

STATE SIGNIFICANT DEVELOPMENT APPLICATION (SSDA)

494-500 & 516 Military Road, Mosman NSW 2088



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NatHERS NOTES

NatHERS Thermal Comfort Inclusions External Walls External wall – 200mm Concrete and metal stud wall with R2.0 insulation (insulation only value) External wall – Metal cladding on metal framed walls with R2.0 insulation (insulation only value) Any concrete columns within the external wall envelope are assumed to have the same R2.0 insulation <u>Upgrades applied as per Thermal Comfort Upgrades table;</u> External wall – R2.5 insulation (insulation only value) External Colour - Medium (0.475 < SA < 0.7) default
Inter-tenancy walls Walls adjacent to neighbours – 75mm AAC panel, with a minimum R1.0 insulation (insulation only value) Walls adjacent to hallways – 75mm AAC panel, with a minimum R1.0 insulation (insulation only value) Walls adjacent to lift shafts and fire stairs – Minimum 150mm concrete with furring channel and plasterboard lining, with a minimum R1.0 insulation (insulation only value)
Walls within dwellings Plasterboard on metal studs – no insulation
Floors Floors with carpark below – 200mm Concrete with a minimum R1.0 subfloor insulation (insulation only value) Floors with part open subfloor is below – 200mm Concrete with a minimum R1.0 subfloor insulation (insulation only value) Floors between residential levels – 200mm Concrete between levels, no insulation required <u>Upgrades applied as per Thermal Comfort Upgrades table;</u> Floor with carpark and open subfloor is below – R2.5 insulation (insulation only value)
Floor coverings Carpet to bedrooms, tiles to bathrooms and laundry, timber elsewhere
Roof and ceilings Roof – Concrete roof, no insulation above Ceiling where roof is over – Plasterboard ceiling with R4.0 insulation (insulation only value) Ceiling where balconies are over – Plasterboard ceiling with R1.5 insulation (insulation only value) Ceiling where neighbouring units are above – Plasterboard ceiling, no insulation <u>Upgrades applied as per Thermal Comfort Upgrades table;</u> Ceiling where roof is over – Plasterboard ceiling with R6.0 insulation (insulation only value) Ceiling where balconies are over – Plasterboard ceiling with R4.0 insulation (insulation only value) Thermal break applied as per NCC 2022 requirements. External Colour - Medium (0.475 < SA < 0.7)

Glazing – doors and windows Glazed windows and doors:	
Base inclusion	Awning: U-value: 3.17 (equal to or lower than), SHGC: 0.39 (±5%) Hinged glazed doors: U-value: 3.10 (equal to or lower than), SHGC: 0.39 (±5%) Sliding doors/windows : U-value: 3.19 (equal to or lower than), SHGC: 0.36 (±5%) Fixed glazing : U-value: 3.02 (equal to or lower than) SHGC: 0.37 (±5%)
Upgrade 1 Upgrade applied as per Thermal Comfort Upgrades table:	Awning: U-value: 2.59 (equal to or lower than), SHGC: 0.37 (±5%) Sliding doors/windows : U-value: 2.30 (equal to or lower than), SHGC: 0.37 (±5%) Fixed glazing : U-value: 2.28 (equal to or lower than), SHGC: 0.36 (±5%)

Given values are AFRC total window system values (glass and frame)
Note: BASIX Thermal Comfort Protocol Table 1 SHGC value of the unit should be within the range specified on the Assessor Certificate.
Window frame colour - Default Medium (0.475 < SA < 0.7)
Window restrictors
Window restrictors are modelled in bedrooms to all windows with a sill height under 1.7m and a fall height over 2m from the floor level of the room.

External Shading Shading as per stamped documentation
Ceiling Penetrations Sealed LED downlights at a maximum of one every 5.0m² (one fitting per 5m² as an upgrade option with a note required on a the plan). Once lighting plan has been developed NatHERS certificate can be updated to improve specification. <u>Upgrades applied as per Thermal Comfort Upgrades table;</u> IC-Rated LED downlights
Ceiling Fan 1200mm ceiling fan to bedrooms and living room applied as per Thermal Comfort Upgrades table

BASIX Water Commitments Landscape - indigenous and low water use species Indigenous and low water use species: No BASIX requirement

Central rainwater storage Tank size: 5,000L Collecting from 400m² roof area Connected to outdoor tap for irrigation of 500m² common area landscaping & 5 car wash bays
Fire sprinkler test water Three sprinkler systems nominated in BASIX: one for parking areas, one per residential building Parking area sprinkler: No BASIX restriction Residential building sprinklers: Fire sprinkler test water must be contained in a closed loop system (tank required)

BASIX Energy inclusions Hot water system Central electric heat pump – air sourced with unit efficiency of 3.0 < COP ≤ 3.5 and R1.0 (~38mm) insulation to ring main and supply risers
--

Alternative energy Photovoltaic system: rated electrical output (min.) 5 peak kW (~10-11 panels)
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Lift motors All lifts to have gearless traction with VVVF motor with lift load capacity of ≥1,0001kg to ≤1,500kg
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Rev	Date	By	Chk	KU / MR	Description
A	18/06/2028	KG			Issue for SSDA

- All works to be in accordance with authority & statutory approvals.
- Refer to site survey for all information relating to existing site conditions.
- All Boundary information to be confirmed by registered surveyor before commencing works on site.
- Refer to Arborist Report and Landscape Documentation for all information relating to trees and their retention/removal, and all landscape works.
- Drawings to be read in conjunction with all Specifications and Schedules; all specialist consultant documentation (BASIX, NatHERS, Section U Certificates).
- Minor changes to building form & configuration may be required after Development Consent.
- Do not scale from drawing; figured dimensions only to be used.
- Building Contractor to verify all dimensions before commencing work.



Auckland Brisbane Ho Chi Minh Melbourne Perth Sydney	Project Name Project Number Project Address Country	Military Road, Mosman 14139 494-500 & 516 Military Road, Mosman Perth Mosman NSW 2088 Cammeraygal
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SSDA
Drawing Name Cover Page
Drawing Scale Drawing No. DA000
1:0.63 @ A1 Revision A

Site Area: 3170 m²

Proposed GFA: 10,596 m²

Proposed FSR: 3.34 :1

	Building A (Lang Street)										Building B (Hale Road)										TOTAL	GFA	NSA	Non Res	Cross Vent	Solar	No Solar				
	1B	2B	3B	Sub	CV	Solar	No Solar	GFA	NSA	Non Res	1B	2B	3B	Sub	CV	Solar	No Solar	GFA	NSA	Non Res											
	Residential										Residential																				
LEVELS	Ground Level (Retail)	-	-	-	-	-	-	82	0	676	73%	-	-	-	-	-	-	-	63	0	82	92%	-	146	0	758	-	-	-		
	Ground Level (Res)	2	2	1	5	2	5	0	567	414		0	-	-	-	-	-	-	61	0	0		5	629	414	0	2	5	0		
	Level 01	5	6	1	12	6	8	4	1,074	957		0	89%	0	3	1	4	3	5	0	402		372	0	16	1,477	1,328	0	9	13	4
	Level 02	5	6	1	12	6	8	4	1,074	957		0	89%	0	3	1	4	3	5	0	402		372	0	16	1,477	1,328	0	9	13	4
	Level 03	5	6	1	12	6	8	4	1,074	957		0	89%	0	3	1	4	3	5	0	402		372	0	16	1,477	1,328	0	9	13	4
	Level 04	7	5	0	12	6	8	4	1,021	902		0	88%	0	3	1	4	3	5	0	402		372	0	16	1,477	1,328	0	9	13	4
	Level 05	2	5	1	8	6	8	4	1,021	902		0	88%	0	2	1	3	3	3	0	307		279	0	15	1,329	1,181	0	9	11	4
	Level 06	2	5	1	8	6	6	2	813	713		0	88%											8	813	713	0	6	6	2	
	Level 07	2	5	1	8	6	6	2	813	713		0	88%											8	813	713	0	6	6	2	
	Level 08	2	5	1	8	6	8	0	813	713		0	88%											8	813	713	0	6	8	0	
Roof	-	-	-	-	-	-	-	52	0													8	813	713	0	6	8	0			
																							-	52	0						

	GFA % 77% 6%									
Subtotal	32	45	8	85	50	63	22	8199	7037.9	676
Achieved Mix	38%	53%	9%	100%	59%	74%	26%	m²	m²	m²

Unit Mix Total	1B	2B	3B	Total	62	81	22
	32	45	8	85	50	63	22
	32	45	8	85	50	63	22
Target Mix	33%	57%	10%	100%			

DISCLAIMER

These areas are schematic only and subject to council and other requisite approval. Areas are not to be used for marketing purposes.

