

Staging Report

New Primary School in
Estella, Wagga Wagga
SSD 9494

December 2020



Education

Document Control

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1 Introduction

This Staging Report has been prepared by TSA Management on behalf of the NSW Department of Education (DoE) for New Primary School in Estella, Wagga Wagga (SSD 9494). The Staging Report has been prepared in accordance with the conditions of the State Significant Development Approval SSD 9494 to allow the staged construction and operation of the development.

1.1 Project Overview

The NSW Government is investing \$6.7 billion over the next four years to deliver more than 190 new and upgraded schools to support communities across NSW. In addition, a record \$1.3 billion is being spent on school maintenance over five years. This is the largest investment in public education infrastructure in the history of NSW.

The New Primary School in Estella, Wagga Wagga project has been approved for the construction and operation of a new primary school to accommodate up to 480 students (from Kindergarten to Year six). The project includes the construction of six new buildings containing 16 home bases, hall, covered outdoor learning areas, administration facilities and library. Associated works include the provision of outdoor play areas, school identification signage, car parking, drop-off/pick-up facilities and landscaping works

1.1.1 Date of Commencement of Construction

Construction commenced in July 2020.

1.1.2 Submission to Planning Secretary for Approval.

This Staging Report is being submitted to Planning Secretary for approval in accordance with Condition A13 and has been prepared in accordance with Condition A14.

1.2 Details of Proposed Staging

1.2.1 Staging

The SSD pertains to the delivery of the entire package of works. To maintain operational continuity throughout construction the works and as a result of site access restrictions the operational commencement must be staged. An indicative 3 stage approach is proposed as follows:

- Stage 1 is the handover of Administration / staff building (Block A), Staff & Community Joint Use Areas (Block B) & Hall (Block C), Library (Block D), home bases and associated student amenities (Blocks E & F), sports court and car park. Student capacity will be no greater than 235.
- Stage 2 is the handover of landscaping & walkways north of the sports courts to the CSU boundary, inclusive of second access gate along eastern boundary. Student capacity will be no greater than 235.
- Stage 3 is the handover of the permanent kiss & drop and bus-bay along Estella Road, inclusive of all associated public domain works west of the car park entrance.

Staging as outlined above will enable a steady increase in students over the staging period

hence allowing staff and students to become familiar with their surrounds in a progressive way. As can be noted on the following page the time period between the indicative completion date of Stage 1 and the indicative completion date of Stage 3 is relatively short, being approximately 3 months. In this interim period, there will be a license agreement for the usage of the Charles Sturt University (CSU) Car Park for the purposes of student drop-off and temporary bus stop location. An agreement between CSU and Department of Education is being formalized and will be in place in time for Operation of Stage 1

Stage 1

Indicative works	Indicative completion date
Handover of Administration / staff building (Block A), Staff & Community Joint Use Areas (Block B) & Hall (Block C), Library (Block D), home bases and associated student amenities (Blocks E & F), sports court and car park.	End of January 2021

Stage 1 works have been selected to provide the school with all buildings required for operation, sport court and car parking access for authorized personnel, inclusive of waste collection.

See **Appendix A** for details regarding condition compliance for delivery & Appendix C for details on the temporary car park operational measures for student drop-off & pick-up.

Stage 2

Indicative works	Indicative completion date
Handover of landscaping & walkways north of the sports courts until the CSU boundary, inclusive of second access gate along eastern boundary	End of February

As already noted, the school and its primary components will be full operational in term 1. The items in stage 2 will be completed to increase the landscaping areas.

See **Appendix A** for details regarding condition compliance for delivery.

Stage 3

Indicative works	Indicative completion date
Handover of the bus bay and the special needs student drop off area along Estella Road.	End of March

The bus bay and special needs student drop off area along Estella Road will be delivered by March 2021, thus resulting in the CSU temporary car park license agreement for drop-off/pick-up not being required.

See **Appendix A** for details regarding condition compliance for delivery.

1.3 Supporting Information

Other supporting information is contained in the following:

- Appendix B - Construction Staging Plans. These provide location of construction areas, location of temporary drop off and bus bay, location of temporary construction fencing for each stage, location of construction site office and parking, location of temporary vehicle access and construction gates and temporary access points to the operational areas of the school.
- Appendix C – Operational Traffic Management for temporary use of Charles Sturt University car park in the interim while stage 3 works are being completed, i.e. Bus-bay and kiss & drop along Estella Road. Plan includes details of traffic management and access arrangements into the school: Ason Traffic Management plan ("P1049-05-p2).
- Appendix D – Traffic control plans for construction activities.

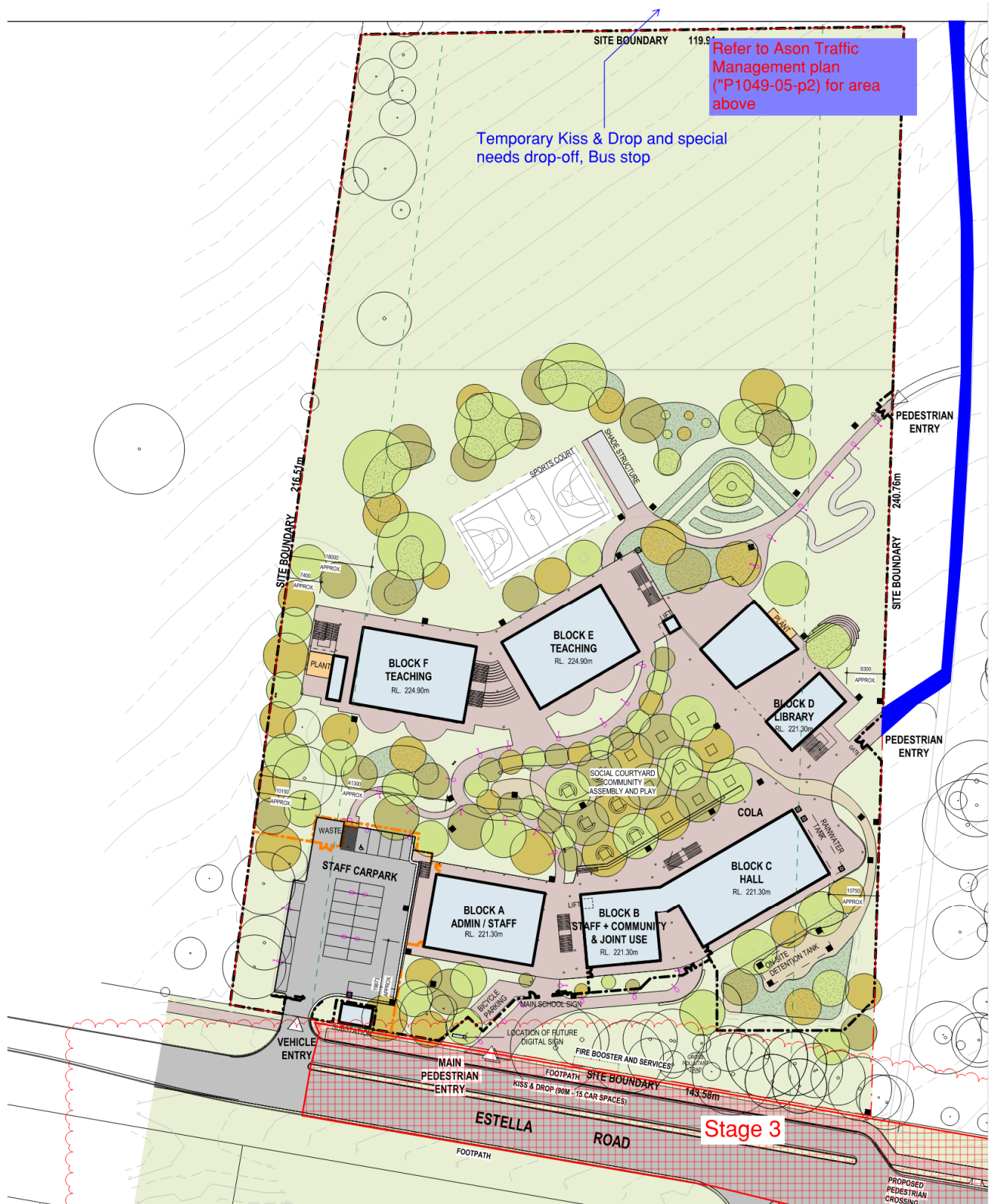


Figure 2 Operational Stage 1 & 2 for Estella Public School - Appendix B



Figure 3 Operation for Estella Public School at handover of stage 3 – PPA drawing: NHQC2-WW-AR-DWG-S002[3], dated 23 November 2020

2 Staging

Condition A13 allows the Department of Education to stage the construction and operation of the development in line with an approved Staging Report prepared in accordance with Condition A14.

All construction for each stage has commenced.

The details of works and other activities to be carried out and the general timing of each stage is outlined below in **Table 1**.

