

State Significant Development Application **ACCESS REPORT**

Reference Number: 26091

Client: Abadeen Administration Pty Ltd

Site Address: 494-516 Military Road, Mosman NSW



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Executive Summary and SEARs Requirements Declaration

This Access Compliance Report is to accompany a State Significant Development Application (SSDA) for the development proposed at **494-516 Military Road, Mosman NSW**

The Minister for Planning, or their delegate, is the consent authority for the SSDA and this application is lodged with the NSW Department of Planning. Housing and Infrastructure (DPHI) for assessment.

This report has been prepared in response to the requirements contained within the Secretary's Environmental Assessment Requirements (SEARs). The development is within Mosman Municipal Council LGA and proposes a **New Building**. The Council requires 20% of Adaptable units to a **Class C** level.

Project Description

The proposed development seeks consent for a shop-top housing development comprising residential accommodation and ground floor retail uses, including:

- Site preparation works including demolition, excavation and tree removal,
- Construction of a 9-storey mixed-use development comprising residential flat building, shop-top housing and ground floor retail premises, including:
 - 2 residential buildings of a part 5-part 9 storey-built form on a shared podium, comprising 100 dwellings including 3 affordable housing dwellings managed by a Community Housing Provider,
 - Retail tenancies on the ground floor along Military Road and Hale Road,
- 2 and a half levels of basement car parking, including:
 - 122 residential car parking spaces (20 accessible/adaptable spaces),
 - 15 residential visitor / car wash car parking spaces,
 - 10 retail car parking spaces,
- Communal open space located on the ground floor and rooftop,
- Landscaping and deep soil planting,
- Augmentation and connection of utilities and services,
- Site amalgamation to consolidate lots.

The development proposes the following:

	Total
Residential units	100
Adaptable units	20
Livable Housing Units	100
Commercial/ Retail units	2
Accessible parking spaces for residential component	20
Accessible parking spaces for commercial/retail component	1
Accessible parking spaces for Visitors	1
Total Accessible parking spaces	22

The development has building classification as detailed below:

- Class 2 (building containing more than 2 SOUs i.e., sole-occupancy units)
- Class 5 (office building for professional or commercial use)
- Class 6 (shops, sale of goods and services by retail)
- Class 7a (car park)

This report is based on the relevant components of:

- Disability (Access to Premises - Buildings) Amendment Standards 2010
- The National Construction Code (NCC) / Building Code of Australia (BCA) 2022, Volume 1, Amendment 2 - Performance requirements of D1P1, D1P2, D1P8, D1P9, E3P4, F4P1 and Parts D4, E3 and F4 (where applicable)
- AS1428.1-2021 Part 1: General requirements for access, including any amendments
- AS1428.4.1-2009 Part 4.1: TGSIs (Tactile ground surface indicators), including any amendments
- AS2890.6-2009 Part 6: Off-street parking for people with disabilities.
- AS4299-1995 Adaptable Housing
- AS1735.12-1999 - Lifts, escalators and moving walks, Part 12
- Livable Housing Australia's Livable Housing Design Guidelines- Fourth Edition

The assessment of the proposed development has been undertaken to the extent necessary to issue DA consent under the Environmental Planning and Assessment Act. The proposal achieves the spatial requirements to provide access for people with a disability, and it is assumed that assessment of the detailed requirements such as assessment of internal fit-out, details of stairs, ramps and other features will occur at CC (Construction Certificate) stage.

By compliance with the recommendation in this report, and further detailing at future stages of work, the development is capable of complying with the requirements of:

- Access Code of **Disability (Access to Premises - Buildings) Amendment Standards 2010**, and the Disability Access relevant sections of applicable BCA (Building Code of Australia)/ NCC (National Construction Code)
- Adaptable units comply with the essential criteria of AS4299-Adaptable Housing
- Livable units comply with the requirements of Livable Housing Design Guidelines

The undersigned declares that this Access Report has been prepared in response to the following SEARs requirements issued for the Project on 20 October 2025 for SSD-93787211:

The information contained in this statement is true and accurate to the best of our knowledge. Our qualifications and accreditations are listed below.

Assessed by

Vanessa Griffin

Accredited Access Consultant and LHDG Assessor
ACA Accredited Membership number 500
Qualified- Certificate IV in Access Consulting
LHDG Assessor number LHDG012



Peer reviewed by

Farah Madon

Accredited Access Consultant, LHDG and LHDS Assessor
ACA Accredited Membership number 281
Qualified- Diploma in Access Consulting
LHDG Assessor number LHDG004

Vista **Access Architects** Pty. Ltd.

Relevant Dates

Fee proposal, number FP-260227 dated **13-05-2026**. Fee proposal was accepted by Client on **18-03-2026**

Assessed Drawings

The following drawings by DKO Architects have been assessed for compliance.

Drawing no	Issue	Date	Details
DA200	A	16-06-2026	Plan- Basement 2
DA201	A	16-06-2026	Plan- Basement 1
DA202	A	16-06-2026	Plan- Lower Ground Floor
DA203	A	16-06-2026	Plan- Ground Floor
DA204	A	16-06-2026	Plan- Level 1
DA205	A	16-06-2026	Plan- Level 2
DA206	A	16-06-2026	Plan- Level 3
DA207	A	16-06-2026	Plan- Level 4
DA208	A	16-06-2026	Plan- Level 5
DA209	A	16-06-2026	Plan- Level 6
DA210	A	16-06-2026	Plan- Level 7
DA211	A	16-06-2026	Plan- Level 8
DA212	A	16-06-2026	Plan- Level 9
DA409	A	16-06-2026	Adaptable Apartments- Allocation
DA410	A	16-06-2026	Adaptable Apartments- Allocation
DA411	A	16-06-2026	Adaptable Apartments- Allocation
DA412	A	16-06-2026	Adaptable Apartments
DA413	A	16-06-2026	Adaptable Apartments

Document Issue:

Issue	Date	Details
Draft 1	12-05-2026	Issued for Architect's review
A	18-06-2026	Final issue

Limitations and Copyright information:

This report is based on discussions with the project architect and a review of drawings and other relevant documentation provided to us. No site visit was undertaken for the purposes of this report.

This assessment is based on the provided drawings and not based on constructed works; hence the assessment will provide assurance of compliance only if all the recommendations as listed in this report are complied with and constructed in accordance with the requirements of the current BCA, AS1428.1, AS2890.6 and other latest, relevant standards and regulations applicable at the time of construction.

Assessment is based on classification/use of the building. If the class of the building changes to any other building class, this access report will have to be updated accordingly.

Unless stated otherwise, all dimensions mentioned in the report are net (CLEAR) dimensions and are not to be reduced by projecting skirting, kerbs, handrails, lights, fire safety equipment, door handles less than 900mm above FFL (finished floor level) or any other fixtures/fit out elements. When we check drawings, we assume that the dimensions noted are CLEAR dimensions and therefore the Architect / Builder shall allow for construction tolerances.

Only some numerical requirements from relevant AS (Australian Standards) have been noted in the report and for further details and for construction purposes refer to the latest relevant AS.

This report and all its contents including diagrams are a copyright of Vista Access Architects Pty Ltd (VAA) and can only be used for the purposes of this specific project.

Copying diagrams from this report to Architectural plans will constitute copyright infringement.

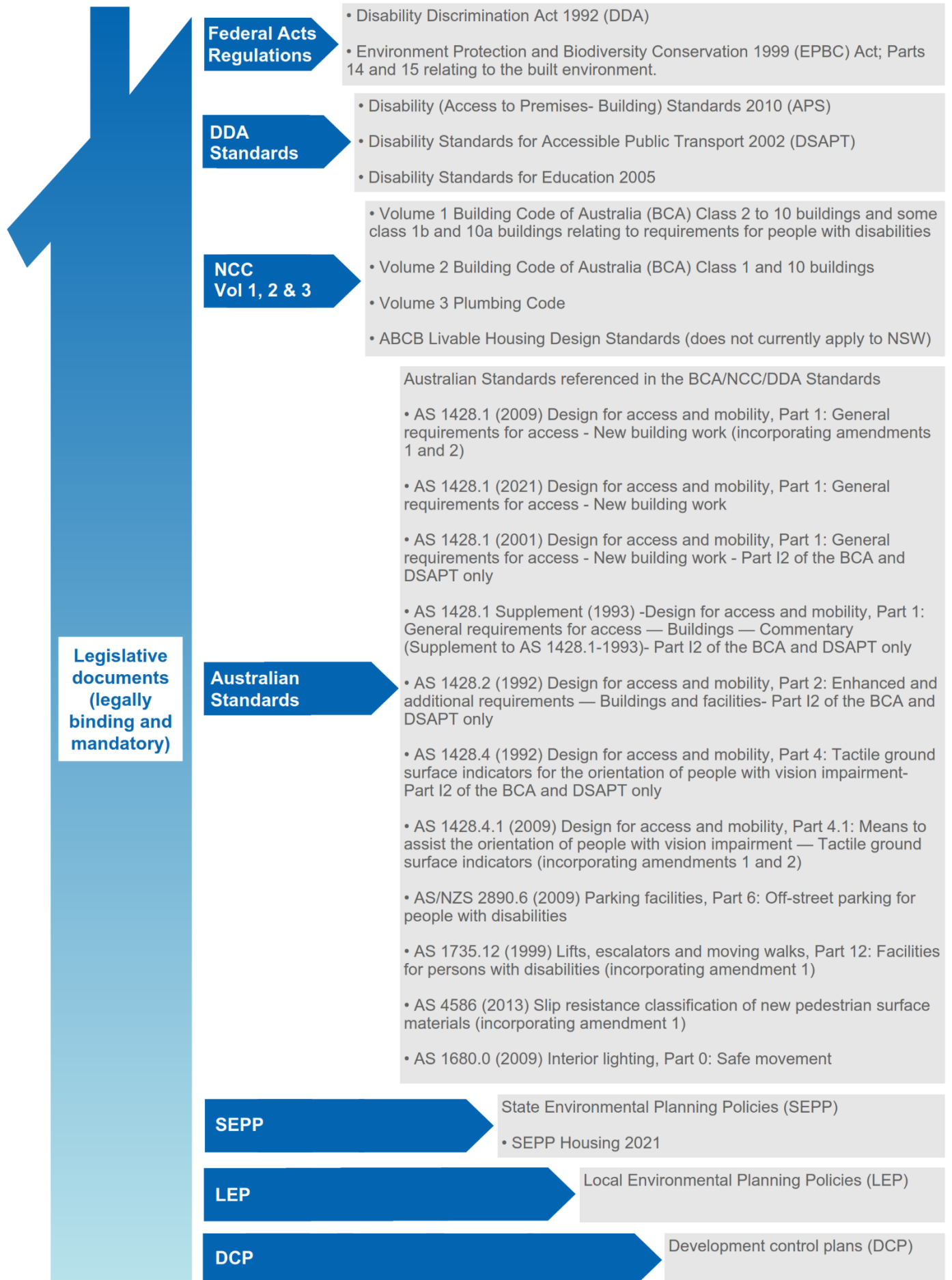
This report does not assess compliance matters related to WHS, Structural design, Services design, Parts of DDA other than those related to APS or Parts of BCA or Parts of AS other than those directly referenced in this report.

Where LHA assessments are provided there, we will use our best judgement regarding LHA assessments. However, we are not to be held responsible if another licenced LHA assessor comes to a different conclusion about compliance, certification, or allocation of a particular Quality mark to us as several items in LHA are subject to interpretation.

We have no ability to check for slip resistance of surfaces. All wet areas, parking areas, pavement markings shall have the appropriate slip resistance for the location.

Note: The Access report prepared for Development Application (DA) or Section 4.55 or Part 5 is not suitable for use for purposes of Construction Certificate (CC) or Crown Certificate Application.