This scheme has been prepared generally within the bounds of the current site dimensions however is subject to detailed discussion with council, hence may be subject to change once advice is received.

This design has been prepared without structural or services engineering input hence is subject to change once advice is received.

The information contained herein is believed to be correct at time on preparation based on the information available at the time of preparation.

Recipients must make their own investigations to satisfy themselves in all aspects.

The design and accompanying documentation contained herein is and remains the intellectual property of dKO Architecture (NSW) P/L.

Parking Provision

No. of Apartments	Residential							Retail	Total
	1 Bed	2 Bed	3 Bed	Adaptable		Visitor/ Carwash	Total	Area sqm	
	32	56	12	100		100		758	
DCP Rate	1	1.2	1.5	20%		1/4 Units	1/12 Units	1 per 74m²	
DCP Required	32	67.2	18	20		25.00	8.33	142	152
Proposed	32	49	21	18	2	15		137	147
Level									
LG						13	13		13
B1	32	8		8	2	2	52	10	62
B2		41	21	10			72		72
Total	32	49	21	18	2	15	137	10	147

Bicycle	No. of Units	Rate	Req	Prop
Residential	100	1 per 4 units	25.0	26
Retail	755	1 per 200m²	3.8	4

Motorcycles	147	1 per 25 parking	5.9	6
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						GFA %	15%	1%	
0	11	4	15	12	18	0	1638.5	1393	82.1
0%	73%	27%	100%	80%	120%	0%	m²	m²	m²

100						
100	9,838	8,431	758	62	81	22
		86%		62%	81%	22%
				60%	70%	15%

Rev	Date	By	Chk	Description
A	18/06/2028	KG	KL/ MR	Issue for SSDA

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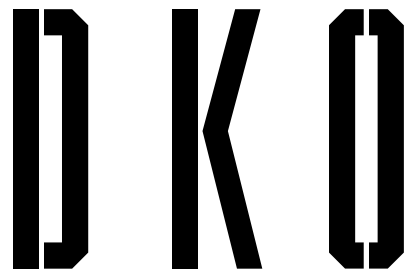
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Project Name
Project Number
Project Address

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Country
Cammeraygal

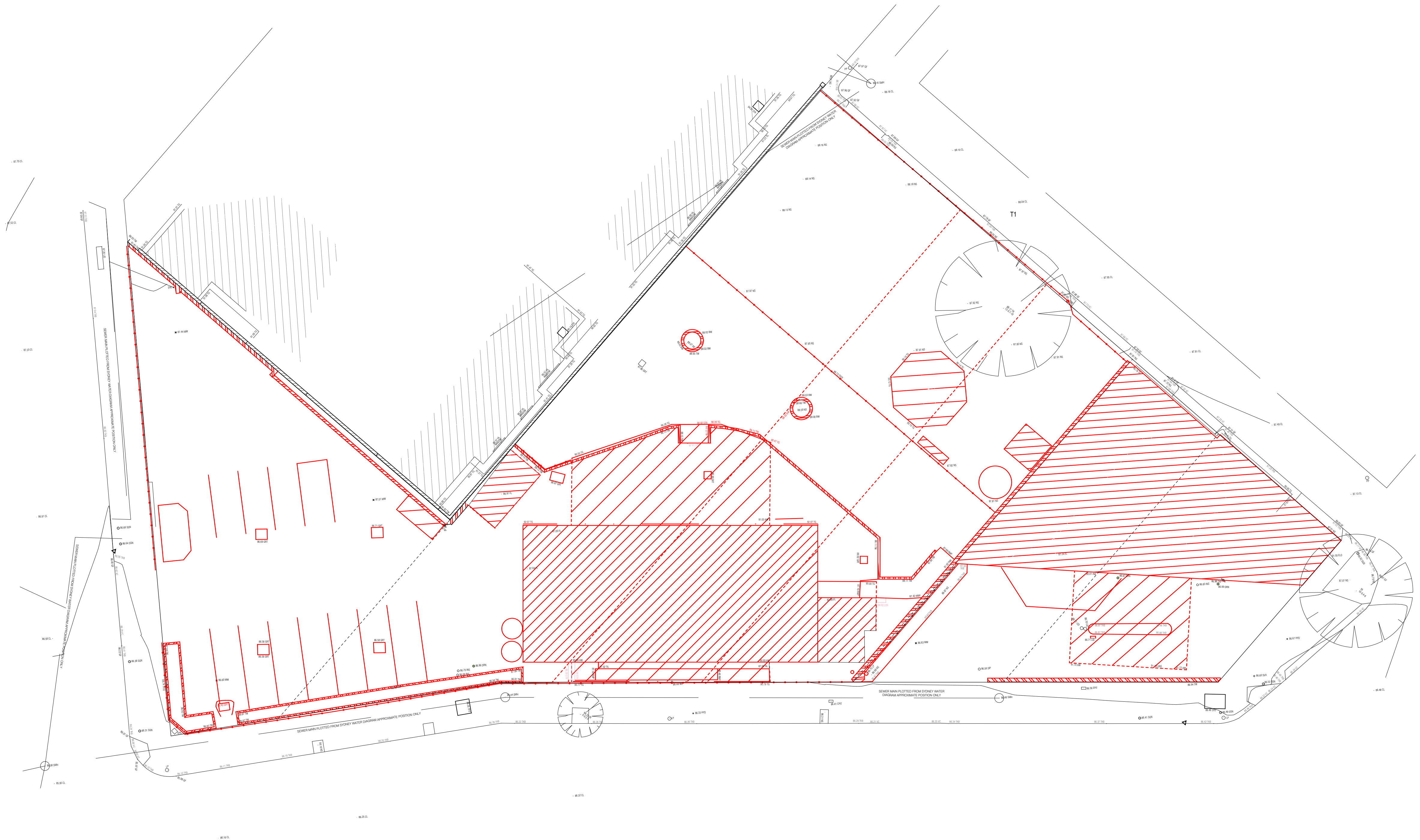
SSDA

Development Summary

Drawing Name
Drawing No.

DA001

@ A1
Revision
A

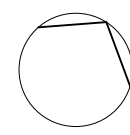


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Project Name
Project Number
Project Address

Country

Military Road, Mosman
14139
494-500 & 516 Military Road, Mosman
Mosman NSW 2088

Cammeraygal

SSDA

Drawing Name
Demolition Plan

Drawing Scale
Drawing No.
DA100

1:200 @ A1
Revision
A



NOTE:
REFER TO LANDSCAPE DRAWING 2632-04
FOR LEGEND

Rev	Date	By	Chk	Description
A	18/06/2028	KG	KL/MR	Issue for SSDA

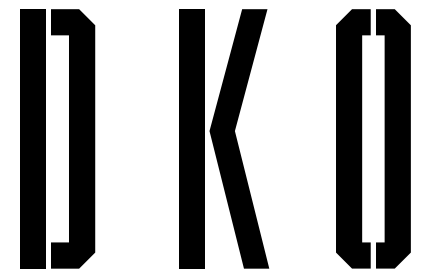
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Project Name
Project Number
Project Address

Country

Military Road, Mosman
14139
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Mosman NSW 2088

Cammeraygal

SSDA

Drawing Name
Site & Roof Plan

Drawing No.
DA101

1:200 @ A1
Revision
A

Parking Provision

	Residential							Retail	Total
	1 Bed	2 Bed	3 Bed	Adaptable		Visitor/ Carwash	Total	Area	
				2 Bed	3 Bed			sqm	
No. of Apartments	32	56	12	100		100		758	
DCP Rate	1	1.2	1.5	20%		1/4 Units	1/12 Units	1 per 74m ²	
DCP Required	32	67.2	18	20		25.00	8.33	142	152
Proposed	32	49	21	18	2	15		137	147
Level									
LG						13	13		13
B1	32	8		8	2	2		52	62
B2		41	21	10				72	72
Total	32	49	21	18	2	15		137	147

Bicycle	No. of Units	Rate	Req	Prop
Residential	100	1 per 4 units	25.0	26
Retail	755	1 per 200m²	3.8	4

Motorcycles	No. of Units	Rate	Req	Prop
	147	1 per 25 parking	5.9	6



Rev	Date	By	Chk	Description
A	18/06/2026	KLJ/KG	KLJ/MR	Issue for SSDA

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Assessor name

Trinity Code

Accreditation No.