Table 1 Staging schedule

Item	Area and activity (scope)	Indicative timing of completion	Relevant Stage		
			1	2	3
1	Administration / staff building (Block A), Staff & Community Joint Use Areas (Block B) & Hall (Block C), Library (Block D), home bases and associated student amenities (Blocks E & F), sports court and staff car park.	December 2020 to end of January 2021	1		
2	Landscaping & walkways north of the sports courts until the CSU boundary, inclusive of second access gate along eastern boundary will be fully operational.	February 2021		2	
3	Bus bay and the special needs student drop off area along Estella Road will be completed and dedicated. Complete delivery of all works under the SSD At which all areas under SSD will be completely operational and requirements for any licenses agreements with external parties will no longer be required.	March 2021			3

3 Site Access and Safety

Below is a summary of the site access details through the operation of the stages.

- Stage 1 (Block A to F, staff car park, sports courts)
 - Student and Staff access to the school will be diverted to a few places while this stage is being constructed, which is evidenced in **Appendix B**. Students will be dropped off by car or bus from the CSU car park and then travel along the pathway into the second entrance gate, as indicated in blue, **Appendix C**. Staff will utilize the car parking spaces and travel via the same pathway.
 - Stage 2 construction activities will be separated from stage 1 areas with temporary fencing. Access between sites segregated. Entry points to stage 2 areas as indicated on eastern side of site – refer **Appendix B**.
 - Construction activities on Estella Road will occupy the area up east of the driveway to the car park. Construction traffic will be managed across Estella Road. Any access requirements by essential traffic only into the Staff Car Park will be coordinated by traffic management.
 - Construction traffic will use Estella Road with barriers and fencing utilized to segregate anyone access the school from the site so there is complete separation between construction and operation. Traffic Controllers are to coordinate.
- Stage 2 (Landscaping & pathways north of sports courts):
 - The landscaping and pathways will be commissioned to allow additional access to the CSU land areas. Pedestrian access to continue along this pathway.
 - Student drop-off and pick-up to continue utilizing CSU car park license agreement. Operational traffic Management details outlined in **Appendix C**.
 - Construction vehicles and construction workers will enter the Estella Road public domain areas as per the Construction Staging Plans & TCP, **Appendices B & D** respectively.
- Stage 3 (Kiss & Drop, Bus-bay):
 - Estella Road public domain works completed, and all Department of Education areas are dedicated, as required.
 - The temporary license agreement with CSU for drop-off and pick-up requirements no longer required, as the permanent Bus-bay and Kiss & Drop will be commissioned and operational.
 - Student and Staff access to the school via Estella Road permitted.
 - All areas of SSDA now completed and operational.

Construction Staging Plans (Site establishment plans) for each stage are provided in **Appendix B**.

4 Condition Compliance

The Department of Education has identified relevant conditions in relation to construction and operational stages being proposed. These are outlined in ***Appendix A***.

5 Management of Cumulative Impacts

The Department of Education notes that the staging is not likely to lead to cumulative impacts.

Staging will occur over approximately 13 weeks (December 2020 to March 2021) and during Term 1, capacity of the school will be less than the SSDA condition A6 limit of 235 students. There are also ongoing discussions with CSU to formulate an agreement to utilize the car parking areas on their land, adjacent to the school site as a temporary kiss & drop, should the need arise. Therefore, the considered staged operation impact will be minimal.

After all stages are completed and following Term 1 the school will be fully functional and operational.

Appendix A

Unique ID	Compliance Requirement	Stage Triggered	Phase	Comments
C8	The Applicant must carry out the construction of the development in accordance with the most recent version of the approved CEMP (including Sub-Plans).	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
Construction Traffic				
C9	All construction vehicles are to be contained wholly within the site, except if located in an approved on-street work zone, and vehicles must enter the site or an approved on-street work zone before stopping.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
Hoarding Requirements				
C10	The following hoarding requirements must be complied with: (a) no third-party advertising is permitted to be displayed on the subject hoarding/ fencing; and	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(b) the construction site manager must be responsible for the removal of all graffiti from any construction hoardings or the like within the construction area within 48 hours of its application.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
No Obstruction of Public Way				
C11	The public way (outside of any approved construction works zone) must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
Construction Noise Limits				
C12	The development must be constructed to achieve the construction noise management levels detailed in the Interim Construction Noise Guideline (DECC, 2009). All feasible and reasonable noise mitigation measures must be implemented and any activities that could exceed the construction noise management levels must be identified and managed in accordance with the management and mitigation measures identified in the approved Construction Noise and Vibration Management Plan.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
C13	The Applicant must ensure construction vehicles (including concrete agitator trucks) do not arrive at the site or surrounding residential precincts outside of the construction hours of work outlined under condition C4.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
C14	The Applicant must implement, where practicable and without compromising the safety of construction staff or members of the public, the use of 'quackers' to ensure noise impacts on surrounding noise sensitive receivers are minimised.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
Vibration Criteria				
C15	Vibration caused by construction at any residence or structure outside the site must be limited to: (a) for structural damage, the latest version of DIN 4150-3 (1992-02) Structural vibration - Effects of vibration on structures (German Institute for Standardisation, 1999); and	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(b) for human exposure, the acceptable vibration values set out in the Environmental Noise Management Assessing Vibration: a technical guideline (DEC, 2006) (as may be updated or replaced from time to time).	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
C16	Vibratory compactors must not be used closer than 30 metres from residential buildings unless vibration monitoring confirms compliance with the vibration criteria specified in condition C15	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
C17	The limits in conditions C15 & C16 apply unless otherwise outlined in a Construction Noise and Vibration Management Plan, approved as part of the CEMP required by condition B15 of this consent.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
Tree Protection				
C18	For the duration of the construction works: (a) street trees must not be trimmed or removed unless it forms a part of this development consent or prior written approval from Council is obtained or is required in an emergency to avoid the loss of life or damage to property;	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(b) all street trees immediately adjacent to the approved disturbance area / property boundary/ies must be protected at all times during construction in accordance with Council's tree protection requirements. Any street tree, which is damaged or removed during construction due to an emergency, must be replaced, to the satisfaction of Council;	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(c) all trees on the site that are not approved for removal must be suitably protected during construction as per the recommendations of the [insert relevant report]; and	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(d) if access to the area within any protective barrier is required during the works, it must be carried out under the supervision of a qualified arborist. Alternative tree protection measures must be installed, as required. The removal of tree protection measures, following completion of the works, must be carried out under the supervision of a qualified arborist and must avoid both direct mechanical injury to the structure of the tree and soil compaction within the canopy or the limit of the former protective fencing, whichever is the greater.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
Air Quality				
C19	The Applicant must take all reasonable steps to minimise dust generated during all works authorised by this consent.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
C20	During construction, the Applicant must ensure that: (a) exposed surfaces and stockpiles are suppressed by regular watering;	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(b) all trucks entering or leaving the site with loads have their loads covered;	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(c) trucks associated with the development do not track dirt onto the public road network;	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(d) public roads used by these trucks are kept clean; and	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(e) land stabilisation works are carried out progressively on site to minimise exposed surfaces.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
Erosion and Sediment Control				
C21	All erosion and sediment control measures must be effectively implemented and maintained at or above design capacity for the duration of the construction works and until such time as all ground disturbed by the works have been stabilised and rehabilitated so that it no longer acts as a source of sediment. Erosion and sediment control techniques, as a minimum, are to be in accordance with the publication Managing Urban Stormwater: Soils & Construction (4th edition, Landcom, 2004) commonly referred to as the 'Blue Book'.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
Imported Soil				
C22	The Applicant must: (a) ensure that only VENM, ENM, or other material approved in writing by EPA is brought onto the site;	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(b) keep accurate records of the volume and type of fill to be used; and	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(c) make these records available to the Certifier upon request.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
Disposal of Seepage and Stormwater				
C23	Adequate provisions must be made to collect and discharge stormwater drainage during construction of the building to the satisfaction of the principal Certifier. The prior written approval of Council must be obtained to connect or discharge site stormwater to Council's stormwater drainage system or street gutter.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
Emergency Management				
C24	The Applicant must prepare and implement awareness training for employees and contractors, including locations of the assembly points and evacuation routes, for the duration of construction.	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
Stormwater Management System				
C25	Within three months of the commencement of construction, the Applicant must design an operational stormwater management system for the development and submit it to the satisfaction of the Certifier. The system must: (a) be designed by a suitably qualified and experienced person(s);	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(b) be generally in accordance with the conceptual design in the EIS;	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(c) be in accordance with applicable Australian Standards; and	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.
	(d) ensure that the system capacity has been designed in accordance with Australian Rainfall and Runoff (Engineers Australia, 2016) and Managing Urban Stormwater: Council Handbook (EPA, 1997) guidelines;	all	during construction	Report relates to operational stages only. However, conditions still apply to all construction of the development.