Hierarchy of Access-related Legislation and Standards



Hierarchy of Access-related Legislation and Standards (continued)

Non-Statutory documents	Adaptable Housing	AS 4299 (1995) Adaptable housing is non-statutory, unless referenced by a NSW SEPP, LEP or DCP.
	Design Guides	• Livable Housing Design Guidelines except where referenced in Volumes 1 and 2 of the NCC, SEPP or DCP. • Apartment Design Guide • Low Rise Housing Diversity Design Guide • Homes NSW Guidelines published by the Department of Planning
	NDIS SDA	• Specialist Disability Accommodation (SDA) Design Standards where housing is funded by the NDIS (National Disability Insurance Scheme)
Non-Statutory documents	Australian Standards	Australian Standards not referenced by a statutory Act or Regulation • AS 1428.4.2 (2018) Design for access and mobility, Part 4.2: Means to assist the orientation of people with vision impairment — Wayfinding signs • AS 1428.5 (2021) Design for access and mobility, Part 5: Communication for people who are deaf or hearing impaired • AS 1735.7 (1998) Lifts, escalators & moving walks, Part 7: Stairway lifts • AS 1735.8 (1986) Lifts, escalators & moving walks, Part 8: Inclined lifts • AS 1735.14 (1998) Lifts, escalators & moving walks, Part 14: Low rise platform for passengers • AS 1735.15 (2002) Lifts, escalators, & moving walks, Part 15: Low-rise passenger lifts • AS 1742.7 (2016) Manual of uniform traffic control devices, Part 7: Railway crossings • AS 2890.1 (2004) Parking facilities, Part 1: Off-street car parking • AS 2890.5 (2020) Parking facilities, Part 5: On-street parking • AS 2890.6 (2022) Parking facilities, Part 6: Off-street parking for people with disabilities • AS 3692 (1993) Information technology — Open Systems Interconnection — Systems management overview • AS 4663 (2013) Slip resistance measurement of existing pedestrian surfaces • HP 197 (1999) Introductory guide to the slip resistance of pedestrian surface materials • HB 198 (2014) Guide to the Specification and Testing of Slip
	Guidelines and Handbooks	• Australian Human Rights Commissions Guideline on the application of the Premises Standards (2013 Version 2) • Handbooks and Guides published by the Australian Building Codes Board
Advisory documents		

Disability Discrimination Act 1992

The federal Disability Discrimination Act 1992 provides protection for everyone in Australia against discrimination based on disability. Sections 23 and 24 of the DDA focuses on the provision of equitable and dignified access to premises, goods, services and facilities for people with mobility, sensory and cognitive disabilities.

Disability discrimination happens when people with a disability and their relatives, friends or carers, co-workers or associates are treated less fairly than people without a disability.

Compliance with Access to Premises Standards gives certainty to building certifiers, building developers and building managers that if access to new parts of the building is provided in accordance with these standards, the provision of that access to the extent covered by these standards, will not be unlawful under the DDA. This however applies only to the new buildings or new parts of an existing building and the “affected part”.

All areas outside the scope of these areas are still subject to the DDA. We cannot guarantee or certify for DDA compliance because DDA compliance can only be assessed by the courts where a complaint is made. Scope of DDA extends beyond the building fabric and also includes furniture, fittings, building management, employment, education, accommodation, clubs, sport and the administration of Commonwealth laws and programs.

Compliance assessment with Access related requirements of BCA and Disability (Access to Premises - Buildings) Amendment Standards 2010

Development consists of new building/s and therefore compliance is required to full development

SOU refers to a Sole Occupancy Unit

BCA 2022 Part D4 Access for People with a Disability

D4D2 General building Access requirements

Requirement

Class 2 - building containing more than 2 SOUs i.e. sole-occupancy units

For residential use components, access is required:

- From a required accessible pedestrian entrance to at least 1 floor with SOUs and to the entry of door of each SOU on that level.
- To and within 1 of each type of room or space in common use.
- Where floor is accessed by an AS1428.1 ramp or lift, access is required to the entry doorway of each SOU on that level and to and within all common use areas on that level.

Compliance

Complies with spatial requirements

Comments

- Access has been provided from the main pedestrian entry doorway to the entry doors of all SOUs on all floor levels by means of accessible pathways and lifts.
- Where common use areas are on a floor that is accessible by means of a ramp or lift (Ground floor level in this case), access has been provided to the same.
- Access has been provided to at least 1 of each common use areas. Where common use areas have a common use kitchen / laundry / BBQ area there to achieve minimum accessibility provide:
 - A minimum clear depth of 1540mm (for minimum length of 2070mm) forward of any common use kitchen / laundry / BBQ benchtop
 - A long lever tap, to any provided sink, with front of the benchtop (or where standalone sink/basin is provided, to the front of the sink/basin) to be maximum 300mm to operable parts of the tap. Alternatively, a sensor tap to be provided where the sensor can be activated within 300mm.
 - A (30x30mm switch size) double GPO fully within 300mm from the front edge of the benchtop.
- Access has been provided to common use garbage storage rooms provided with Bin chutes and waste bins for Building 1 and waste chutes for building 2.
- When bin chutes or bin storage is within a room, door circulation spaces and 1540x2070mm circulation space is required to the room clear of any bins or encroachments.
- Where bin chutes are provided the door handle of the bin chute is required to be a minimum of 500mm from any internal corner and located within the range of 900 to 1100mm from FFL.
- Access is provided to common use letterbox area with min 1540x2070mm flat circulation space in front of the letterboxes with letterboxes for adaptable or accessible units being within 600 to 1100mm from FFL.
- All common use accessway widths are to be a minimum of 1M clear measured from skirting to skirting (increases to comply with door circulation spaces where doorways provided) with vertical clearance of at least 2M or 1.98M at doorways.

Additional advisory note for any common use kitchen/laundry or BBQ areas (where provided)

- It is suggested that kitchen / BBQ areas could be made partially accessible by providing a workspace of 900mm width next to the sink/cooktop/BBQ as vacant space (without cabinetry under the bench top)

Details to be verified at CC stage of works.

Requirement

Class 5 / 6 - Commercial/ Retail.

- To and within all areas that are normally used by the occupants.

Compliance

Complies with spatial requirements

Comments

- Access has been provided to and within all areas required to be accessible.
- Access has been provided to all common use areas. Where common use areas have a common use kitchen / laundry / BBQ area there to achieve minimum accessibility provide:
 - A minimum clear depth of 1540mm (for minimum length of 2070mm) forward of any common use kitchen / laundry / BBQ benchtop
 - A long lever tap, to any provided sink, with front of the benchtop (or where standalone sink/basin is provided, to the front of the sink/basin) to be maximum 300mm to operable parts of the tap. Alternatively, a sensor tap to be provided where the sensor can be activated within 300mm.
 - A (30x30mm switch size) double GPO fully within 300mm from the front edge of the benchtop.
- Access has been provided to common use garbage storage area
- When bin chutes or bin storage is within a room, door circulation spaces and 1540x2070mm circulation space is required to the room clear of any bins or encroachments.
- Where bin chutes are provided the door handle of the bin chute is required to be a minimum of 500mm from any internal corner and located within the range of 900 to 1100mm from FFL.
- All common use accessway widths are to be a minimum of 1M clear measured from skirting to skirting (increases to comply with door circulation spaces where doorways provided) with vertical clearance of at least 2M or 1.98M at doorways.

Additional advisory note for any common use kitchen/laundry or BBQ areas (where provided)

- It is recommended that kitchen / BBQ areas could be made partially accessible by providing a workspace of 900mm width next to the sink/cooktop/BBQ as vacant space (without cabinetry under the bench top)

Advisory note for Reception tables (where provided)

- It is recommended that a lower section for a width of 900mm could be provided to be able to be used by a person in a wheelchair. Height of the FFL (finished floor level) to the top of the table to be 850+/-20mm and height of clearance beneath the unit from the FFL to be 820+/-20mm

Details to be verified at CC stage of works.

Requirement

Class 7a - Covered car park.

- To and within any level containing accessible carparking spaces.

Compliance

Complies with spatial requirements

Comments

- Access has been provided to basement levels containing Accessible carparking spaces.
- All Accessway widths are to be a minimum of 1M clear (measured from skirting to skirting) with vertical clearance of at least 2M or 1.98M at doorways.

Details to be verified at CC stage of works.

BCA 2022 Part D4D3 Access to buildings

Requirement

Accessway is required from:

- Main pedestrian entry at the site boundary for new buildings.
- Any other accessible building connected by a pedestrian link.
- Accessible car parking spaces.

Compliance

Capable of compliance

Comments

At this point the plans are not detailed to a level that compliance can be verified/ The below is proposed

Residential component:

- Level Access is proposed from the main pedestrian entry at the site boundary. To achieve this maximum drop at the entry door threshold can be 35mm with use of a 1:8 grade doorway threshold ramp. Note that apart from the doorway threshold ramp the entire door circulation template space (on both sides of the door) is required to be at a grade of not more than 1:40 in any direction (even if the door circulation template is outside the site boundary). At this point RL outside the entry doorways is not noted on the plans and hence compliance cannot be verified.
- Access has been provided from accessible car parking spaces by means of lifts.

Commercial / Retail component:

- Level Access is proposed from the main pedestrian entry at the site boundary. To achieve this maximum drop at the entry door threshold can be 35mm with use of a 1:8 grade doorway threshold ramp. Note that apart from the doorway threshold ramp the entire door circulation template space (on both sides of the door) is required to be at a grade of not more than 1:40 in any direction (even if the door circulation template is outside the site boundary). At this point RL outside the entry doorways is not noted on the plans and hence compliance cannot be verified.
- Access has been provided from accessible car parking spaces by means of accessible pathways

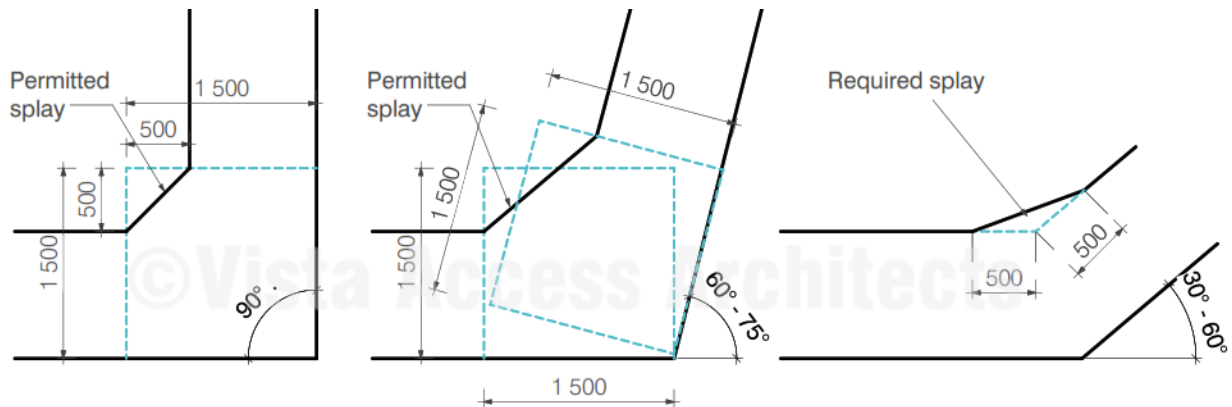
Details to be verified at CC stage of works.

Requirement

Common use External Walkway / Pedestrian access requirements as per AS1428:

- Accessible path of travel to have a gradient no steeper than 1 in 20 and a maximum cross fall or landings to be maximum of 1:40 (or maximum 1:33 for bitumen).
- Landings are required as below
 - for 1:20 grade walkways, 1200mm flat landings are required every 15M intervals
 - for 1:33 grade walkways, 1200mm flat landings are required every 25M intervals
 - for walkways with gradients between 1:33 and 1:20, 1200mm flat landings are required at intervals obtained by linear interpolation.
 - Above intervals can be increased by 30% where at least one side of walkway has a kerb or kerbrail with handrail or a wall with a handrail.
 - For walkways shallower than 1:33 no landings are required.
- The floor surface abutting the sides of the walkway to be provided with
 - a firm and level surface (of a different material) at the same level and grade of the walkway and extend horizontally for a minimum of 600mm, or
 - 150mm high kerb (can be reduced to 65 if required), or
 - kerb-rail with handrail, or
 - wall / fence / balustrade or similar barrier
- At 60° to 90° bends in pathways provide a 1500mmx1500mm space with maximum 500mm splay at internal corner.

- At 30° to <60° bends in pathways that are less than 1200mm provide a splay of 500mm at internal corner.



[Image description: Spatial requirements of walkways with bends as per AS1428.1]

Compliance Capable of compliance

Comments

Details to be verified at the CC stage of works.

Requirement

Requirements for Curved walkways, ramps, and landings

Curved ramps and walkways (with a maximum inside radius of 5M) and landings shall comply with the requirements of AS1428.1

Compliance Capable of compliance

Comments

Details to be verified at CC stage of works.

Requirement

Common use floor or ground surfaces requirements:

- Use slip-resistant surfaces
- The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability.
- Abutment of surfaces is to have a smooth transition.
- Construction tolerances to be 0+/- 3mm vertical or 0+/-5mm, provided the edges are bevelled or rounded. This also applies to abutting pavers
- Where joints are provided in pavers, the mortar joints to be between 1-12mm with maximum depth of 2mm. Paver profile and mortar joint variation to not exceed 2mm.

