



A Bureau Veritas Group Company

## **Accessibility Design Review Report**

Brewery Yard Redevelopment

Central Park, Chippendale NSW 2008

**Prepared by:** Augustina Lie

**Prepared for:** Johnstaff Projects (NSW)

**Job No:** 77628

**Date:** 18<sup>th</sup> July 2019

**Issue:** C

**Phase:** DA Submission

## Table of Contents

1.	Introduction.....	3
2.	Legislative Requirements.....	4
3.	Documentation .....	5
4.	Exemptions and Performance Based Solutions.....	5
5.	Compliance Assessment – BCA (Mandatory).....	6
6.	Compliance Assessment - DDA (Advisory) .....	12
7.	Compliance Summary.....	13
8.	Appendix A – Document List.....	14

Date	Issue	Pages	Issue or Description of Amendment	Checked	Approved	Date Approved
5.12.18	A	17	DA Submission	Augustina Lie	Senan Mescall	5.12.18
17.12.18	B	17	Client Comments	Augustina Lie	Senan Mescall	17.12.18
22.5.19	C	14	Removal of External Stair	Augustina Lie	Senan Mescall	22.5.19
18.7.19	C	14	Change of Use	Augustina Lie	Senan Mescall	18.7.19

## Document Disclaimer – McKenzie Group Consulting

This document has been prepared solely for the use of our client in accordance with our current professional standards and as per our agreement for providing compliance consulting services. Although all due care has been taken in the preparation of this document, no warranty is given, nor liability accepted (except that required by law) in relation to the information contained within this document. This document represents the opinions of McKenzie Group Consulting based on the facts and matters known at the time of preparation of this document. Opinions, judgments and recommendations detailed in this document, which are based on our understanding and interpretation of current statutory and regulatory obligations and standards should not be construed as legal opinions.

## 1. Introduction

Johnstaff have engaged the services of McKenzie Group Consulting as Accessibility and DDA consultants to conduct a review of the project documentation to ensure that functional and compliant accessibility has been applied to the design. As members of the Access Consultants Association of Australia (ACAA), McKenzie Group Consulting use expert accessibility knowledge to ensure the project complies with the spirit and intent of the Disability Discrimination Act (DDA), within the project scope.

### 1.1. Purpose of Report

This report forms part of the DA documentation review. The report is prepared in relation to a proposed works at Central Park, Chippendale NSW 2008.

This report provides a compliance overview of the project with respect to achieving compliance with the Building Code of Australia (BCA) and the Disability Discrimination Act (and Disability Standards) (DDA), within the project scope.

The assessment is provided in two parts, the first relates to areas of compliance that are **mandatory** under the BCA with the second part relating to **Advisory recommendations/enhancements** that could be adopted to improve building functionality, accessibility and the safety of occupants.

### 1.2. Report Objective

A key objective of the access requirements of the Premises Standards and NCC is to provide, as far as is reasonable, all people with safe, equitable and dignified access to a building and the services and facilities within that building.

A key objective of this report is to provide assessment commentary to assist the design process to provide equivalent access to the degree necessary to facilities to suit visitors with a range of disabilities in an equitable and dignified manner.

### 1.3. Project Description

The proposed development includes the redevelopment of an existing heritage building to include:

#### Basement 2

- Plant Room (exempt)

#### Basement 1

- Plant Void (exempt)
- Waste Room (exempt)
- Heritage Display area
- Services (exempt)

#### Ground Floor

- Tenancies
- Foyer
- Lifts
- Interpretation Area

#### Level-1

- Building 22 Open floor plan
- Building 25 Open floor plan
- Building 26 Open floor plan
- Building 30 Open floor plan

#### Level-2

- Open floor plan

#### Level-3

Open floor plan

#### Level-4

- Open floor plan

#### Level-5

- Open floor plan

#### Level-6

Open floor plan

## 2. Legislative Requirements

The legislative requirements for this project comprises both Federal and State legislation.

### Federal

The Disability Discrimination Act (DDA - 1992) is Federal Government legislation enacted in 1993 that seeks to ensure all new building infrastructure, refurbishments, services and transport projects provide functional and equitable accessibility. The DDA is a complaints based legislation, which is administered by the Australian Human Rights Commission (AHRC). For any built environment the key requirement of the DDA is to ensure functionality, equality and dignity of people with disabilities, their companions, family and care givers.

