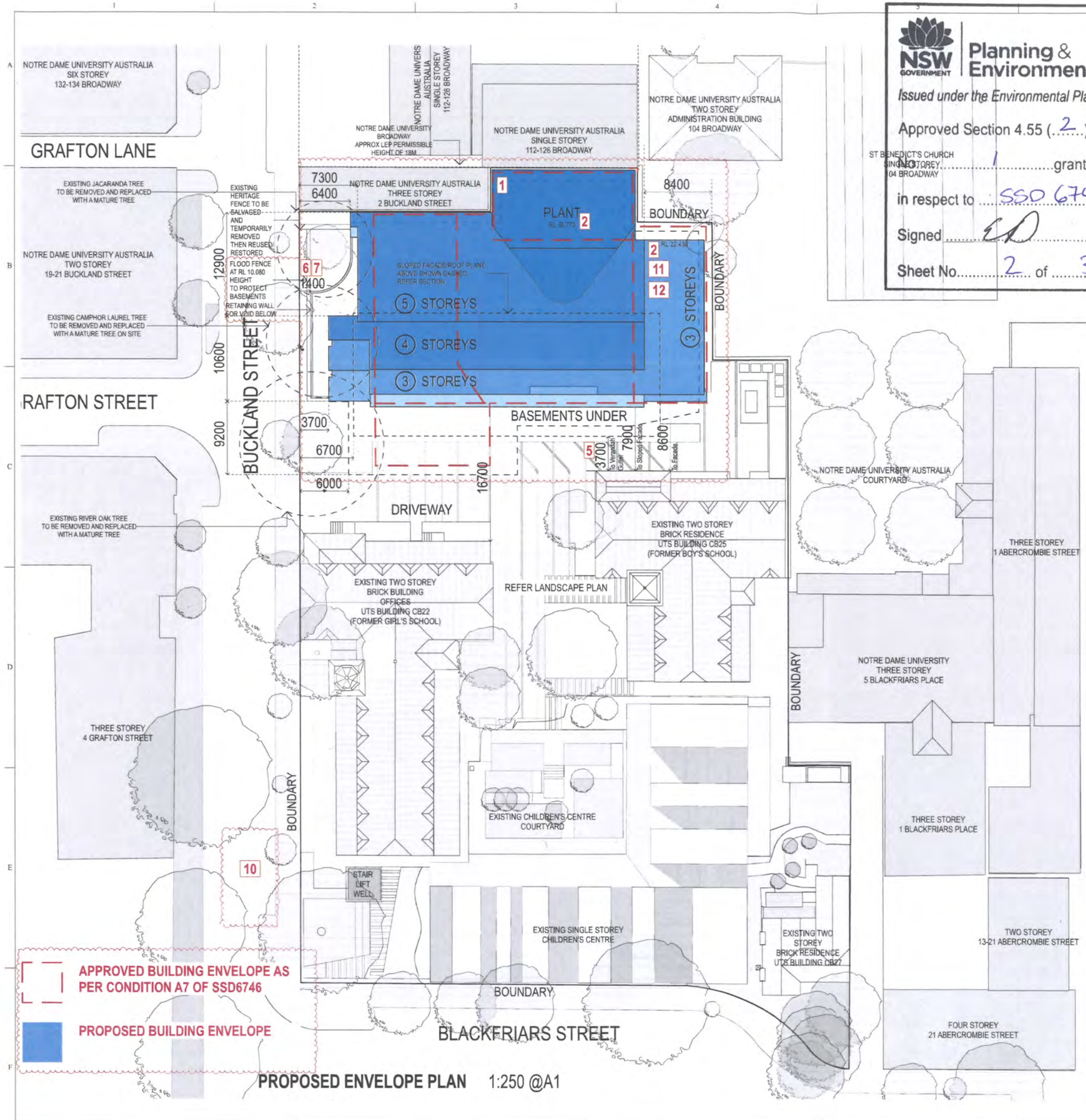


UNIVERSITY OF TECHNOLOGY, SYDNEY
FACILITIES MANAGEMENT OPERATIONS
Tower, Building 1, Level 19, 15 Broadway
Broadway NSW 2007
Ph: 9514-2000 Fax: 9514-4690

Drawing Title
UTS BLACKFRIARS CAMPUS CB23

A01 - COVER PAGE

FMU/ Project Number 03013-C-18			
Drawn By SB, JH, JB, KP	Checked RS, KL	Approved By TG	Date App. 00-00-18
Drawing Scale @A1	Drawing Status DA	A1	
UTS Drg File Name	UTS Drg File No 70001	Rev No 3	



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ST BENEDICT'S CHURCH SINGLE STOREY 104 BROADWAY granted on the 26/7/19

in respect to SSD 6746

Signed

Sheet No. 2 of 3

P.