Grates if used in the accessible path of travel are required to comply with the following:

- Circular openings maximum of 13 mm in diameter
- Slotted openings to be not greater than 13mm wide and not greater than 150mm long and be oriented so that the long dimension is transverse to the dominant direction of travel. Where slotted openings are less than 8mm, the length of the slots may continue across the width of paths of travel
- Linear openings to be oriented so that the longer dimension is transverse to the dominant direction of travel, except where linear openings are less than 8 mm wide, there the orientation is optional.

Timber decking and boardwalks

The gap between boards depends on the type of board used and the location of installation

- For decking boards maximum 150mm wide the installation to have maximum 6mm gap.

- Adjacent boards shall be level within a maximum vertical 3mm tolerance
- For decking boards over 150mm wide the gap may be increased to maximum of 10mm. Where the gap exceeds 8mm the boards shall run transverse to the direction of travel.

Compliance

Capable of compliance

Comments

Details to be verified at the CC stage of works.

Requirement

Accessway is required through:

- Principal pedestrian entry; and
- Not less than 50% of all pedestrian entrances; and
- In building with floor area over 500m², a non-accessible entry must not be located more than 50M from an accessible entry.

Compliance

Capable of compliance

Comments

All pedestrian entries have been designed to be accessible.

Requirement

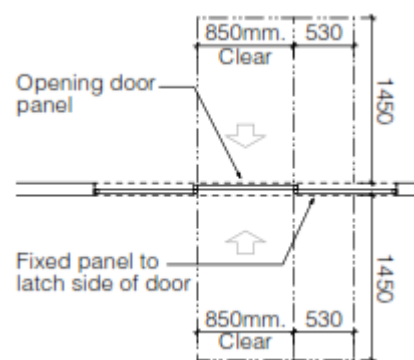
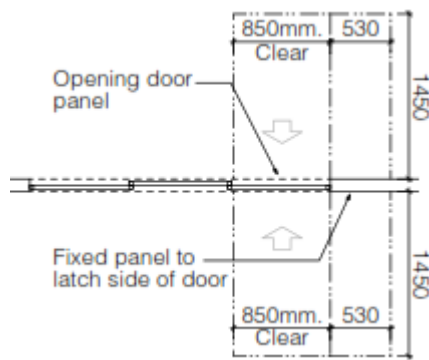
All common use doorways and doorways to and within Adaptable units (for adaptable units limited to opening size and door circulation requirements to doorways to main entry, main bedroom and main bathroom) to comply with AS1428.1 and the below requirements

Where accessible pedestrian entry has Multiple doorways:

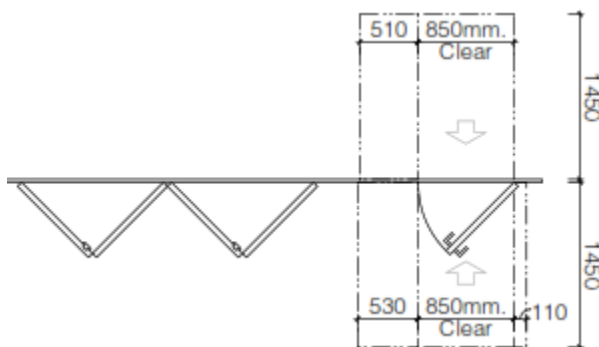
- At least 1 to be accessible if 3 provided
- At least 50% to be accessible, if more than 3 provided
- Where doorway has multiple leaves, at least 1 leaf is to have clear opening of 850mm (excluding automatic doors)

Doorway requirements

- All common use doorways in the development within accessible path of travel (other than doorways non-accessible sanitary facilities) to have a clear opening of at least 850mm with appropriate door circulation spaces in accordance with AS1428.1. In case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1.
- Ambulant toilet cubicle door to have a clear door opening of 700mm.
- Space required for door circulation spaces to have a maximum floor grade of 1:40 (doorway threshold ramps are permitted within the circulation space).
- Door thresholds are to be level, or they can incorporate a doorway threshold ramp with a maximum grade of 1:8, for maximum rise of 35mm and a maximum length of 280mm and located within 20mm of the door leaf, with edges to be tapered or splayed at a minimum of 45° where it does not abut a wall.
- Sliding doorways to be provided with recessed floor tracks to enable flush transition from the inside of the building.
- Distance between successive doorways in airlocks to be 1450mm which is measured when the door is in open position in case of swinging doors.
- Door hardware including door handles, door closers, manual control to power operated door and the in-use indicators / snibs in accessible and ambulant toilets are required to comply with requirements of AS1428.1

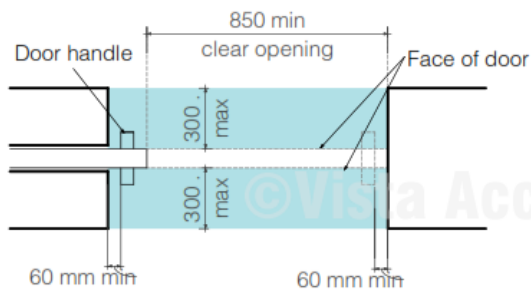


[Image description: Diagram showing requirements for door circulation spaces and door threshold requirements as per AS1428.1 for clear opening of 850mm]

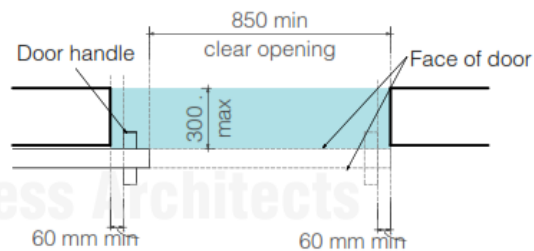


Where bi-fold doorways have been provided, one door panel is to be provided such that it can be used as an 850mm clear opening hinged door with door circulation spaces as per AS1428.1

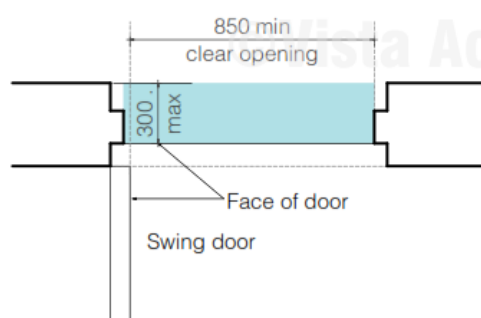
[Image description: Bi-fold type doorway showing provision of a hinged door]



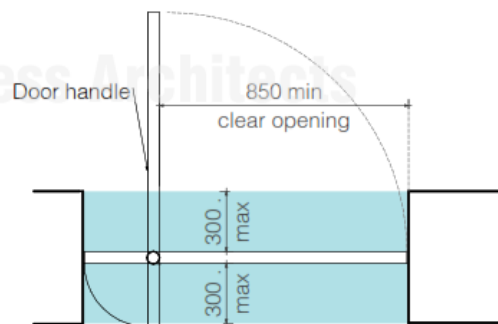
Cavity sliding door



Surface sliding door



Swing door



Pivot hinge door

[Image description: Diagram demonstrating the requirement of the distance from the door surface to the adjacent wall which must not be more than 300mm in depth]

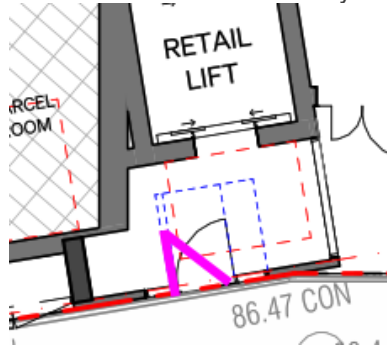
Compliance

Capable of compliance

Comments

Where door automation is provided, latch side circulation is not required to the automated doors. Details to be verified at the CC stage of works.

Note that the below doorway will need to be modified at CC stage of works



BCA 2022 Part D4D4 Parts of buildings required to be accessible

Requirement

- Every common use **Ramp** with grades steeper than 1:20 and less than or equal to 1:14 (excluding fire-isolated ramp) is to be compliant with AS1428.1

Compliance N/A

Comments

This type of ramp has not been identified in the development.

Requirement

Step ramp if provided in common use areas is to be compliant with AS1428.1 and NCC/BCA

Compliance N/A

Comments

This type of ramp has not been identified in the development.

Requirement

- **Kerb ramp** if provided in common use areas is to be compliant with AS1428.1

Compliance N/A

Comments

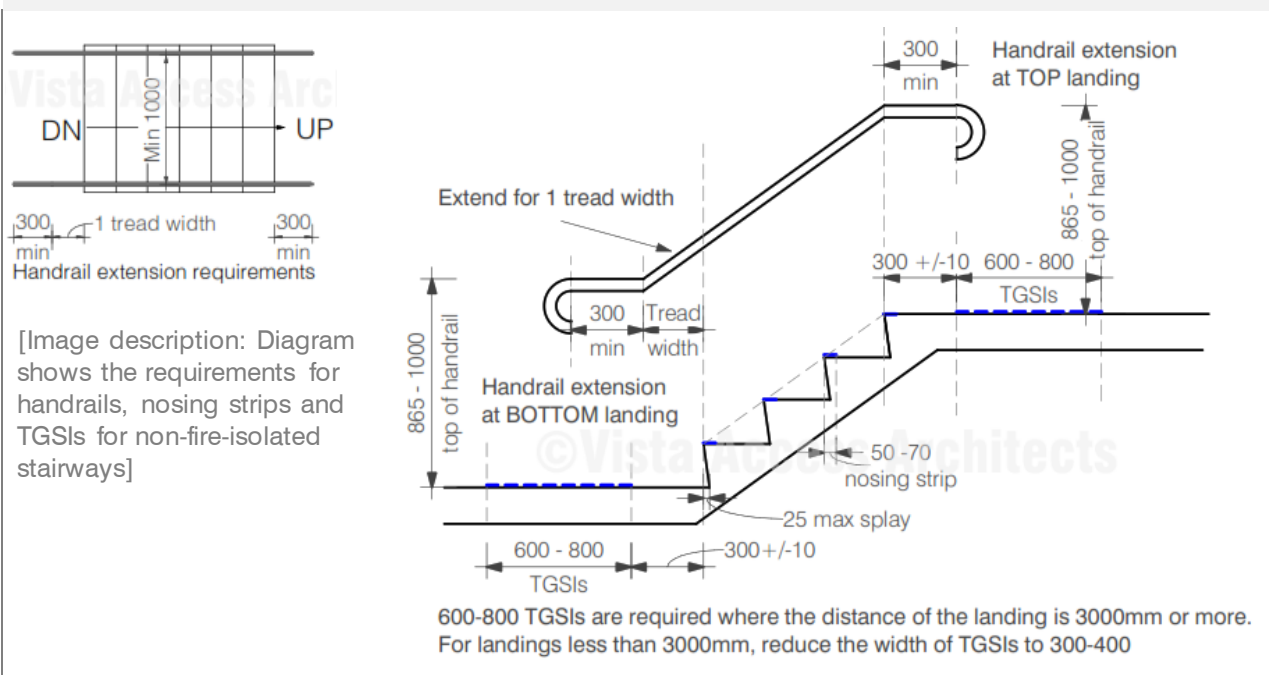
This type of ramp has not been identified in the development.

Requirement

Every common use **Non-fire-isolated Stairway** within scope of work is to be compliant with AS1428.1 including:

- Stairway to be set back minimum 900mm from site boundary and as required from any internal corridor so that handrails and TGSIs do not protrude into the transverse path.
- Opaque risers required with nosing as per AS1428.1
- Handrail to be continuous throughout the stairway flight and be designed as below:
 - no obstruction on or above up to a height of 600mm
 - provided on both sides with minimum 1M clearance between them with no vertical sections.
 - where a handrail terminates at the bottom of a flight, the handrail to extend at least one tread depth parallel to the line of nosings plus minimum of 300mm horizontally from the last riser.
 - handrail to extend a minimum of 300mm horizontally past the nosing on the top riser.
 - where the handrail is continuous, the 300mm extension is not required in the inner handrail at intermediate landings if the first riser going up is offset for 1 tread width
- The height of the top of the handrail, to be consistent through the stairway and at landings between 865-1000mm above nosing or FFL.
- The height of the handrail may vary across landings under the following circumstances:
 - at a stairway handrail extension
 - where a handrail transitions between flights or to a balustrade
 - construction tolerance of up to 10mm

The inside handrail at landings shall be continuous.



Compliance

Capable of compliance

Comments

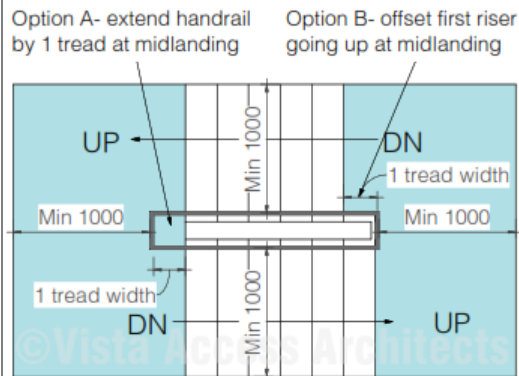
Where this type of stairway is provided, the details of the stairway will be assessed with the relevant requirements of AS1428.1 at the CC stage of works.

