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HERITAGE IMPACT STATEMENT

Former Irving Street Brewery Building,
Central Park, Chippendale - Modification
to SSD 9374

Prepared for

ICON

29 June 2022

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EXECUTIVE SUMMARY

Urbis have been engaged by Johnstaff to prepare the following Heritage Impact Statement (HIS) for the former Irving Street Brewery Buildings, referred to herein as the subject site. While the statutory heritage listings for the site are limited to the chimney stack (Item 36, under the Sydney Local Environmental Plan (LEP), 2005), the significance of the brewery buildings has been recognised in its retention in the SSDA and previous reporting, including the Special Element Conservation Plan (prepared by Urbis, June 2009).

This HIS has been prepared to assess modifications to approved SSD application 9374 (approved 20 October 2020). This approval included base build works that would facilitate the adaptive reuse of the former Brewery Buildings.

The proposed modifications include minor alterations to the ground floor, level one and level 3 mezzanine in building 30, to one opening on the northern façade of building 23, removal of an approved mezzanine floor in building 22 and amendment to one opening on level 1 between buildings 26 and 30. Details of the proposed modifications have been included at section 1.7 and a full assessment of the modifications have been included at section 5. Consideration has also been made to the feedback received from the Design Integrity Panel dated 12 May 2022.

Overall, the proposed modifications are considered minor and acceptable from a heritage perspective. The following provides a summary of the assessment completed in this HIS.

- The proposed new void between ground floor and level 1 of building 30 removes a portion of the approved level 1 slab, which along with the existing level 2 void, creates a triple height volume that assists to interpret the original volumes within the space. The void allows views to level 1 and 2. More importantly, the proposed void will not impact on or alter the legibility of and views to the retained coal hoppers from the exterior of the building.
- While the proposed extension of the level 3 mezzanine floor increases the floor area and infills a former void between the retained hoppers, views to the hoppers are maintained (albeit decreased) through the opening on the approved stairs and retained voids on the northern side of the hoppers. The extended mezzanine floor has the benefit of increasing circulation around the hoppers at this level and allows for closer inspection and more direct interaction with the hoppers. The previous approval only allowed for close views of the hoppers from the stairs and floor space to the north, however this extension expands on that and allows both hoppers to be seen in the round.
- Overall, there is a net decrease in the GFA in building, noting that the level 1 void is larger than the increased floor area at the level 3 mezzanine.
- Proposed works to the entrance to building 30 (from building 26) includes reconfiguring the stairs and introducing a glass lift connecting upper and lower ground floor and level 1. The proposed works will have no further heritage impact as they impact on approved works and new fabric only. The removal of the original floor slab from the ground floor was approved as part of the original SSD approval, therefore the changes in levels and insertion of the lift to the floor will impact new fabric only. The potential visual impacts caused by the proposed lift have been minimised with the use of glass and lightweight materials. It is also noted that the lift is limited to the ground floor and level 1 and will not impact on significant features, specifically the hoppers.
- It is proposed to modify the extent of the interpretation area by reducing the nominated interpretation zone at the north-western corner of building 26, but also extending the interpretation zone across the whole of the northern wall of building 26. The proposed modification is intended to minimise the extent of floor area so as to mitigate potential impacts on the potential fitout of the space, however this will not impact on or alter the intent or purpose of the interpretation within this area. The approved interpretation strategy has identified this zone as incorporating a combination of fixed interpretation signage, display of archaeological artefacts, display of salvaged operation brewery signage and digital media including a touch screen. Final concept of this display is yet to be confirmed and is subject to the development of the strategy and SSD conditions of consent. The amendment to the nominated heritage interpretation display area, is acceptable as it allows for more wall space for the display and does not impact on or diminish the intent of the strategy.
- The proposed alteration to the approved window opening on the northern façade of building 23 is acceptable as it returns the opening to an entrance to the building. The proposed alters approved, new fabric only and will not alter the significant masonry detail or width of the opening, nor its interpretation.

- The removal of the mezzanine floor in building 22, level 2 is acceptable as it has not been constructed and will have no implications to heritage significant fabric or proposed interpretation.
- The proposed widening of the doorway on level 1 between buildings 26 and 30 is acceptable as discussed with the Design Integrity Panel. The proposed alters an existing approved opening and will not have any visual impacts to the area. The proposed will respond well to the large open space and salvaged machinery (hoppers).

Overall, the proposed modifications are minor and will have no impact on the heritage significance of the place. Therefore, they are considered to be acceptable from a heritage perspective.

1. INTRODUCTION

1.1. BACKGROUND

Urbis have been engaged by Johnstaff to prepare the following Heritage Impact Statement (HIS) for the former Irving Street Brewery Buildings, referred to herein as the subject site. While the statutory heritage listings for the site are limited to the chimney stack (Item 36, under the Sydney Local Environmental Plan (LEP), 2005), the significance of the brewery buildings has been recognised in its retention in the SSDA and previous reporting, including the Special Element Conservation Plan (prepared by Urbis, June 2009).

This HIS has been prepared to assess the following modifications to SSD application 9374 (approved 20 October 2020). This approval included works that would facilitate the adaptive reuse of the former Brewery Buildings.

The proposed modifications include minor alterations to the ground floor, level one and level 3 mezzanine, to one opening on the norther façade of building 23, removal of an approved mezzanine floor in building 22 and amendment to one opening on level 1 between buildings 26 and 30.. Details of the proposed modifications have been included at section 1.7 and an assessment of the modifications have been included at section 5.

1.2. THE SUBJECT SITE LOCATION

The subject site is known as the former Irving Street, Brewery Buildings. It is located within Central Park and occupies lots 202 and 203 of DP 1240831.

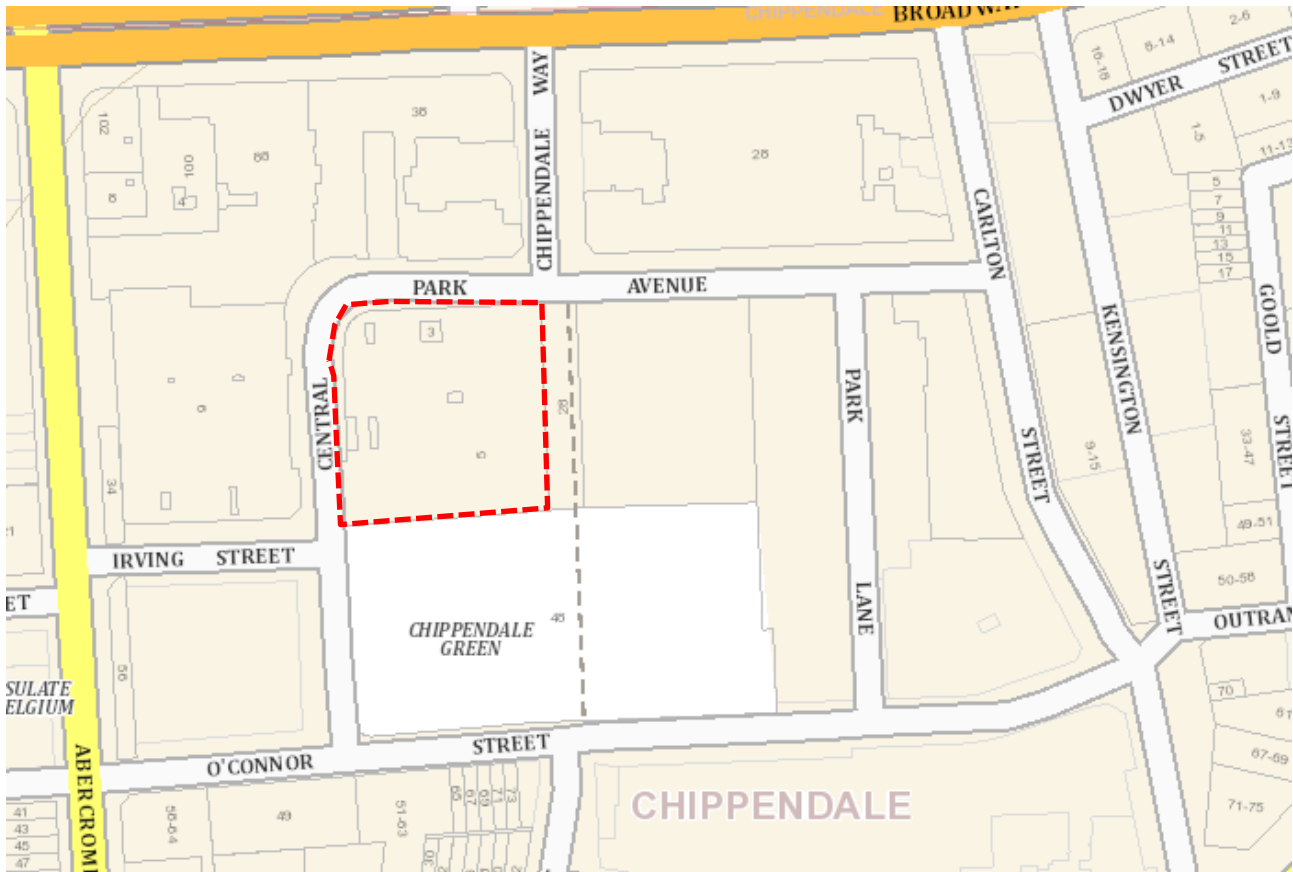


Figure 1 Location of the subject site, indicated in red.

Source: Six Maps, 2022.

1.3. HERITAGE LISTING

A summary of the statutory heritage listings applicable to the Brewery Complex and its vicinity are provided below. Whilst the heritage listing is limited to the chimney stack (item 36), the significance of the brewery buildings has been recognised in its retention in the SSDA and previous reporting, including the Special Element Conservation Plan (prepared by Urbis, June 2009).

Table 1 – Statutory controls and heritage listings

Precinct	CUB Asset No. of Heritage Items	Heritage Listing
Irving Street Brewery Precinct	Chimney Stack (36)	Sydney Local Environmental Plan 2005

1.4. METHODOLOGY

1.4.1. Heritage Guidelines and Burra Charter

This HIS has been prepared in accordance with the NSW Heritage Division guidelines 'Assessing Heritage Significance' and 'Statements of Heritage Impact'. The philosophy and process adopted is that guided by the *Australia ICOMOS Burra Charter* 1999 (revised 2013).

The proposal has considered the following documents:

- Sydney Local Environmental Plan 2005.
- State Environmental Planning Policy (State and Regional Development) 2011.
- Special Elements Conservation Plan report, prepared for the Irving Street Brewery Buildings by Urbis in 2009.
- NSW Heritage Division guideline 'Statements of Heritage Impact'.
- NSW Heritage Council's 'New Uses for Heritage Places'.

1.4.2. Special Elements Conservation Plan

This HIS has also taken into consideration the schedule of significant elements and relevant policies and guidelines outlined in the Special Elements Conservation Plan, prepared by Urbis in 2009.

1.5. AUTHOR IDENTIFICATION

The following report has been prepared by Bernice Burke, (Senior Heritage Consultant) and Fiona Binns (Associate Director).

Unless otherwise stated, all drawings, illustrations and photographs are the work of Urbis.

1.6. SUMMARY OF APPROVED WORKS

This HIS has been prepared to assess the following modifications to SSD application 9374 which included works that would facilitate the adaptive reuse of the former Brewery Buildings. The approved works to the Brewery Buildings included the following,

- Internal demolition and removal of one coal hopper
- Addition of two storeys above Buildings 22 and 23 and a new roof, new external fire stairs, new floors in building 30 and a glazed façade on the northern elevation of Building 30.
- A maximum gross floor area of 6,266m²
- Inclusion of heritage interpretation/display areas.
- Public domain works.



Figure 2 Montage from the stamp approved landscape plans showing the new entrance into the former brewery buildings.

Source: Jeppe Aagaard Andersen + Turf Design Studio, "Title page for Public Domain, Central Park Sydney", Stamp approved 20 October 2020.

1.7. THE PROPOSED MODIFICATIONS

The proposed modifications to approval SSD 9374 include:

- Modifications to Building 30 mezzanine and new void between ground and level one (decreasing the GFA),
- Modification to the nominated interpretation zone
- Minor modifications for a new ground floor tenancy entry in building including a new glass lift.
- Change to one window opening on the ground floor of building 23 to a glass sliding door and new entry.
- Deletion of Level 2, mezzanine in Building 22.
- Widening of the level 1 opening between Building 26 and Building 30 (to approximately 2275mm wide).

The following plans have been prepared by Tzannes and used to inform the assessment included at Section 5. Sections of the plans have also been included in the assessment at Section 6.

Table 2 Architectural Drawings

Drawing No.	Title	Revision	Date
DA1102	Ground Level Floor Plan	K	16.05.22
DA1103	Level 01 Floor Plan	H	16.05.22
DA1104	Level 2 Floor Plan	G	16.05.22

THESE DRAWINGS ARE BASED ON SURVEY INFORMATION PROVIDED BY DEGOTARDI, SMITH & PARTNERS (DRAWINGS 31420A15 dated 03/08/08). THE FULL ACCURACY OF THESE DRAWINGS ARE SUBJECT TO A FULL SURVEY CHECK BY A QUALIFIED SURVEYOR.

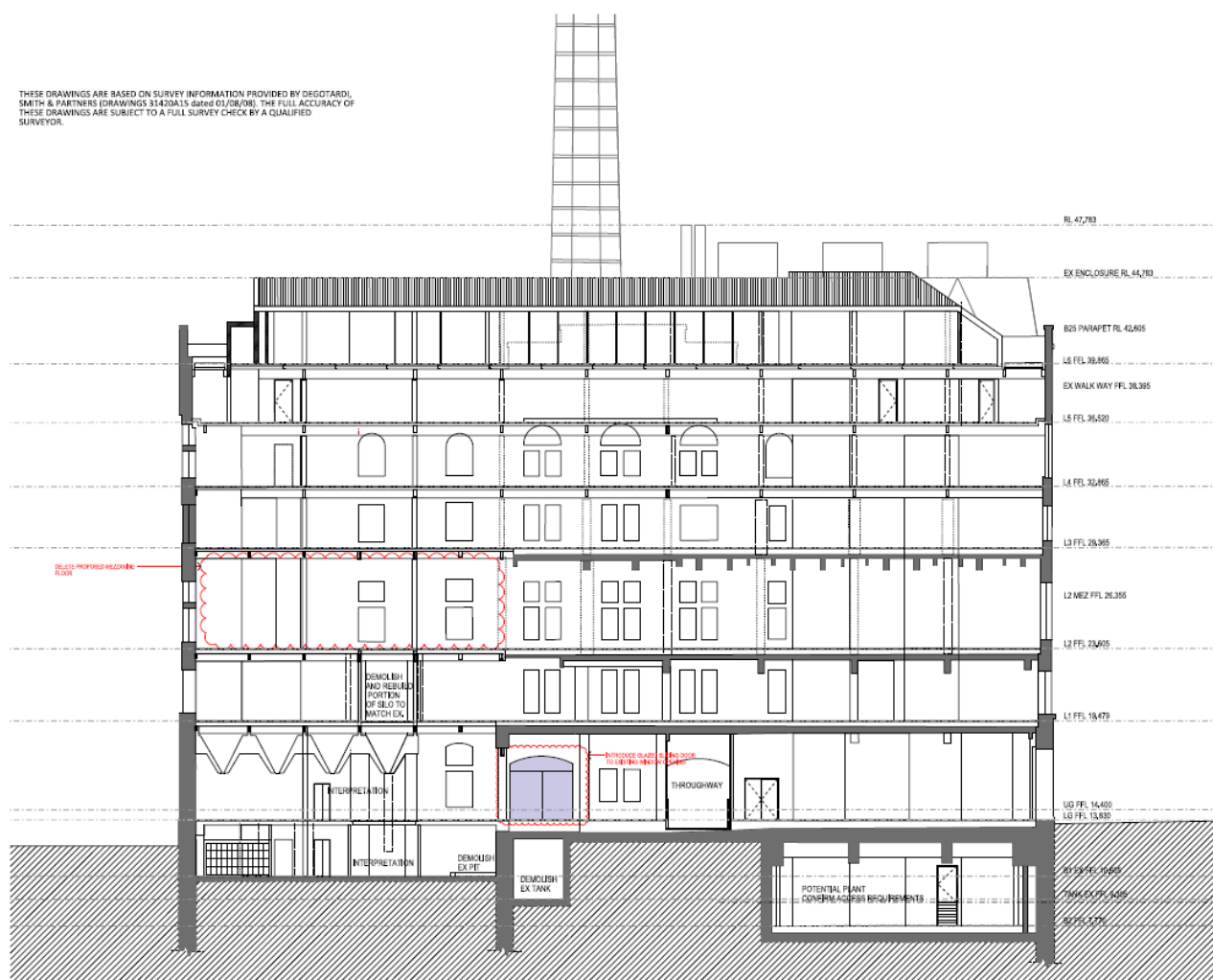


Figure 4 Section Plan showing the amended voids within building 30

Source: Tzannes, Section 1, 16 May 2022, Revision I.

2. SITE DESCRIPTION

The subject former Irving Street, Brewery Building is located within Central Park and occupies lots 202 and 203 of DP 1240831.