Unique ID	Compliance Requirement	Stage Triggered	Phase	Comments
Unexpected Finds Protocol - Aboriginal Heritage				
C26	In the event that surface disturbance identifies a new Aboriginal object, all works must halt in the immediate area to prevent any further impacts to the object(s). A suitably qualified archaeologist and the registered Aboriginal representatives must be contacted to determine the significance of the objects. The site is to be registered in the Aboriginal Heritage Information Management System (AHIMS) which is managed by EES Group and the management outcome for the site included in the information provided to AHIMS. The Applicant must consult with the Aboriginal community representatives, the archaeologists and EES Group to develop and implement management strategies for all objects/sites. Works shall only recommence with the written approval of EES Group.	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
Unexpected Finds Protocol - Historic Heritage				
C27	If any unexpected archaeological relics are uncovered during the work, then all works must cease immediately in that area and the Heritage NSW contacted. Depending on the possible significance of the relics, an archaeological assessment and management strategy may be required before further works can continue in that area. Works may only recommence with the written approval of the Heritage NSW.	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
Waste Storage and Processing				
C28	All waste generated during construction must be secured and maintained within designated waste storage areas at all times and must not leave the site onto neighbouring public or private properties.	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
C29	All waste generated during construction must be assess, classified and managed in accordance with the Waste Classification Guidelines Part 1: Classifying Waste (EPA, 2014).	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
C30	The Applicant must ensure that concrete waste and rinse water are not disposed of on the site and are prevented from entering any natural or artificial watercourse.	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
C31	The Applicant must record the quantities of each waste type generated during construction and the proposed reuse, recycling and disposal locations for the duration of construction.	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
C32	The Applicant must ensure that the removal of hazardous materials, particularly the method of containment and control of emission of fibres to the air, and disposal at an approved waste disposal facility is in accordance with the requirements of the relevant legislation, codes, standards and guidelines.	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
Outdoor Lighting				
C33	The Applicant must ensure that all external lighting is constructed and maintained in in accordance with AS 4282-2019 Control of the obtusive effects of outdoor lighting.	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
Independent Environmental Audit				
C34	Proposed independent auditors must be agreed to in writing by the Planning Secretary prior to the preparation of an Independent Audit Program or commencement of an Independent Audit.	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
C35	The Planning Secretary may require the initial and subsequent Independent Audits to be undertaken at different times to those specified above, upon giving at least four weeks notice to the applicant of the date upon which the audit must be commenced.	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
C36	Independent Audits of the development must be conducted and carried out in accordance with the Independent Audit Post Approval Requirements.	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
C37	In accordance with the specific requirements in the Independent Audit Post Approval Requirements, the Applicant must:	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
	(a) review and respond to each Independent Audit Report prepared under condition C34 of this consent, or condition C35 where notice is given;	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
	(b) submit the response to the Planning Secretary; and	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
C37	(c) make each Independent Audit Report and response to it publicly available within 60 days after submission to the Planning Secretary.	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
C38	Independent Audit Reports and the applicant/proponent's response to audit findings must be submitted to the Planning Secretary within 2 months of undertaking the independent audit site inspection as outlined in the Independent Audit Post Approval Requirements unless otherwise agreed by the Planning Secretary.	all	during construction	Report relates to operational stages only. However, conditions still apply to all contruction of the development.
C39	Notwithstanding the requirements of the Independent Audit Post Approval Requirements, the Planning Secretary may approve a request for ongoing independent operational audits to be ceased, where it has been demonstrated to the Planning Secretary's satisfaction that an audit has demonstrated operational compliance.	all	operation	Applies the operation stage only.
Operational Readiness Work				
C40	Operational readiness work must not commence on site until the following details have been submitted to the Certifier:	All	Prior to operation	Only applies if condition will be utilised
	(a) a plan and description of the area(s) of the site to be used for operational readiness work (including pedestrian access) and areas still under construction, (including construction access);	All	Prior to operation	Only applies if condition will be utilised
	(b) the maximum number of staff to be involved in operational readiness work on site at any one time;	All	Prior to operation	Only applies if condition will be utilised
	(c) arrangements to ensure the safety of school staff on the site, including how:	All	Prior to operation	Only applies if condition will be utilised
	(i) areas to be used for operational readiness work will be clearly and securely separated from the areas of the site still under construction;	All	Prior to operation	Only applies if condition will be utilised
C41	(ii) pedestrian access to and within the site will be managed to ensure no conflict with construction vehicle movements; and	All	Prior to operation	Only applies if condition will be utilised
	(d) access and parking arrangements to minimise impacts on the surrounding street network having regard to number of staff involved in operational readiness work on site at any one time and parking arrangements for construction workers on site.	All	Prior to operation	Only applies if condition will be utilised
	Operational readiness work must only be undertaken in accordance with the details submitted under condition C40 and the following requirements:	All	Prior to operation	Only applies if condition will be utilised
	(a) no more than 12 staff are involved in operational readiness work on site at any one time;	All	Prior to operation	Only applies if condition will be utilised
	(b) no more than 5 vehicles must access by the school related to the operational readiness work;	All	Prior to operation	Only applies if condition will be utilised
	(c) staff attending the site for operational readiness work must not park vehicles on Estella Road;	All	Prior to operation	Only applies if condition will be utilised
C41	(d) no students or parents are permitted on the site; and	All	Prior to operation	Only applies if condition will be utilised
	(e) the Applicant has implemented appropriate arrangements to ensure the safety of school staff on the site.	All	Prior to operation	Only applies if condition will be utilised
Part D - Prior to commencement of operation				
Notification of Occupation				
D1	At least one month before commencement of operation, the date of commencement of the operation of the development must be notified to the Planning Secretary in writing. If the operation of the development is to be staged, the Planning Secretary must be notified in writing at least one month before the commencement of each stage, of the date of commencement and the development to be carried out in that stage.	All	Prior to operation	SINSW to issue letter to DPIE minimum one month prior to occupation of each stage.
External Walls and Cladding				
D2	Prior to commencement of operation, the Applicant must provide the Certifier with documented evidence that the products and systems used in the construction of external walls including finishes and claddings such as synthetic or aluminium composite panels comply with the requirements of the BCA.	Stage 1	Prior to operation	External walls & cladding limited to Stage 1 only - All buildings delivered in Stage 1
D3	The Applicant must provide a copy of the documentation given to the Certifier to the Planning Secretary within seven days after the Certifier accepts it.	Stage 1	Prior to operation	External walls & cladding limited to Stage 1 only - All buildings delivered in Stage 1
Post-construction Dilapidation Report				
D4	Prior to commencement of operation, the Applicant must engage a suitably qualified person to prepare a post-construction dilapidation report at the completion of construction. This report is:	Stage 3	Prior to operation	A Dilapidation Report for the entire site finalised prior to the occupation of the last stage to be completed (Stage 3) as heavy vehicles associated with the construction of Stage 3 will be utilising the area until the operation of Stage 3. Applies to all stages.
	a) to ascertain whether the construction created any structural damage to adjoining buildings or infrastructure;	Stage 3	Prior to operation	
	b) to be submitted to the Certifier. In ascertaining whether adverse structural damage has occurred to adjoining buildings or infrastructure, the Certifier must:	Stage 3	Prior to operation	
	i) compare the post-construction dilapidation report with the pre-construction dilapidation report required by these conditions; and	Stage 3	Prior to operation	
	ii) have written confirmation from the relevant authority that there is no adverse structural damage to their infrastructure and roads.	Stage 3	Prior to operation	
D4	(c) to be forwarded to Council.			
Protection of public infrastructure				
D5	Unless the Applicant and the applicable authority agree otherwise, the Applicant must:	All	Prior to operation	To be finalised prior to the occupation of the last stage to be completed (Stage 3) as heavy vehicles
	(a) repair, or pay the full costs associated with repairing, any public infrastructure that is damaged by carrying out the development; and			