Note : In some cases, the stairway from the basement to the ground floor level is considered to be non-fire-isolated, in which case full compliance will be required as per AS1428.1. Verify with the BCA consultant if this is the case.

Note : For stairways with 90° to 180° turns at landings, in order for the handrails to comply with the consistent height requirement, the risers have to be offset at the mid-landings so that no vertical sections are created in the handrails. This applies to both non-fire-isolated and fire-isolated stairways.

Requirement

Every **Fire-isolated Stairway** is to be compliant with AS1428.1 as required



[Image description: Diagram showing the requirements of a fire-isolated stairway as per AS1428.1]

Compliance

Capable of compliance

Comments

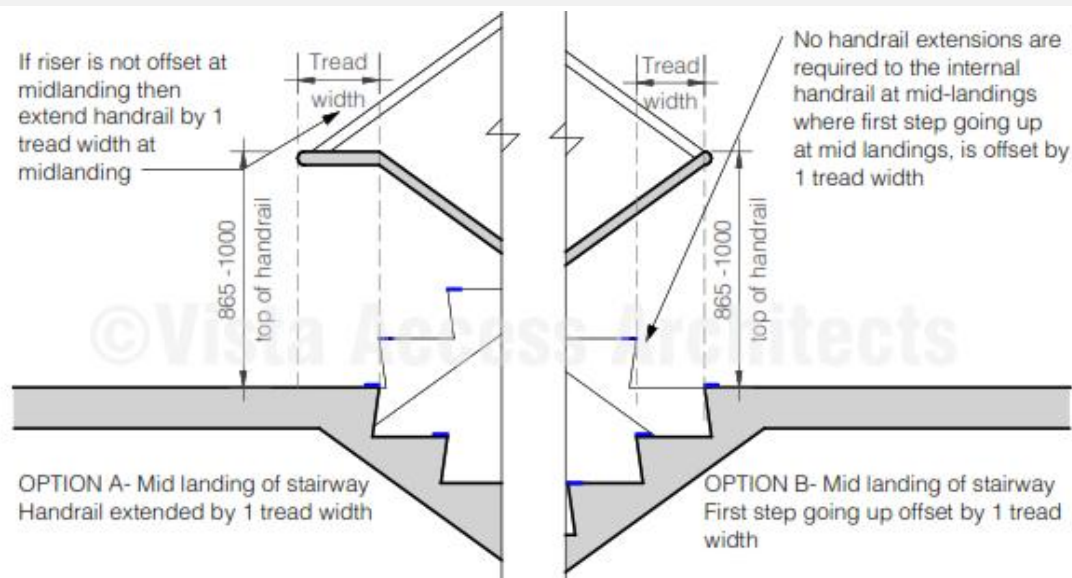
Where this type of stairway is provided, the details of the stairway will be assessed with the relevant requirements of AS1428.1 at the CC stage of works.

Requirement

Handrail requirements at mid landings

Option A- Handrails to extend a minimum of 300mm horizontally past the nosing

Option B- Handrail to extend at least one tread depth parallel to the landing before turning



[Image description: Diagram shows the requirements for handrails at mid landings of both fire-isolated and non-fire-isolated stairways]

Compliance

Capable of compliance

Comments

Details to be verified at CC stage of works.

Requirement

Nosing for common use fire-isolated and non-fire-isolated stairways to comply with AS1428.1

Compliance

Capable of compliance

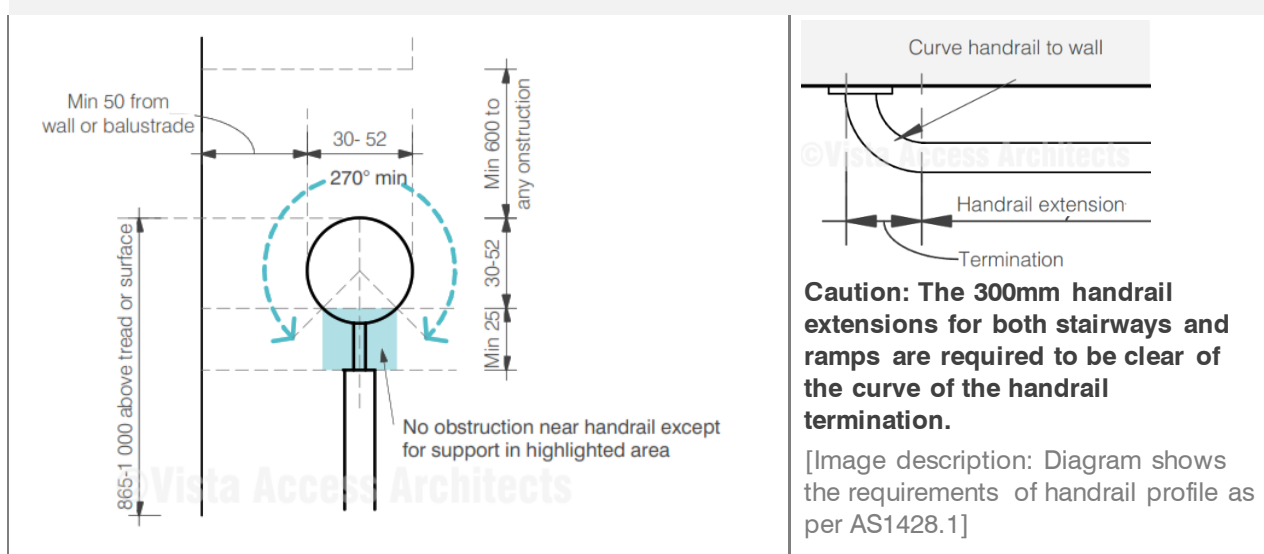
Comments

Detailed features of the nosing strips will be assessed with the requirements of AS1428.1 at the CC stage of works.

Requirement

Handrail cross-sectional profile – for stairways and ramps to comply with AS1428.1.

Diameter of handrails to be between 30mm-52mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.



Compliance

Capable of compliance

Comments

Details to be verified at the CC stage of works.

Requirement

Slip resistance to comply with BCA 2022, Table D3D15 and AS2890.6 when tested in accordance with AS4586 and AS4663

BCA 2022 Table D3D15 Slip –resistance requirements when tested in accordance with AS4586:

Application (common use areas)	Surface conditions	
	Dry	Wet
Ramp (and accessways to accessible parking spaces) steeper than 1:14	P4 or R11	P5 or R12
Ramp steeper than 1:20 but not steeper than 1:14	P3 or R10	P4 or R11
Accessways to accessible parking spaces not steeper than 1:14	P3 or R10	P4 or R11
Tread or landing surface for ramps and stairways	P3 or R10	P4 or R11
Nosing or landing edge strip	P3	P4
Accessible parking spaces and shared areas	P3 or R10	P4 or R11

Slip resistance requirements as per AS4299

AS4299 has slip resistance requirements based on requirements of AS3661 (Slip resistance of pedestrian surfaces) for the following areas:

- Floor surfaces in sanitary facilities including all toilets and bathrooms (essential feature).
- Floor surfaces in the kitchens and Laundries (essential feature).
- Pathways / walkways within the site, within landscaped areas, balconies and other external paved areas (desirable feature for Class A or B developments).
- AS3661.1-1993 is an old Australian standard which has been superseded with AS4586:2013 (Slip resistance classification of new pedestrian surface materials).

HB 197/ HB198 An introductory guide to the slip resistance of pedestrian surface materials provides guidelines for the selection of slip-resistant pedestrian surfaces

Compliance Capable of compliance

Comments

For Slip resistance of surfaces the builder is required to provide a Certificate stating that the Slip resistance of the surfaces comply with the above listed requirements when tested as per AS4586 at CC stage of works.

Requirement

Every **Passenger lift** is to comply with the requirements of [BCA 2022, E3D7](#).

Compliance Capable of compliance

Comments

This has been assessed further in the report in the Lifts section. Refer to the lift section for details

Requirement

Passing spaces requirement (only applies to an accessible level, serviced by walkways, ramp or lift)
It is a requirement to provide flat (max 1:40 grade in any direction) passing spaces in common use accessways complying with AS1428.1 at maximum 20 M intervals, where a direct line of sight is not available. Space required is 1800x2800mm (in the direction of travel). Chamfer of 400x400mm is permitted at corners within the 2800mm.

Compliance Capable of compliance

Comments

To be detailed at CC stage of works

Requirement

Turning spaces requirement (only applies to an accessible level, serviced by walkways, ramp or lift)
It is a requirement to provide flat (max 1:40 grade in any direction) turning spaces of dimension 1540mm (width) x 2070mm (in direction of travel) in common use accessways at the below locations:

- at the end or within 2M of the end of any accessways/ passageways
- at maximum 20M intervals of any accessways/ passageways
- in front of all passenger lift doors / landings
- in front of all common use letterboxes

Compliance Capable of compliance

Comments

Details to be verified at CC stage of works.

Requirement

Carpets, when provided in common use areas or areas with accessible SOUs to comply with AS1428.1

Compliance

Capable of compliance

Comments

Applies only if carpets are provided in the common use areas.
Details to be verified at CC stage of works.

BCA 2022 Part D4D5 Exemption

Requirement

Access is not required to be provided in the following areas:

- Where access would be inappropriate because of the use of the area
- Where area would pose a health and safety risk
- Any path which exclusively provides access to an exempted area

Compliance

For information only

Comments

Areas such as lift machine rooms, fire services room, commercial kitchens, areas in childcare centres such as nappy change room or cot rooms etc or exclusive staff use areas in storage facilities. in the development are exempted from providing access under this clause due to WHS concerns.

Where a caretaker is provided in the development, the toilet provided exclusively for use by the caretaker can be excluded from providing access based on the provisions in this clause.

BCA 2022 Part D4D6 Accessible Carparking

Requirement

Class 2

There are no Accessible carparking requirements for a Class 2 under the BCA.

If adaptable housing has been mandated by the Council, then carparking spaces for Adaptable units will be required under the requirements of AS4299- Adaptable housing.

Compliance

Complies

Comments

Mosman Municipal Council requires provision of 20% Adaptable units in the development. Development has total number of 100 units. 20% of 100 = 20 required Adaptable units. Therefore, 20 accessible carparking spaces are required for the residential component of the development.

22 Accessible car parking spaces have been provided in development.

One accessible parking space is required to be allocated to each of the Adaptable units, 1 space allocated as retail/commercial and 1 x space a "visitor"

Requirement

Class 5 or

- 1 Accessible car parking space per 100 carparking spaces

Class 6

- 1 Accessible car parking space per 50 carparking spaces (up to 1000 spaces) and additional 1 Accessible car parking space per additional 100 spaces provided

Compliance

Complies

Comments

Total number of Accessible parking spaces required for the commercial component of the development = 10

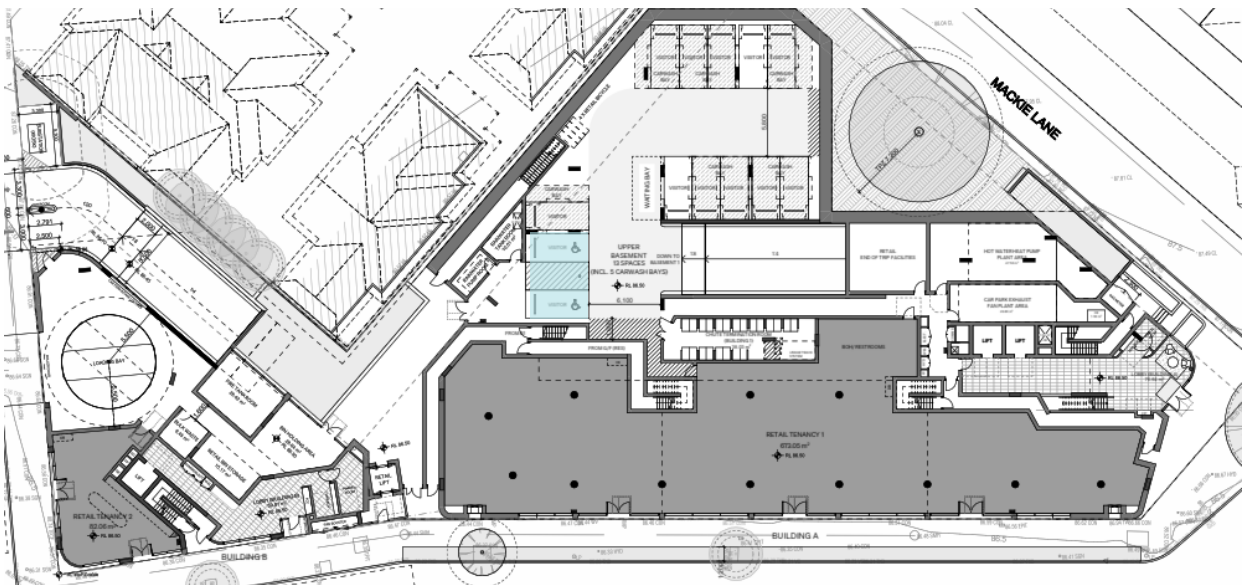
Total number of Accessible parking spaces provided for the commercial component of the development = 1