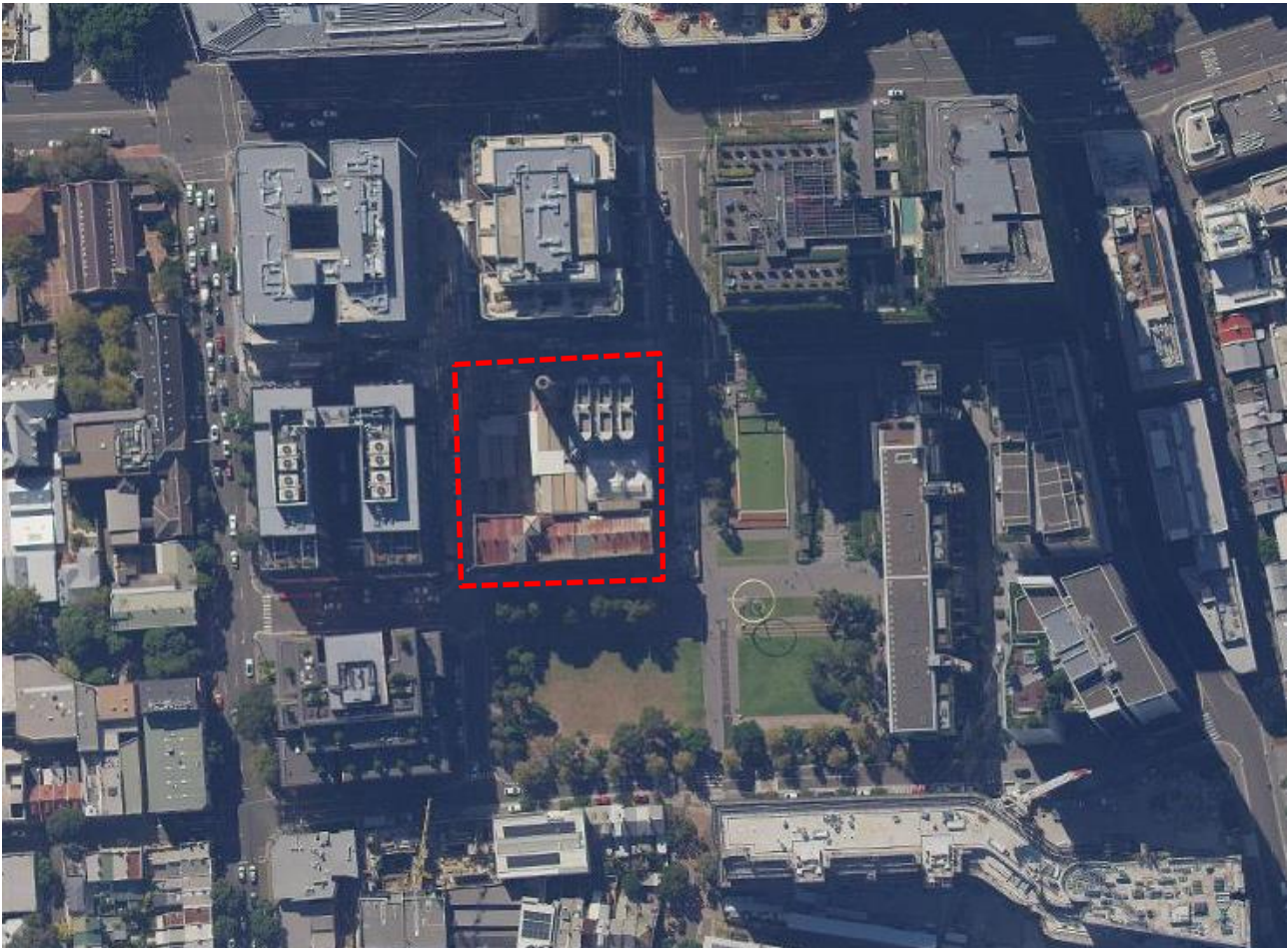


Figure 5 Aerial of the subject site – indicated in red.

Source: Six Maps, 2022.

2.1. IRVING STREET BREWERY PRECINCT

The following description of the Irving Street Brewery Precinct (No. 4) has been taken from the Heritage Impact Statement on the Concept Plan by Godden Mackay Logan (2006A:35-36).

The Irving Street Precinct is defined as the area bounded by Balfour, Carlton and Irving Streets, with Broadway on the northern boundary. In this precinct is the largest surviving group of early twentieth century brewery structures on the site, whose form, massing and architectural character, externally at least, provide the most visually direct link to the early brewery functions. Included in the oldest group from 1912 are the Filtration Building (22), Malt Silo (23), Substation (26), former Boiler House (30), Bright Beer Plant (35A) and Refrigeration Block (35B). Within the L-shaped yard formed by the rear of these structures is the brick-walled chimney stack (36) which originally served the boilers.

Architecturally this group of structures, constructed largely of brick with sandstone bases and/or dressing, is characteristic of the simplified and robust neo-classical industrial (and warehouse) buildings of the late Federation period in Sydney. Though varying in character, quality of detail, level of intactness and physical condition, the exteriors of the buildings provide important evidence of the physical character, functional layout and site organisation of the turn of the century brewery. Internally, however, much of the original layout and efficiency all the early

equipment/fitout have been removed and replaced. The associated additions and alterations involving extensive new servicing has resulted in the present additions to the external facades of the buildings.

Demolished Buildings

Many of the former buildings and elements in the Irving Street Brewery Precinct have been subject to demolition, including the Malt Receiving Station (24), Boiler House (31), Bright Beer Plant (35A), Refrigeration Block (35B), Laboratory Block (35C), CO2 Block (33D), Toilet Block (35E), Infill Block (35F), Great Western Hotel (39) and the vacant lot (56). These buildings were assessed by Godden Mackay Logan in 2007 as having moderate significance or lower, some being intrusive, and have all been demolished.

Heritage Items

The Chimney Stack (36) is listed as a building element under Part 2 of Schedule 8 of the Sydney Local Environmental Plan 2005. None of the other Irving Street Brewery buildings are listed as heritage items under the LEP, although their heritage significance has been recognised in their retention and adaptation.

Table 3 refers to assets that are subject to this report. These assets are located within the Irving Street Brewery Precinct and were assessed by Godden Mackay Logan in 2006 and 2007.

Table 3 – Brewery heritage assets

Asset No.	Name of Asset	Significance	Concept Plan GML Assessment (2006A)	Demolition Plan GML Assessment (2007)
22	Filtration Building	High	Retained and conserved	Retained and conserved
23	Malt Silo Building	High	Retained and conserved	Retained and conserved
25	Staircase Block	Intrusive	Demolished	Retained
26	Gas Receiving Station	Moderate	Retained and conserved	Retained and conserved
30	Old Boiler House	Moderate	Retained and conserved	Retained and conserved
36	Chimney Stack	High	Retained and conserved	Retained and conserved
52	Irving Street Brewery Yard	High	Conserved	Conserved

The above assets were photographed in November 2007 by Dilapidation Surveys and reference should be made to these reports for the appearance of the buildings prior to removal of contaminated fabric and hazardous materials. The following building descriptions are taken from the SECP by Noel Bell Ridley Smith and Partners (2005:57-59).

Urbis continues to visit the site regularly as the lead heritage consultant for the construction phases however as scaffolding has been erected, the site photos included below were taken by Urbis, typically during inspections in 2018.

2.2. FILTRATION BUILDING (22) AND MALT SILOS BUILDING (23)

The Filtration Building (22) and the Malt Silo Building (23) form a five-storey (ground, first, second, third and fourth floors) face brick building with impressive facades with fine detailing in brick and sandstone. The Filtration Building does not retain its original function of brewing and presently houses a filtration plant, whereas the Malt Silos Building still retains its original function as a Malt Silo.

The building retains most of its original façades that constitute a major component of its fabric of significance including typical Irving Street Brewery elements such as engaged brick piers forming blind arches; expressed voussoirs; keystones, dentils, lintels and bracketed mouldings in sandstone; string courses; and multi paned arched and rectangular windows. The pair of arched passages together with stone plaque with 'TOOTH & CO. Ltd. / 1911 / IRVING ST' in relief lettering on the front/south façade are significant as references to building 22 & 23's function as entrance to the Irving Street Brewery.

The Malt Silos Building retains some of its original interior fabric such as exposed roof structure comprising wooden queen post truss, steel beams and timber floors. It also retains some of its original equipment such as masonry silo tanks, wooden silo bins, timber floor decks, unloading dock with connection to basement and the overall scheme/and sequence of the original Malt handling/storage process. The facades are substantially intact, although showing deterioration of stone, brickwork and windows.

Internally, the Filtration Building has undergone major alterations comprising the gutting of interior spaces whereas the Malt Silos Building interiors have undergone limited alterations. Externally the building has suffered a few intrusive alterations including the Corridor connection to building 20 [Brew House, now demolished]; roof level extension on the Irving Street façade; the reinforced concrete slab intrusions of the new staircase block (25); all later window infill (excluding windows originally closed) and services running on façades. The overall condition of original and later internal and external fabric is fair.



Figure 6 – Part view of the southern (principal) façade of building 22

Source: Urbis September 2018



Figure 7 – Part view of the southern (principal) façade of building 22 – showing the principal entry

Source: Urbis September 2018



Figure 8 – The western façade of building 23 (the malt silos)

Source: Urbis September 2018



Figure 9 – The northern façade of building 22/23 and brewery yard in the foreground

Source: Urbis September 2018

The interior of building 22, the former Filtration plant, was rebuilt in the 1980s in conjunction with the change of use. This included new concrete structure and floors. The malt silo (building 23) was the only building to retain its original use and still houses the original 8 concrete silos (hence the enclosed façade windows).



Figure 10 – The ground floor of building 23 showing the base of the silos

Source: Urbis September 2018



Figure 11 – Typical interior of the former Filtration building (22)

Source: Urbis September 2018

2.3. STAIRCASE BLOCK (25)

A staircase block was built between buildings 22 and 26 in the 1980s and functioned as the main staircase to building 26 as well as an additional staircase to building 22. The stair was rebuilt in conjunction with stage 1 works in 2014, of concrete construction, with metal clad exterior (eastern elevation pictured below). The reinforced concrete slabs intrude into the original face brickwork of the adjacent buildings.

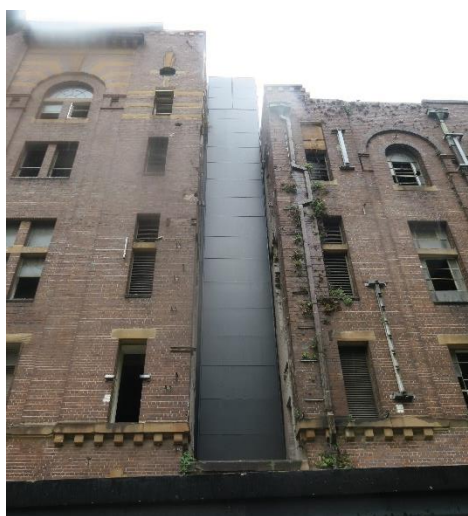


Figure 12 – The eastern façade showing the inset stair block between buildings 22 (left) and 26 (right)

Source: Urbis September 2018

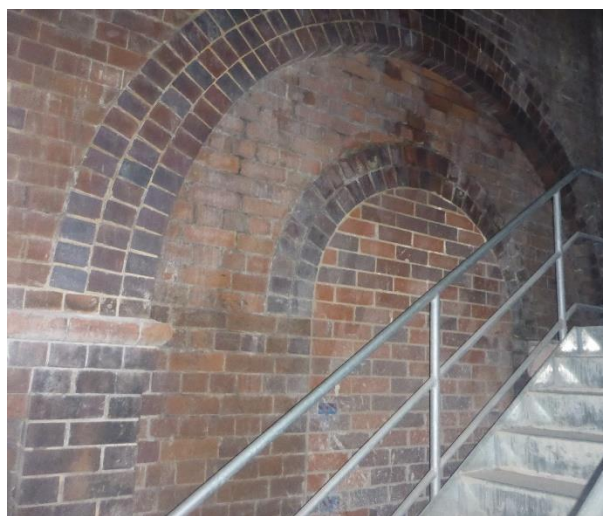


Figure 13 – Interior of the stair, and interface with the adjoining building

Source: Urbis October 2018

2.4. GAS RECEIVING STATION (26)

The Gas Receiving Station (26) is a four storey face brick building with impressive façades with fine detailing... The buildings are representative of the Federation Warehouse style with typical features including engaged brick piers forming blind arches; expressed voussoirs; keystones, dentils, lintels and bracketed mouldings in sandstone; string courses, multi paned windows, round arches, etc.

The Gas Receiving Station retains very little of the original interior fabric or equipment owing to gutting of most internal spaces. Significant fabric includes original façade configuration and elements. Intrusive elements to Building 26 include the coal elevator shaft, staircase from adjacent old boiler house (30), window infills, and alterations to façades and service pipework on facades. The overall condition of exterior fabric is fair. The building facades are substantially modified but retain the overall form and character of the original group, although the interiors show low degree of intactness. The existing fabric lacks the ability to demonstrate any significance.



Figure 14 – The western façade of building 26

Source: Urbis September 2018



Figure 15 – The eastern façade of building 26

Source: Urbis September 2018

2.5. OLD BOILER HOUSE (30)

The Old Boiler House was originally a two-storey face brick building with several façade details in common with the rest of the precinct buildings. The fabric of significance comprises the original double storey façades, flue connected to the chimney and the firing floor slab. Its significance is compromised by extensive alterations to its exterior including first floor extension to the west façade; pitched roof block on second floor level, the coalbunker at roof level; all window infills and services running on the façades.

The interior has undergone several alterations, such as ground floor intrusion from the Gas Receiving Station (26) and complete gutting of upper floor space leading to loss of original structural system. No original equipment or interior fabric has been retained although the facades show a fair to low degree of intactness. The condition of external fabric is fair whereas the original first floor slab is in extremely poor condition and structurally unstable.

The building was adapted for use as the boiler house in the mid-20th century, which necessitated the vertical addition, to house the coal hoppers (which remain extant).

In addition to the above, building 30 was adapted to house the cooling towers of the tri-generation Plant in 2015, with works including demolition of the northern façade and structural intervention to support the plant. Central Park site is now the largest site in Australia powered by its own tri-generation energy plant



Figure 16 – The eastern and northern brewery facades, with building 30 (at right) on the northern side, capped by the contemporary trigen

Source: Urbis September 2018



Figure 17 – The western façade of building 30 and base of the chimney stack (36)

Source: Urbis September 2018



Figure 18 – The northern façade (open) and hoppers

Source: Urbis September 2018

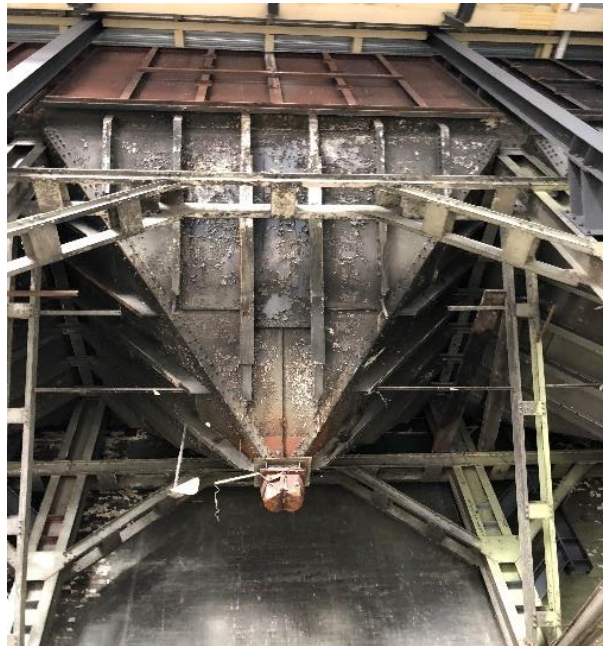


Figure 19 – Detail of one of three coal hoppers

Source: Urbis September 2018

2.6. CHIMNEY STACK

The Chimney Stack is a 54 metre tall brick [structure] with a square base and a hexagonal plan tower located in the centre of the precinct, attached to the old Boiler House (30). It is no longer functional as a chimney stack. It retains most of its original fabric with little alteration.

The chimney was adapted for reuse in conjunction with the trigeneration plant and was subject to conservation works including partial reconstruction of the upper brick courses.



Figure 20 – The prominent chimney stack prior to trigen works (2012)

Source: Urbis July 2012



Figure 21 – View of the scaffolded chimney during conservation and trigen works fin 2014

Source: Urbis June 2014

2.7. IRVING STREET BREWERY YARD

The yard comprises a concrete paved open area bound by the rear façades of the Irving Street Brewery buildings. It forms an irregular shape in plan and provides access to most of the buildings of the former Brewery. The yard was formed c. 1912 when the Brewery buildings were constructed, and it is an important aspect of the former Brewery group, allowing interpretation of industrial buildings in the group and views of the chimney stack.

The Yard was excavated in conjunction with the construction of the trigeneration plant (pictured below) and has been capped with a concrete slab.



Figure 22 – 2012 view of the yard under excavation for the trigen plant

Source: Urbis 2012.



Figure 23 – The northern building façade and brewery yard, including trigen plant/ access at right

Source: Urbis September 2018

3. HISTORY

This section of the report reviews existing documentation (such as the Conservation Management Plans prepared in 1991 and 2005) for the Irving Street Brewery Precinct, and summarises the historical background to the development of the precinct. Further research has been undertaken at the Noel Butlin and Powerhouse Museum archives.

3.1. EARLY OWNERSHIP AND DEVELOPMENT OF THE AREA

The subject site was part of a grant of land to Felix Wilson in 1841, part of the Military Gardens Subdivision.¹ The Military Garden had been set up in Parramatta Street, the major route to Parramatta, in the early years of the Colony, to enable military officers to supplement their rations by growing vegetables and keeping livestock.² The Gardens were subdivided in the 1830s into five large lots, which were soon further subdivided into residential lots.

Nearby, the western part of Major George Druitt's land grant was purchased in 1834 by John Tooth and his brother-in-law Charles Newnham, who established the Kent Brewery on it during the following year.