The DDA utilises statutory instruments known as Disability Standards to provide detailed requirements. The Disability Standards are: Disability (Access to Premises – Buildings) Standards 2010, Disability Standards for Education 2005 and the Disability Standards for Accessible Public Transport 2002. These Disability Standards draw extensively on technical provisions in the AS 1428 series details technical requirements related to design for access and mobility.

### State

The Building Code of Australia has adopted key accessibility and DDA legislation into the 2011 and subsequent BCA. In particular adherence to the Access to Premises Standard (2010) (APS); AS1428.1 2009; AS1428.4.1 2009 and AS2890.6 2009 has become mandatory. This means that compliance with the relevant sections of the BCA, ensures compliance with the relevant 'Premises' component of the DDA.

However, compliance with the BCA alone does not necessarily mean compliance with the Disability Discrimination Act if the elements of equality, dignity and functionality remain compromised within an environment. The building owner/occupier should therefore ensure that their policies, practices and procedures promote equality in all employment, education and services provided, within their built environment.

### 2.1. Access to Premises Standards application and exemptions to existing buildings

**Where the project involves the internal works within part of an existing building by the building owner;** The Access to Premises Legislation (2010) defines these new works as the new part of the building and requires that the affected parts of a building are also made accessible and compliant to the requirements of AS1428.1 2009 and the Access to Premises Legislation (2010) technical provisions. Affected parts are defined as the principal pedestrian entrance and a continuous path of travel between the primary entrance and the new part. (PS 2010 pg. 5-6). In this case this also includes the condition of the existing lift to travel between levels.

#### Application of legislation to this development

With regard to this project, upgrading works for an affected part includes:

- Providing lift access between the levels to the new works
- Providing accessible and ambulant sanitary facilities to each level where sanitary facilities are provided
- Upgrading the main entrances of existing building
- Minimum width requirements of doorways or passageways, including passing and turning spaces along the access path from the main entrance to and within all new works.
- Upgrading the stair/ramp/door located along the 'affected part' path of travel

### 2.2. Referenced Legislation and Standards

The review of the project has been undertaken against the following legislation;  
Disability Discrimination Act (DDA) 1992.

Disability (Access to Premises – Buildings) Standards 2010 (DAPS 2010).

Building Code of Australia (BCA) and BCA referenced standards including:

- AS1428.1 2009 Part 1: General Requirements for access – new building work.
- AS1428.2 1992 Part 2: Enhanced and additional requirements – Buildings and facilities.
- AS1428.4.1 2009 Part 4.1: Means to assist the orientation of people with vision impairment – TGSI.
- AS2890.1 2004 Part 1: Off-street car parking.
- AS2890.6 2009 Part 6: Off-street parking for people with disabilities.
- AS1735.12 1999 Lift facilities for people with disabilities.

### 3. Documentation

The report has been prepared based on a review of the drawings listed in Appendix A.

### 4. Exemptions and Performance Based Solutions

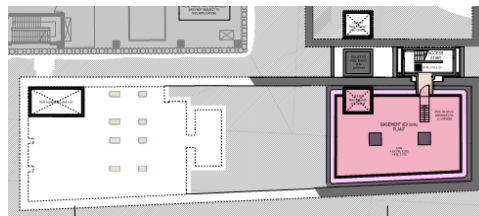
#### 4.1. Exemptions

Based on the use of some areas within a building, it is reasonable to not provide access to some spaces where it is deemed inappropriate because of the required duties to be carried out in the space or if the area poses as a health or safety risk for people with a disability. These areas include:

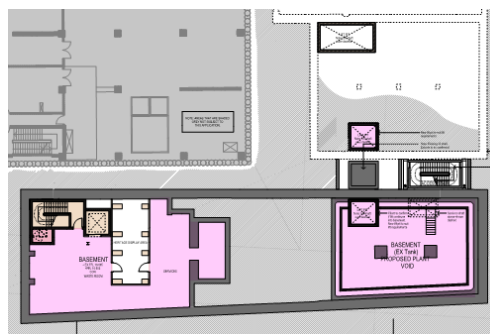
- An area where access would be inappropriate because of the particular purpose for which the area is used.
- An area that would pose a health or safety risk for people with a disability.
- Any path of travel providing access only to an area exempted by (a) or (b).
- Plant including plenums, service routes, equipment rooms for computers or data (including persons with ambulant aids).
- Pathways used to gain access exempted plant spaces only.
- Cleaner's rooms used only by cleaners.
- Rooms used only by central staff associated with linen, waste and supply.
- Production parts of the kitchen and servery rooms used only by central kitchen staff.
- Store rooms where the door is left open while accessing them- only to have required door clearance on the outside.