[Image description: Plan of Basement 2 above shows the provision of Accessible parking spaces]



[Image description: Plan of Basement 1 above shows the provision of Accessible parking spaces]



[Image description: Plan of Ground Level above shows the provision of Accessible parking spaces]

AS2890.6-2009 requirements for Accessible car parking space

Requirement

Angle Parking AS 2890.6-2009

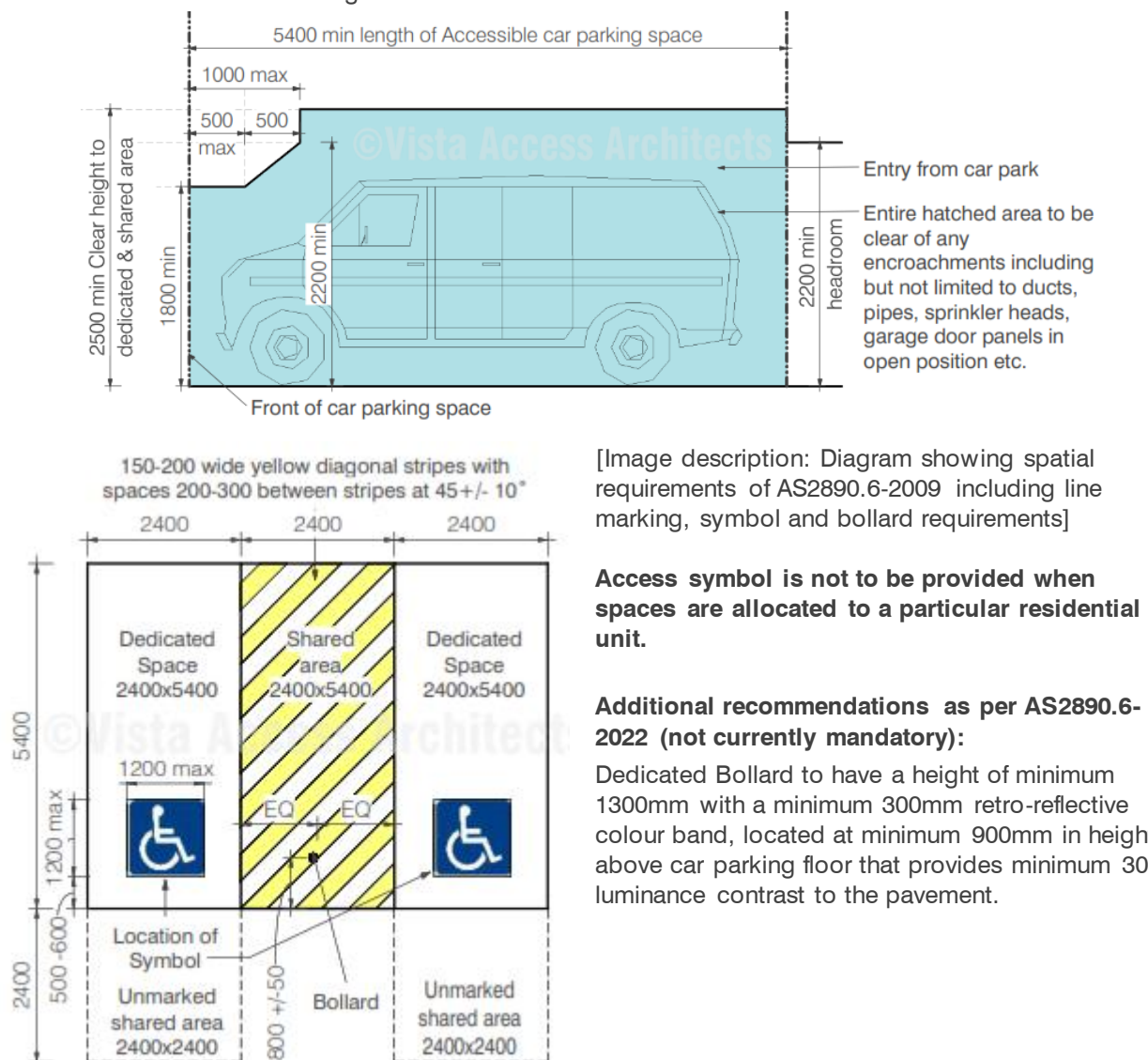
- Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M at the same level
- Slip resistant flooring surface with maximum fall 1:40 in any direction or maximum 1:33 if bituminous and outdoors.
- Central Bollard in shared space at 800+/-50mm from entry point.
- Pavement marking in dedicated space by means of access symbol between 800mm-1000mm high placed on a blue rectangle of maximum 1200mm and between 500mm-600mm from its entry point (marking is not to be provided where the space is allocated to an Adaptable unit).
- Minimum headroom of 2.2M at entrances and 2.5M is required over shared space as well as dedicated spaces.
- Non-trafficked area of the shared space to have yellow marking strips at 45°, 150-200mm wide at 200mm-300mm spaces (not required where driveways are used as shared spaces)
- Accessible parking spaces, shared areas and the pavement marking shall have slip resistance of P3/R10 in dry and P4/R11 in wet conditions.

Compliance

Complies with spatial requirements

Comments

Details to be verified at CC stage of works.



BCA 2022 Part D4D7 Signage

Requirement

Braille and Tactile signage are required to identify Accessible Sanitary facilities

Compliance Capable of compliance

Comments

Details to be verified at the CC stage of works

Requirement

Braille and Tactile signage are required to identify Ambulant Sanitary facilities

Compliance N/A

Comments

No ambulant sanitary facilities have been identified in the development.

Requirement

Braille and Tactile signage is required to identify Hearing Augmentation

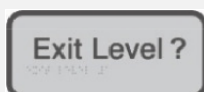
Compliance N/A

Comments

Hearing augmentation is not provided since there is no inbuilt amplification system identified in the development.

Requirement

Braille and Tactile signage is required to identify a Fire exit door required by [BCA2022, E4D2](#) by stating the 'Exit' and 'Level', followed by either the floor level number or floor level descriptor or a combination of both of the above and located on the side that faces a person seeking egress



[Image description: Image of Signage The “?” shown in image is to be replaced with the floor level where the door is located]

Compliance Capable of compliance

Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

Requirement

Signage is required to a non-accessible pedestrian entrance

Compliance N/A

Comments

N/A.

Requirement

Signage is required where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility.

Compliance N/A

Comments

N/A

Requirement

Directional signage is required where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility.

Directional signage incorporating the international symbol of access as per AS1428.1 must be placed at the location of the sanitary facilities that are not accessible, to direct a person to the location of the nearest accessible unisex sanitary facility.

Compliance N/A

Comments

N/A

Requirement

Signage is required to a single hand pushing action device (example manual control button to an automated doorway) where the latch operation device is not located on the door leaf itself

Compliance N/A

Comments

No automated doors have been identified on the plans.

Requirement

Directional signage complying with [BCA 2022 Specification 15](#) must be provided at the location of each—

i. bank of sanitary facilities; and
accessible unisex sanitary facility, other than one that incorporates an accessible adult change facility, to direct a person to the location of the nearest accessible adult change facility within that building.

Compliance N/A

Comments

N/A

Requirement

All signage is required to be as per BCA 2022 Specification 15 Braille and Tactile Signs

This includes location of signage, specifications in regard to braille and tactile characters, luminance contrast and lighting.

Compliance

Capable of compliance

Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

BCA 2022 Part D4D8 Hearing Augmentation

Requirement

Hearing Augmentation is only required where an inbuilt amplification system (other than emergency) is installed in a Class 9b building, or in an auditorium, conference / meeting room or a reception area where a screen is used.

Compliance

N/A

Comments

No areas with provision of inbuilt amplification have been identified on plans and hence no hearing augmentation requirements apply to this development.

If inbuilt amplification system is proposed in the development, then hearing augmentation is to be provided.

BCA 2022 Part D4D9 Tactile ground surface indicators (TGSIs)

Requirement

TGSIs are required when approaching:

- Stairways other than fire-isolated stairways.
- Escalators / passenger conveyor / moving walk.
- Ramp (other than fire-isolated ramps / kerb or step or swimming pool ramps).
- Under an overhead obstruction of <2M if no barrier is provided.
- When accessway meets a vehicular way adjacent to a pedestrian entry (if no kerb / kerb ramp provided at the location).

Compliance is required with AS1428.4.1 including Luminance contrast and slip resistance requirements for all TGSIs.

Compliance

Capable of compliance

Comments

TGSI selections generally take place at CC stage of works. Selection of TGSIs as specified will lead to compliance and these selection details are to be verified at CC stage of works.

BCA 2022 Part D4D12 Limitations on Ramps

Requirement

On an accessway:

- A series of connected ramps must not have a combined vertical rise of more than 3.6M;
- And a landing for a step ramp must not overlap a landing for another step ramp or ramp.

Compliance N/A

Comments

No 1:14 grade ramps or step ramps have been identified in the development

BCA 2022 Part D4D13 Glazing on Accessways

Requirement

Glazing requirements:

- Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening are required to have a glazing strip
- The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.

Compliance Capable of compliance

Comments

Glazing strips are required to be provided to full height glazed areas (doors and windows) used in common use areas such as lift lobbies and common passageways in residential components and in all commercial/retail use components

Glazing strip selections generally take place at CC stage of works. Selection of glazing strips as specified above will lead to compliance and details are to be verified at CC stage of works.

BCA Part F Accessible Sanitary Facilities

BCA 2022 Part F4D5 Accessible Sanitary facilities

Requirement

Accessible unisex toilet is to be provided in accessible part of building such that;

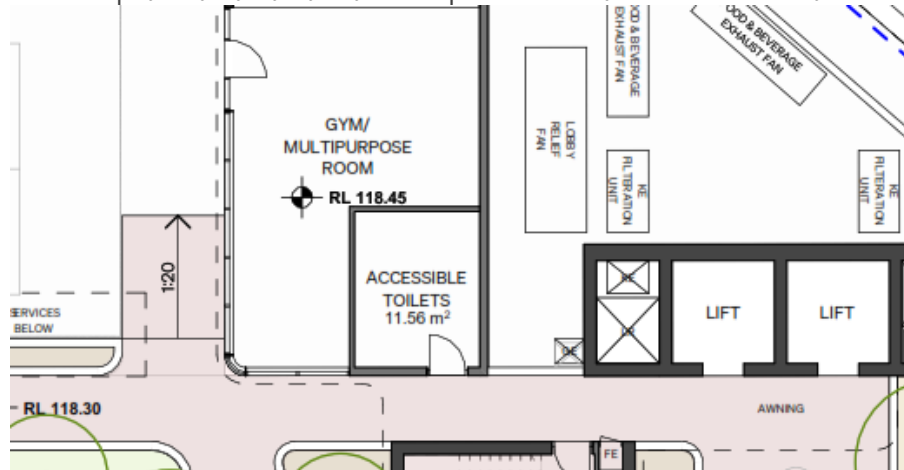
- It can be entered without crossing an area reserved for 1 sex only
- Where male and female sanitary facilities are provided at different locations, Accessible unisex toilet is only required at one of the locations
- Even distribution of LH and RH facilities
- An accessible facility is not required on a level with no lift / ramp access.

Compliance Capable of compliance

Comments

At this point no details have been provided and therefore compliance cannot be verified

The roof plan has an area that notes provision of accessible toilets as shown below



BCA 2022 Part F4D6 Accessible unisex sanitary compartments

Requirement

Class 2

At least 1 unisex Accessible toilet when sanitary compartments are provided in common areas.

Compliance

Capable of compliance

Comments

Details to be verified at CC stage of works.

Requirement

Class 5 or 6

- 1 unisex Accessible toilet on every storey containing sanitary compartments. Where more than 1 bank of sanitary compartments on a level, at 50% of banks

Compliance

N/A

Comments

No common use sanitary facilities have been identified in the development within Class 5 or 6 Component. This is to be verified at CC stage of works.