The Military Garden Subdivision was developed with a mix of working class housing, shops and small industries, and by the mid-19th century was considered a slum.³ Various Council enquiries led to the demolition of the cottages in Linden Lane during the 1870s. The Kent Brewery gradually expanded its operations by acquiring several adjacent sites and demolishing the houses. By 1900 its site had grown to more than 6 acres (2.4 hectares).⁴

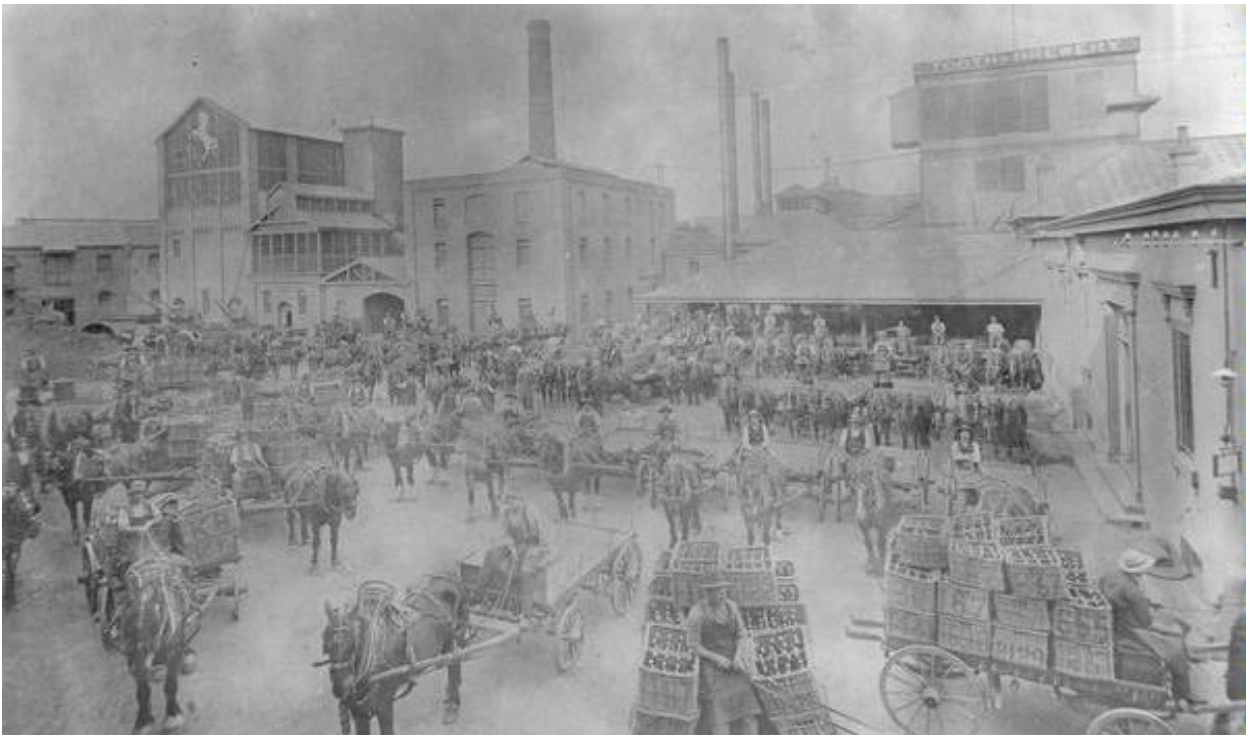


Figure 24 - Kent Brewery in the late 1800s

Source: *The Australian National University*, 46130

The greatest expansion of the brewery occurred during the early 20th century, particularly after the Council resumptions of slum areas. Houses on the western side of Kensington Street and the northern side of

¹ Noel Bell Ridley Smith & Partners Pty Ltd (NBRS), *Conservation Management Plan, Volume 4 Part 5 – Inventory Sheets, Carlton Street Precinct*, May 2005, Summary p1, Inventory Sheet No 48, p3, Inventory Sheet No 46, p1.

² Godden Mackay Logan, *Former Carlton and United Brewery Site, Broadway, Heritage Impact Statement*, October 2006, p15.

³ Godden Mackay Logan, p16.

⁴ Godden Mackay Logan, p18.

Wellington Street were purchased and demolished. In 1912 the Irving Street Brewery was constructed, covering the land between Carlton and Balfour Streets.

In 1926 notice was given that properties along Parramatta Street (by then known as George Street West) were to be resumed by Sydney Municipal Council for the widening of the road. The widened road was renamed Broadway in 1933. Tooth and Company purchased the residual land on the new Broadway frontage.⁵

By the 1950s the brewery site had expanded from Carlton Street to Abercrombie Street. After the Adelaide Steamship Company took over Tooth and Company, the brewery site was sold to Carlton and United Breweries (CUB) in 1983. Diversified brewing operations continued on the site, and further property purchases were made to gradually expand the land holdings. At the time of the proposed sale of the site to Australand in 2003, the holding had grown to almost 6 hectares, and included hotels in Broadway, disused factories in O'Connor Street, and rows of terrace houses in Kensington Street and Abercrombie Street.⁶

The Kent Brewery ceased operations in 2005 but the sale of assets to Australand did not proceed. The current owners, Frasers Broadway Pty Ltd, purchased the land holdings in 2007.

3.2. DEVELOPMENT OF THE IRVING STREET BREWERY PRECINCT

The Irving Street Brewery Precinct is bounded by Balfour Street, Carlton Street, Irving Street and Broadway. After the subdivision of the Military Gardens, the area was developed with shops and hotels in Parramatta Street and rows of terrace housing in the side streets (Figure 25 and Figure 26).

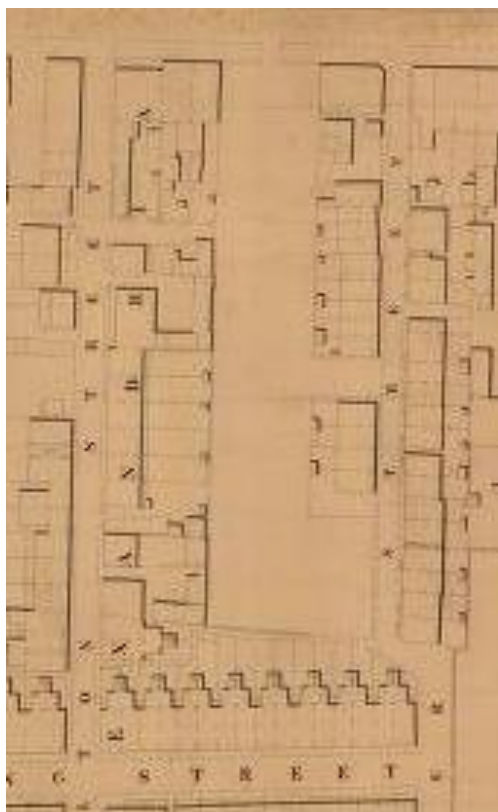


Figure 25 - Survey showing area of Irving Street Brewery Precinct, 1886

Source: The area bounded by George Street West (top), Irving Street (bottom), Carlton Street (left) and Balfour Street (right) was developed with a mix of building types, including a row of terraces in Irving Street; [Source: Metropolitan Detail Series, Mitchell Library, Sheet F2]

⁵ Department of Lands (2008B), Land & Property Information Book 1290 No 733.

⁶ Godden Mackay Logan, p20.



Figure 26 - Row of Terraces in Irving Street, 1908

Source: *The row of terrace houses in Irving Street. Carlton Street is on the left*; [Source: City of Sydney Archives, NSCA CRS 51/242]

In 1908 the Tooths Board approved the preparation of plans for a new bottled beer brewery, following a report by Arthur Tooth. The land to the north of Irving Street was acquired by the brewery for the expansion of their operations to cope with the increasing demand for Australian beer. The terraces and other buildings were demolished. The following year construction of the new brewery commenced. However a coal strike intervened, so bricks were difficult to obtain, and the buildings were not completed until 1912. This complex was known as the Irving Street Brewery, and was separated from the Kent Brewery by the reconfigured Balfour Street.⁷

3.3. IRVING STREET BREWERY BUILDINGS

The Irving Street Brewery was designed by the architectural firm of Halligan & Wilton, in a deviation from the brewery's long term use of architects Spain and Cosh.⁸ The builders were Moodie Brothers and the Monier System reinforced floors were built separately by Gummow Forest and Co.⁹

Most of the functional areas were housing in separate buildings, and the repetition of detailing and style on the various buildings provided a unified architectural whole, unlike the varied styles in the Kent Brewery. The materials and opening proportions were also consistent between the different buildings. The brewing tower was integrated into the design of the Irving Street Brewery, unlike in the original Kent Brewery where the structure was purely a tower to contain the brewing plant.

The new buildings had a clearly expressed base level and an emphasised main entrance in Irving Street. The windows were ordered into vertical panels in a recurrent rhythm around all facades and the building is clearly finished at the top.

⁷ Tooth & Co Ltd, *Over a Century of Brewing Tradition*, 1953, p27.

⁸ Planning Workshop, *Kent Brewery Conservation Plan*, 1991, p49, referencing ANU ABL N20/1085.

⁹ Planning Workshop, p163.



Figure 27 - Portion of March 1921 block plan by Brewery
Source: Courtesy of Powerhouse Museum

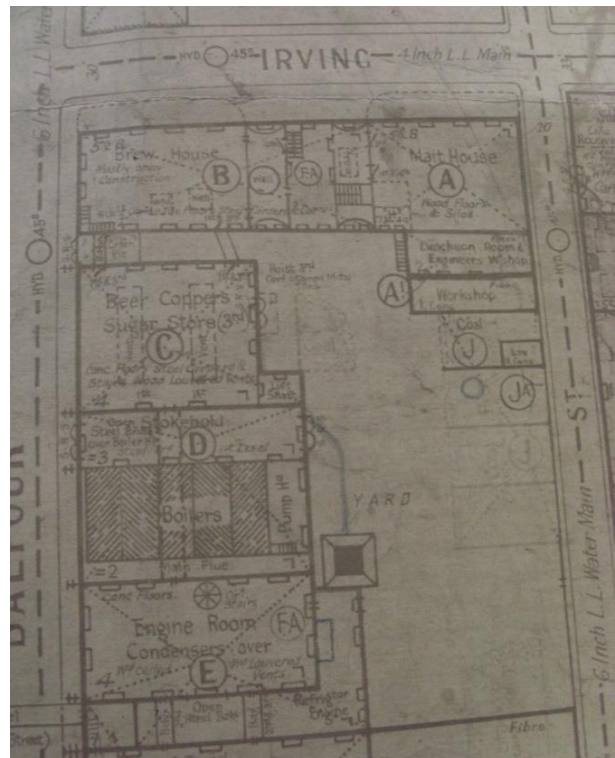


Figure 28 - Portion of 1927 Fire Underwriters Association of NSW site plan dated 27-06-27
Source: Courtesy of Powerhouse Museum

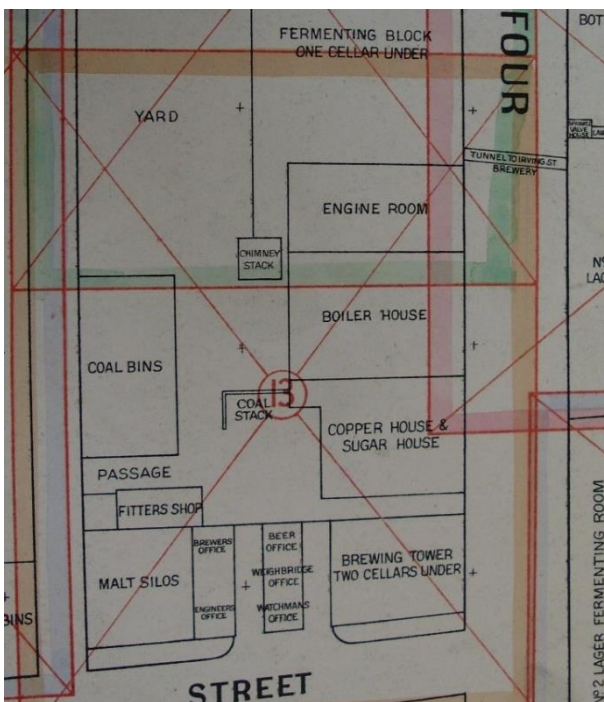


Figure 29 - Portion of 1930 block plan by Brewery
Source: Courtesy of Powerhouse Museum

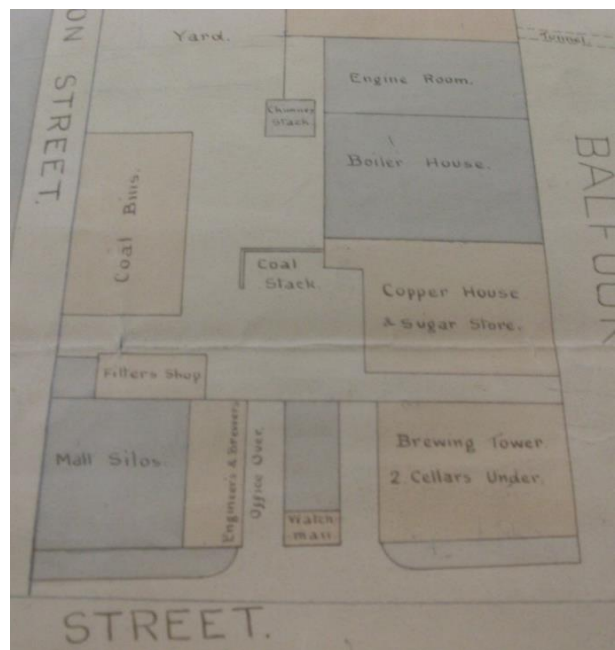


Figure 30 - Portion of 1930 block plan by Office of the Engineer in Chief, Kent Brewery, Plan No. K2 dated 22-05-30
Source: Courtesy of Powerhouse Museum

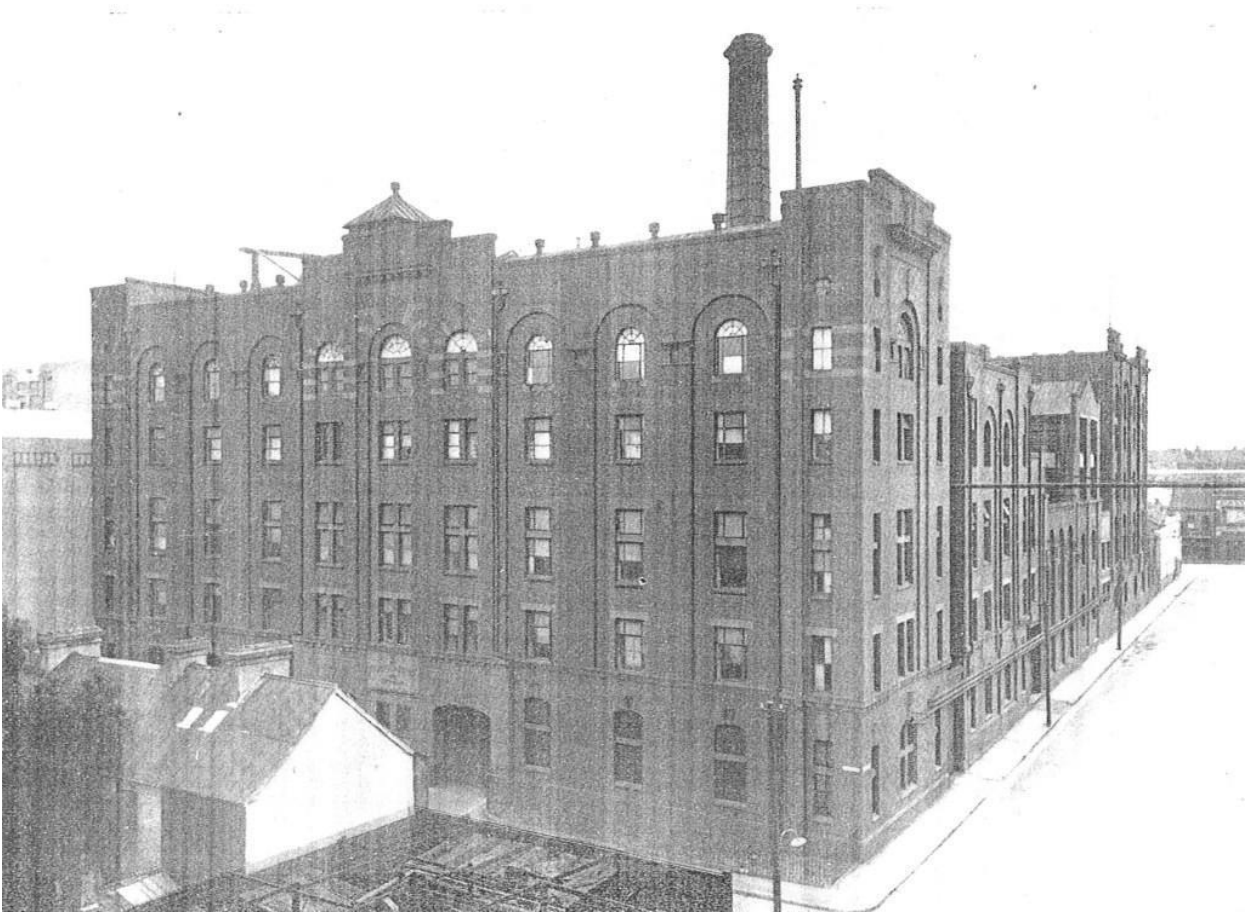


Figure 31 - Irving Street Brewery, 1935

Source: Tooth & Co Ltd 1935:92

In 1939 the Irving Street Brewery was upgraded and beer production on the site doubled. Sheaf Stout was brewed, as well as ales. The Fermenting and Skimming Block was extended west to Carlton Street with the addition of a Skimming, Racking, Washing and Chilling Building. Unlike the later buildings in the precinct, this addition was designed to fit in with the original architectural style of the brewery.¹⁰ The architects were Copeman Lemont and Keesing.¹¹

Minor alterations were carried out by architects Lemont Niblett and Daubney in 1959, including alterations to the yard, bar and gatekeeper's office.¹² Modification undertaken in the late 1960s included major building refitting and plant alterations.

¹⁰ This building is outside the subject area.

¹¹ Planning Workshop, p165.

¹² Planning Workshop, p167.