HERA 10033

Property Address

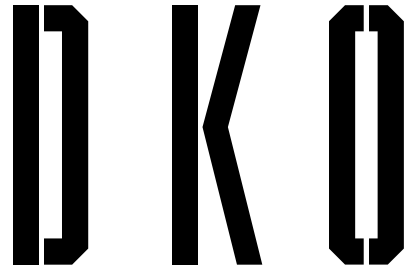
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Project Name
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Military Road, Mosman
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Country
Cammeraygal

SSDA

Drawing Name
Plan - Basement 2

Drawing No.
DA200

@ A1
Revision
A

Parking Provision

	Residential							Retail	Total
	1 Bed	2 Bed	3 Bed	Adaptable		Visitor/ Carwash	Total	Area sqm	
				2 Bed	3 Bed				
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Residential	100	1 per 4 units	25.0	26
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Motorcycles	No. of Units	Rate	Req	Prop
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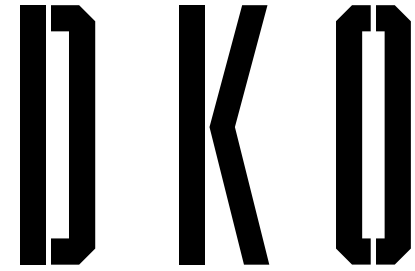
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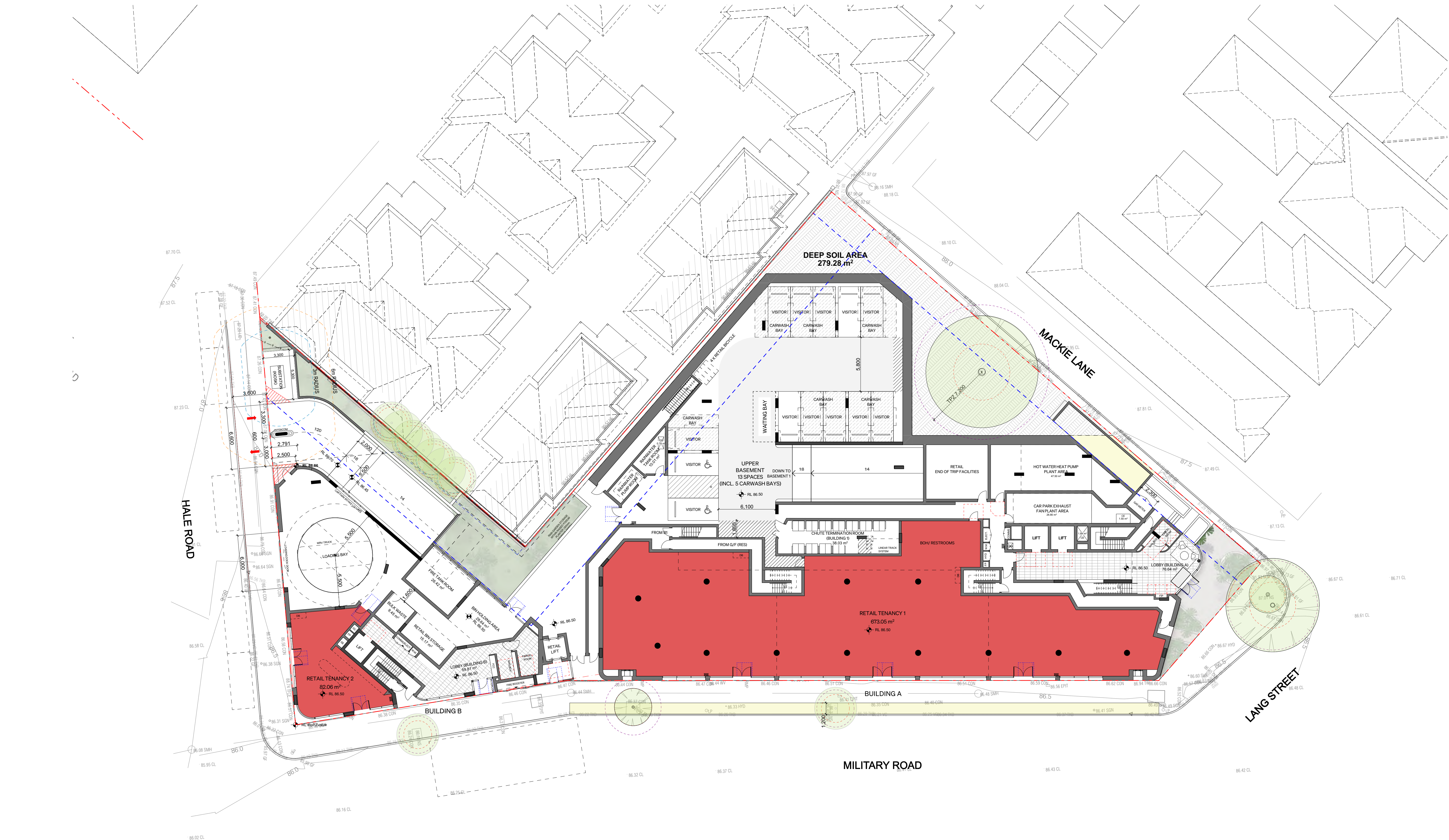
Country
Cammeraygal

SSDA

Drawing Name
Plan - Basement 1

Drawing No.
DA201

@ A1
Revision
A



Rev	Date	By	Chk	Description
A	18/06/2028	KLJ/KG	KLJ/MR	Issue for SSDA

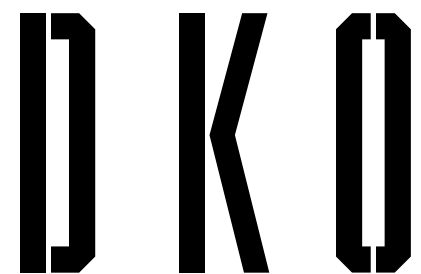
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Project Name
Project Number
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SSDA

Drawing Name
Plan - Lower Ground Floor

Drawing Scale
Drawing No.
DA202

@ A1
Revision
A

NOTE:
REFER TO LANDSCAPE DRAWING 2632-04
FOR LEGEND



Rev	Date	By	Chk	Description
A	18/06/2026	KLJ/KG	KL/MR	Issue for SSDA

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Mosman NSW 2088

Country
Cammeraygal

SSDA

Drawing Name
Plan - Ground Floor

Drawing Scale
Drawing No.
DA203

@ A1
Revision
A



Rev	Date	By	Chk	Description
A	18/06/2026	KGKL	KL/MR	Issue for SSDA

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Certificate No. #HR-3F6AXZ-01

Scan QR code or follow website link for rating details.