BCA 2022 Part F4D7 Requirements for Accessible unisex showers

Requirement

Class 2

At least 1 unisex Accessible shower when showers are provided in common areas.

Compliance

Capable of compliance

Comments

Details to be verified at CC stage of works.

Requirement

Class 5 or 6

When BCA requires provision of 1 or more showers, then 1 for every 10 showers.

Compliance N/A

Comments

No common use shower facilities have been identified in the development within Class 5 or 6 component. This is to be verified at CC stage of works.

Requirement

Accessible unisex toilet is to be designed in accordance with AS1428.1

Compliance Capable of compliance

Comments

Detailed features of the accessible toilet will be assessed at the CC stage of works

Requirement

Showers for Accessible use are to be designed in accordance with AS1428.1

Compliance Capable of compliance

Comments

Detailed features of the Accessible shower will be assessed at the CC stage of works

Requirement

Ambulant use male / female toilets are to be provided if an additional toilet to the Accessible unisex toilet is provided

Compliance N/A

Comments

No ambulant toilet facilities have been identified in the development. This is to be verified at CC stage of works.

Requirement

Ambulant use toilets are to be designed in accordance with AS1428.1

Compliance N/A

Comments

No ambulant toilets have been identified on the plans

BCA Part E Lift Installations

BCA 2022 Part E3D3 Stretcher facility in lifts

Requirement

A **Stretcher lift** is to be provided if a passenger lift is installed to serve any storey with an effective height of 12M. The space requirement is 600mm wide x 2000mm deep x 1400mm high above the floor level. Confirm this requirement with your BCA consultant.

Compliance

For information only

Comments

Contact BCA consultant in regard to applicable requirements.

BCA 2022 Part E3D7 Passenger lift and their limitations

Requirement

In an accessible building, **Every Passenger Lift** (excluding electric passenger lift, electrohydraulic passenger lift, inclined lift) must be subject to limitations on use and must comply with **BCA 2022, E3D7, E3D8 and E3D10**

Compliance

Capable of compliance

Comments

A **certificate of compliance from the lift supplier**, stating that the proposed lift complies with the requirements of BCA Part E3- Lift installations will be required at the CC stage of works

Limitations on use of types of passenger lifts

Requirement

Limitations on use of Stairway platform lifts, Low-rise platform lift, Low-rise, low-speed constant pressure lift and small sized, low-speed automatic lift

Compliance

N/A

Comments

N/A

BCA 2022 Part E3D8 Accessible features required for passenger lifts

Requirement

Handrail requirements for passenger lifts. Apart from stairway platform lift and low-rise lifts, a handrail is required as per AS1735.12:

- 600mm minimum handrail not more than 500mm from control panel
- Top of handrail between 850-950mm above FFL
- Diameter of handrails to be between 30-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc

Lift floor dimensions (excluding stairway platform lift)

- Lifts traveling **12M** or under, floor size, **1100mm wide x 1400mm deep**
- Lifts travelling **more than 12M**, floor size **1400mm wide x 1600mm deep**
- If lift doors are on adjacent sides of the lift on different floor levels, then the lift floor size is required to be 1400x1600 or 1500x1500 to allow for a wheelchair to make a 90 degree turn in the lift.
- Minimum **Door opening size** complying with AS1735.12, not less than 900mm clear (excluding stairway platform lift).
- All lifts with a power operated door are required to have a **Passenger protection system** complying with AS1735.12.
- **Lift landing doors** to be provided at upper landing (excluding stairway platform lift).

Lift car and landing control buttons complying with AS1735.12

Some of the requirements listed below. Refer to AS1735.12 for further details.

For internal control panel:

- If width or depth of car is less than 1400mm, 2 control panels to be provided, one to the left and one to the right of the person entering the car
- Tactile symbol and Braille equivalent to be provided
- Buttons to be located between 900-1100mm above FFL
- All buttons to be 300mm from corner (near entry) and 400mm of all other corners

For external control panel:

To be located between 900-1100mm above FFL and not less than 500mm from internal corners unless otherwise permitted by AS1735.12

Lighting (for all enclosed lift cars) to be provided in accordance with AS1735.12 and AS1680. Minimum illuminance of 100 lx is required at the level of the car floor and average of 50 lx is required on the control panel surface.

To all lifts serving more than 2 levels

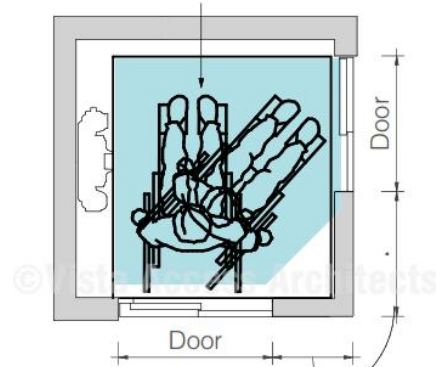
- Automatic audible information to identify level when car stops
 - Audible and visual indication at landing to indicate arrival of lift car
- Audible information and indication to be provided between 20-80 dB(A) at a maximum frequency of 1500Hz

Emergency hands free communication (excluding stairway platform lift) – provide a button that alerts a call centre and a light that the call has been received.

Lift floor dimensions where the door is on adjacent side of the lift

If lift doors are on adjacent sides of the lift on different floor levels, then the lift floor size is required to be 1400x1600 or 1500x1500 to allow for a wheelchair to make a 90 degree turn in the lift.

Lift car size to be 1500x1500 or 1400x1600



The distances between doors and adjacent car walls should be as large as possible

AS1735.12: 2020- Lifts with doors on adjacent walls

Compliance

Capable of compliance

Comments

A certificate of compliance from the lift supplier, stating that the proposed lift complies with the requirements of BCA Part E3- Lift installations will be required at the CC stage of works

AS4299.1995- Adaptable Housing

Appendix A of AS4299 schedule is a list of features to be incorporated into a housing unit for it to be termed an 'Adaptable House'.

There are 3 Classification levels for Adaptable Housing

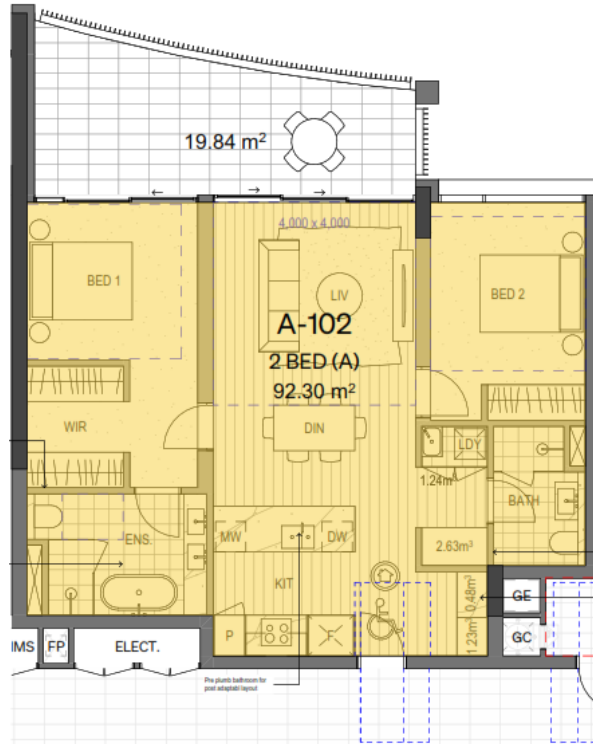
Adaptable Class C in which all essential features are to be incorporated.

Adaptable Class B in which all Class C and 50% of 64 available desirable features are to be incorporated

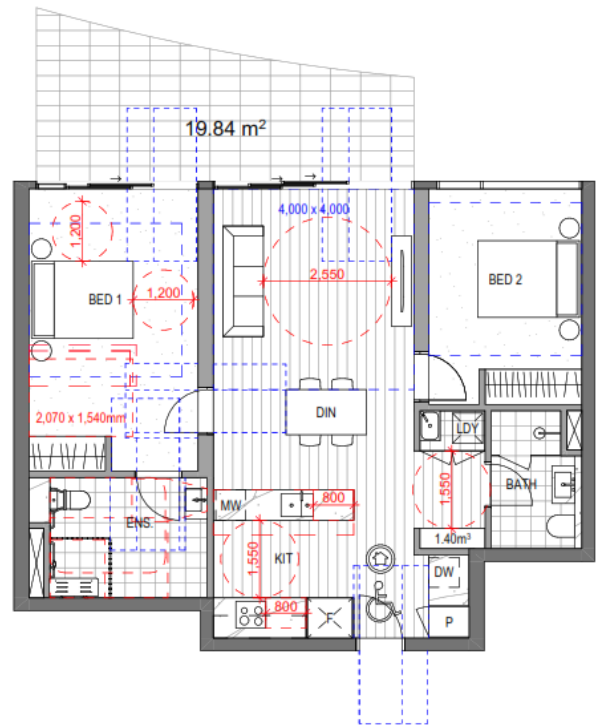
Adaptable Class A in which all 119 essential and all desirable features are to be incorporated.

20 Adaptable units are required by the Council's DCP to a **Class C** level.

Pre-adaptation layout



Post-adaptation layout



AL UNIT - 2 BED (TYPE A)
UNITS: 18



By incorporating the essential requirements listed Checklist below in the Specifications, the nominated Adaptable units can achieve full compliance with Adaptable House Class C

AS4299.1995 - Class C – Essential requirements

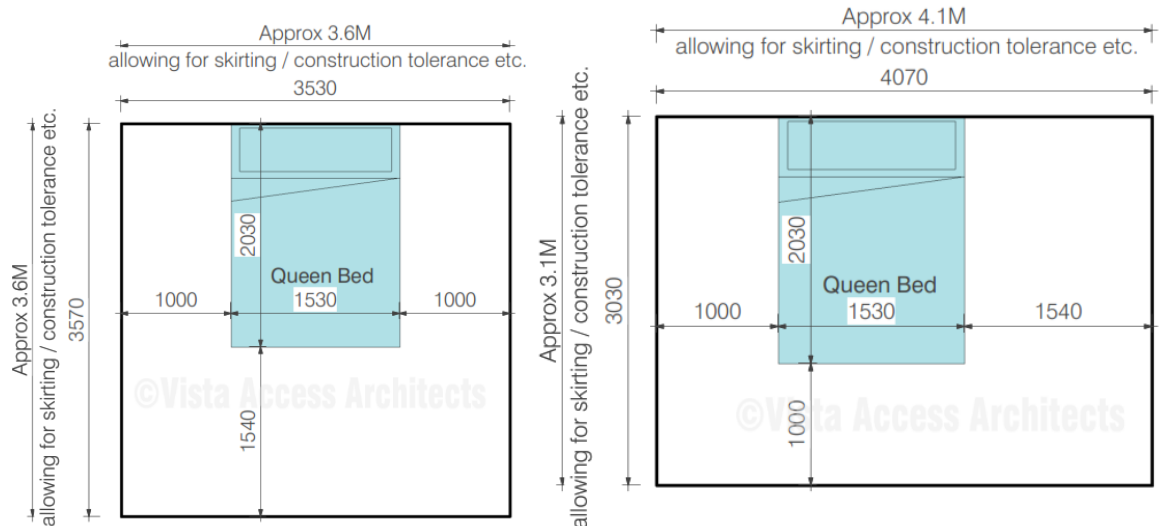
R☑ = Required;

C☑ = Capable of compliance at **by adding the requirement to the project specifications** or in some cases capable of compliance at post adaptation stage (where noted in comments).