Unique ID	Compliance Requirement	Stage Triggered	Phase	Comments
	(b) relocate, or pay the full costs associated with relocating any infrastructure that needs to be relocated as a result of the development. Note: This condition does not apply to any damage to roads caused as a result of general road usage or otherwise addressed by contributions required by D5 of this consent.	All	Prior to operation	Completed (Stage 3) as heavy vehicles associated with the construction of Stage 3 will be utilising public roads until the operation of Stage 3. Applies to all stages.
Protection of Property				
D6	Unless the Applicant and the applicable owner agree otherwise, the Applicant must repair, or pay the full costs associated with repairing any property that is damaged by carrying out the development.	All	Prior to operation	To be finalised prior to the occupation of the last stage to be completed (Stage 3) as heavy vehicles associated with the construction of Stage 3 will be utilising public roads until the operation of Stage 3. Applies to all stages.
Utilities and Services				
D7	Prior to commencement of operation, a compliance certificate under the section 307 of the Water Management Act 2000 must be obtained from Council and submitted to the Certifier. <i>Note 1: 'Water management work' is defined in s283 of the Water Management Act to mean a 'water supply work', 'drainage work', 'sewerage work' or 'flood work'. These terms are defined in that Act.</i> <i>Note 2: Riverina Water is responsible for issuing compliance certificates and imposing requirements relating to water supply works for development in the Council's area. An application for a compliance certificate must be made with Riverina Water. Additional fees and charges may be incurred by the proposed development. A copy of such a compliance certificate is required prior to release of Subdivision Certificate.</i> <i>Note 3: Under s306 of the Water Management Act 2000, Riverina Water or the Council, as the case requires, may, as a precondition to the issuing of a compliance certificate, impose a requirement that a payment is made or works are carried out, or both, towards the provision of water supply, sewerage, drainage or flood works.</i> <i>Note 4: Sewer base charge is \$101,375 (based on 500 people) 0.05*\$4,055*500</i> <i>Sewer base charge is \$47,646.25 (based on 235 people) 0.05*\$4,055*235</i> <i>Note 5: Stormwater base charge is \$28,573.65 (based on 7,500/800*1/0.74*2256(1 ET rate for Estella)</i>	Stage 1	Prior to operation	BCA consultant to be provided with the compliance certificate for water and sewerage for the entire site from the Contractor prior to the occupation of the buildings in Stage 1 - Stages 2 & 3 do not include any delivery of buildings.
Works as Executed Plans				
D8	Prior to the commencement of operation, works-as-executed drawings signed by a registered surveyor demonstrating that the stormwater drainage and finished ground levels have been constructed as approved, must be submitted to the Certifier.	Stage 1 & 2	prior to operation	WAE drawings showing stormwater for entire development will be verified prior to occupation of Stage 1 and 2. All drainage works in Stage 3 will be locate on Council land and any works will be subject to Council's independent civil works inspections.
Roadwork upgrades				
D9	Prior to the commencement of operation, the Applicant is to ensure that both the channelised right turn into the development and appropriate kerb and gutter directly associated with the development, as required under condition B27, have been installed to the satisfaction of the relevant roads authority.	Stage 3	Prior to operation	Subject works are proposed in Stage 3. Temporary arrangements for stages 1 & 2 are being formulated. Agreement to be provided to Planning Secretary for information once available and prior to commencement of operation of stage
D10	Prior to the commencement of operation, the Applicant is to ensure that the site access, dropoff/pick-up zone and bus bays, as required under condition B28 have been completed to the satisfaction of the relevant roads authority.	Stage 3	Prior to operation	Subject works are proposed in Stage 3. Temporary arrangements for stages 1 & 2 are being formulated. Agreement to be provided to Planning Secretary for information once available and prior to commencement of operation of stage
D11	Prior to the commencement of operation, the Applicant must submit design plans to the satisfaction of the Certifier which demonstrates that the proposed internal roads comply with section 4.2.7 of Planning for Bush Fire Protection 2019, or relevant updated version.	All	Prior to operation	No internal roads as part of the development. However, condition applies in the event there are internal roads.
Green Travel Plan				
D12	Prior to the commencement of operation, a Green Travel Plan (GTP), must be submitted to the satisfaction of the Planning Secretary to promote the use of active and sustainable transport modes. The plan must: (a) be prepared by a suitably qualified traffic consultant in consultation with Council;	Stage 1	Prior to operation	GTP to address entire development and will be submitted prior to the operation of Stage 1
	(b) include objectives and modes share targets (i.e. Site and land use specific, measurable and achievable and timeframes for implementation) to define the direction and purpose of the GTP;	Stage 1	Prior to operation	
	(c) include specific tools and actions to help achieve the objectives and mode share targets;	Stage 1	Prior to operation	
	(d) include measures to promote and support the implementation of the plan, including financial and human resource requirements, roles and responsibilities for relevant employees involved in the implementation of the GTP; and	Stage 1	Prior to operation	
	(e) include details regarding the methodology and monitoring/review program to measure the effectiveness of the objectives and mode share targets of the GTP, including the frequency of monitoring and the requirement for travel surveys to identify travel behaviours of users of the development.	Stage 1	Prior to operation	
Operational Transport and Access Management Plan				
D13	Prior to the commencement of operation, an OTAMP is to be prepared by a suitably qualified person, in consultation with Council, Transport for NSW and TfNSW(RMS), and submitted to the satisfaction of the Planning Secretary. The OTAMP must address the following: (a) detailed pedestrian analysis including the identification of safe route options – to identify the need for management measures such as staggered school start and finish times to ensure students and staff are able to access and leave the Site in a safe and efficient manner during school start and finish;	Stage 1	Prior to operation	OTAMP to address entire development and will be submitted prior to the operation of Stage 1.
	(b) the location of all car parking spaces on the school campus and their allocation (i.e. staff, visitor, accessible, emergency, etc.);	Stage 1	Prior to operation	
	(c) the location and operational management procedures monitoring the drop-off and pick-up parking located within Estella Road, including staff management/traffic controller arrangements. This is to include a detailed procedure of the ongoing monitoring of the drop-off and pick-up zone for the first twelve months of operation in addition to measures that will be implemented to ensure the area is appropriately utilised and functioning;	Stage 1	Prior to operation	
	(d) a detailed monitoring program to monitor queuing along Estella Road associated with the entry and/or exit to the drop-off/pick-up zone. This is to include details of consultation requirements with Council;	Stage 1	Prior to operation	
	(e) a detailed monitoring program to monitor the Level of Service of the Estella Road/Pine Gully Road intersection and include detail of management and mitigative actions to ensure an acceptable Level of Service is maintained. This is to include details of consultation requirements with Council;	Stage 1	Prior to operation	
	(f) the location and operational management procedures for the drop-off and pick-up of students by buses and coaches for excursions and sporting activities along Estella Road, including staff management/traffic controller arrangements;	Stage 1	Prior to operation	
	(g) operational management procedures and details of a monitoring program for the avoidance of drop-off and pick-up of students at informal locations along the southern side of Estella Road and along Gunn Drive;	Stage 1	Prior to operation	
	(h) delivery and services vehicle and bus access and management arrangements;	Stage 1	Prior to operation	
	(i) management of approved access arrangements;	Stage 1	Prior to operation	
	(j) potential traffic impacts on surrounding road networks and mitigation measures to minimise impacts, including measures to mitigate queuing impacts associated with vehicles accessing pick-up and drop-off area on Estella Road;	Stage 1	Prior to operation	
	(k) car parking arrangements and management associated with the proposed use of school facilities by community members; and	Stage 1	Prior to operation	
	(l) a monitoring and review program.	Stage 1	Prior to operation	
Evacuation and Emergency Planning				
D14	Prior to the commencement of operation, a Bush Fire Emergency Management and Evacuation Plan must be prepared consistent with Development Planning – A Guide to Developing a Bush Fire Emergency Management and Evacuation Plan December 2014.	Stage 1	Prior to operation	Plan to address entire development and be submitted prior to operation of Stage 1.
School Zones				
D15	Prior to the commencement of operation, the Applicant is to establish a School Zone and appropriate crossing facility across Estella Road in accordance with the adopted School Zone Guidelines, to the satisfaction of the relevant roads authority in accordance with relevant design standards and warrants as endorsed by TfNSW(RMS).	Stage 3	Prior to operation	Works as noted will be delivered as part of Stage 3. Interim license to use CSU car park at northern part of development to be utilised until these areas are commissioned, i.e. for Stages 1 & 2 - all existing infrastructure and road safety measures sufficient for interim use of area. Mobile electronic speed limit sign to be utilised in relevant zone of the temporary CSU car park.