The areas/spaces highlighted in **pink** below have been identified as areas that would be considered exempt under this part.

##### Basement-2



##### Basement-1



#### 4.2. Performance Based Solutions

No performance based solution items have been identified at this stage of design.

## 5. Compliance Assessment – BCA (Mandatory)

The following compliance assessment is divided into two (2) sections: BCA Mandatory Compliance and DDA (Advisory).

**BCA Mandatory Compliance** refers to meeting the minimum mandatory compliance of the BCA and the Premises Standard component of the DDA.

**DDA Advisory Compliance** refers to advisory information for improving the accessibility design outside BCA parameters and the Access to Premises Standards. These DDA recommendations relate to best practice design for accessible environments. These recommendations propose to enhance the design, in conjunction with the owner/occupier's policies, practices and procedures maximizing DDA compliance and meeting the spirit and intent of the DDA.

### 5.1. General Building Access Requirements (BCA D3.1)

Buildings and parts of buildings must be accessible in accordance with Table 3.1 of the BCA.  
A continuous accessible path of travel is to be provided as follows:

#### Class 5 – Commercial

- To and within all areas normally used by the occupants

#### Class 6 – Retail

- To and within all areas normally used by the occupants

### 5.2. External approaches, walkways and kerbs (D3.1, D3.2, D3.3, D3.8 & AS1428.1)

A continuous accessible path is to be provided to the new building:

- From the main points of a pedestrian entry at the allotment boundary, and
- From another accessible building connected by a pedestrian link
- From any required accessible carparking space on the allotment

The crossfall and gradient of the external pathways will not exceed 1:40 and will be constructed of a firm, hardstand surface in accordance with AS1428.1-2009 requirements.

External public paths will achieve a minimum width of 1800mm or where a reduced width is provided (minimum 1200mm) passing bays will be provided every 20m in high trafficable areas to allow two wheelchairs to pass.

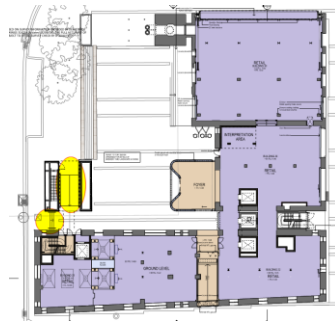
Warning Tactile Ground Surface Indicators (TGSIs) and/or provision of bollards shall be provided either side of the car park entry points on Grace Avenue and Forest Way to adequately identify the roadway hazard for pedestrians using the footpath. In addition, TGSIs will be provided at kerb ramps and at pedestrian crossings in accordance with AS1428.4.1 and Council requirements.

Consideration to the provision of a textural and luminance contrast on the lateral border of all pathways and key transition areas will be given in the next phase of design. The provision of tactual clues via either a building/fence line, kerb line etc. along the edging of each walkway will be considered to enable a person with a vision impairment to detect key transition areas. In addition, obstacles abutting the public paths of travel i.e. seating, bins, bike racks or the like, shall possess a minimum of 30% luminance contrast to make these fixtures readily identifiable to a user on the path.

The external paths of travel to the site comprise of the following:



- Stair / ramped access is indicated at the western boundary



Level access is adequately provided via graded pedestrian walkways throughout the development providing connecting links from:

- the boundary to the main entrances at ground level, and
- to tenancy entries and common spaces contained within the building, and
- from any accessible carparking space.