Assessor name: Tracy Code

Accreditation No.: HERO 10033

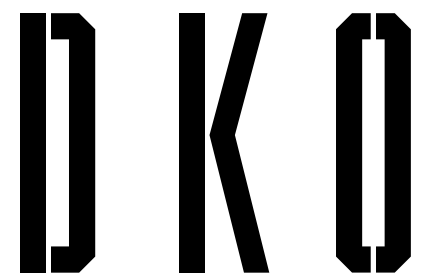
Property Address: 494-516 Military Road, Mosman, NSW, 2088

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Project Number: 14139
Project Address: 494-500 & 516 Military Road, Mosman NSW 2088
Country: Cammeraygal

SSDA

Drawing Name: Plan - Level 2

Drawing Scale: 1:200 @ A1
Drawing No.: DA205

Revision: A



Rev	Date	By	Chk	Description
A	18/06/2026	KGKL	KL/MR	Issue for SSDA

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SSDA

Drawing Name
Plan - Level 3

Drawing Scale
Drawing No.
DA206

1:200 @ A1
Revision
A



Rev	Date	By	Chk	Description
A	18/06/2028	KG/KL	KL/MR	Issue for SSDA

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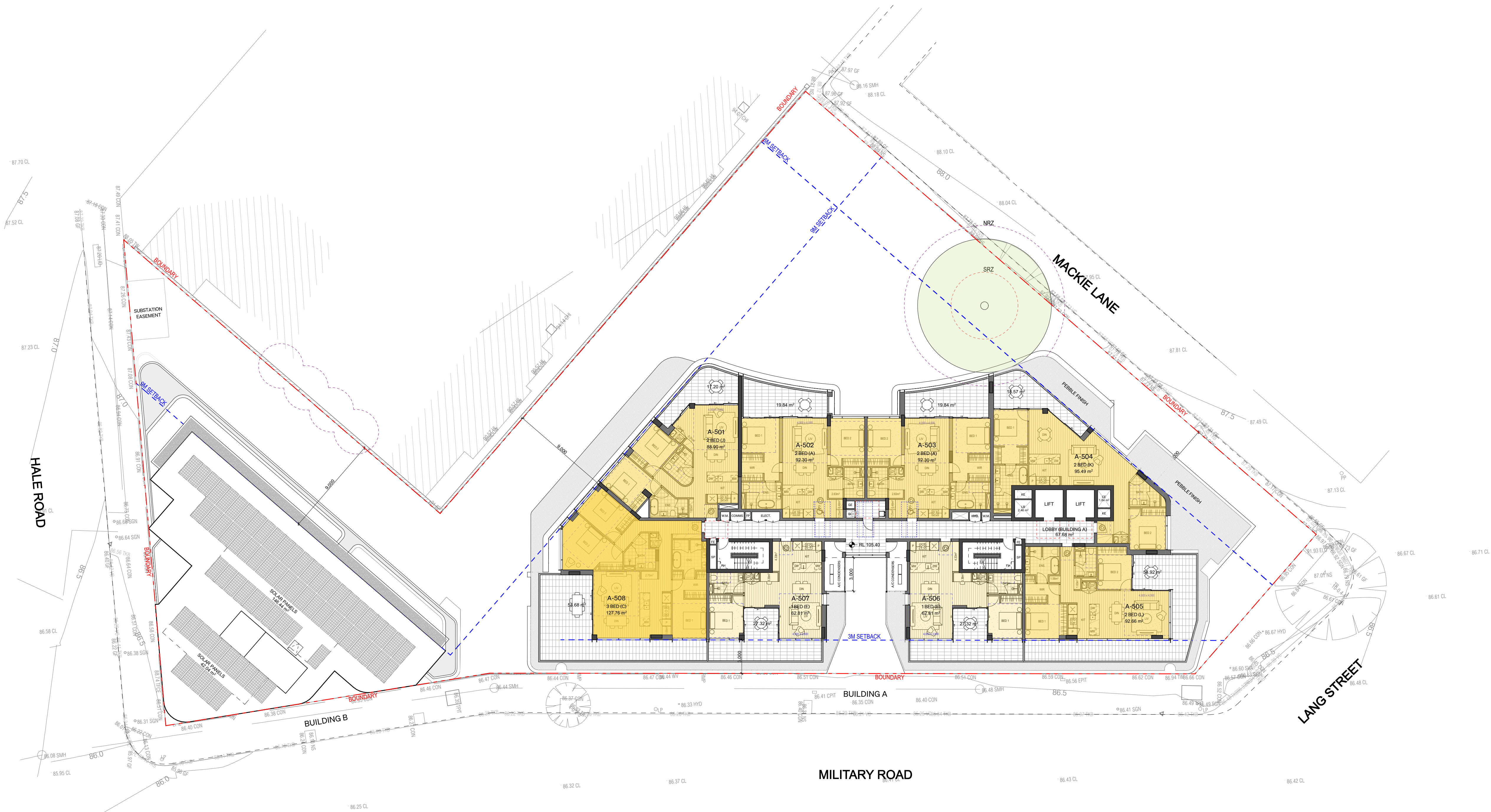
Country
Cammeraygal

SSDA

Drawing Name
Plan - Level 4

Drawing Scale
Drawing No.
DA207

@ A1
Revision
A



Rev	Date	By	Chk	Description
A	18/06/2028	KGKL	KL/MR	Issue for SSDA

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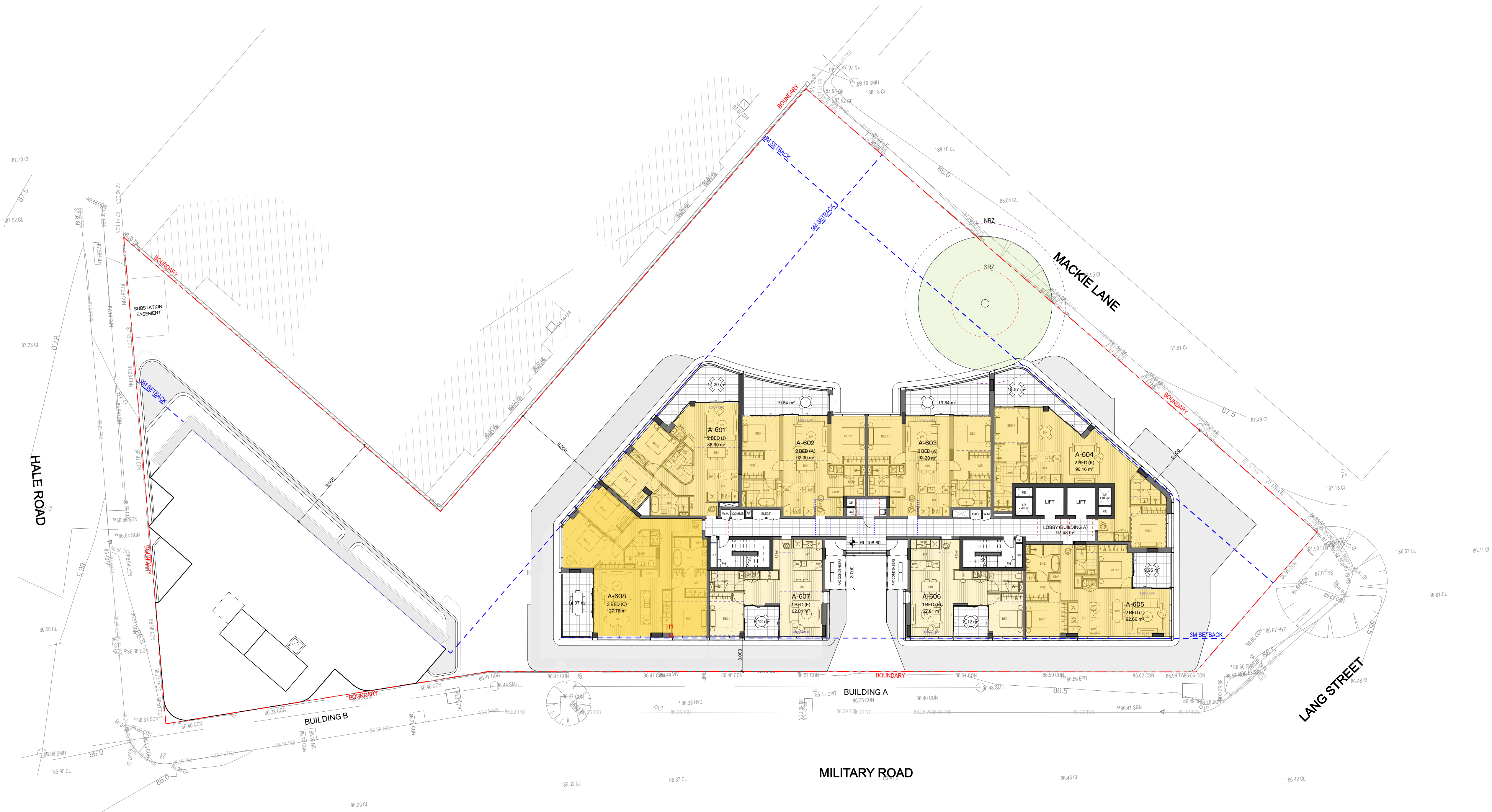
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Cammeraygal