Unique ID	Compliance Requirement	Stage Triggered	Phase	Comments
D16	Prior to the commencement of operation, the Applicant is to establish a refuge island on Gunn Drive that meets the relevant codes and design parameters of TfNSW(RMS), within the School Zone, to the satisfaction of the relevant roads authority, that improves lane delineation and facilitates pedestrian passage across of Gunn Drive.	Stage 3	Prior to operation	Works as noted will be delivered as part of Stage 3. Interim license to use CSU car park at northern part of development to be utilised until these areas are commissioned, i.e. for Stages 1 & 2 - all existing infrastructure and road safety measures sufficient for interim use of area. Mobile electronic speed limit sign to be utilised in relevant zone of the temporary CSU car park.
D17	Prior to the commencement of operation, all required School Zone signage, speed limit signage and associated pavement markings along Estella Road and Gunn Drive must be installed, inspected by TfNSW(RMS) and handed over to TfNSW(RMS). <i>Note: Any required approvals for altering public road speed limits, design and signage are required to be obtained from the relevant consent authority.</i>	Stage 3	Prior to operation	Signage to be installed following completion of Estella Road public domain works. Interim license to use CSU car park at northern part of development to be utilised until these areas are commissioned, i.e. for Stages 1 & 2 - all existing infrastructure and road safety measures sufficient for interim use of area.
D18	The Applicant must maintain records of all dates in relation to installing, altering and removing traffic control devices related to speed.	Stage 3	Prior to operation	Works as noted will be delivered as part of Stage 3. Interim license to use CSU car park at northern part of development to be utilised until these areas are commissioned, i.e. for Stages 1 & 2 - all existing infrastructure and road safety measures sufficient for interim use of area. Mobile electronic speed limit sign to be utilised in relevant zone of the temporary CSU car park.
Drop off/pick-up zone				
D19	Following completion of the first twelve months of operation, the Applicant is to consult with Council in relation to the results of the monitoring of the drop-off/pick-up zone along Estella Road, as required by condition D13(c). Where queuing along Estella Road outside of the dropoff/pick-up zone has been identified, the Applicant is to work with Council to implement measures to reduce queuing and improve traffic flows along Estella Road.	Stage 3	Following 12 months after operation	Pick-up/drop-off is to be delivered in stage 3.
Monitoring of active transport corridors				
D20	Within the first year of operations, an Active Transport Monitoring Program is to be developed and implemented by a suitably qualified person, in consultation with TfNSW and TfNSW (RMS). The Active Transport Monitoring Program is to measure the number of bicycle and pedestrian trips to and from the school from areas to the west and east of Estella Road. The monitoring plan is to: (a) undertake counts during both AM and PM of bicycle and pedestrian movements accessing the school by crossing Pine Gully Road or Boorooma Street;	Stage 3	Following 12 months after operation	The Active Transport Monitoring Program is to be developed and implemented within 12 months of operation of Stage 3. Estella Road is not completed till stage 3
	(b) include monitoring data for every school day for at least one week within each term of the year for the first three (3) years of operation;	Stage 3	Following 12 months after operation	Pick-up/drop-off is to be delivered in stage 3.
	(c) provide mapped locations of where crossings are occurring along Pine Gully Road and along Boorooma Street; and	Stage 3	Following 12 months after operation	Pick-up/drop-off is to be delivered in stage 3.
	(d) at the conclusion of each school year monitored, review the data in consultation with the relevant road authority and install appropriate traffic safety measures are in place are met to construct crossing infrastructure on Pine Gully Road and/or Boorooma Street.	Stage 3	Following 12 months after operation	Pick-up/drop-off is to be delivered in stage 3.
Mechanical Ventilation				
D21	Prior to commencement of operation, the Applicant must provide evidence to the satisfaction of the Certifier that the installation and performance of the mechanical ventilation systems complies with: (a) AS 1668.2-2012 The use of air-conditioning in buildings – Mechanical ventilation in buildings and other relevant codes; and	Stage 1	Prior to operation	Buildings installed with mechanical ventilation systems are confined to Stage 1 only.
	(b) any dispensation granted by Fire and Rescue NSW.	Stage 1	Prior to operation	
Operational Noise – Design of Mechanical Plant and Equipment				
D22	Prior to the commencement of operation, the Applicant must submit evidence to the Certifier that the noise mitigation recommendations in the New Public School in Wagga Wagga Assessment of Noise and Vibration dated 4 November 2019 prepared by Marshall Day Acoustics have been incorporated into the design to ensure the development will not exceed the recommended operational noise levels identified in the Environmental Noise Assessment.	Stage 1	Prior to operation	Buildings installed with mechanical ventilation systems are confined to Stage 1 only.
Car Parking Arrangements				
D23	Prior to the commencement of operation or other timeframe agreed in writing by the Planning Secretary, evidence must be submitted to the Certifier that demonstrates that construction works associated with the proposed 22 car parking spaces, have been completed and that the car parking facility is operational.	Stage 1	Prior to operation	Operational and car parking arrangements will be in place at the completion of Stage 1.
Bicycle Parking and End-of-Trip Facilities				
D24	Prior to occupation, compliance with the following requirements for secure bicycle parking and end-of-trip facilities must be submitted to the Certifier:	Stage 1	Prior to operation	Bicycle parking and end-of-trip facilities have been designed for full school capacity. These will be provided at the completion of Stage 1.
	a) the provision of a minimum 40 staff and visitor/student bicycle parking spaces;	Stage 1	Prior to operation	
	b) the layout, design and security of bicycle facilities must comply with the minimum requirements of the latest version of AS 2890.3:2015 Parking facilities - Bicycle parking, and be located in easy to access, well-lit areas that incorporate passive surveillance;	Stage 1	Prior to operation	
	c) the provision of end-of-trip facilities for staff;	Stage 1	Prior to operation	
	d) appropriate pedestrian and cyclist advisory signs are to be provided; and	Stage 1	Prior to operation	
e) all works/regulatory signposting associated with the proposed developments shall be at no cost to the relevant roads authority.	Stage 1	Prior to operation		
Road Damage				
D25	Prior to the commencement of operation, the cost of repairing any damage caused to Council or other Public Authority's assets in the vicinity of the Subject Site as a result of construction works associated with the approved development must be met in full by the Applicant.	All	Prior to operation	To be finalised prior to the occupation of the last stage to be completed (Stage 3) as heavy vehicles associated with the construction of Stage 3 will be utilising public roads until the operation of Stage 3. Applies to all stages.
Fire Safety Certification				
D26	Prior to commencement of occupation, a Fire Safety Certificate must be obtained for all the Essential Fire or Other Safety Measures forming part of this consent. A copy of the Fire Safety Certificate must be submitted to the relevant authority and Council. The Fire Safety Certificate must be prominently displayed in the building.	Stage 1	Prior to operation	Fire Safety Certificate is relevant to the buildings within the project which are confined to Stage 1 only
Structural Inspection Certificate				
D27	Prior to the commencement of occupation of the relevant parts of any new or refurbished buildings, a Structural Inspection Certificate or a Compliance Certificate must be submitted to the satisfaction of the Certifier. A copy of the Certificate with an electronic set of final drawings (contact approval authority for specific electronic format) must be submitted to the approval authority and the Council after:	Stage 1	Prior to operation	All structural elements are limited to stage 1.
	(a) the site has been periodically inspected and the Certifier is satisfied that the structural works is deemed to comply with the final design drawings; and (b) the drawings listed on the Inspection Certificate have been checked with those listed on the final Design Certificate/s.	Stage 1	Prior to operation	All structural elements are limited to stage 1.
Compliance with Food Code				
D28	Prior to the commencement of operation, the Applicant is to obtain a certificate from a suitably qualified person, certifying that the canteen has been fitted in accordance with the AS 4674 Design, construction and fit-out of food premises and provide evidence of receipt of the certificate to the satisfaction of the Certifier.	Stage 1	Prior to operation	School canteen to be completed in stage 1.
Stormwater Quality Management Plan				
D29	Prior to the commencement of operation, an Operation and Maintenance Plan (OMP) is to be submitted to the satisfaction of the Certifier along with evidence of compliance with the OMP. The OMP must ensure the proposed stormwater quality measures remain effective and contain the following:	Stage 1	Prior to operation	OMP to be prepared prior to the operation of stage 1 and will cove the entire development
	(a) maintenance schedule of all stormwater quality treatment devices;	Stage 1	Prior to operation	
	(b) record and reporting details;	Stage 1	Prior to operation	
	(c) relevant contact information; and	Stage 1	Prior to operation	
(d) Work Health and Safety requirements.	Stage 1	Prior to operation		
Warm Water Systems and Cooling Systems				
D30	The installation of warm water systems and water cooling systems (as defined under the Public Health Act 2010) must comply with the Public Health Act 2010, Public Health Regulation 2012 and Part 1 (or Part 3 if a Performance-based water cooling system) of AS/NZS 3666.2:2011 Air handling and water systems of buildings – Microbial control – Operation and maintenance and the NSW Health Code of Practice for the Control of Legionnaires' Disease.	Stage 1	Prior to operation	Cooling & warm water systems to be installed in stage 1 only.