223 m²

632 + 162 = 794 m²

741 + 317 = 1,058 m²

922 + 216 = 1,138 m²

939 + 202 = 1,141 m²

898 + 171 = 1,069 m²

767 + 540 = 1,307 m²

1081 + 246 = 1,307 m²

GROSS FLOOR AREA - SERVICES + VOIDS + BALCONIES - 5960 m²
GROSS BUILDING AREA - 2077 m²
GROSS BUILDING AREA - 8037 m²**

*Gross Floor Area calculation based on Sydney LEP 2012 Definition.
**Gross Building Area calculation based on UTS Design Guidelines Definition

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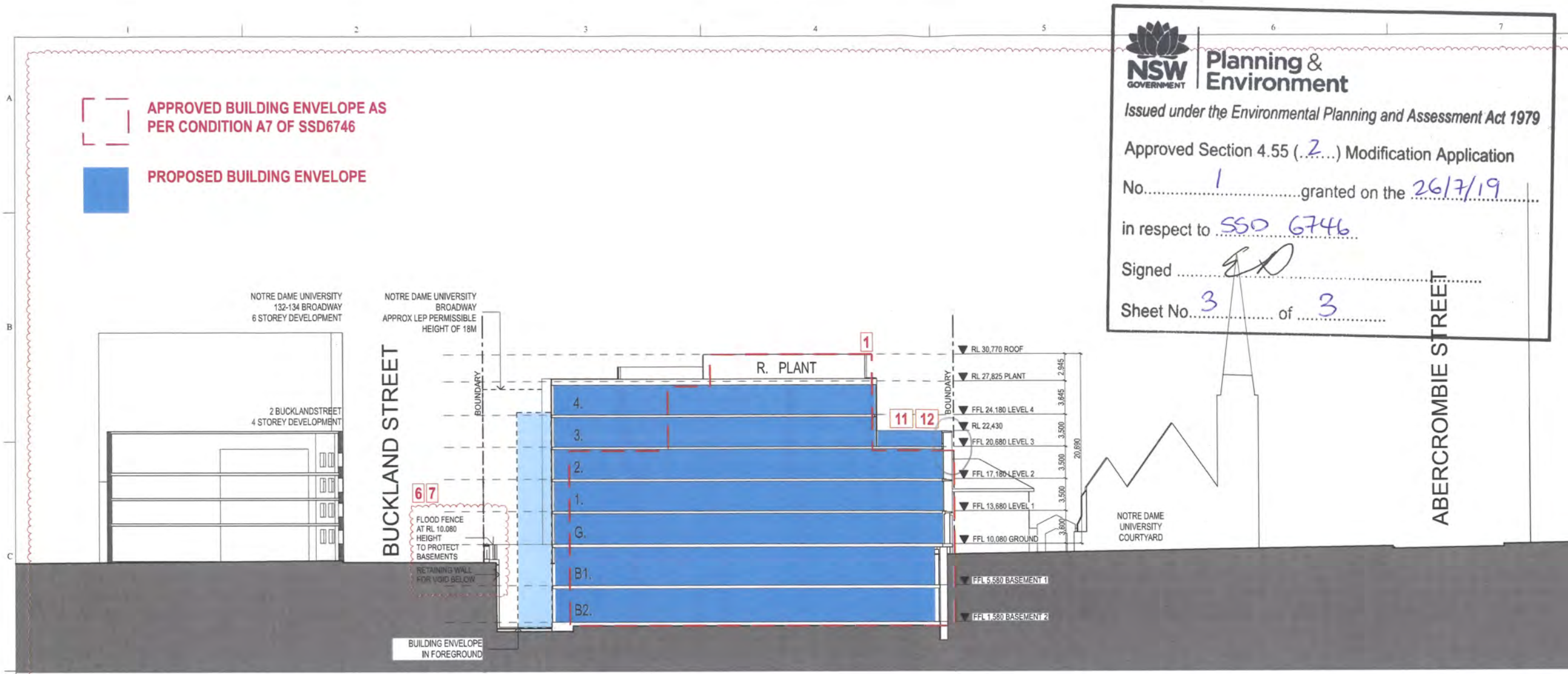
Project Name
UTS BLACKFRIARS
INDUSTRY HUB