SSDA

Drawing Name
Plan - Level 5

Drawing Scale
Drawing No.
DA208

1:200 @ A1
Revision
A



Rev	Date	By	Chk	Description
A	18/06/2028	KGKL	KL/MR	Issue for SSDA

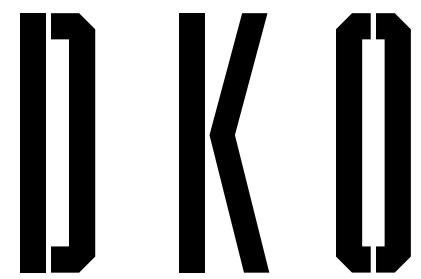
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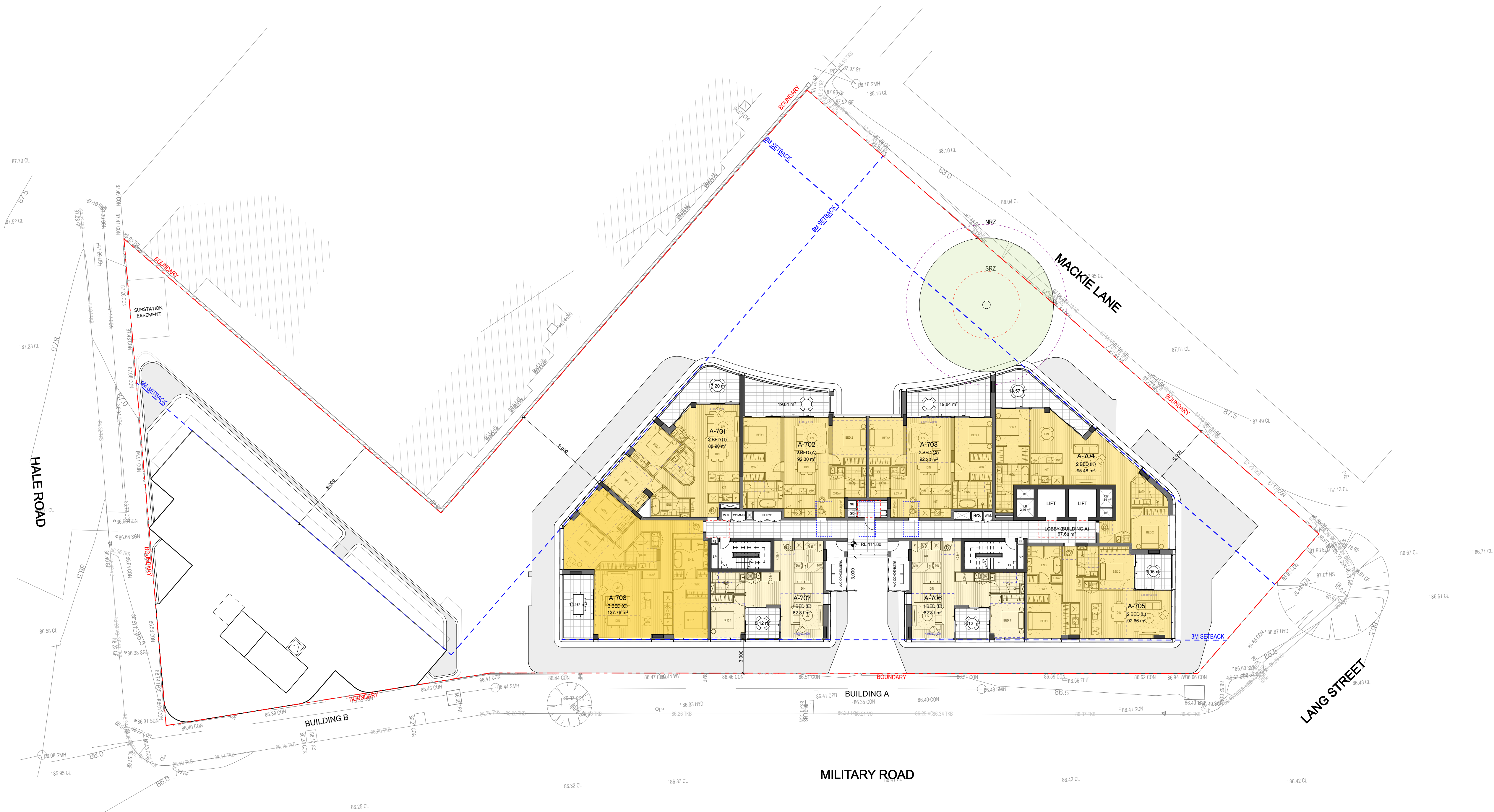
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SSDA

Drawing Name
Plan - Level 6

Drawing Scale
Drawing No.
DA209

1:200 @ A1
Revision
A



Rev	Date	By	Chk	Description
A	18/06/2028	KGKL	KL/MR	Issue for SSDA

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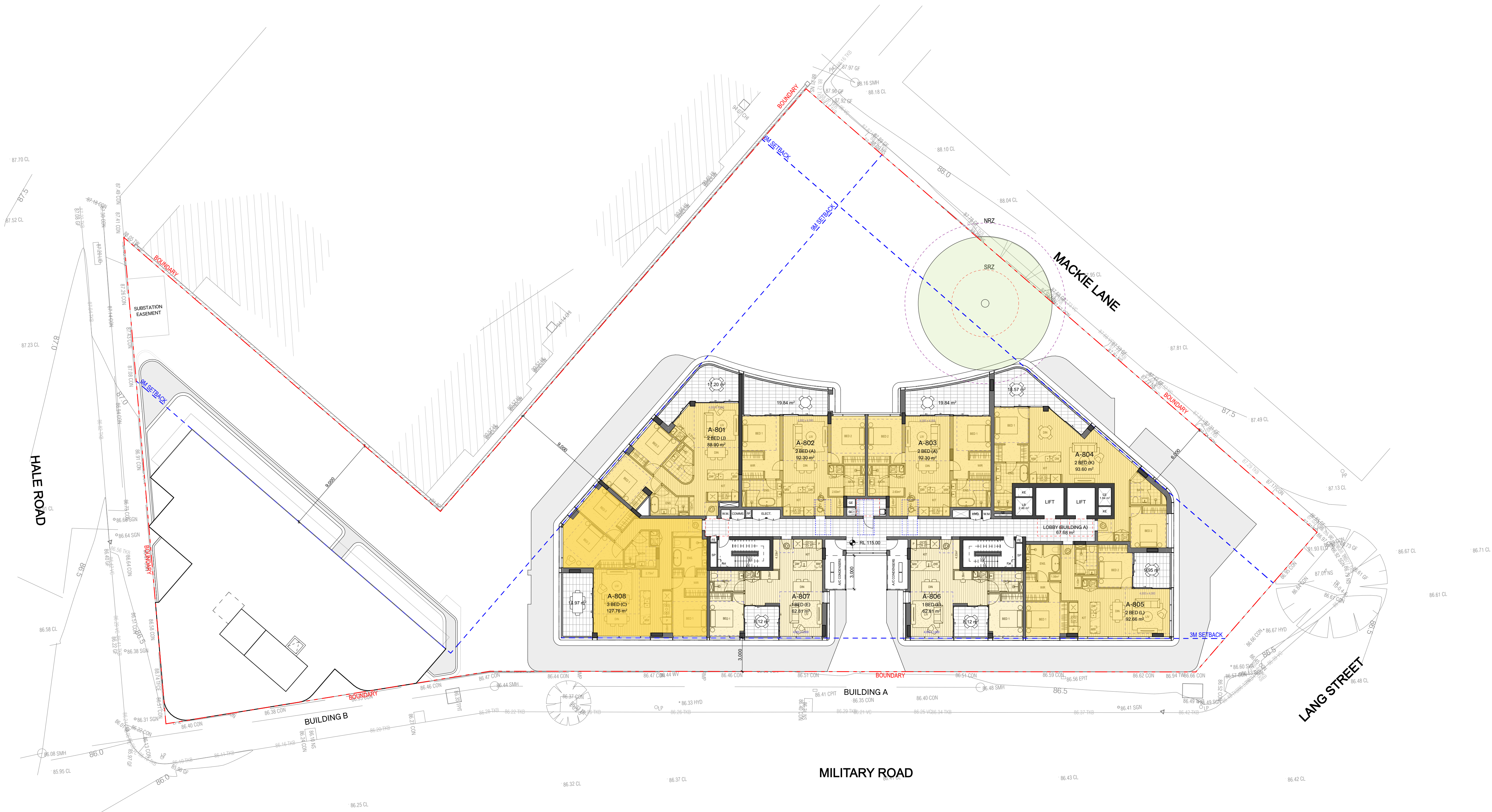
Country
Cammeraygal