Unique ID	Compliance Requirement	Stage Triggered	Phase	Comments
Outdoor Lighting				
D31	Prior to the commencement of operation, the Applicant must submit evidence from a suitably qualified practitioner to the Certifier that demonstrates that installed lighting associated with the development achieves the objective of minimising light spillage to any adjoining or adjacent sensitive receivers and: (a) complies with the latest version of AS 4282-2019 - Control of the obtrusive effects of outdoor lighting (Standards Australia, 1997); and	Stage 1	Prior to operation	All lighting to all areas of the development to be installed in stage 1. Certification to be provided to the certifier prior to operation of stage 1.
	(b) has been mounted, screened and directed in such a manner that it does not create a nuisance to surrounding properties or the public road network.	Stage 1	Prior to operation	
Signage				
D32	Prior to the commencement of operation, way-finding signage and signage identifying the location of staff car parking must be installed.	Stage 1	Prior to operation	All signage to be installed prior to occupation of stage 1 and cover all stages.
D33	Prior to the commencement of operation, bicycle way-finding signage must be installed within the site to direct cyclists from footpaths to designated bicycle parking areas.	Stage 1	Prior to operation	All signage to be installed prior to occupation of stage 1 and cover all stages.
Operational Waste Management Plan				
D34	Prior to the commencement of operation, the Applicant must prepare a Waste Management Plan for the development and submit it to the Certifier. The Waste Management Plan must: (a) detail the type and quantity of waste to be generated during operation of the development;	Stage 1	Prior to operation	Operational Waste Management to be prepared prior to occupation of stage 1 and will cover all stages.
	(b) describe the handling, storage and disposal of all waste streams generated on site, consistent with the Protection of the Environment Operations Act 1997, Protection of the Environment Operations (Waste) Regulation 2014 and the Waste Classification Guideline (Department of Environment, Climate Change and Water, 2009);	Stage 1	Prior to operation	
	(c) detail the materials to be reused or recycled, either on or off site; and	Stage 1	Prior to operation	
	(d) include the Management and Mitigation Measures included in the EIS.	Stage 1	Prior to operation	
Landscaping				
D35	Prior to the commencement of operation, the Applicant must prepare an Operational Landscape Management Plan to manage the revegetation and landscaping on-site, to the satisfaction of the Certifier. The plan must: (a) describe the ongoing monitoring and maintenance measures to manage revegetation and landscaping; and	Stage 2	Prior to operation	All landscape works will be completed at the end of Stage 2 once construction within the stages is completed. The plan will be prepared prior to the operation of stage 2.
	(b) be consistent with the Applicant's Management and Mitigation Measures within Appendix D – Landscape Report titled New Public School in Wagga Wagga prepared by Taylor Brammer dated 4 November 2019.	Stage 2	Prior to operation	
D36	The Applicant must not commence operation until the Operational Landscape Management Plan is submitted to the Certifier.	Stage 2	Prior to operation	
Asset Protection Zones				
D37	Prior to the commencement of operation, the entire property must be managed as an inner protection zone (IPA) as outlined within section 4.1.3 and Appendix 5 of the Planning for Bush Fire Protection 2006 and the NSW RFS document Standards for asset protection zones.	Stage 1	Prior to operation	APZ's for entire development will be maintained prior to operation of Stage 1.
Part E - Post Occupation				
Out of Hours Event Management Plan				
E1	Prior to the commencement of the first out of hours events (school use) run by the school that involve 100 or more people, the Applicant is to prepare an Out of Hours Event Management Plan (School Use) and submit it to the Council and Planning Secretary in consultation with Council. The plan must include the following: (a) the number of attendees, time and duration;	All	Operation	Applicable to all stages of operation.
	(b) arrival and departure times and modes of transport;	All	Operation	Applicable to all stages of operation.
	(c) where relevant, a schedule of all annual events;	All	Operation	Applicable to all stages of operation.
	(d) demonstrate measures to encourage non-vehicular travel to the school and promote and support the use of alternate travel modes (i.e. public transport);	All	Operation	Applicable to all stages of operation.
	(e) details of the use of the school, where applicable, restricting use before 8am and after 10pm;	All	Operation	Applicable to all stages of operation.
	(f) measures to minimise localised traffic and parking impacts; and	All	Operation	Applicable to all stages of operation.
	(g) include measures to minimise noise impacts on any sensitive residential receivers, including the preparation of acoustic management plan.	All	Operation	Applicable to all stages of operation.
E2	The Out of Hours Event Management Plan must be implemented by the Applicant for the duration of the identified events or use.	All	Operation	Applicable to all stages of operation.
E3	Prior to the commencement of out of hours events (community use) run by the external parties that involve 100 or more people, the Applicant is to prepare an Out of Hours Event Management Plan (Community Use) in consultation with Council and submit it to the Council and Planning Secretary. The plan must include the following: (a) the number of attendees, time and duration;	All	Operation	Applicable to all stages of operation.
	(b) arrival and departure times and modes of transport;	All	Operation	Applicable to all stages of operation.
	(c) where relevant, a schedule of all annual events;	All	Operation	Applicable to all stages of operation.
	(d) demonstrate measures to encourage non-vehicular travel to the school and promote and support the use of alternate travel modes (i.e. public transport);	All	Operation	Applicable to all stages of operation.
	(e) details of the use of the school, where applicable, restricting use before 8am and after 10pm;	All	Operation	Applicable to all stages of operation.
	(f) measures to minimise localised traffic and parking impacts; and	All	Operation	Applicable to all stages of operation.
	(g) include measures to minimise noise impacts on any sensitive residential receivers, including the preparation of acoustic management plan.	All	Operation	Applicable to all stages of operation.
E4	The Out of Hours Event Management Plan must be implemented by the Applicant for the duration of the identified community event or use.	All	Operation	Applicable to all stages of operation.
Operation of Plant and Equipment				
E5	All plant and equipment used on site must be maintained in a proper and efficient condition operated in a proper and efficient	All	Operation	Applicable to all stages of operation.
Warm Water Systems and Cooling Systems				
E6	The operation and maintenance of warm water systems and water cooling systems (as defined under the Public Health Act 2010) must comply with the Public Health Act 2010, Public Health Regulation 2012 and Part 2 (or Part 3 if a Performance-based water cooling system) of AS/NZS 3666.2:2011 Air handling and water systems of buildings – Microbial control – Operation and maintenance and the NSW Health Code of Practice for the Control of Legionnaires' Disease.	All	Operation	Applicable to all stages of operation.
Community Communication Strategy				
E7	The Community Communication Strategy, as approved by the Planning Secretary, must be implemented for a minimum of 12 months following the completion of construction.	All	Operation	Applicable to all stages of operation.
Operational Transport and Access Management Plan (OTAMP)				
E8	The OTAMP(s) approved under condition D13 as revised from time to time) must be implemented by the Applicant for the life of the development.	All	Operation	Applicable to all stages of operation.
Operational Noise Limits				
E9	The Applicant must ensure that noise generated by operation of the development does not exceed the noise limits in New Public School in Wagga Wagga Assessment of Noise and Vibration dated 4 November 2019 prepared by Marshall Day.	All	Operation	Applicable to all stages of operation.
E10	The Applicant must undertake short term noise monitoring in accordance with the Noise Policy for Industry where valid data is collected following the commencement of the development. The monitoring program must be carried out by an appropriately qualified person and a monitoring report must be submitted to the Planning Secretary within two months of commencement use of the development to verify that operational noise levels of the proposal do not exceed the recommended noise levels for operations (both of mechanical plant and general operations) identified in New Public School in Wagga Wagga Assessment of Noise and Vibration dated 4 November 2019 prepared by Marshall Day Acoustics. Should the noise monitoring program identify any exceedance of the recommended noise levels referred to above, the Applicant is required to implement appropriate noise attenuation measures so that operational noise levels do not exceed the recommended noise levels or provide attenuation measures at the affected noise sensitive receivers.	Stage 3	operation	Noise testing to be undertaken during operation of 3 as stages 1 and 2 are not true reflection of anticipated capacity and operating intensity of the school. Contruction equiptment and machinery will still be operating during stages 1 and 2, noise testing results will not be accurate as background baseline data will be abnormally high.
Unobstructed Driveways and Parking Areas				
E11	All driveways, footways and parking areas must be unobstructed at all times. Driveways, footways and car spaces must not be used for the manufacture, storage or display of goods, materials, refuse, skips or any other equipment and must be used solely for vehicular and/or pedestrian access and for the parking of vehicles associated with the use of the premises.	All	Operation	Applicable to all stages of operation.
Green Travel Plan				
E12	The Green Travel Plan required by condition D12 of this consent must be updated annually and implemented unless otherwise agreed by the Planning Secretary.	All	Operation	Applicable to all stages of operation.
Ecologically Sustainable Development				
E13	Unless otherwise agreed by the Planning Secretary, within six months of commencement of operation, Green Star certification must be obtained demonstrating the development achieves a minimum 4-star Green Star Design & As Built rating. If required to be obtained, evidence of the certification must be provided to the Certifier and the Planning Secretary. If an alternative certification process has been agreed to by the Planning Secretary under condition B9, evidence of compliance of implementation must be provided to the Planning Secretary and Certifier.	Stage 3	operation	Once all works are be completed this will be satisfied within 6 months of operation of stage 3.
Outdoor Lighting				
E14	Notwithstanding condition D31, should outdoor lighting result in any residual impacts on the amenity of surrounding sensitive receivers, the Applicant must provide mitigation measures in consultation with affected landowners to reduce the impacts to an acceptable level.	All	Operation	Applicable to all stages of operation.
Landscaping				

Unique ID	Compliance Requirement	Stage Triggered	Phase	Comments
E15	The Applicant must maintain the landscaping and vegetation on the site in accordance with the approved Landscape Management Plan required by condition d35 for the duration of occupation of the development.	Stage 2	Operation	Applicable to following stage 2 of operation, once landscaping works are completed.
Asset Protection Zones				
E16	The asset protection zones required by condition D37 shall be maintained for the duration of occupation of the development.	All	Operation	Applicable to all stages of operation.