	Clause No	Requirements as per AS4299	R	C	Comments
Drawings					
1	2.3	Provision of drawings showing the housing unit in its pre-adaptation and post-adaptation stages	☑	☑	
3	3.3.2	A continuous accessible path of travel from street frontage and vehicle parking to entry complying with AS 1428.1	☑	☑	Access is provided from street by means of an AS1428.1 compliant ramp / walkway and from accessible parking space by means of a lift. Details to be verified at the CC stage
11	3.8	Letterboxes to be on hard standing area connected to accessible pathway	☑	☑	Letterboxes for all Adaptable units to be between 900mm to 1100mm above FFL and min

	Clause No	Requirements as per AS4299	R	C	Comments
					500mm from any internal corner. Details to be verified at the CC stage
	Parking				
14	3.7.2	Car parking space or garage min. area 6.0Mx 3.8M or a hard surfaced level outside of 5.4Mx3.8M is provided as a sheltered car park or can be provided in the future	✓	✓	Can also be provided as per AS2890.6, which is permissible. Details to be verified at the CC stage
	Accessible Entry				
20	4.3.1	Accessible entry	✓	✓	Refer to door circulation requirements noted earlier in the report. Details to be verified at the CC stage
22	4.3.2	Accessible entry to be level (i.e. maximum of 1:40 slope)	✓	✓	
23	4.3.2	Threshold to be low-level	✓	✓	
24	4.3.2	Landing to enable wheelchair manoeuvrability	✓	✓	
25	4.3.1	Accessible entry door to have 850mm min. clearance	✓	✓	Usually achieved by 920mm door leaf. Door circulation spaces to be as per AS1428.1
27	4.3.4	Door lever handles and hardware to AS1428.1	✓	✓	Details to be verified at the CC stage
	Interior: General				
32	4.3.3	Internal doors to have 820mm minimum clearance	✓	✓	Provide an 850mm clear opening door to the adaptable bathroom and 1 main bedroom. Rest to have 820mm clear opening.
33	4.3.7	Internal corridors min. width of 1000mm	✓	✓	
34	4.3.7	Provision for compliance with AS1428.1 for door approaches	✓	✓	Can be compliant post adapt, with easily removable cabinetry.
	Living room and dining room				
36	4.7.1	Circulation space of min. 2250mm diameter.	✓	✓	
38	4.7.4	Telephone adjacent to GPO	✓	✓	Details to be verified at the CC stage
41	4.10	Potential illumination level minimum 300 lux	✓	✓	Details to be verified at the CC stage
	Kitchen				

	Clause No	Requirements as per AS4299	R	C	Comments
42	4.5.2	Minimum width 2.7M, (1550mm clear between benches)	✓	✓	Can be compliant post adaptation.
43	4.5.1	Provision for circulation at doors to comply with AS1428.1	✓	✓	N/A, No door provided to kitchen.
44	4.5.5	Provision for benches to include at least one work surface of 800mm length, adjustable in height from 750mm to 850mm or replaceable.	✓	✓	Can be compliant post adaptation.
45	4.5.5	Refrigerator adjacent to work surface	✓	✓	Can be compliant post adaptation.
46	4.5.6	Kitchen sink adjustable to heights from 750mm to 850 mm or replaceable	✓	✓	Can be compliant post adaptation.
47	4.5.6	Kitchen sink bowl maximum 150mm deep	✓	✓	Can be compliant post adaptation.
48	4.5.6 e	Tap set capstan or lever handles or lever mixer	✓	✓	Can be compliant post adaptation.
49	4.5.6 e	Tap set located within 300mm of front of sink	✓	✓	Can be compliant post adaptation.
51	4.5.7	Cooktops to include either front or side controls with raised cross bars.	✓	✓	Can be compliant post adaptation.
52	4.5.7	Cooktops to include isolating switch	✓	✓	Can be compliant post adaptation.
53	4.5.7	Work surface minimum 800 mm length, adjacent to cook top at same height	✓	✓	Can be compliant post adaptation.
54	4.5.8	Oven located adjacent to an adjustable height or replaceable work surface. It is recommended that a side door opening wall oven is provided with the clear work surface to be on the opposite side of the hinge.	✓	✓	Can be compliant post adaptation.
59	4.5.11	GPOs to comply with AS1428.1. At least one double GPO fully within 300mm of front of work surface.	✓	✓	Can be compliant post adaptation.
60	4.5.11	GPO for refrigerator to be easily reachable when the refrigerator is in its operating position.	✓	✓	Can be compliant post adaptation.
61	4.5.4	Slip-resistant floor surface as per AS3661 and AS 4586	✓	✓	Details to be verified at the CC stage.
Main bedroom					

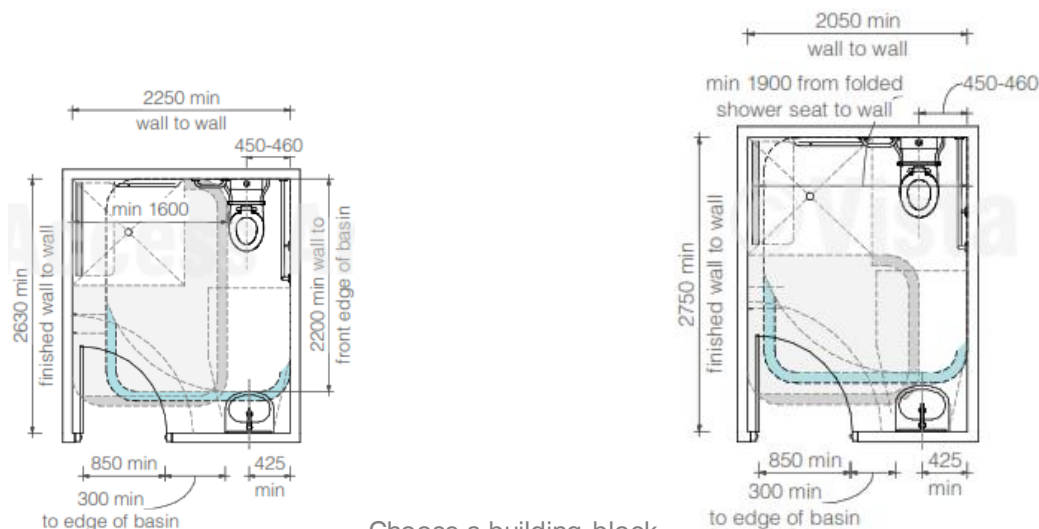


[Image description: Diagram showing circulation spaces around a queen bed as per AS4299]

- | | | | | | |
|----|-------|---|---|---|--|
| 62 | 4.6.1 | At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulation space requirements of AS1428.2 | ✓ | ✓ | A space of 1.54Mx2.07M at the base or one side of the bed is considered to be compliant. |
|----|-------|---|---|---|--|

Main Adaptable bathroom

- | | | | | | |
|----|-------|---|---|---|--|
| 75 | 4.4.1 | Provision for bathroom area to comply with AS1428.1 | ✓ | ✓ | A bathroom with minimum space of 2.05Mx 2.75M or 2.25Mx2.63M or 2.35Mx2.45M is required. |
|----|-------|---|---|---|--|



Choose a building block.

[Image description: Diagram shows Post Adaptation bathroom layout and location of wall reinforcements in pre-adaptation locations with reference to post adaptation layout]

Noted dimensions on the above diagrams are approximate and depend on selected features such as size of the basin.

- | | | | | | |
|----|---------|--|---|---|--|
| 76 | 4.4.2 | Slip-resistant floor surface as per AS3661 and AS 4586 | ✓ | ✓ | Details to be verified at the CC stage |
| 77 | 4.4.4 f | Shower recess - no hob. Minimum size 1160x1100mm to comply with AS1428.1 | ✓ | ✓ | Details to be verified at the CC stage |

	Clause No	Requirements as per AS4299	R	C	Comments
78	4.4.4 f	Shower area waterproofed to AS3740 with floor to fall to waste	✓	✓	Details to be verified at the CC stage
79	4.4.4 f	Recessed soap holder	✓	✓	If recessed is not provided a heavy duty load bearing soap holder will be required.
80	4.4.4 f	Shower taps positioned for easy reach to access side of shower sliding track.	✓	✓	Details to be verified at the CC stage
82	4.4.4 h	Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook plumbing and wall-strengthening provision (unless brick walls provided)	✓	✓	Reinforcement to wall to take the grabrails has to be provided as per requirements of AS4299
83	4.4.4 h	Provision for grabrail in shower to comply with AS1428.1	✓	✓	Details to be verified at the CC stage
		[Image description: Diagram showing wall reinforcement requirements for the Adaptable unit for WC and Shower, in post adaptive position]			
86	4.4.4 c	Tap sets to be capstan or lever handles with single outlet	✓	✓	Details to be verified at the CC stage.
88	4.4.4 g	Provision for washbasin with clearances to comply with AS1428.1	✓	✓	Min of 425mm is required from the side wall to the centre line of the basin. Basin is required to be at least 300mm away from door swing.
90	4.4.4 d	Double GPO bedside mirror	✓	✓	Details to be verified at the CC stage.
	Toilet				

	Clause No	Requirements as per AS4299	R	C	Comments
92	4.4.3	Provision of either 'visitable toilet' or accessible toilet	✓	✓	Visitable is provided. Accessible can be provided post-adaptation.
93	4.4.1	Provision to comply with AS 1428.1	✓	✓	
94	4.4.3	Location of WC pan at correct distance from fixed walls	✓	✓	450mm – 460mm is required from the side wall to the centre line of the WC pan. Details to be verified at the CC stage.
95	4.4.4 h	Provision for grabrail zone.	✓	✓	Reinforcement to wall to take the grabrails has to be provided as per requirements of AS4299 unless brick walls have been provided. Details to be verified at the CC stage.
96	4.4.2	Slip-resistant floor surface as per AS3661 and AS 4586	✓	✓	Details to be verified at the CC stage.
Laundry					
98	4.8	Circulation at doors to comply with AS1428.1	✓	✓	N/A cupboard style laundry is proposed.
99	4.8	Provision for adequate circulation space in front of or besides appliances (minimum 1550mm depth)	✓	✓	Details to be verified at the CC stage.
100	4.8 e	Provision for automatic washing machine	✓	✓	Details to be verified at the CC stage.
102	4.8 a	Where clothes line is provided, an accessible path of travel to this	✓	✓	Details to be verified at the CC stage.
105	4.8 g	Double GPO	✓	✓	Details to be verified at the CC stage.
108	4.9.1	Slip-resistant floor surface as per AS3661 and AS 4586	✓	✓	Details to be verified at the CC stage.
Door locks					
110	4.3.4	Door hardware operable with one hand, located 900-1100mm above floor	✓	✓	Details to be verified at the CC stage.

Requirement

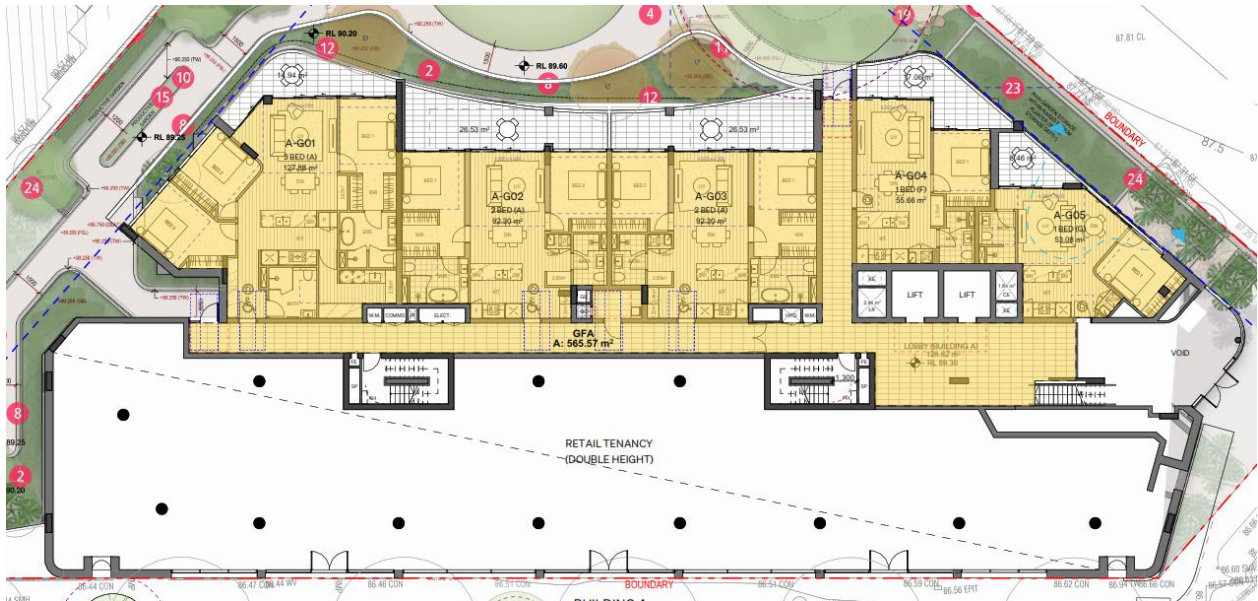
- Where the location of fixtures such as WC pans, wash basins, sinks, laundry fixtures and any other fixtures are to be relocated post-adaptation to comply with AS1428.1, then the service pipes (waste and water supply pipes) have to be laid in the correct AS1428.1 specified position at pre-adaptation itself and the services to be capped off for future use.