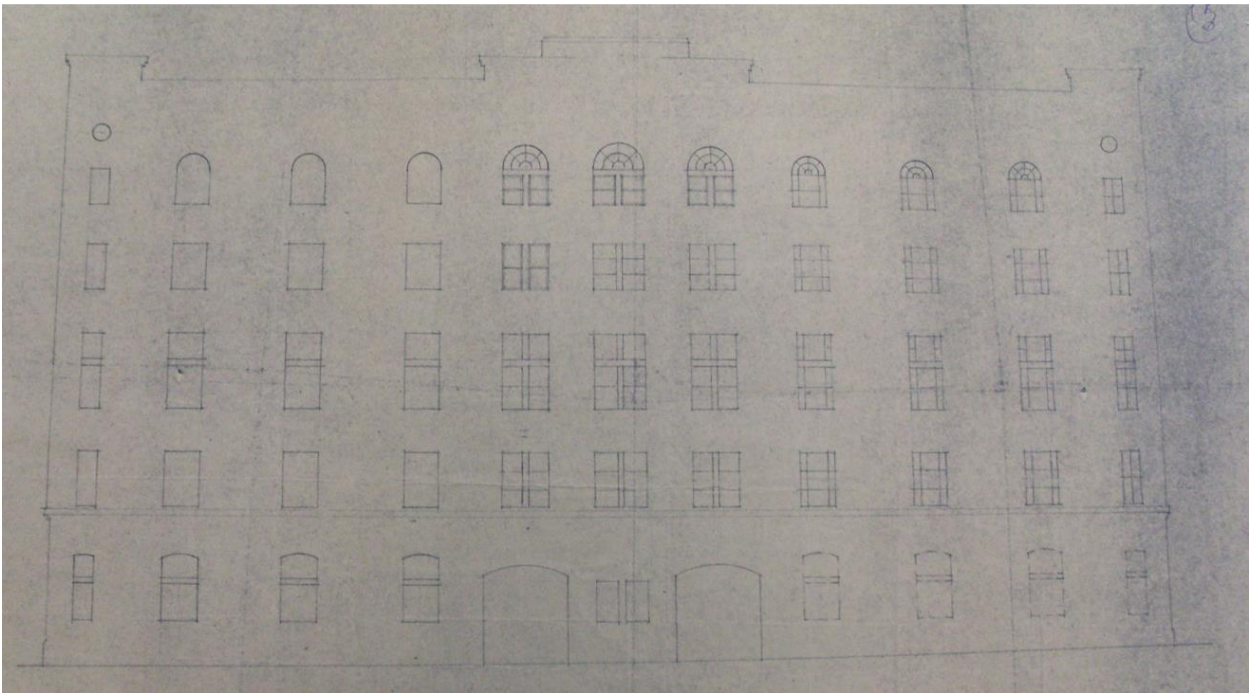


Figure 32 - Elevation drawings showing windows of Irving Street Brewery buildings: South façade of buildings 22 and 23 by the Department of Building Materials, Drawing No. M24708 dated 28-04-50

Source: Courtesy of the Powerhouse Museum archives collection

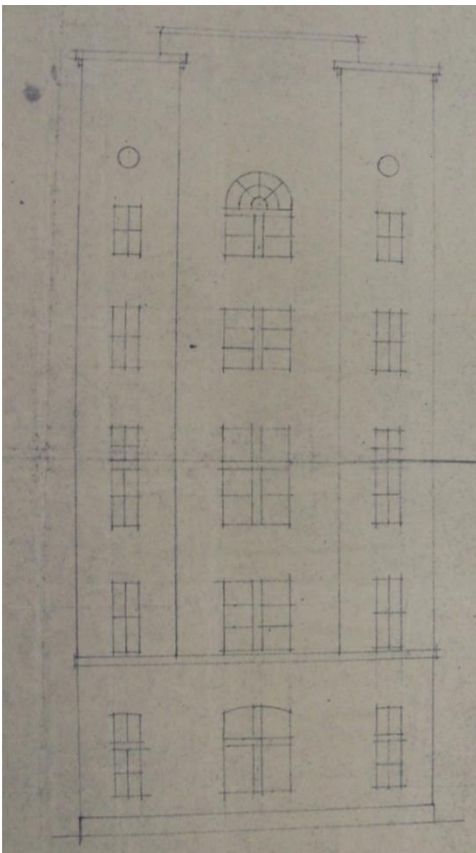


Figure 33 - Elevation drawings showing windows of Irving Street Brewery buildings: East façade of building 22 by the Department of Building Materials, Drawing No. M24708 dated 28-04-50

Source: Courtesy of the Powerhouse Museum archives collection

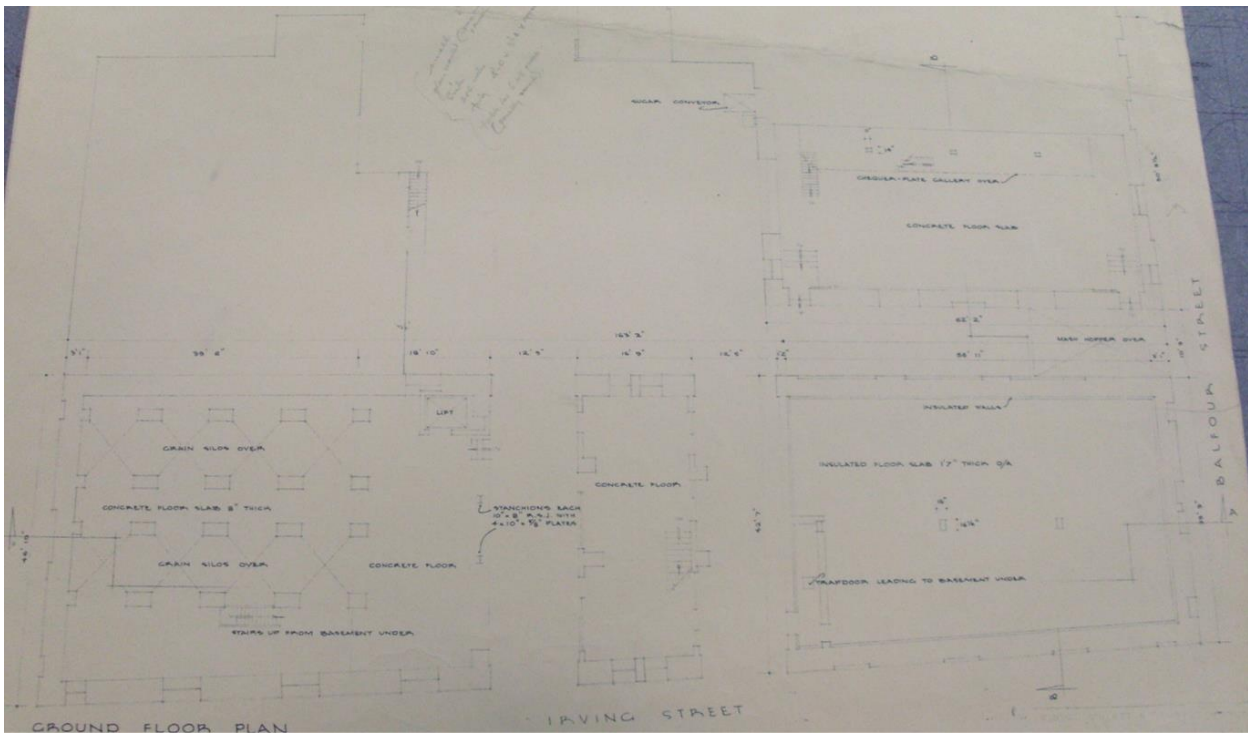


Figure 34 - Plan drawings showing windows of Irving Street Brewery buildings: Ground floor plan by Lemont Niblett and Daubney, Drawing No. 4E-852A dated 27-07-54

Source: Courtesy of the Powerhouse Museum archives collection

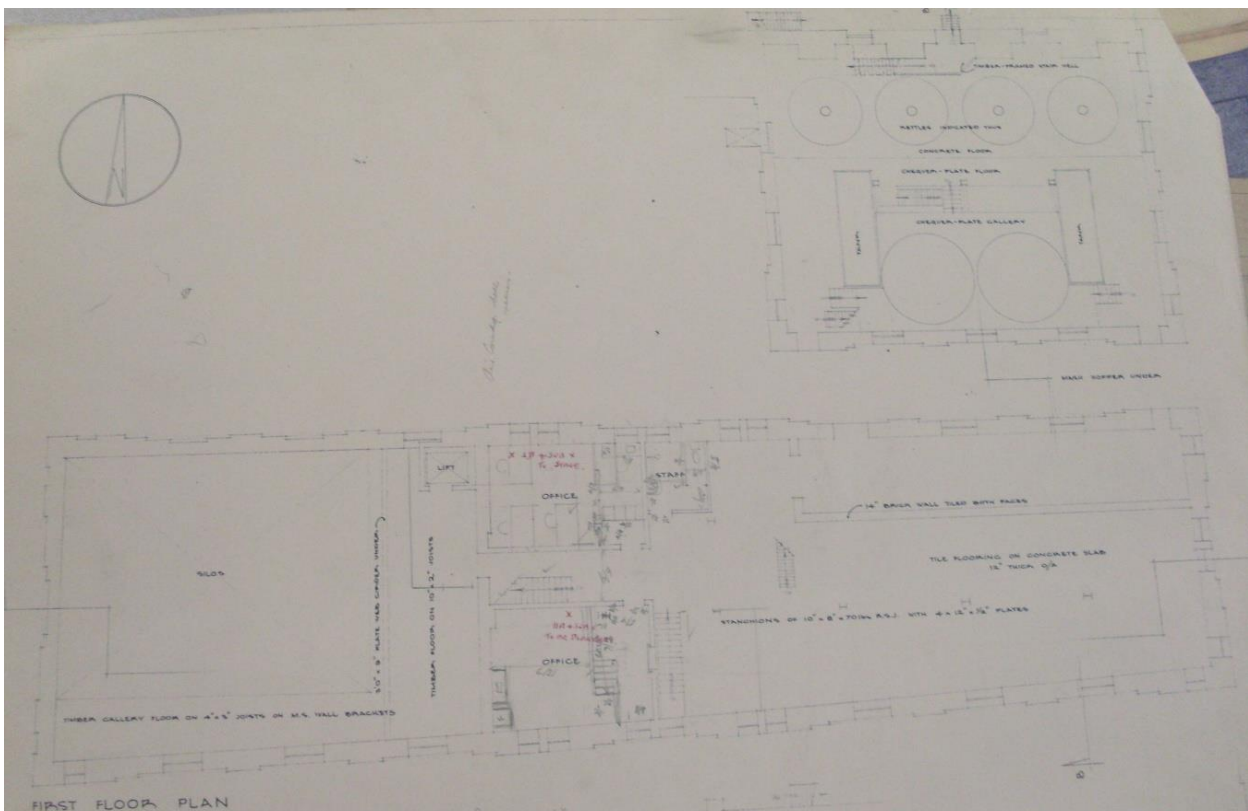


Figure 35 - Plan drawings showing windows of Irving Street Brewery buildings: First floor plan by Lemont Niblett and Daubney, Drawing No. 4E-852A dated 27-07-54

Source: Courtesy of the Powerhouse Museum archives collection

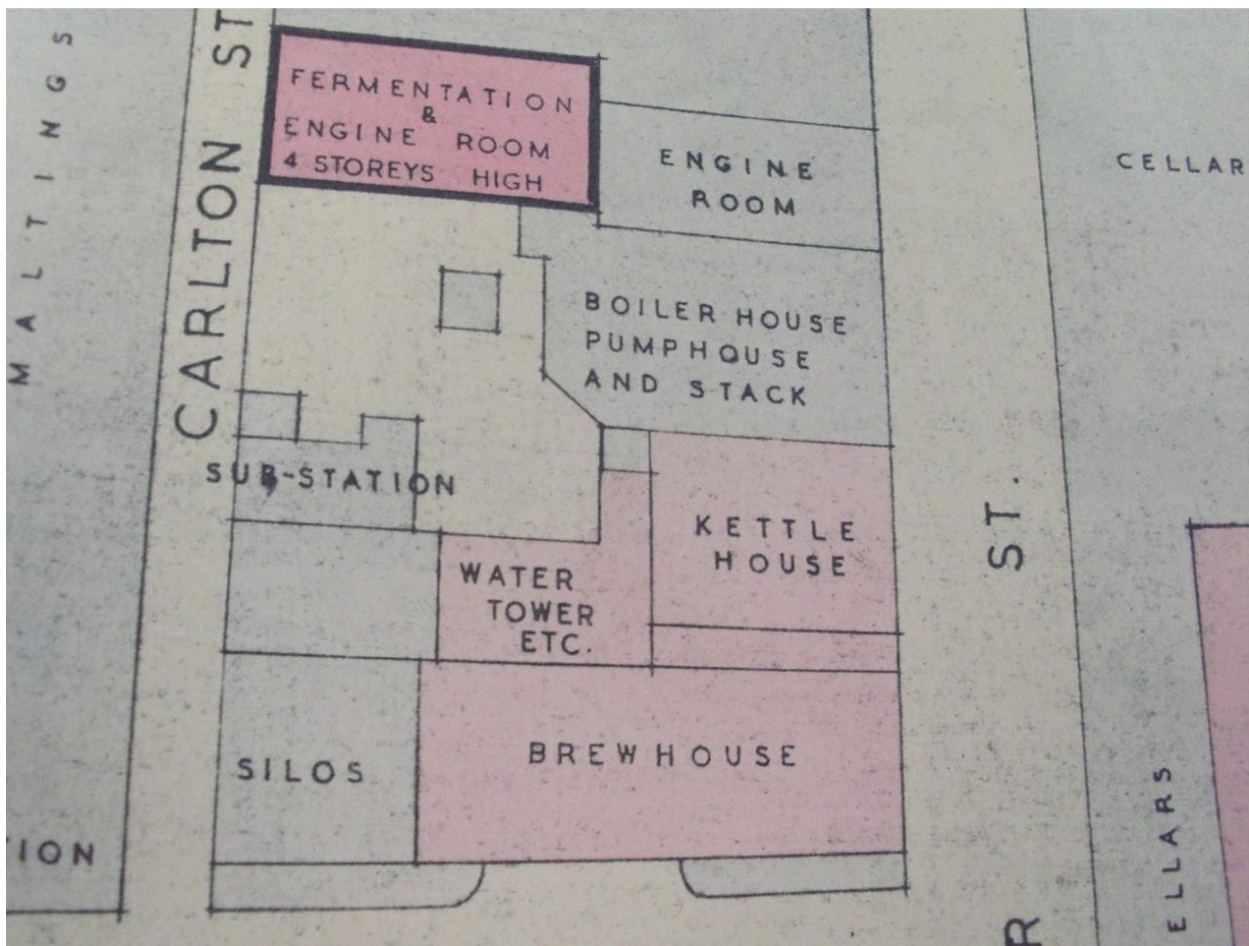


Figure 36 - Section of block plan showing Irving Street Brewery Buildings by Lemont Niblett and Daubney, Drawing No. 798, MA9691 dated 31-03-55

Source: Courtesy of the Powerhouse Museum archives collection

Major changes, including the gutting of some earlier buildings and the addition of new buildings, occurred during the early 1980s. At that time the two breweries, the original Kent Brewery and the Irving Street Brewery, were completely integrated. This required large amounts of automated pipework and access points to be constructed along the sides of the buildings and between the sites. The brewing tanks were replaced, the brewing and packaging processes had been automated and a sophisticated system of loading and unloading was in place.¹³

By the 1980s the Irving Street Brewery provided the following functions: filtration (22), bright beer storage (35A), refrigeration (35B) and carbon dioxide plants (35D), machine maintenance workshop and laboratories (35C). The boiler house was decommissioned and the power plant was replaced by an electrical substation in Building 26.

¹³ Susan O'Flahertie, *Kent Brewery: The Last Shift*, p26.

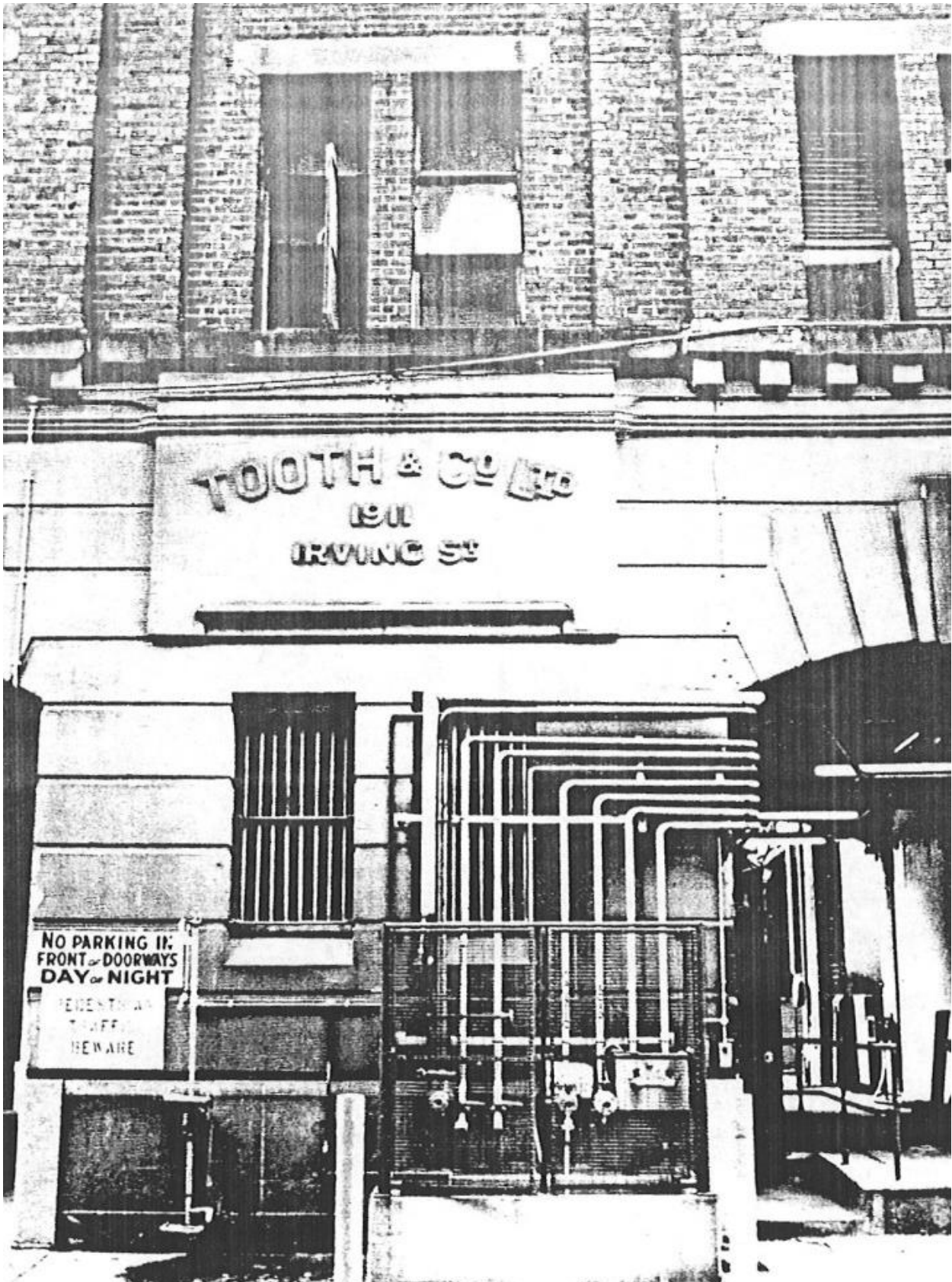


Figure 37 - Irving Street entrance to Brewery, 1991. An example of the pipework which was added to the exterior elevations.