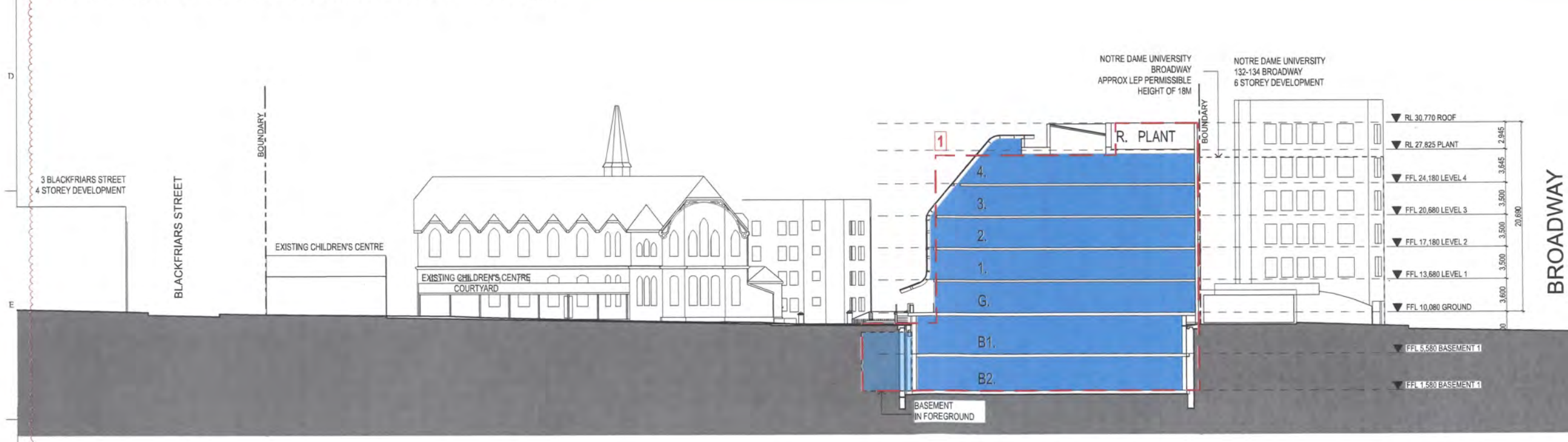
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Drawing Title
UTS BLACKFRIARS CAMPUS CB23
A02 - PROPOSED BUILDING
ENVELOPE PLAN

FMU Project Number 03013-C-18			
Drawn By SB, JH, JB, KP	Checked RS, KL	Approved By TG	Date App. 00-00-18
Drawing Scale 1:250 @A1	Drawing Status DA	A1	
UTS Drg File Name	UTS Drg File No 70002	Rev No 3	



PROPOSED ENVELOPE SECTION-LOOKING NORTH 1:250 @A1



PROPOSED ENVELOPE SECTION-LOOKING WEST 1:250 @A1

NSW GOVERNMENT **Planning & Environment**

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Sheet No. 3 of 3

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1	MOD 1 SSD6746	20.08.2018
2	MOD 1 SSD6746 - DPE Response	28.02.2019

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Project Name UTS BLACKFRIARS INDUSTRY HUB	tonkin zulaikha greer
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Drawing Title UTS BLACKFRIARS CAMPUS CB23			
A03 - PROPOSED BUILDING ENVELOPE SECTIONS			

FMU Project Number 03013-C-18			
Drawn By SB, JH, JB, KP	Checked RS, KL	Approved By TG	Date App. 00-00-18
Drawing Scale 1:250 @A1	Drawing Status DA		A1
UTS Drg File Name	UTS Drg File No 70003	Rev No 2	