Appendix B

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AMENDMENTS			
REV	BY	DATE	DESCRIPTION
E	PPA	29/01/2020	ISSUE FOR DETAILED DESIGN
F	PPA	06/03/2020	ISSUE FOR CO-ORDINATION
G	TW	04/06/2020	ISSUED FOR COORDINATION - AMENDED TO SUIT EXTERNAL WORKS AND CONSULTANT DOCUMENTATION
H	RO	05/06/2020	ISSUE FOR CROWN BUILDING CERTIFICATE
1	RO	26/06/2020	ISSUED FOR CONSTRUCTION
2	RO	12/11/2020	ISSUED FOR CONSTRUCTION - METER ENCLOSURE LOCATION/SIZE REVISED
3	AC	23/11/2020	ISSUED FOR CONSTRUCTION - AMENDED KERB AS PER CIVIL DWG.

LEGEND



HANSEN YUNCKEN



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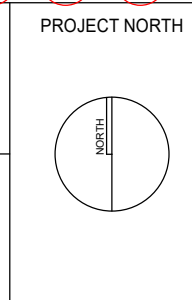
PERUMAL PEDAVOLI

ARCHITECTS

WAGGA WAGGA PS
ESTELLA ROAD, ESTELLA, NSW, 2678
NEW HIGH QUALITY CLASSROOMS PACKAGE 2

DRAWING NAME
SITE PLAN

PROJECT NORTH



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SCALE 1: 500 @ A1

DRAWN	CHECKED	VERIFIED	DATE
PPA	KLC	SR	23 NOVEMBER 2020

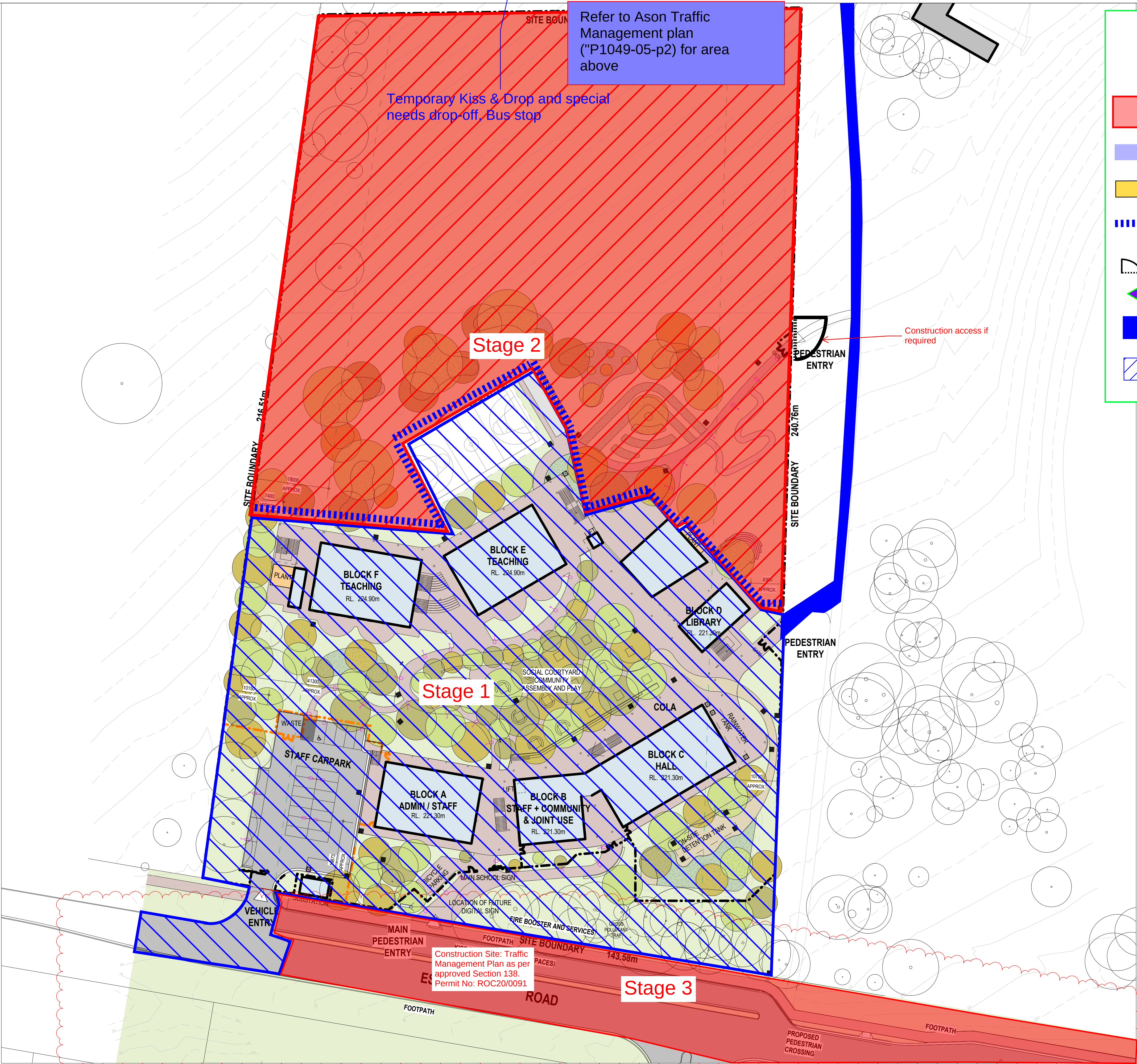
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PROJECT CODE SCH. REF. DISC. TYPE SERIES#

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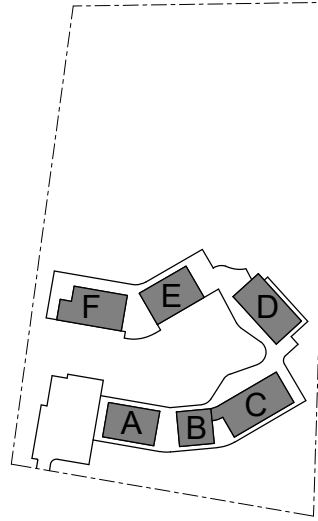
REVISION

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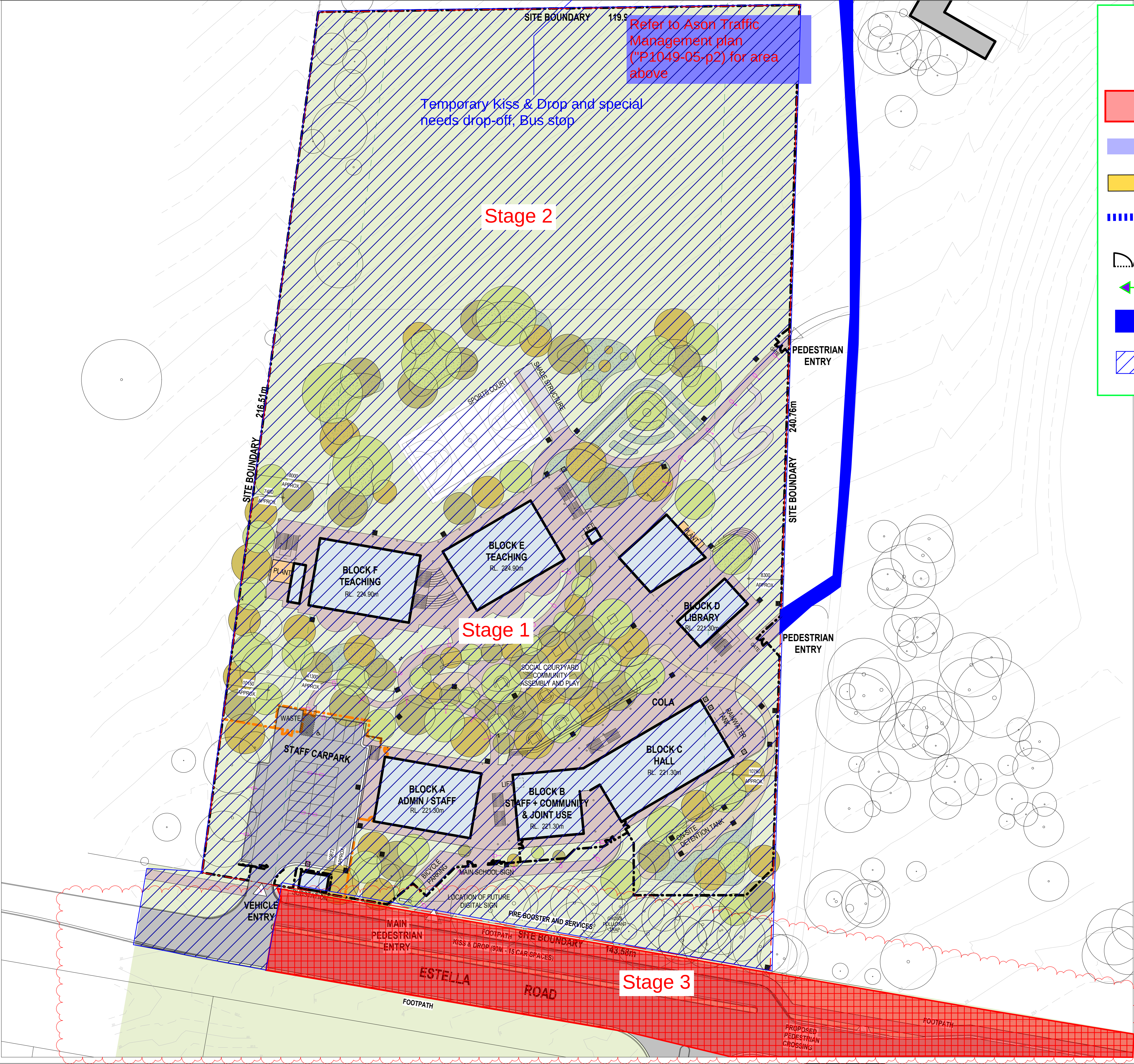
Legend of Symbols