SSDA

Drawing Name
Plan - Level 7

Drawing Scale
Drawing No.
DA210

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Revision
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Rev	Date	By	Chk	Description
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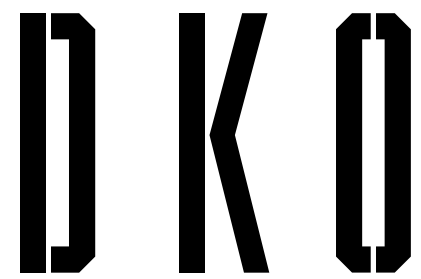
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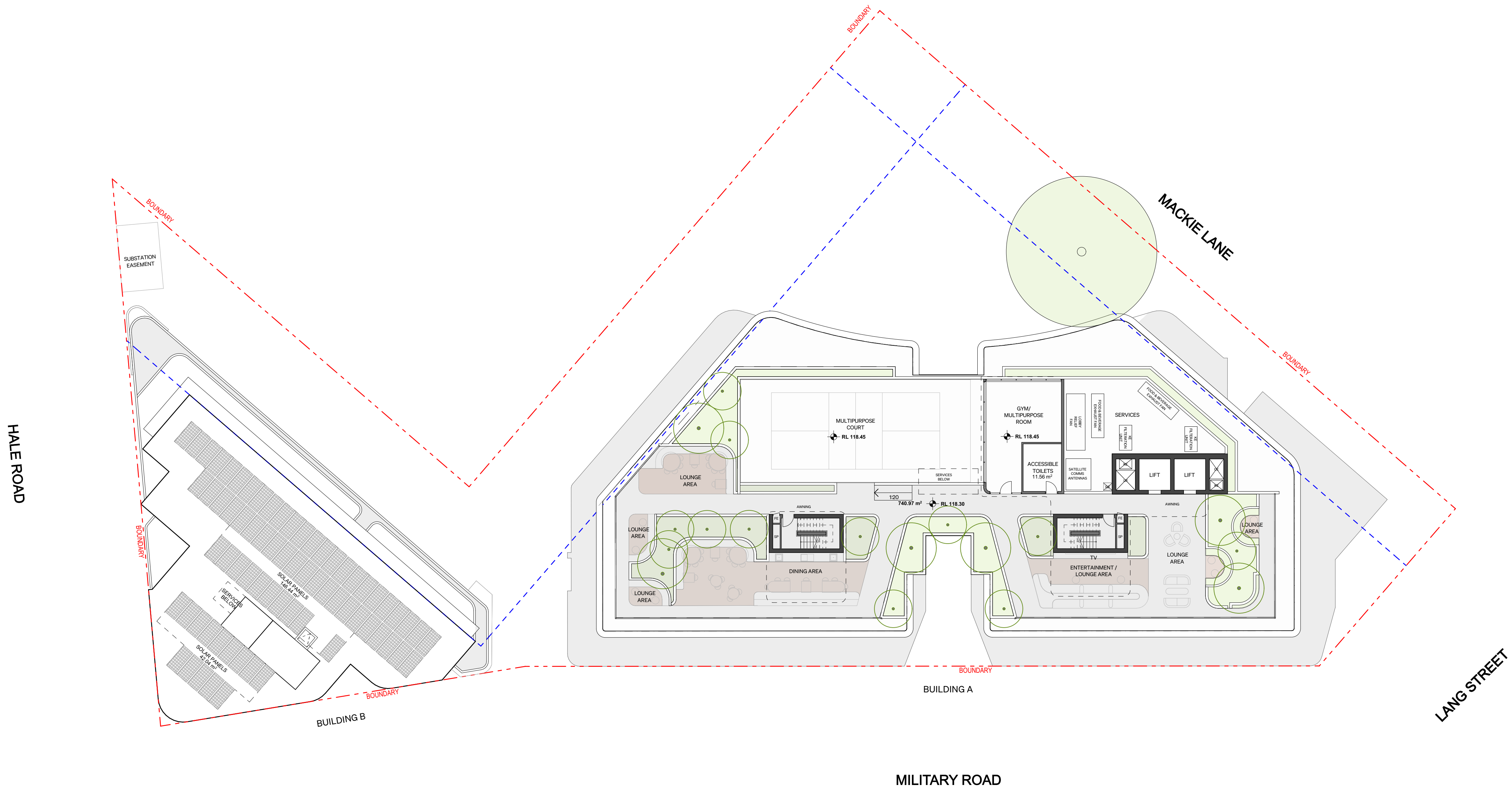
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SSDA

Drawing Name
Plan - Level 8

Drawing Scale
Drawing No.
DA211

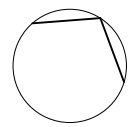
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Revision
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A	18/06/2028	KGKL	KL/MR	Issue for SSDA