Source: *Planning Workshop*, p170

From 2003, when it was announced that the brewery would close, tanks and equipment were gradually decommissioned and transported to the Yatala Brewery in Queensland. The brewery closed in 2005.

Despite the ongoing upgrades and additions, the exterior fabric of the original buildings is relatively intact, however nearly all of the internal machinery and fittings have been removed. Externally, most of the later additions (such as pipework) have been removed from the original buildings, while the newer buildings have recently been demolished (mid 2008).

3.4. MALT SILOS (23)

This is the only building in the complex which retained its original function until the closure of the brewery in 2005. The malt stores at the Kent Street Brewery contained bins and silos with a total capacity of 114,000 bushels (4 megalitres). The supplementary Irving Street Brewery Silos had a capacity of around 2.3 megalitres.¹⁴

The malt was the end product of the Maltings (Asset Nos 33 and 34, now demolished), where barley was cleaned and steeped in water to start germination then held for several days. At the end of the germinating process it was dried, with different drying temperatures being used to produce different types of malt. After drying, the malt was transferred to the silos ready for the Brew House (also known as the Brewing Tower).

On the eastern side of the Malt Silos were the Engineer's Office and the Brewer's Office, accessed via the entry from Irving Street. Between the two entrances were the Watchman's Office, the Weighbridge Office and the Beer Office.

Badly rusted steel-framed windows on the Irving Street frontage were replaced by bronze sashes and frames in 1950. A pneumatic plant (designed by architects Copeman Lemont and Keesing) was added to the Silos in 1935, a lift was installed by architect Reg E Grout in 1949 and a substation (now demolished) added to the north of the building in 1953.¹⁵

Most of the original internal fabric of the Silos is intact – this includes the timber trusses and ripple iron sheet lining of the internal walls and ceiling. In 1991 the Malt Silos still contained the original timber silos and cleaning socks, chutes and valve gates, some of which dated from 1912. There were also the footings for the plumbers' blocks on the internal wall, which were probably part of the original bucket elevator. A large steel angle and plate riveted original girder spanned across the building at a high level.¹⁶

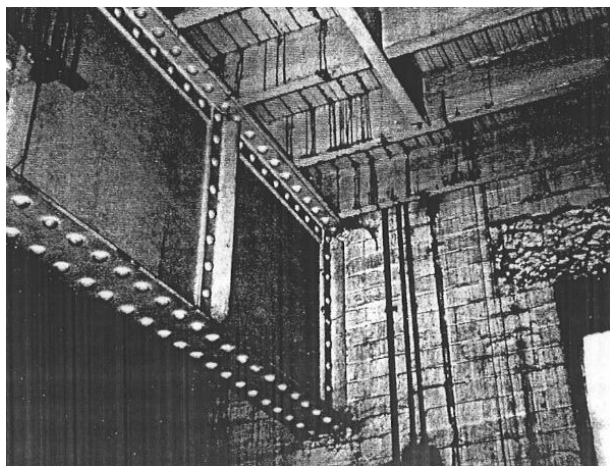


Figure 38 - Detail of riveted steel beams, timber floor structure and brickwork, 1991

Source: *Planning Workshop*, pp170-1

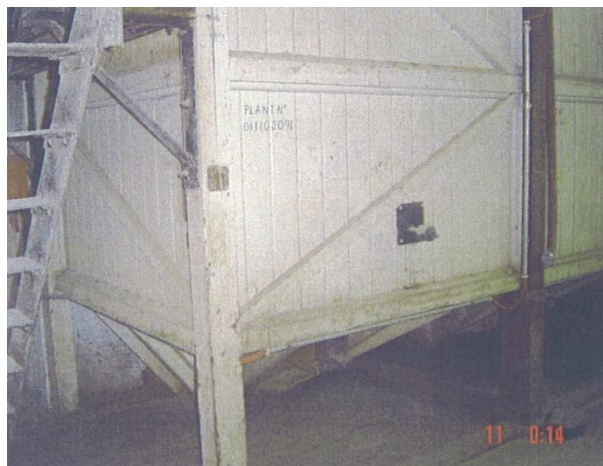


Figure 39 - Timber bins on the second floor, 2004

Source: Noel Bell Ridley Smith, *Inv44-22 & 23*, p9

¹⁴ Tooth & Co Ltd, 1953, p53.

¹⁵ Planning Workshop, p167.

¹⁶ Planning Workshop, p226.

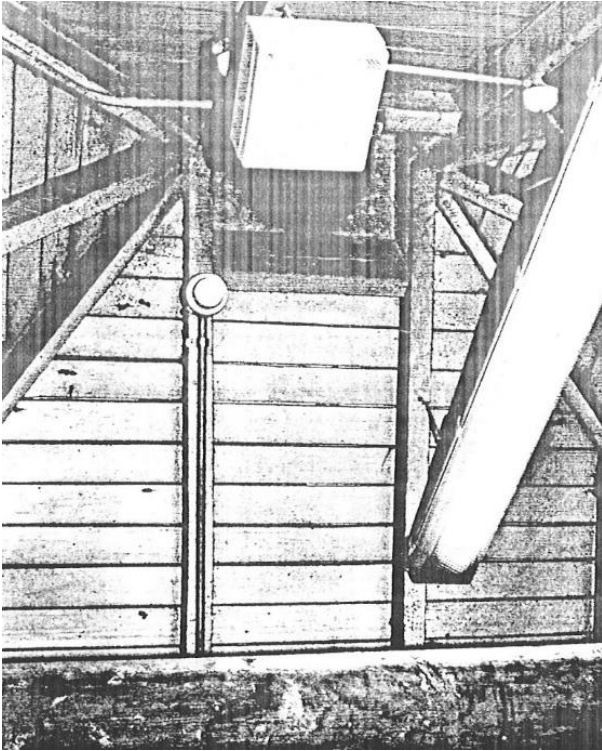


Figure 40 - Detail of roof structure and lining to turret, 1991

Source: *Planning Workshop*, pp170-1

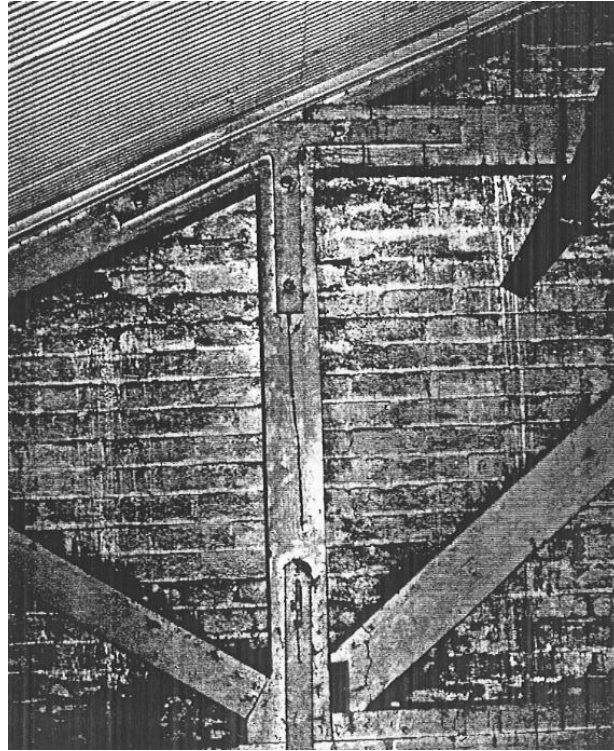


Figure 41 - Detail of roof structure & corrugated metal interior lining, 1991

Source: *Planning Workshop*, pp170-1

3.5. FILTRATION PLAN/BREW HOUSE (22)

At the top of the brewing tower, “grist” (crushed malt) cases and “hot liquor” (water) tanks contained the primary materials for the brewing process. The grist was “mashed in” with hot water then the resulting solution of sugars was separated from the grain husks in the lauter tun. The large mash-tuns were on the lower floors.¹⁷ Two cellars were located under the Brew House.

By 1976 the Brew House had ceased functioning as the new Brew House (Asset No 20 to the south) was operational. In the early 1980s the interior of the old Brew House was gutted and new concrete floors and columns were constructed. The spaces were converted to house the filtration plant (Figure 14). The external walls remained relatively intact. The works were designed by architects Peddle Thorp and Walker, and engineers Woolacott Hale Corlett and Jumikis. As part of these 1980s works, all of the original brewing machinery was removed from the building.

¹⁷ Tooth & Co Ltd, 1953, p54.

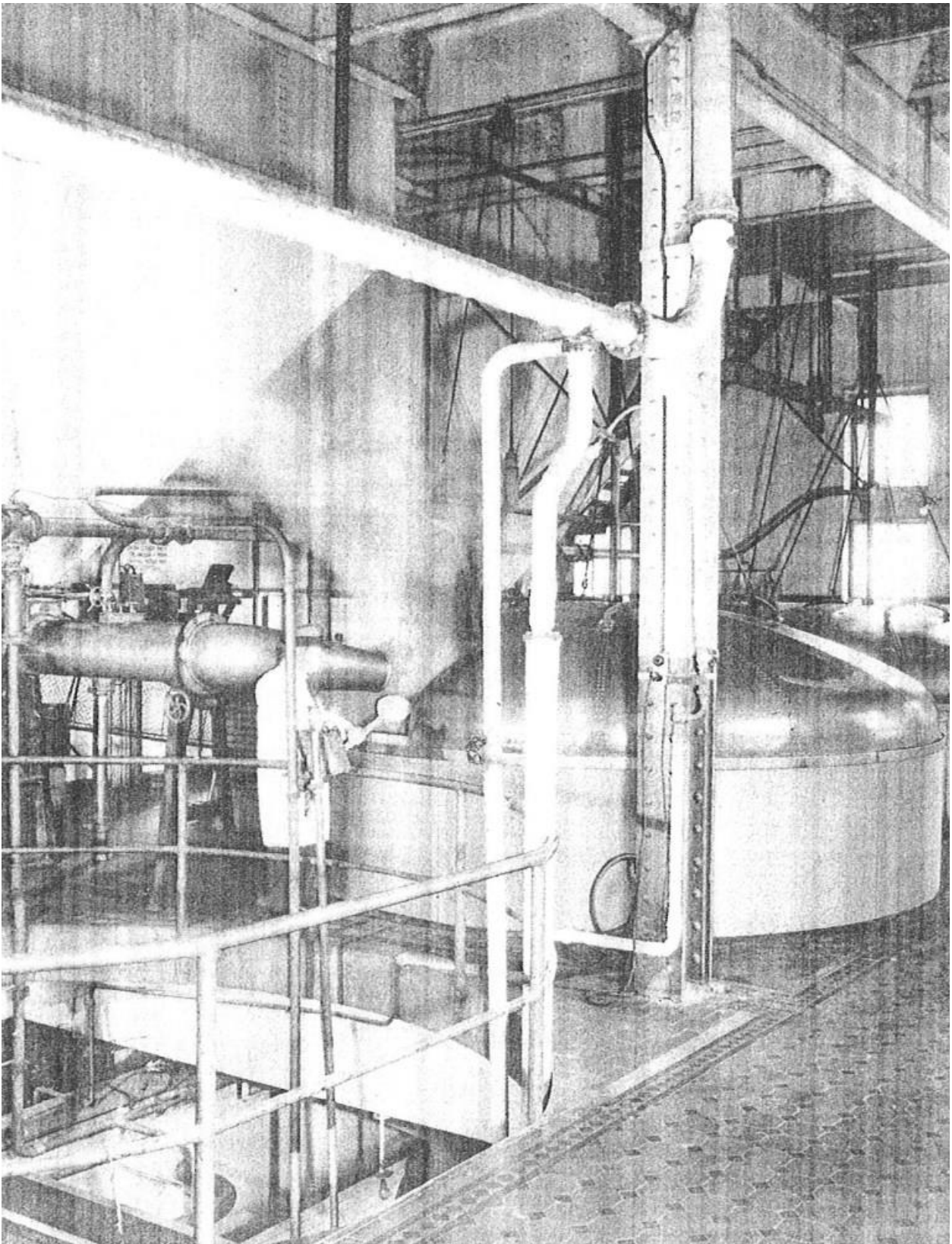


Figure 42 - Mash Tuns in Brew House (22), 1953

Source: *Tooth & Co Ltd 1953:55*



Figure 43 - Filtration Plant (22), 2004. Second floor interior showing the double height space.

Source: Noel Bell Ridley Smith, Inv44-22&23, p8

3.6. STAIRCASE BLOCK (25)

A brick and concrete stair was constructed between the old Brew House (Asset No. 22) and the old Copper and Sugar House (Asset No. 26) in the early 1980s, as part of the upgrade designed by Peddle Thorp and Walker. It provides access to the Substation (Asset No. 26) and an additional access point to the Filtration Building (Asset No 22). The reinforced concrete slabs intrude into the original face brickwork of the adjacent buildings, and original openings have been filled.

3.7. GAS RECEIVING STATION/COPPER HOUSE AND SUGAR HOUSE (26)

The second stage of the brewing process was boiling, during which the hops were added. The building contained large boiling vessels known as coppers or kettles.¹⁸ There was also a Sugar Store on the ground floor.

¹⁸ Tooth & Co Ltd, 1953, p54.

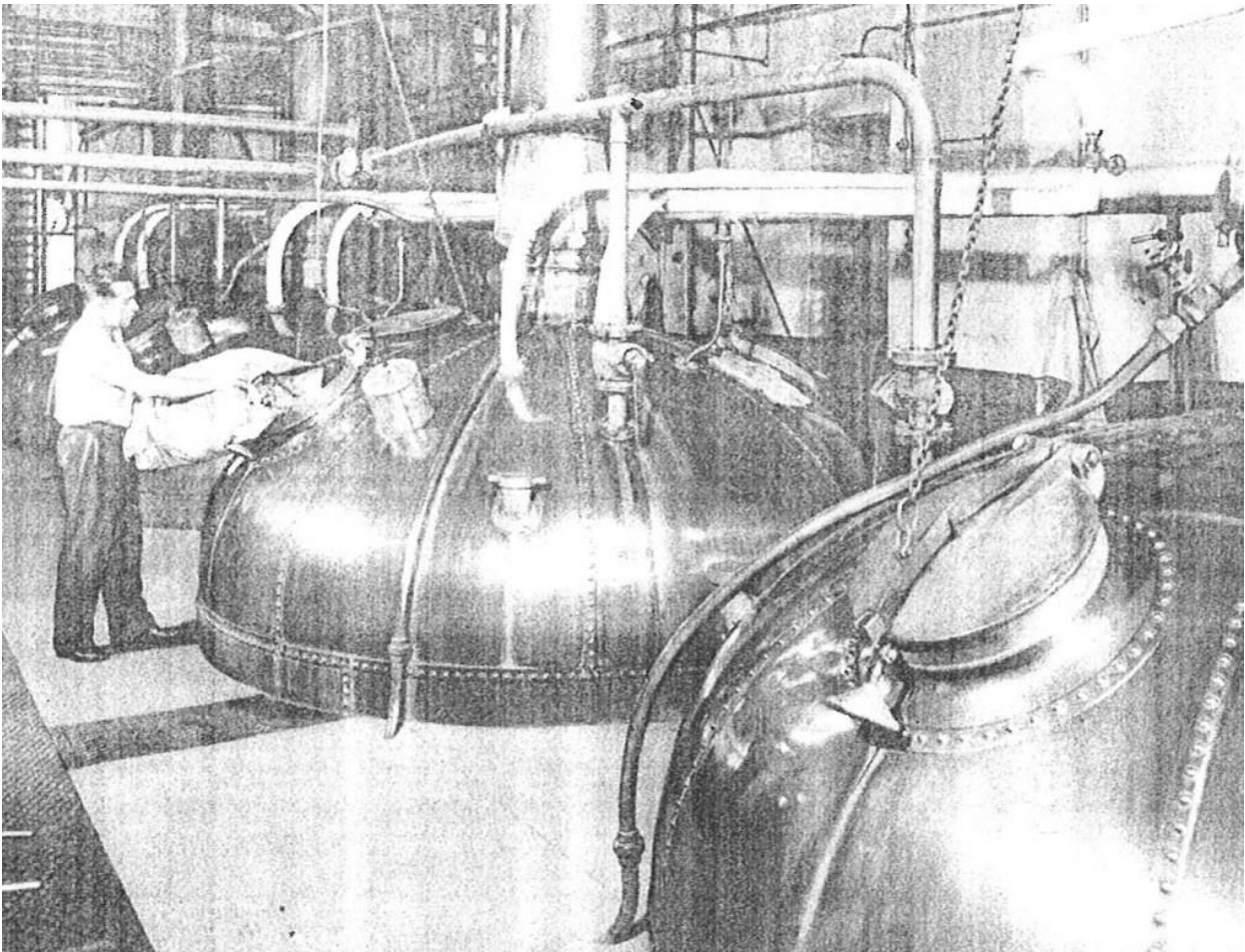


Figure 44 - Kettles in the Copper House

Source: *Tooth & Co Ltd 1953:54*

In the early 1950s, the Balfour Street openings were enlarged, and concrete lintels installed, to create bunker access through the Sugar Store to the yard.¹⁹ Similar access openings were created in the yard elevation. In addition, some of the upper level windows were blocked or bricked up, and one was enlarged with non-matching brickwork. The architect was Reg E Grout.