- Construction works area
- Temporary Kiss & Drop and special needs, bus bay
- Temporary Kiss & Drop and special needs, bus bay
- Temporary construction fence
- Temporary construction gates
- Temporary school access
- Temporary Staging access for Parents and Students
- Handed over



FOR CONSTRUCTION

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Legend of Symbols

Construction works area

Temporary Kiss & Drop and special needs, bus bay

Temporary Kiss & Drop and special needs, bus bay

Temporary construction fence

Temporary construction gates

Temporary school access

Temporary Staging access for Parents and Students

Handed over

AMENDMENTS				DESCRIPTION
REV	BY	DATE		
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LEGEND

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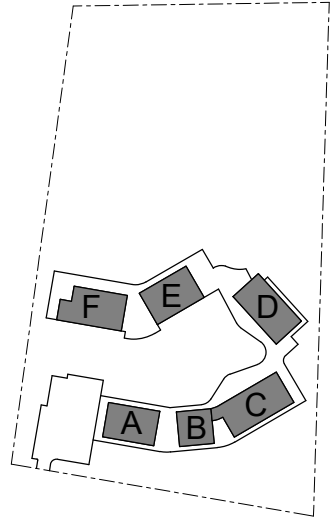
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WAGGA WAGGA PS
ESTELLA ROAD, ESTELLA, NSW, 2678
NEW HIGH QUALITY CLASSROOMS PACKAGE 2
DRAWING NAME
SITE PLAN

PROJECT NORTH

0 5000 10000 15000 20000 25000					50000	
SCALE 1 : 500 @ A1						
DRAWN		CHECKED		VERIFIED		DATE
PPA		KLC		SR		23 NOVEMBER 2020
DRAWING NUMBER						REVISION
PROJECT CODE		SCH. REF.	DISC.	TYPE	SERIES#	
NHQC2 -WW- AR - DWG - 00_S002						3

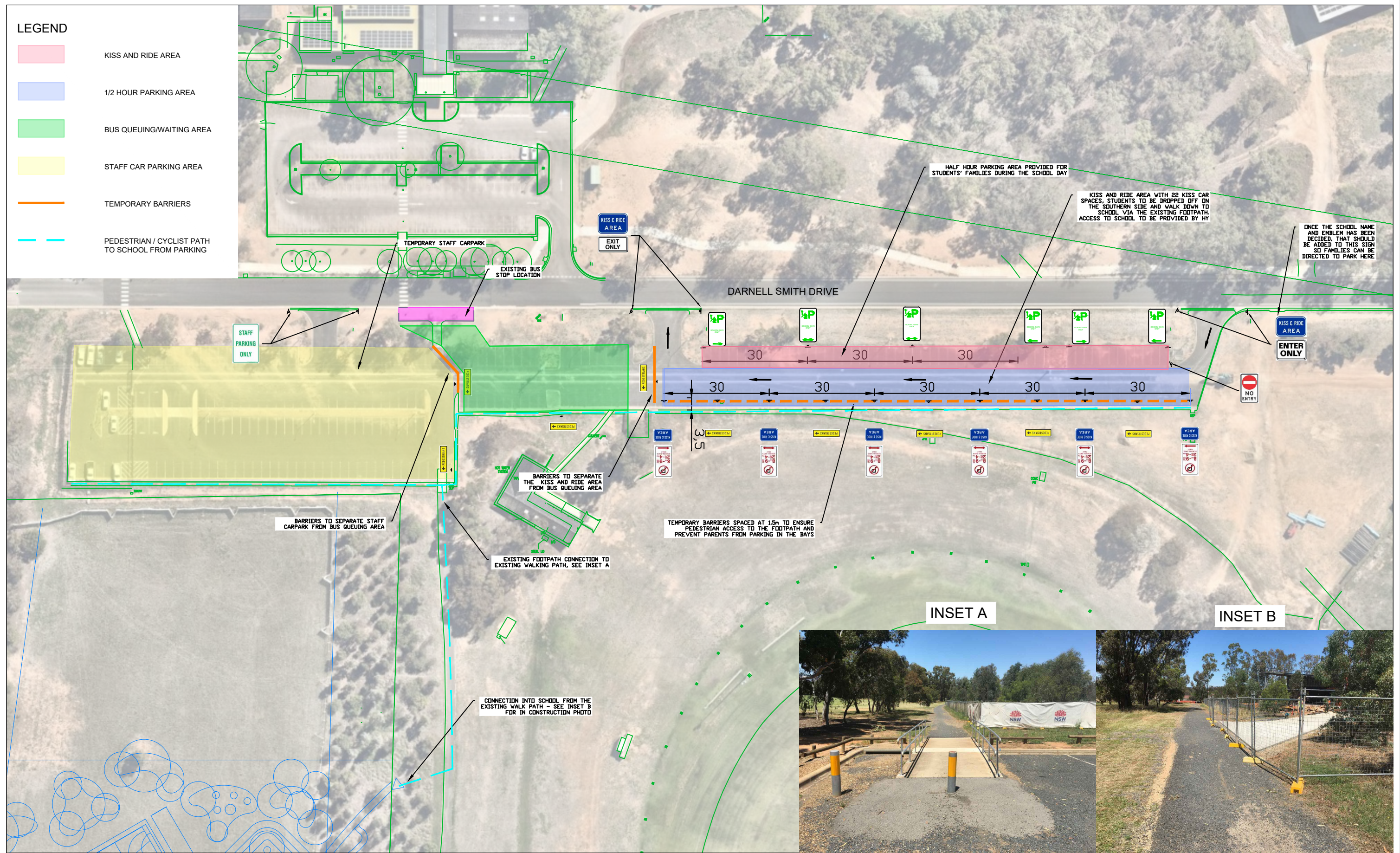


FOR CONSTRUCTION

Appendix C

LEGEND

- KISS AND RIDE AREA
- 1/2 HOUR PARKING AREA
- BUS QUEUING/WAITING AREA
- STAFF CAR PARKING AREA
- TEMPORARY BARRIERS
- PEDESTRIAN / CYCLIST PATH TO SCHOOL FROM PARKING



Notes:

This drawing is provided for information purposes only and should not be used for construction.

Document Info:

Drawn by: Wendy Zheng
File name: P1049-05-P2.dwg

Client:

HANSEN YUNCKEN

Project:

P1049
NEW ESTELLA PRIMARY SCHOOL, WAGGA WAGGA

Drawing Title:

TEMPORARY CAR PARK
OPERATIONAL TRAFFIC MANAGEMENT PLAN

Date:

16.11.2020

Scale @ A3:

1:1000

Drawing Number:

AG1049-05-01

asongroup

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Appendix D



Manifest
36 x tubular marker tubular marker
6 x steady lamp
5 x R4-1/2 (40) SPEED LIMIT 40 ROAD WORK
5 x TM2-1/2C End Roadwork
4 x T1-18 PREPARE TO STOP
4 x T1-5-1 WORKERS AHEAD NSW
3 x Barrier
3 x Portable lane control
3 x R6-6 STOP HERE ON RED SIGNAL
3 x TM1-1C Roadwork Ahead
2 x T1-1 ROADWORK AHEAD
2 x T1-30 SIGNALS AHEAD
2 x T5-4 HAZARD WARNING MARKER
1 x T5-4-1 HAZARD WARNING MARKER
1 x W3-3 TRAFFIC LIGHTS

Date: 09/10/2020 Author: R Pottle Project: Estrella Road Upgrade work Lic No: 005022899

Comments:
TCP for the upgrade and widening along with stormwater upgrades to Estrella Road to accommodate the new Estrella School.
Gunn Drive signs may require adjusting to suit existing driveways
Work to be performed between the hours of 7am to 6pm, Mon-Fri. 7am to 4pm Saturdays.