General recommendations (Advisory only / not mandatory)

- It is recommended that where balconies / outdoor areas have been provided to Adaptable units, provide the sliding doors such that the floor tracks are recessed, so level access can be provided to the balcony / outdoor areas from inside the unit.
 - Sliding doors in the living areas leading to outdoor areas are to be such that opening of the door is able to provide a clear opening space of 850mm with a latch side space of 530mm.
 - If the balcony is to be brought up to the same level as the unit at post-adaptation by means of decking etc. then ensure that the minimum handrail height requirements required under the BCA are complied with, considering the raised height of the balcony.
 - Consideration to be given to recess the slab to the wet areas so that there is no level difference once the floor finishes are applied (i.e. flush transition from carpeted area to tiles area).
-

Mosman Business Centres DCP 2012

The DCP requires all units in the development to meet or exceed Silver Level in accordance with the Livable Housing Design Guidelines



Ground floor plan



Level 1 floor plan



Level 1 floor plan



Level 2 floor plan (Typical / similar for Levels 2-4)



Level 5 floor plan (Typical / similar for Levels 5-8)

By incorporating the requirements of the below Checklist in the Specifications of the project, the nominated Livable units can achieve full compliance with Livable Housing Guidelines- Silver Level

Note that in this case the adaptable units are also be counted as Livable / LHA Silver level unit in which case the below requirements apply in addition to the AS4299 requirements.

All details to be verified at the CC stage

Design Element	Requirements (All dimensions noted are required to be clear of finishes as required under AS1428.1)	Compliance /Comments
1 Dwelling Access	a. Provide a safe and continuous 1M clear width pathway from front site boundary to an entry door to the dwelling. b. Path including any ramps and walkways to have no steps, even firm, slip-resistant surface, max 1:40 crossfall, max slope of 1:14 with landings of 1.2M every 9M and landings every 15M for 1:20 walkways. 1M clear width of ramps are required. c. Pathway may be provided via an associated car parking in which case the car parking space to be ▪ 3200 (width) x5400 (length), ▪ even, firm and slip resistant, level surface of 1:40 max grade and 1:33 max grade for bitumen d. Step ramp may be provided at an entrance doorway. The step ramp to be max 190mm height, max 1:10 grade, max 1900mm length. e. Level landings of 1200mm are required exclusive of the swing of the door or gate and to be provided at the head and foot of the ramp.	Complies with spatial requirements. Details to be verified at CC stage of works N/A Access is provided from the site boundary. N/A N/A
2 Dwelling entry	a. Dwelling Entry should provide an entrance door with i. min clear opening width of door to be 820mm ii. Step free threshold of max 5mm with rounded or beveled lip iii. reasonable shelter from the weather b. Level landing of 1200x1200mm at step-free entrance door on the arrival / external side of the entrance door. c. Max permissible threshold is less than 56mm where provided with a 1:8 grade threshold ramp. d. Entrance to be connected to a pathway (specified under Element 1) Note: The entrance to incorporate waterproofing and termite management requirements as specified in the NCC	Complies with spatial requirements. Details to be verified at CC stage of works Complies with spatial requirements. Details to be verified at CC stage of works Complies with spatial requirements. Details to be verified at CC stage of works Capable of compliance. Waterproofing and termite management by others.
3	a. Doors to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartments to be i. 820mm clear opening and	Capable of compliance. Details to be verified at CC stage of works

Internal doors and corridors

- ii. provided with a level threshold of max 5mm between abutting surfaces with rounded or beveled lip

- b. Internal corridors and passageways to doorway to be min 1M clear (measured from skirting to skirting)

Capable of compliance. Details to be verified at CC stage of works

4

Toilet

- a. One Toilet to be provided on the ground or entry level that provides,
 - i. Min 900mm between walls or amenities
 - ii. Min 1200mm clear space in forward of the WC pan exclusive of door swing.
 - iii. The toilet pan to be positioned in the corner of a room to enable handrails

Capable of compliance. Details to be verified at CC stage of works

5

Shower

- a. One bathroom should feature a slip resistant, hobless shower recess. Shower screens are permitted provided they can be easily removed at a later date.
- b. The shower recess should be located in the corner of the room to enable the installation of grabrails at a future date.

Capable of compliance. Details to be verified at CC stage of works

For hobless specification please see Australian Standard AS3740-3.6. Reinforcement guidelines for walls in bathrooms and toilets are found in element 6

6

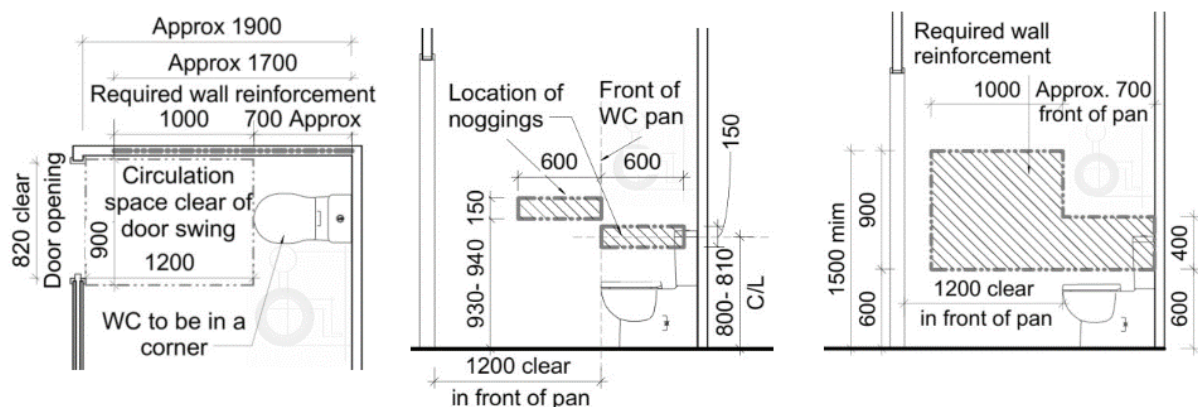
Reinforcement of bathroom & toilet walls

- a. Except for walls constructed of solid masonry or concrete, the walls around the shower, bath (if provided) and toilet should be reinforced to provide a fixing surface for the safe installation of grabrails.
- (b), (c) and (d) the walls around toilet, bath and shower to be via:
 - i. Noggins with a thickness of at least 25mm
 - ii. Sheeting with a thickness of at least 12mm

Capable of compliance. Details to be verified at CC stage of works

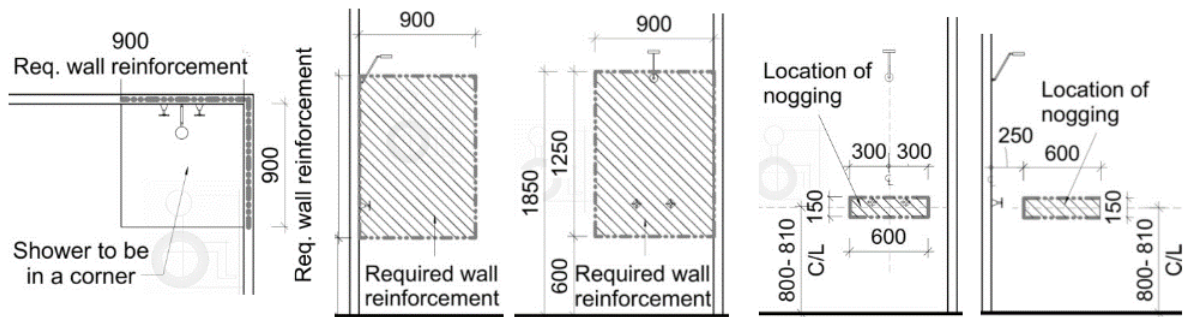
Capable of compliance. Details to be verified at CC stage of works

Refer to diagrams provided in the Livable Housing Guideline document.

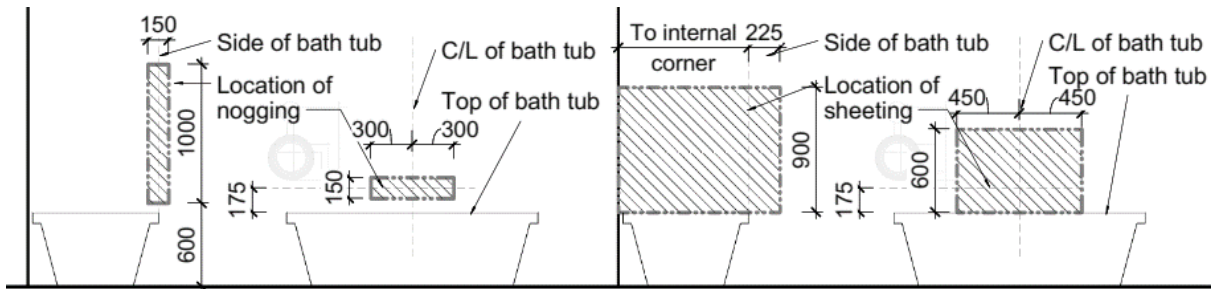


[Image description: Diagram shows wall reinforcements options of noggins or sheeting for a toilet]

Note: In a standalone toilet, the wall reinforcements are required to both sides. Any door openings/ door frames are required to be clear of the required wall reinforcements. If wall with cavity slider is used for wall reinforcements, then allow for additional thickness for the wall.



[Image description: Diagram shows wall reinforcements options of noggings or sheeting for a shower]



[Image description: Diagram shows wall reinforcements options of noggings or sheeting for a bathtub]

7

Internal Stairways

Stairways in dwellings must feature:

- a continuous handrail on one side of the stairway where there is a rise of more than 1M.

N/A

No internal stairway in units.

Vista Access Architects - Statement of Experience

Vista Access Architects specialises in Disability Access consultancy services including, Disability Access and inclusion requirements, Access Performance Solutions under the NCC, NDIS SDA Certifications, Livable Housing Certifications and Changing Places Certifications.



Farah Madon AM - Director

- ACA Fellow and Accredited Access Consultant
- NDIS Accredited SDA Assessor
- Livable Housing Design Guideline Assessor
- NCC Livable Housing Design Standard Assessor
- Changing Places Assessor



Accredited Assessor
Farah Madon SDA00001



Access Institute
Livable Housing
Design Guideline
Assessor
2025/2026

- Accredited and Fellow member of the Access Consultants Association (ACA) - 281
- NDIS Accredited SDA (Specialist Disability Accommodation) Assessor - SDA00001
- Architect registered with the NSW Architect's Registration Board - Registration 6940
- Member of Australian Institute of Architects (RAIA), A+ Practice Member - 49397
- Livable Housing Design Guideline Assessor - LHDG004
- NCC Livable Housing Design Standard Assessor
- Global Alliance on Accessible Technologies and Environments (GAATES)
- Registered Assessor of Changing Places Australia - Registration CP006

Educational Profile and Qualifications:

- Bachelor of Architecture Degree with Honours (B.Arch.)
- International Certification of Accessibility Consultants – Built Environment (ICAC-BE) Program, Level 2 Advanced Accessibility Consultant
- Diploma of Access Consulting

Farah has 20 years of experience of working in the field of Architecture and Access and is the lead author of the first NDIS SDA Design Standard



Participation on the following Key Access related Committees

- Current President of Access Consultants Association (previously known as ACAA)
- Member of Standards Australia's ME-064 Committee responsible for the AS4299 and AS1428 suite of standards.
- Member of Australian Institute of Architect's National Enabling Architecture Committee
- Member of Changing Places Australia Technical Advisory Team
- Past member of the Penrith City Council's Access Committee (2010-2025)



Some Awards presented to Farah include:

- 2026 Appointed a Member of the Order of Australia (AM) in the Australia Day 2026 Honours List, for 'significant service to architecture and to people with disability'
- 2023 Mulgoa Local Woman of the Year
- 2022 ACA Fellow Award
- 2021 Australian Access Awards - Winner
- 2021 Excellence in Inclusion - Altitude Award
- 2021 Western Sydney Woman of the Year - Finalist
- 2019 Penrith Citizen of the Year
- 2019 ACA Access Inclusion Award





Vanessa Griffin

- **ACA Accredited Access Consultant**
- **NDIS Accredited SDA Assessor**
- **Livable Housing Design Guideline Assessor**
- **Changing Places Assessor**
- Accredited member of ACA - 500
- NDIS Accredited SDA Assessor SDA00009
- Registered LHDG Assessor - LHDG012
- Changing Places Australia Assessor - CP010



Art Phonsawat

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- **Livable Housing Design Guideline Assessor**
- **Changing Places Assessor**
- Accredited member of ACA - 695
- NDIS Accredited SDA Assessor SDA00125
- Registered LHDG Assessor - LHDG059
- Changing Places Australia Assessor - CP085



Rushi Pansare

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- Affiliate Member of ACA - 898
- Bachelor's degree in Architecture B.Arch



Trin Woo

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- Masters in Architecture USYD



Swapna Menon

- **ACA Affiliate Access Consultant**
- Affiliate Member of the ACA - 798
- Bachelor's degree in Architecture B.Arch