More recently the interior was gutted to create a space for an electricity Substation, vacuum filters, offices and other equipment. New reinforced concrete floors and columns were installed and openings on the southern facade were bricked up. When the steam raising operation (Asset No. 30) was converted from coal to gas in 1989, the gas was piped to a tank installed on the top of this building.

3.8. OLD BOILER HOUSE (30)

The boilers created steam for the brewing process and for the generation of electricity. Around 1950 the Boiler House was substantially altered when it was converted to use coal. Designed by architect Reg E Grout, the changes involved placing a coal bunker (a sheet metal shed) on the top of the building, adding inverted pyramid-shaped coal hoppers and raising the level of the adjacent roof. Concrete-framed additions obscured the yard façade on the first floor level. The steam raising function was converted from coal to gas in 1989 as part of the construction of a new Boiler House (31), and the boilers were removed from the old Boiler House.²⁰ Subsequently, electricity was provided via a Substation in the old Copper and Sugar House (26).

¹⁹ Planning Workshop, p168.

²⁰ O'Flahertie, p33.

3.9. CHIMNEY STACK (36)

Located in the centre of the brewery complex, the octagonal, brick chimney was part of the 1912 constructions, and served the Old Boiler House (30). Around 1990 it was re-strapped vertically on each corner and horizontally throughout its height.²¹

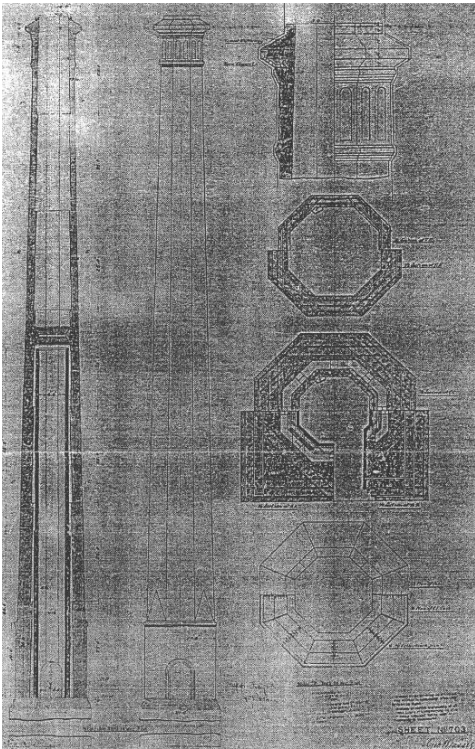


Figure 45 - Chimney Stack (36), original plans and Brewery in 1930s

Source: Noel Bell Ridley Smith and Partners
2005:V4P4:INV40-36, p.25

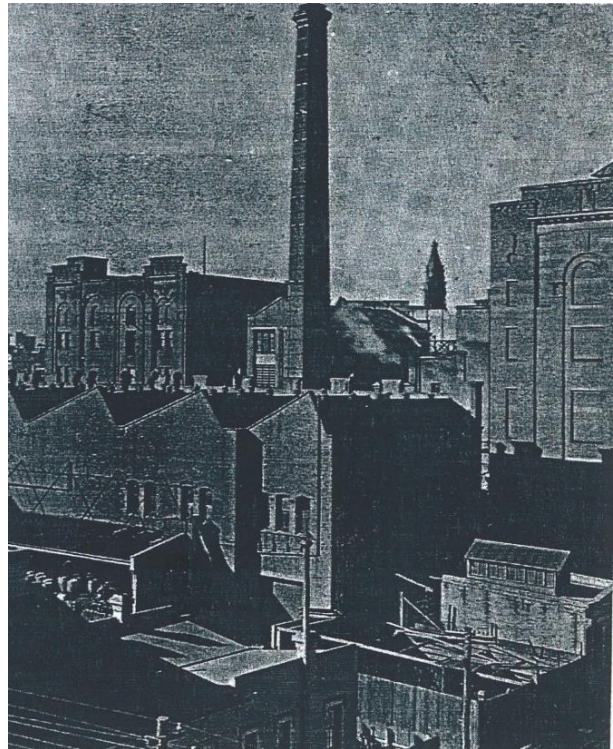


Figure 46 - Brewery buildings and chimney stack in 1930s

Source: Noel Bell Ridley Smith and Partners
2005:V4P4:INV40-36, p.26

3.10. BREWERY YARD (52)

In the design of the Irving Street Brewery complex, architectural detailing was at least as important as the brewing technology in developing the form of the buildings. This resulted in impressive elevations not only to the streets, but also in the working yard.

The yard is paved in concrete and most of the late 20th century structures within the yard have been removed. While the boilers were fuelled by coal, there was a Coal Stack adjacent to the Chimney Stack.

3.11. GRAIN HOPPER (24) AND NEW BOILER HOUSE (31)

The grain hopper has been demolished, which was located on the northern façade of building 23. It was a double height metal shelter with roller shutters on two opposite faces, allowing grain trucks to drive through. The trucks unloaded malted barley, by tipping it into a floor grating leading to the basement of the Malt Silos. Adjacent to the hopper was a Fitters Shop and later a Substation, the outline of which is still visible on the northern façade of the Malt Silos building (23).

The New Boiler House (31), constructed in the 1980s, has been demolished. It was on the site of the Coal Bins which supplied coal to the Old Boiler House.

²¹ Planning Workshop, p165.

4. HERITAGE SIGNIFICANCE

Section 4.2 provides the statement of heritage significance for the entire former Carlton and United Brewery (CUB) site, as well as graphically showing areas of archaeological and heritage significance throughout the site (as determined by Godden Mackay Logan in 2006).

Section 4.3 and 4.4 revises Godden Mackay Logan's 2006 assessment and statement of significance for the Brewery Buildings.

4.1. CURRENT HERITAGE LISTING

A summary of the statutory heritage listings applicable to the Brewery Complex and its vicinity are provided below. Whilst the heritage listing is limited to the chimney stack (item 36), the significance of the brewery buildings has been recognised in its retention in the SSDA and previous reporting, including the Special Element Conservation Plan (prepared by Urbis).

Table 4 – Statutory controls and heritage listings

Precinct	CUB Asset No. of Heritage Items	Heritage Listing
Irving Street Brewery Precinct	Chimney Stack (36)	Sydney Local Environmental Plan 2005

4.2. SIGNIFICANCE OF THE FORMER CUB SITE

The following statement of significance has been taken from the Heritage Impact Statement by Godden Mackay Logan for the Concept Plan (2006A:47-49), which applies to the entire CUB site. The subject Irving Street Brewery Buildings are assessed below in sections 5.3 and 5.4, however the buildings are of course a strong contributor to the values of the former CUB site as a whole.

The CUB site has Local significance as a rare surviving large industrial site on the city's edge, providing evidence of the evolution of a major brewery over 170 years. It was, until its closure, the largest and oldest continuously operating brewery in New South Wales and in its present form, demonstrates aspects of the evolutionary history of the site from the early 1890s to the present day.

The site incorporates within its boundaries the whole of the original Kent Brewery site, established in 1835, which is capable of interpretation.

The site has strong associations with the Tooth Family from the establishment of brewing in 1835 to the incorporation of Tooth and Company as a public company in the 1880s.

Individual buildings within the site have associations with the various firms of architects employed by Toths, notably Spain, Cosh and Minnett, Halligan and Wilton, Robertson and Marks, Copeman Lamont and Keesing, and Sidney Warden.

The site contains individual buildings, building groups, streets patterns and lanes, structures and industrial equipment which are significant for their individual values and for their contribution to an understanding of the broader historical evolution of the site. The site includes a rare group of terraces of historical importance, a rare Art Deco style portal gateway of exceptional aesthetic value and a rare, highly intact Federation era garage building.

The most important component elements of the site include the Main Entry Portal Gateway (51), the Main Avenue (Kent Road) (57), the County Clare Hotel, Broadway (38), the Australian Hotel, Broadway (40), the Abercrombie Street Terraces (42A, B and C), the Castle Connell Hotel (14), the Kensington Street Terraces (47A and B, 48A to J, and 49A and B), the Kensington Street Streetscape (64), the Irving Street Brewery Group (22, 23, 26, 30, 35A, 35B and 36), the Administration Buildings (10A and B), the former Motor Garage/Kensington Street Store (46A) and the former Barley Store (32). The Carpenters Workshop (13A) had been rated in the 2005 SECP and subsequent Executive Report as being of Moderate significance and that therefore it may warrant listing at the local level, but a subsequent Construction Analysis Report (Godden Mackay Logan, July 2006) revised this assessment. The 2006 report concluded that the building does not meet the relevant threshold for listing at a local level.

As a result of its long association with brewing and its physical presence at the edge of the city, the CUB site retains an ability to demonstrate the dominant character of industrial uses that once bounded the city core. It demonstrates the importance that breweries had in the economic structure of the state and in the social lives of Australians since Colonial times.

The identified significance of the site is enhanced by extensive surviving records which are in the public domain. These demonstrate aspects of the identified historical significance of the site. Substantial documentary evidence survives in several public archives along with artefacts surviving on site and in the Sydney Powerhouse Museum, which would support interpretation of the various aspects of the significance of the site.

The site has potential to contain historical archaeological resources that may provide tangible links to significant phases in the history and evolution of the site. The site has been subject to varying degrees of disturbance and has low to medium potential to provide information about the development and occupation of the site throughout its history, which would complement the comprehensive historical information that is available. This evidence may also provide further information about poorly-understood aspects of Sydney's early history, through evidence associated with early agricultural activities, residential occupation, and development and commercial enterprises. The site is unlikely to contain extensive evidence associated with the operation of the brewery itself, owing to the dramatic impact that twentieth century investment in and redevelopment of the brewery enterprise had on the surviving archaeological resource.

The site has low potential to contain archaeological deposits and features that may contribute to our understanding of past Aboriginal use of this part of Sydney, or the paleo-environment. Any such evidence would be of High significance with Moderate research potential, given that such evidence is likely to be relatively disturbed, if it survives at all.

4.3. ASSESSMENT OF SIGNIFICANCE – IRVING STREET BREWERY BUILDINGS

The Assets listed in the following table are the Brewery Buildings that are subject to this report. The assessment of the overall assets for both built and archaeological significance were undertaken by Godden Mackay Logan (2006A:50-53) in their Heritage Impact Statement on the Concept Plan for the site's redevelopment.

Construction of the brewery buildings was completed in 1912. As brewing operations advanced the buildings' uses also changed. Their uses in 1912 and 2005 when the brewery closed are noted below. All buildings are currently vacant.

Table 5 – Brewery Assets: Use and Significance

Asset No.	Name of Asset	Building Use (2005)	Built and other Element Significance	Archaeological Significance
22	Filtration Building	Filtration Plant	High	Nil
23	Malt Silo Building	Malt Silos	High	Nil
25	Staircase Block	Stairs (built 1980)	Intrusive	Moderate
26	Gas Receiving Station	Gas Receiving Station and Offices	Moderate	High
30	Old Boiler House	Storage (1989-2005)	Moderate	High
36	Chimney Stack	Chimney	High	Nil
52	Yard	Yard	High (for non-built significance)	Partially nil, partially moderate, partially high

The following assessment of heritage significance has been developed specifically for the Brewery Buildings, following on from GML's 2006 Heritage Impact Statement.

Table 6 – Heritage Significance Assessment – Brewery Buildings

Criteria	Description	Significance Assessment
A – Historical Significance	An item is important in the course or pattern of the local area's cultural or natural history.	<p><i>The [former] CUB site is significant for its demonstration of important historical evolutionary processes of growth and development from the earliest alienation and use of the land for agricultural and housing purposes through to the establishment of the colonial brewery and continuous expansion, growth and change up to the end of the 20th Century.</i></p> <p>The remaining Irving Street Brewery Buildings (Assets Nos. 22, 23, 26, 30, 36 and 52) have historical significance at a local level as the last remaining industrial buildings on the former CUB site. They provide tangible evidence of the history of the brewing process.</p> <p>The Malt Silo (23) is the only building in the complex which retained its original function until the closure of the brewery in 2005 with tangible evidence of the function being apparent in the retained malt silos.</p>
B – Associative Significance	An item has strong or special associations with the life or works of a person, or group of persons, of importance in the local area's cultural or natural history.	<p><i>The former CUB site at Broadway is significant for its close associations with members of the Tooth family who were prominent members of Sydney society and contributed to the social, cultural and economic life of Sydney and NSW in the mid-late 19th Century.</i></p> <p><i>The former CUB site at Broadway is significant at a secondary level for its associations with the work undertaken for the brewery by a number of prominent architects in designs for component parts of the site.</i> The remaining Irving Street Brewery Buildings have associative significance at a local level as significant industrial buildings designed by architects Halligan and Wilton.</p>
C – Aesthetic Significance	An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.	<p>The remaining Irving Street Brewery Buildings have aesthetic significance at a local level, as they are good albeit altered examples of Edwardian warehouse buildings. They are remnants of the site's former distinctive industrial character and function.</p> <p>The chimney (36) retains its aesthetic significance as a recognisable and prominent element on the site and landmark of the Chippendale area.</p>
D – Social Significance	An item has strong or special association with a particular community or cultural group in the local area for social, cultural or spiritual reasons.	<p>The former CUB site at Broadway (particularly in its redeveloped form) does not strongly demonstrate this criterion based on available information studies. However, the Irving Street Brewery Buildings were at the heart of the site physically, they represented the core of the industrial processes taking place on the site and had significance for the working population at the brewery from 1912 to 2005.</p>

Criteria	Description	Significance Assessment
E – Research Potential	An item has potential to yield information that will contribute to an understanding of the local area's cultural or natural history.	<p><i>The potential archaeological resource at this site is very complex, with various phases of construction, expansion and demolition across the site which occurred throughout the site's history.</i></p> <p>It is likely that the Central Park site (inclusive of the subject Brewery site) is of some significance to the Indigenous community, noting that the former Brewery site formed a small part of a far larger cultural landscape that was highly significant to the traditional Aboriginal owners of Sydney. Potential for Aboriginal Archaeological remains are however assessed as low to nil. It is concluded that the accumulated impacts associated with the ongoing post-Contact development and occupation of the site are likely to have extensively disturbed and/or destroyed the Aboriginal archaeological resource that may have formerly been present on the site.</p> <p>The archaeological evidence for the Irving Street Brewery Buildings is likely to be historical in nature, considering the major disturbance of the site. It may contain fragmentary evidence associated with the former Military Gardens and former residential development phases.</p> <p>The site is however noted as being highly disturbed; including deep excavation of the brewery yard for the trigen plant and redevelopment of the site for the brewery buildings, which included provision of basements to buildings 22/23. Potential is therefore assessed as low. Any remains associated with the military garden and early residential development where surviving is likely to be of moderate or high heritage significance.</p> <p>The research potential of the Irving Street Brewery Buildings is likely to be associated with evidence of their construction.</p> <p>The Malt Silos (23) and the coal hoppers in the Boiler House (30) have high significance for their ability to demonstrate the industrial processes occurring on the site.</p>
F – Rarity	An item possesses uncommon, rare or endangered aspects of the local area's cultural or natural history.	<p>The remaining Irving Street Brewery Buildings are rare within the City of Sydney LGA and are likely to be rare at a State level (particularly buildings 23 and 30), noting the extent of the industrial fabric and unique design. Their integrity as elements of a rare industrial complex has been diminished by the removal of other buildings from the former CUB site.</p> <p><i>Archaeological remains associated with the early agricultural and residential use of the site (1788-c1850) would be rare, representing a poorly documented and understood aspect of Sydney and New South Wales' history. Archaeological remains associated with an early brewery complex are also rare, especially one that had continuous occupation for over 170 years.</i></p> <p>Archaeological potential has however been assessed as low.</p>

Criteria	Description	Significance Assessment
G – Representative	An item is important in demonstrating the principal characteristics of a class of NSWs (or the local area's): cultural or natural places; or cultural or natural environments.	The remaining Irving Street Brewery Buildings are now stand-alone former industrial elements rather than part of an industrial complex. The retained buildings are no longer representative of large-scale industrial sites however they are representative of Edwardian industrial architecture and the early 20 th century development of the CUB site.

4.4. STATEMENT OF SIGNIFICANCE – IRVING STREET BREWERY BUILDINGS

The following statement of significance for the Brewery Buildings has been revised by Urbis, based on changes to the site and the Heritage Council's seven assessment criteria (above).

The remaining Brewery Buildings (Assets Nos. 22, 23, 26, 30, and 36) have rarity at a state level, particularly the Malt Silos (23) and Old Boiler House (30). They also have research potential and historical, associative aesthetic and representative significance at a local level.

The former CUB site is significant for its demonstration of important historical evolutionary processes of growth and development from the earliest alienation and use of the land for agricultural and housing purposes through to the establishment of the colonial brewery and continuous expansion, growth and change up to the end of the 20th Century. The remaining Irving Street Brewery Buildings have historical significance as the last remaining industrial buildings on the former CUB site. They provide tangible evidence of the history of the brewing process. The Malt Silo (23) is the only retained Brewery building that retained its original function (until the closure of the brewery in 2005).

The remaining Brewery Buildings have aesthetic significance, as they are good albeit altered examples of Federation warehouse buildings. They are remnants of the site's former distinctive industrial character and function. The Chimney Stack (36) retains its aesthetic significance as a recognisable element on the site and landmark in the Chippendale area.