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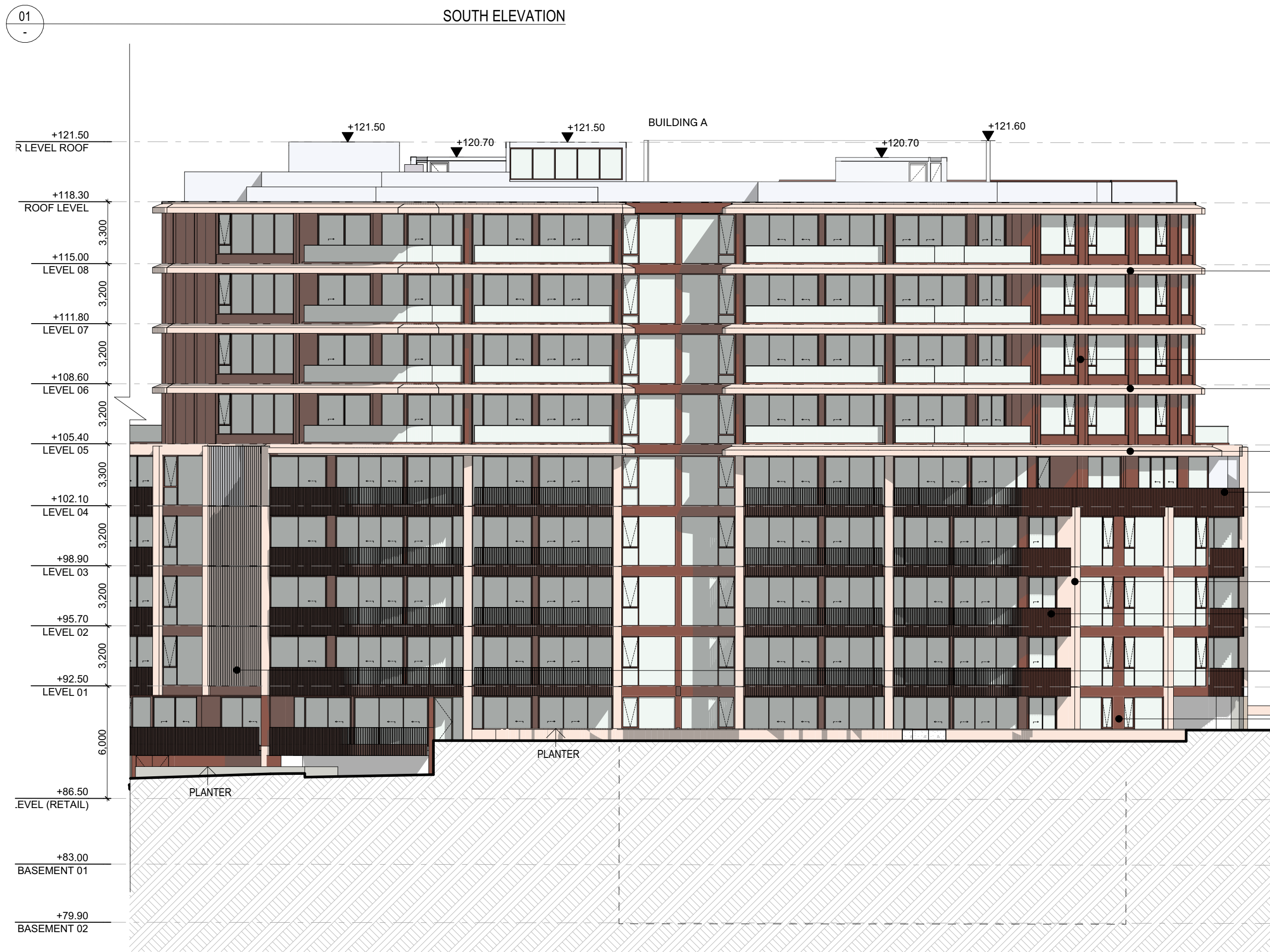
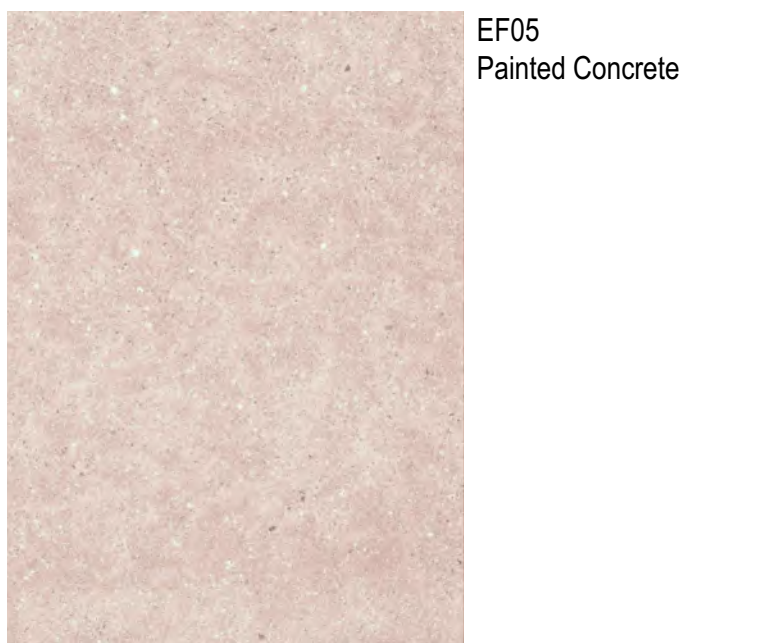
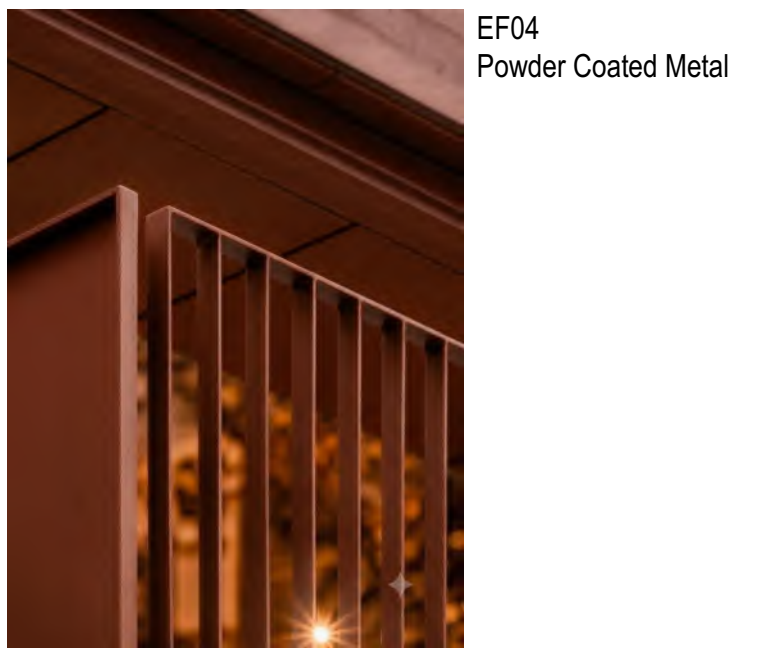
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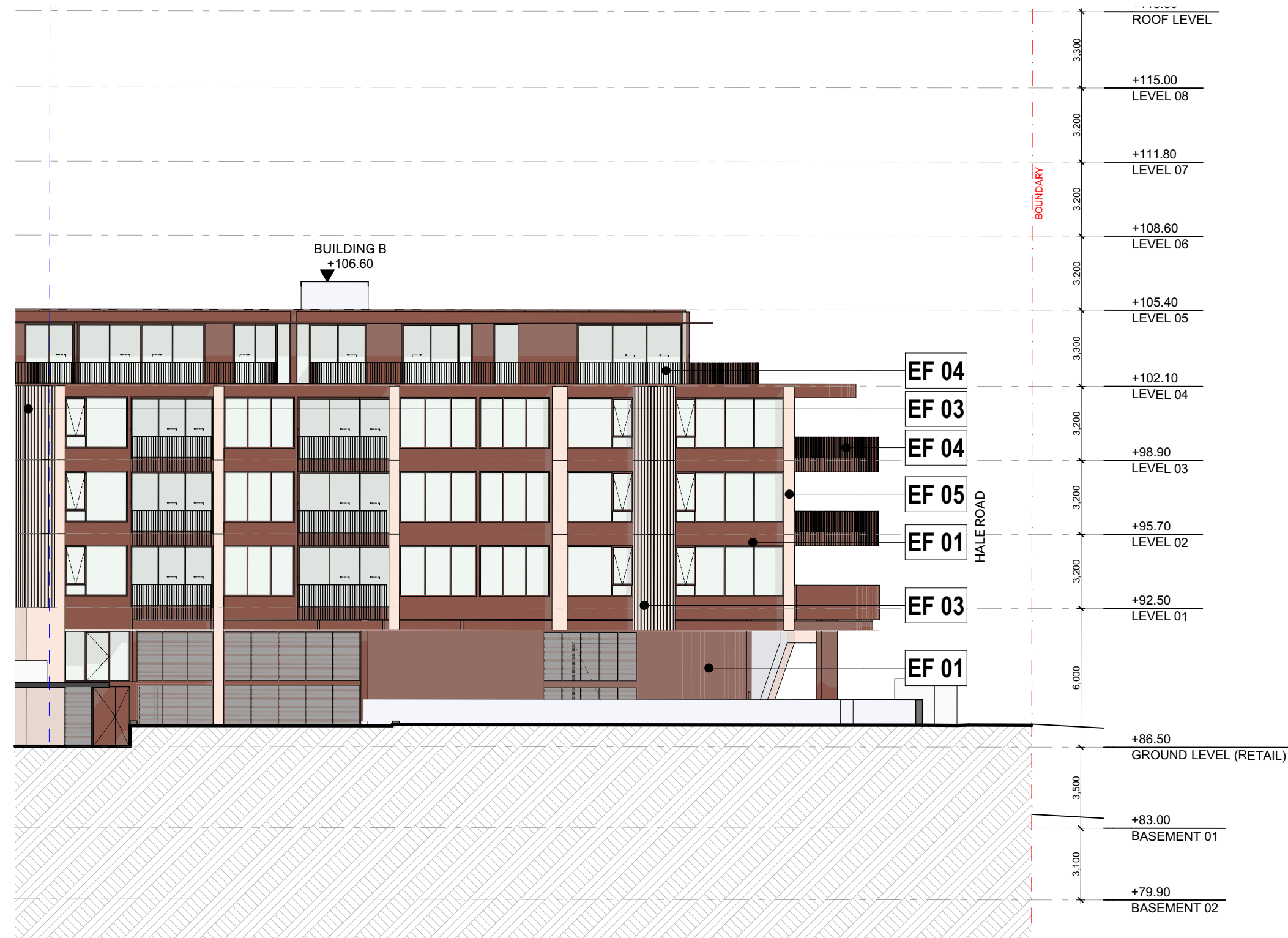
Drawing Name
Plan Roof