The former CUB site at Broadway is significant for its close associations with members of the Tooth family who were prominent members of Sydney society and contributed to the social, cultural and economic life of Sydney and NSW in the mid-late 19th Century. The former CUB site at Broadway is significant at a secondary level for its associations with the work undertaken for the brewery by a number of prominent architects in designs for component parts of the site. The remaining Irving Street Brewery Buildings have associative significance as they were designed by Halligan and Wilton.

The Irving Street Brewery Buildings were at the heart of the site physically and represented the core of the industrial processes taking place on the site. As such, it is likely that the brewery buildings demonstrate social significance for the working population at the brewery from 1912 to 2005.

The research potential of the Brewery Buildings is likely to be associated with evidence of their construction. The reinforced concrete malt silos with the Malt Silos Building (23) and the coal hoppers within the Old Boiler House (30) have high significance for their ability to demonstrate the industrial processes occurring on the site.

It is likely that the Central Park site (inclusive of the subject Brewery site) is of some significance to the Indigenous community, noting that the former Brewery site formed a small part of a far larger cultural landscape that was highly significant to the traditional Aboriginal owners of Sydney. Potential for Aboriginal Archaeological remains are however assessed as low. The potential historical archaeological resource at the former CUB site is very complex, with various phases of construction, expansion and demolition across the site which occurred throughout the site's history. The archaeological evidence for the Irving Street Brewery Buildings is likely to be historical in nature, considering the major disturbance of the site. It may contain fragmentary evidence associated with the former Military Gardens and former residential phases; however the potential is assessed as low to nil.

The remaining Irving Street Brewery Buildings are rare within Sydney's Central Business District, and likely to be rare at a state level (particularly buildings 23 and 30) given their unique design. Their integrity as

elements of a rare industrial complex has been diminished by the removal of other buildings from the former CUB site.

The remaining Irving Street Brewery Buildings are now stand-alone former industrial elements rather than part of an industrial complex. As such the subject retained brewery buildings are no longer representative of large-scale industrial sites but they are representative of Edwardian industrial architecture and the characteristic early 20th century development of the CUB site.

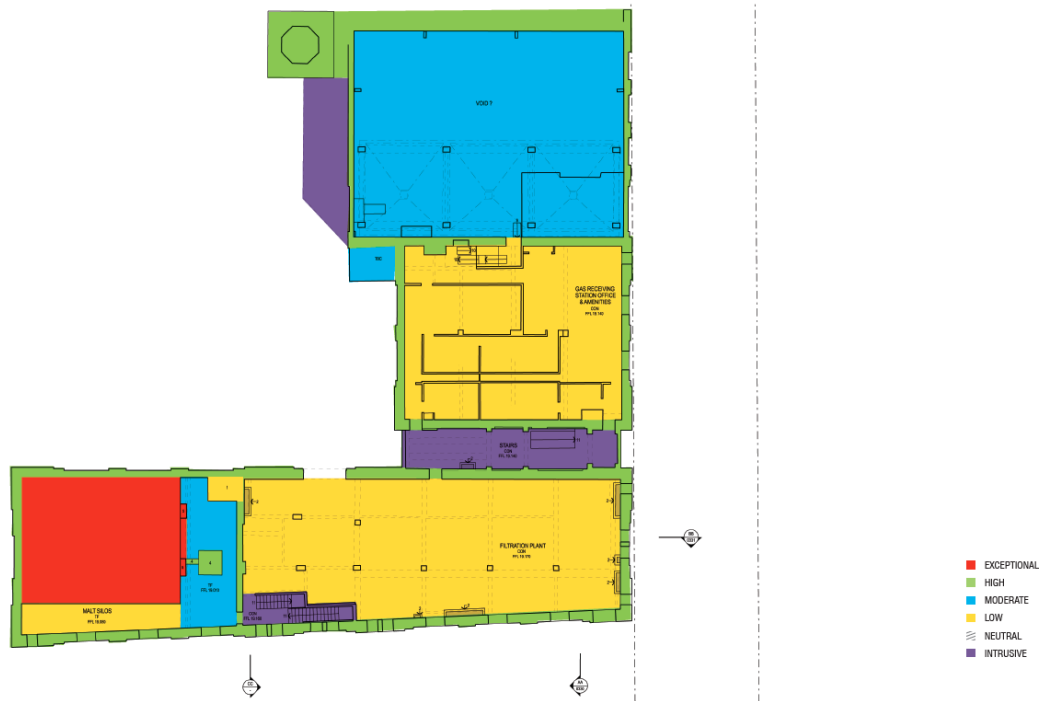
4.5. SIGNIFICANT ELEMENT DIAGRAMS

The following plans by Tzannes Associates dated October 2008 illustrate the significance grading of elements throughout the Brewery Buildings. Only the relevant floors and façade have been included.



Figure 47 - Significance Diagram – Ground Floor Plan

Source: Tzannes, 2008



SIGNIFICANCE OF ELEMENTS - IRVING STREET BREWERY BUILDINGS & YARD - FIRST FLOOR PLAN - 0302



Figure 48 - Significance Diagram – First Floor Plan

Source: Tzannes, 2008



SIGNIFICANCE OF ELEMENTS - IRVING STREET BREWERY BUILDINGS & YARD - THIRD FLOOR PLAN - 0304



Figure 49 - Significance Diagram – Third Floor Plan

Source: Tzannes, 2008

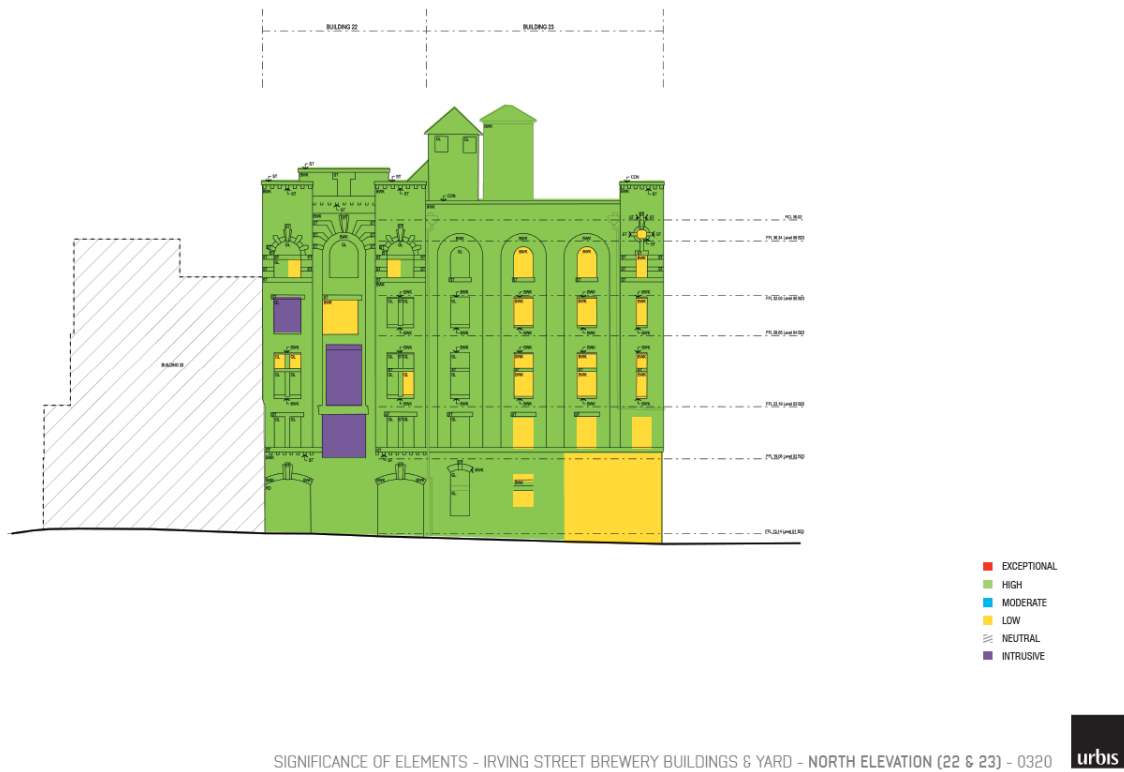


Figure 50 - Significance Diagram – North Elevation

Source: Tzannes, 2008

5. IMPACT ASSESSMENT

The following assessment has been prepared to address each of the proposed modifications. The commentary below has taken into account all relevant guidelines and policies in the Sydney Local Environmental Plan (LEP) 2005 and the Sydney Development Control Plan (DCP) in addition to the relevant policies outlined in the SECP.

5.1. PROPOSED WORKS

The proposed new work follows conservation, restoration and adaptation principles established by the 2014 works and align with the intent of the SECP. The proposed new work comprises the following:

- Modification to the approved level 1 floor slab to provide for a new void.
- Modification to the approved level 3 mezzanine to infill a former void between the coal hoppers.
- Proposed works to the entrance to building 30 (from building 26).
- Modification to the approved interpretation zone (Building 26)
- Provision of a new sliding door, modifying an approved window.

Key elements of the proposal are assessed below having regard for the provisions of the SLEP 2005, the DCP and the SECP.

5.2. NEW VOID BETWEEN GROUND AND LEVEL ONE

It is proposed to introduce a new void between the ground floor and level 1 in building 30. This void includes a glass balustrade on level 1.

The proposed new void between ground floor and level 1 of building 30 removes a portion of the approved level 1 slab which, along with the existing level 2 void, creates a triple height volume that assists to interpret the original volumes within the space. The void allows views to level 1 and 2. More importantly, the proposed void will not impact on or alter the legibility of and views to the retained coal hoppers from the exterior of the building. The SSDA approval anticipates a new floor slab on level 1 and therefore the proposed void impacts new/ approved fabric and will not further impact on original fabric. The use of contemporary fabric (glass balustrades) ensures new elements are recognisable and do not impact the character or setting of the place or views internally. This is in keeping with policies from the SECP regarding alterations and additions and treatment of building 30.

Due to the increase in visibility this void will enable and the creation of triple height volumes in the space, it is deemed to enhance the significance and the interpretation of the space in comparison to the approved works. In addition, there is overall, a decrease in the general floor area from the approved. This includes consideration for the additional floor space on the level 3 mezzanine.

5.3. MODIFICATIONS TO FLOOR AREA ON THE LEVEL 3 MEZZANINE

It is also proposed to infill an approved void between the hoppers on the level 3 mezzanine floor in building 30. The proposal maintains the approved voids on the northern side of the hoppers with no change. The proposed mezzanine floor is setback from the hoppers, incorporating a glass balustrade and will not physically impact on the structures.

Previously, the approved mezzanine only enabled close up views of the hoppers from the northern side. This proposal will increase the accessibility and interaction with the hoppers at this level as it allows for movement between the two remaining hoppers. Though views of the hoppers will be altered with the extension of the level 3 mezzanine, the retained voids to the north and the approved stair between level 3 and the mezzanine will still allow the whole of the structures to be viewed from level 3. The underside of the hoppers remains able to be viewed from level 2 and there is no change to the visibility and legibility of the hoppers from the street/ exterior of the building. This is therefore in keeping with Policy 75 from the SECP which states:

Policy 75. Additional floors may be added within the internal space of building 30 so long as the overall significance of the building or any elements are not adversely affected and the scale of the three coal hoppers remains visible and legible.

Overall, the proposed extension increases the floor space on the mezzanine floor, however with the removal of floor space on level one (as discussed above in section 5.2), there is an overall decrease of GFA within building 30.

Therefore, the proposed extension at this level is acceptable from a heritage perspective.

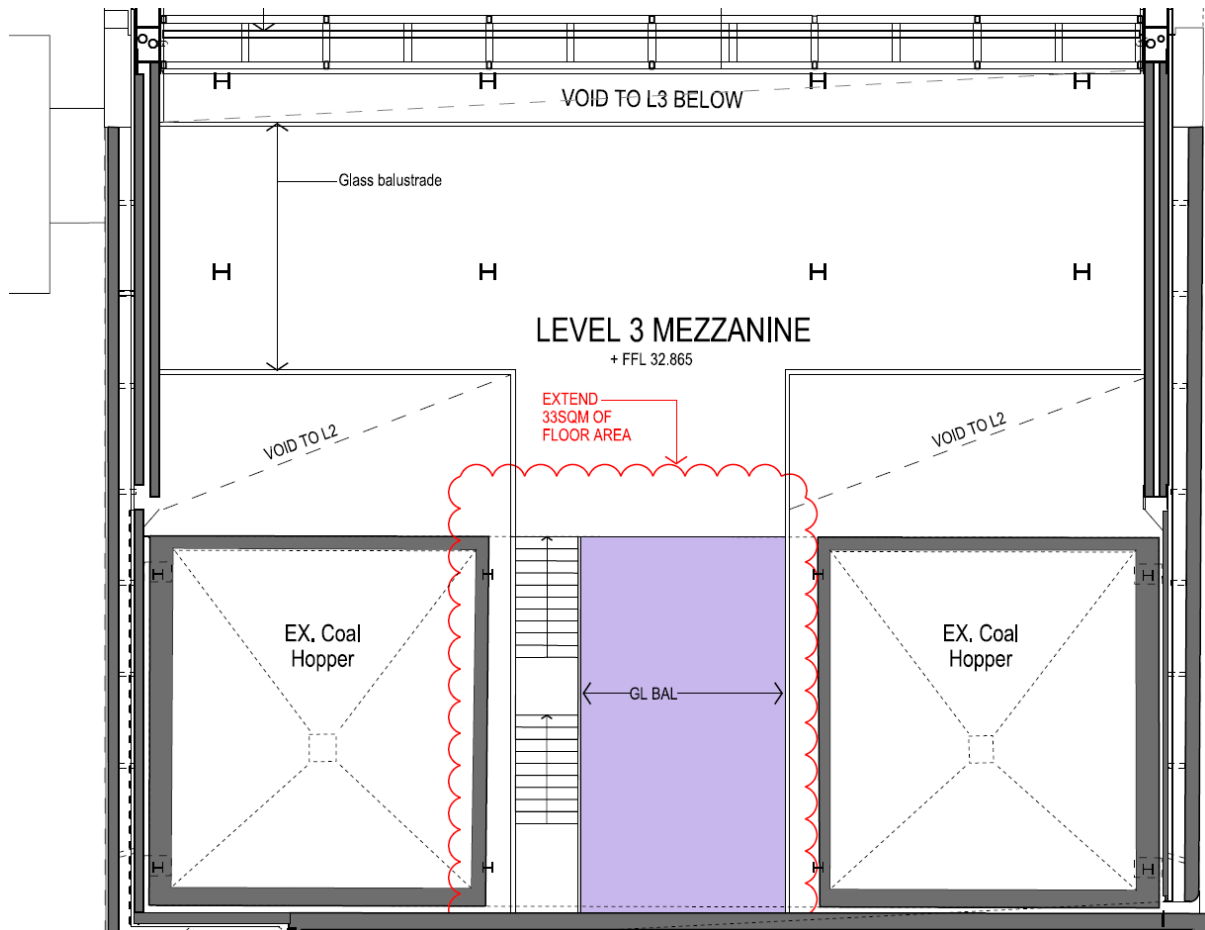


Figure 51 Proposed new void on the level one floor slab in building 30.

Source: Tzannes, "Ground Floor Plan", DA 1102, Revision I, 28/3/2022.

5.4. ALTERATIONS TO THE ENTRY TO BUILDING 30

Proposed works to the entrance to building 30 (from building 26) includes reconfiguring the stairs and introducing a glass lift connecting upper and lower ground floor and level 1.

This lift has been located close to the entrance but setback from the wall. The proposed lift is limited to ground, upper ground and level 1 and therefore will not impact on the hoppers which extend only midway between levels 2 and 3. The lift is proposed to be constructed in steel and glass to minimise bulk and potential visual impacts within the space, while also being apparent as a contemporary insertion. This is in keeping with SECP policies in regard to the introduction of new fabric and the treatment of building 30. In addition, a glass balustrade is proposed for compliance due to the changes in levels. The glass balustrade is in keeping with the approved fabric within this building.

Having regard for the SECP policies that guide the introduction of services (specifically policies 82 and 83), the lift has been located by the entrance, and not within the northern portion of the building as recommended in policy 82. Clear views through the northern façade are key to visibility of the retained hoppers from the

exterior and therefore the proposed lift and modifications, being substantially setback from the façade and glazed will not significantly impact on these views.

The proposed alterations to the entrance and new lift will not impact significant floors as the ground floor slab was approved to be removed in the original application and the level 1 slab is a new construction. Therefore, the proposed alterations only alter the approved new works and fabric.

Overall, the proposed changes to the entrance to building 30 is acceptable from a heritage perspective and is in keeping with the overall design intent and adaptive reuse.

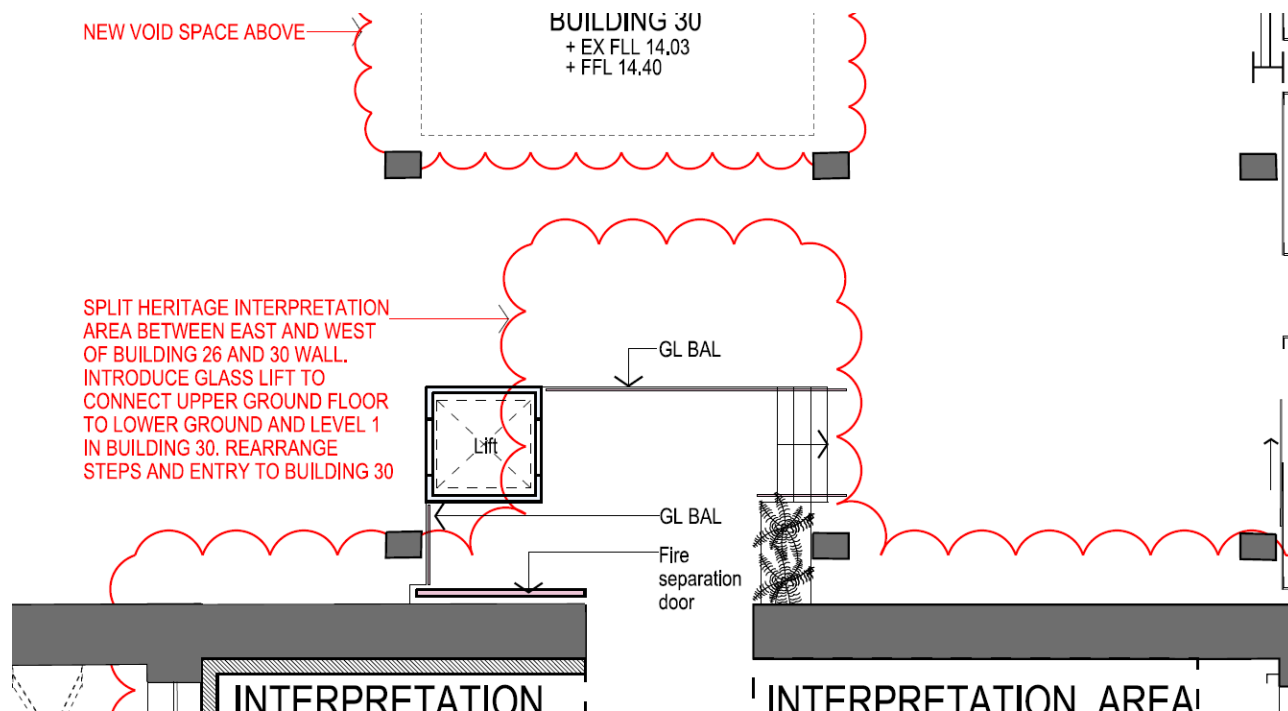


Figure 52 Proposed modification to the entrance to building 30.

Source: Tzannes, "Ground Floor Plan", DA 1102, Revision I, 28/3/2022.

5.5. MODIFICATIONS TO THE NOMINATED HERITAGE INTERPRETATION ZONE

It is proposed to amend the nominated area for Heritage Interpretation on the ground floor. This includes the split of the approved, nominated area to two zones along the northern wall of building 26.

The proposed modification is intended to minimise the extent of floor area so as to mitigate potential impacts on the potential fitout of the space, however this will not impact on or alter the intent or purpose of the interpretation within this area. The approved interpretation strategy has identified this zone as incorporating a combination of fixed interpretation signage, display of archaeological artefacts, display of salvaged operation brewery signage and digital media including a touch screen. Final concept of this display is yet to be confirmed and is subject to the development of the strategy and SSD conditions of consent. Final development is also subject to council review and approval.

It is envisaged that the interpretation in this area will include displays mounted to the walls only and no salvaged pieces of machinery or built form interpretation have been nominated in this area. Therefore, the proposed modification is in line with the original intent of the nominated area. In addition, the proposed areas provide more wall space for the display(s) and therefore will enhance the display and circulation within the space.

The Interpretation zone remains in a public area with an anticipated, high level of foot traffic, while also allowing for more floorspace for future retail/food and beverage tenancy in this area.

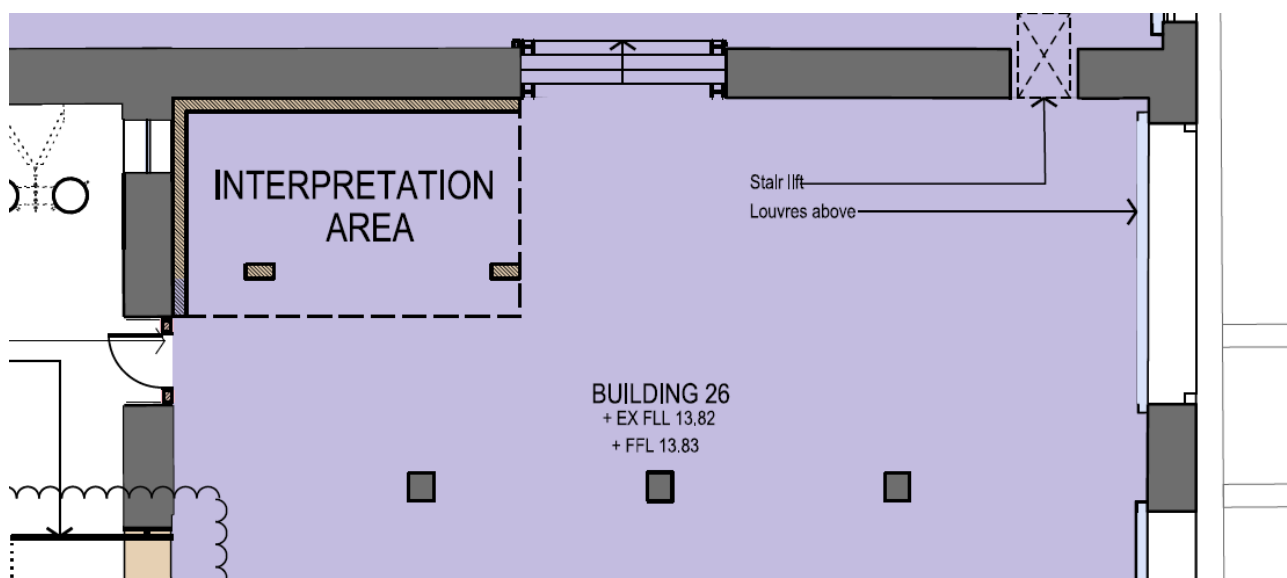


Figure 53 Nominated Interpretation area on the approved drawings.

Source: Tzannes, "Ground Floor Plan", DA 1102, Revision F, 22/06/2020. Stamp approved 20 October 2020.

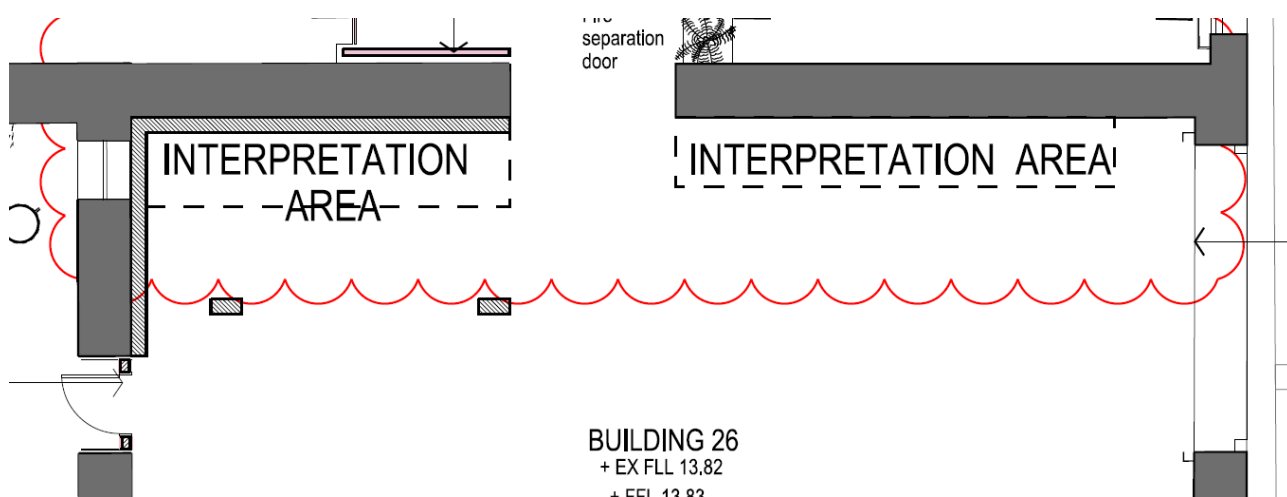


Figure 54 Proposed modification to the nominated interpretation area to reduce the area on the western end of the northern wall and introduce the eastern end of the northern wall.

Source: Tzannes, "Ground Floor Plan", DA 1102, Revision I, 28/3/2022.

5.6. GLAZED SLIDING DOOR TO EXISTING WINDOW OPENING, NORTHERN FAÇADE

It is proposed to alter an approved fixed window on the ground floor on the northern façade of building 23 to a sliding glass door and entrance.

Historically, this opening was a walkway through building 23. Therefore, the proposed modification enhances the interpretation of movement through the site historically. While the opening on the southern façade will remain a window, the retention of the scale of the opening and the masonry surround and detail ensures the former relationship between the openings is retained.

The proposed door modifies an approved fixed glass window while still allowing clear views into the building. The door will be apparent as contemporary and will have no further significant impact on the masonry. Urbis has been appointed as the project heritage consultant for the construction phase works. Details/ shop drawings of the sliding door, including fixings, frame and mechanisms will be reviewed by Urbis when

available to minimise any fixtures/ interventions and consider visual impacts. A fixed glass panel is retained above.

Overall, the proposed modification will have no significant further impact to the opening while maintaining the legibility of the original façade. The proposed modification is therefore supported from a heritage perspective.

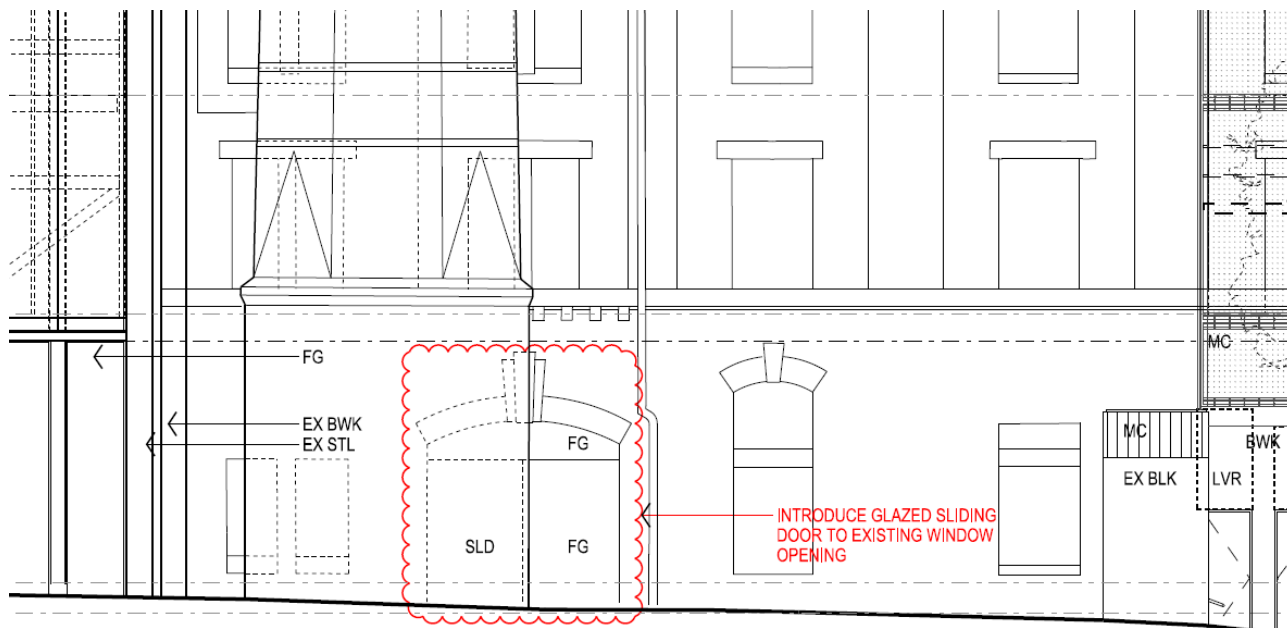


Figure 55 Location of the proposed glazed sliding door to replace existing, approved window opening.

Source: Tzannes, "Northern Elevation", Revision F, 15/3/2022.

5.7. DELETION OF THE APPROVED MEZZANINE ON LEVEL 2 IN BUILDING 22

The proposal to remove the approved mezzanine will have no impacts to significant heritage fabric. This mezzanine was approved as part of the original DA and has not yet been constructed. Therefore, there are no implications to the heritage significance of the place, or to significant fabric from this proposed change.

5.8. WIDENING OF OPENING ON LEVEL 1 BETWEEN BUILDINGS 26 AND 30

The proposed widening of this opening is acceptable as it amends an existing approved opening to approximately 2275mm and is in keeping with the character of the place and large open spaces. This amendment was addressed in the recent the inspection and discussion with the Design Integrity Panel who agreed it responded to the scale of the surrounding spaces and salvaged materials (hoppers) located in building 30. It was also commented on that it would enhance the activation and relationship between the spaces which is a positive outcome from a heritage perspective as it contributes to the successful adaptive reuse of the buildings.

Therefore the proposed amendment to the existing is acceptable from a heritage perspective.

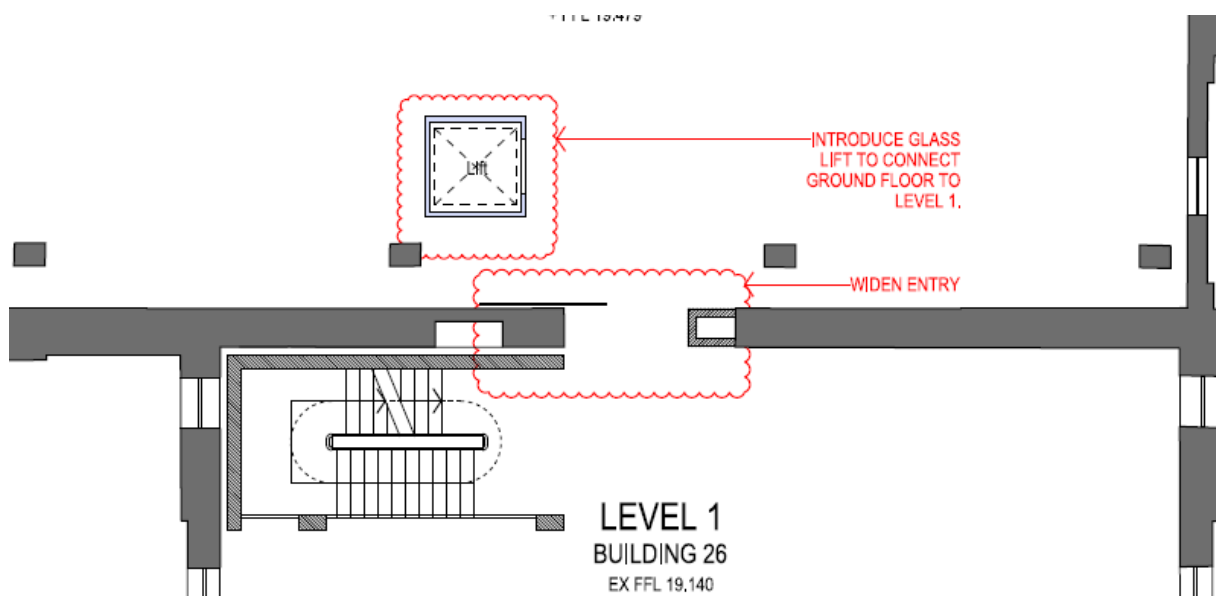


Figure 56 Location of the widened opening. Note the proposed amends the width of an approved opening.

Source: Tzannes, "Level 1 Floor Plan", 16.05.2022, Revision H .

6. CONCLUSION

In conclusion the proposed modifications to the approved works under SSD 9374 are considered to be minor. The proposed works will have no impact on the heritage significance of the site and are in keeping with the overall design intent of the approved works that allow for the adaptive reuse of the site.

- The proposed new void between ground floor and level 1 of building 30 removes a portion of the approved level 1 slab, which along with the existing level 2 void, creates a triple height volume that assists to interpret the original volumes within the space. The void allows views to level 1 and 2. More importantly, the proposed void will not impact on or alter the legibility of and views to the retained coal hoppers from the exterior of the building.
- While the proposed extension of the level 3 mezzanine floor increases the floor area and infills a former void between the retained hoppers, views to the hoppers are maintained (albeit decreased) through the opening on the approved stairs and retained voids on the northern side of the hoppers. The extended mezzanine floor has the benefit of increasing circulation around the hoppers at this level and allows for closer inspection and more direct interaction with the hoppers. The previous approval only allowed for close views of the hoppers from the stairs and floor space to the north, however this extension expands on that and allows both hoppers to be seen in the round.
- Overall, there is a net decrease in the GFA in building, noting that the level 1 void is larger than the increased floor area at the level 3 mezzanine.
- Proposed works to the entrance to building 30 (from building 26) includes reconfiguring the stairs and introducing a glass lift connecting upper and lower ground floor and level 1. The proposed works will have no further heritage impact as they impact on approved works and new fabric only. The removal of the original floor slab from the ground floor was approved as part of the original SSD approval, therefore the changes in levels and insertion of the lift to the floor will impact new fabric only. The potential visual impacts caused by the proposed lift have been minimised with the use of glass and lightweight materials. It is also noted that the lift is limited to the ground floor and level 1 and will not impact on significant features, specifically the hoppers.
- It is proposed to modify the extent of the interpretation area by reducing the nominated interpretation zone at the north-western corner of building 26, but also extending the interpretation zone across the whole of the northern wall of building 26. The proposed modification is intended to minimise the extent of floor area so as to mitigate potential impacts on the potential fitout of the space, however this will not impact on or alter the intent or purpose of the interpretation within this area. The approved interpretation strategy has identified this zone as incorporating a combination of fixed interpretation signage, display of archaeological artefacts, display of salvaged operation brewery signage and digital media including a touch screen. Final concept of this display is yet to be confirmed and is subject to the development of the strategy and SSD conditions of consent. The amendment to the nominated heritage interpretation display area, is acceptable as it allows for more wall space for the display and does not impact on or diminish the intent of the strategy.
- The proposed alteration to the approved window opening on the northern façade of building 23 is acceptable as it returns the opening to an entrance to the building. The proposed alters approved, new fabric only and will not alter the significant masonry detail or width of the opening, nor its interpretation.
- The removal of the mezzanine floor in building 22, level 2 is acceptable as it has not been constructed and will have no implications to heritage significant fabric or proposed interpretation.
- The proposed widening of the doorway on level 1 between buildings 26 and 30 is acceptable as discussed with the Design Integrity Panel. The proposed alters an existing approved opening and will not have any visual impacts to the area. The proposed will respond well to the large open space and salvaged machinery (hoppers).

The modifications are therefore considered acceptable from a heritage perspective.

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