Drawing Scale
Drawing No.
DA212

@ A1
Revision
A



EF 05
EF 01
EF 05
EF 05
EF 04
EF 05
EF 04
EF 03
EF 01



03
NORTH BUILDING B

02
NORTH BUILDING A

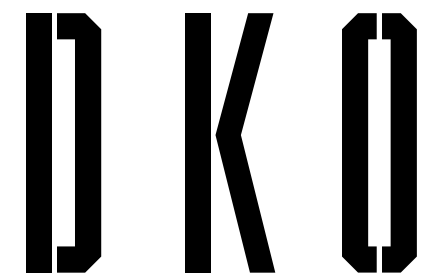
Rev	Date	By	Chk	Description
A	18/06/2026	KG	KU/MR	Issue for SSDA

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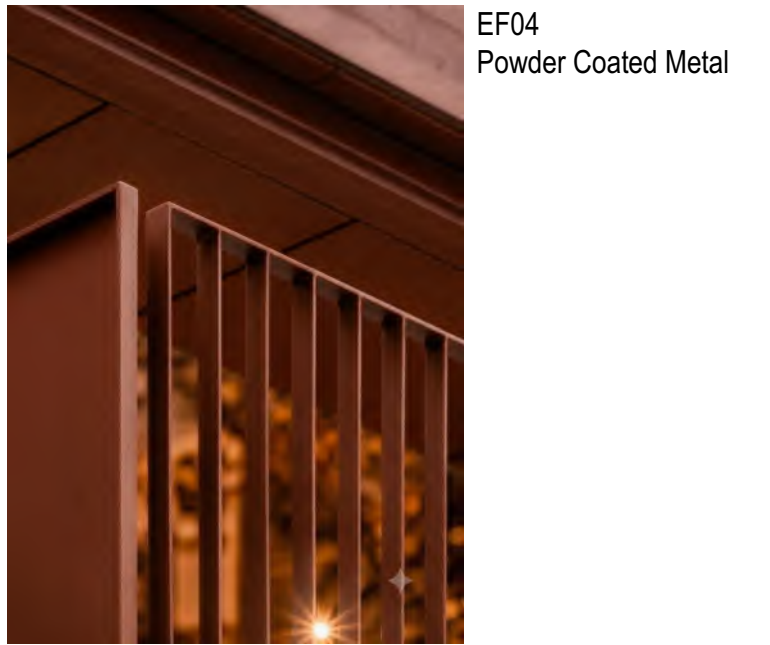
Project Name
Project Number
Project Address
Country
Cammeraygal

SSDA

Drawing Name
Elevations

Drawing Scale
Drawing No.
DA300

1:200, 1:1.30, 1:5.06, 1:1 @
Revision 1
A



Rev	Date	By	Chk	Description
A	18/06/2026	KG	KJ/MR	Issue for SSDA

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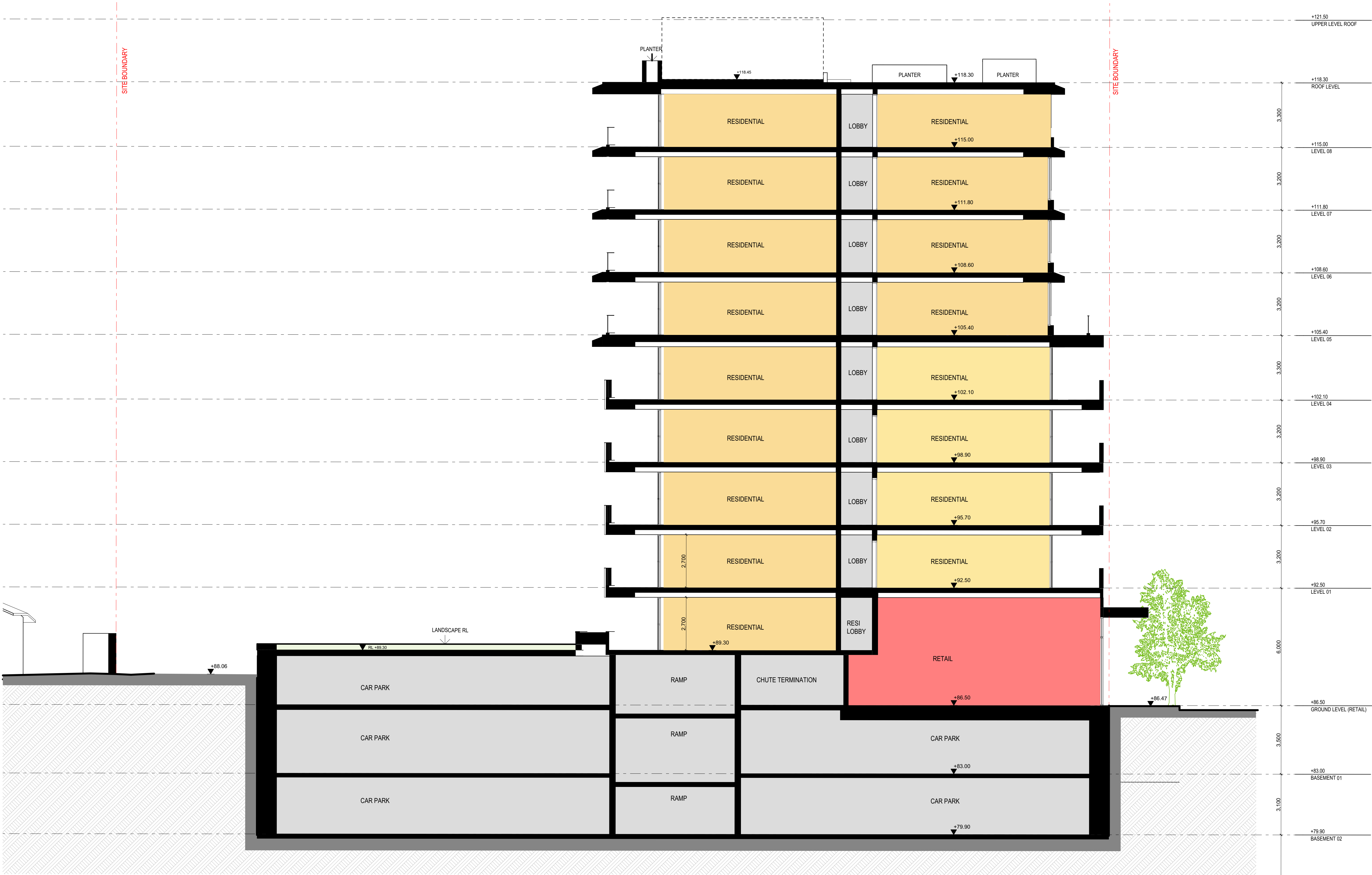
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SSDA

Drawing Name
Elevations

Drawing Scale
Drawing No.
DA301

1:200, 1:1.30, 1:1, 1:5.06 @
Revision
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Rev	Date	By	Chk	Description
A	18/06/2026	KG	KL/MR	Issue for SSDA

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SSDA

Drawing Name
Section AA - Building A

Drawing Scale
Drawing No.
DA302

1:100 @ A1
Revision
A



Rev	Date	By	Chk	Description
A	18/06/2026	KG	KL/MR	Issue for SSDA

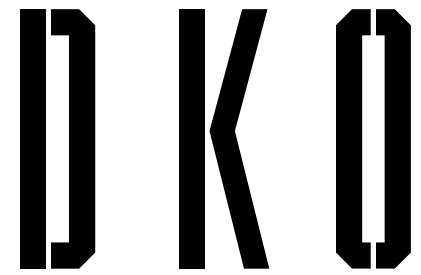
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SSDA

Drawing Name
Section BB - Building B

Drawing Scale
Drawing No.
DA303

1:100 @ A1
Revision
A