### 5.3. Accessible car parking

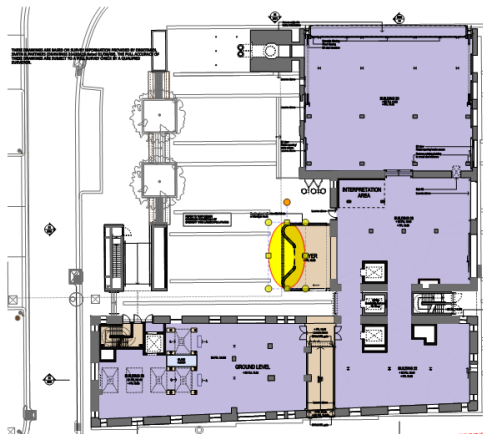
Public car parking is not part of this development

### 5.4. Pedestrian Crossings, Transport / Pedestrian Drop-off Zones

All pedestrian crossings, bus stops and pedestrian drop-off zones are existing. No new provisions for these services are provided in this development

### 5.5. Building/Tenancy Entrances

The main entrances to the centre comprise of automated sliding doors which provide compliant access for people with a disability. The unobstructed clear width of these doors will achieve the required minimum of 850mm (920mm leaf required).



Any door control or "after-hours" swipe card access will be located on a level landing in an accessible location in accordance with Clause 13.5 of AS1428.1.

Limited detail is provided at this stage of design regarding the entrances to tenancies. To comply, the tenancies will require compliant access to and within via a single leaf door as a minimum achieving the required unobstructed clear width of 850mm. Access to the tenancies will be further reviewed as the design progresses.

A level transition shall be provided to all entrances and external areas which will be achieved via provision of threshold ramps where required in accordance with AS1428.1-2009 requirements.

All doors shall have light operational forces (less than 20 N) and shall have lever action door hardware selected and installed in accordance with AS1428.1 requirements.

Any fullheight glazing or glazed doors shall be clearly marked with a contrasting band not less than 75mm wide for full width of the door with lowest edge at 900-1000mm FFL.

## 5.6. Tenancies (Internal)

The tenancy layout and joinery design including reception, counters and seating shall be designed with consideration to accessibility requirements of AS1428.2-1992.

Further review is to be undertaken in the next phase of design.

## 5.7. Internal Paths of Travel

An accessible path of travel is required to all accessible areas within accessible buildings, normally used by occupants. Internal walkways should be designed with the following features:

- Minimum width of 1000mm to be provided
- Suitable circulation spaces to enable turning into adjacent doorways / around fixtures and furniture (1240mm min width),
- Adequate passing spaces (1800mm width), and
- Turning spaces along corridor or terminations (1540mm min width).

A continuous path of travel will be provided to and within the centre comprising of a minimum width of 1800mm in high trafficable areas. Where a reduced width is provided (minimum 1200mm) passing bays will be provided every 20m in high trafficable areas to allow two wheelchairs to pass.

Finishes will be selected to ensure wall, floor and door finishes comply with AS1428.1-2009 requirements including changes in surfaces having abutment vertical rises of 3mm or less; or 5mm or less where rounded or bevelled edges and a minimum 30 % luminance contrast provided to all doorways in accordance with the requirements of Clause 13.1 of AS1428.1.

Any shopfront glazing or glazed doors shall be clearly marked with a contrasting band not less than 75mm wide for full width of the door with lowest edge at 900-1000mm FFL.

Internal accessible paths of travel will be further reviewed as the design progresses.

## 5.8. General Circulation Stairs/Ramps

An accessible path of travel is required to all accessible areas within accessible buildings, normally used by occupants.

All existing public circulations stairs and ramps (excluding fire-isolated stairs/ramps) must be upgraded to be provided with handrails/kerb rails to both sides, handrail extensions & turndowns, nosing strips (Stairs) and Tactile Ground Surface Indicators (TGSIs).

Circulation stairs and ramps will be required to be set-back from transverse paths of travel so that handrail extensions do not protrude into corridor paths of travel.

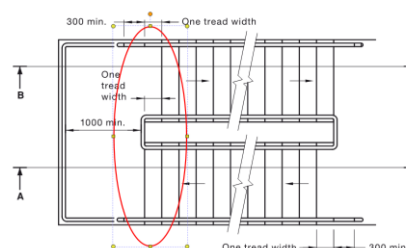
Offsetting the stair at the mid landing will allow a continuous single handrail which will not require vertical sections.

General circulation stairs/ramps will be further reviewed as the design progresses.

### Fire-isolated Stairs (FIS)

All FIS stairs shall be designed and constructed in accordance with Clause 11(f), (g) and Clause 12.

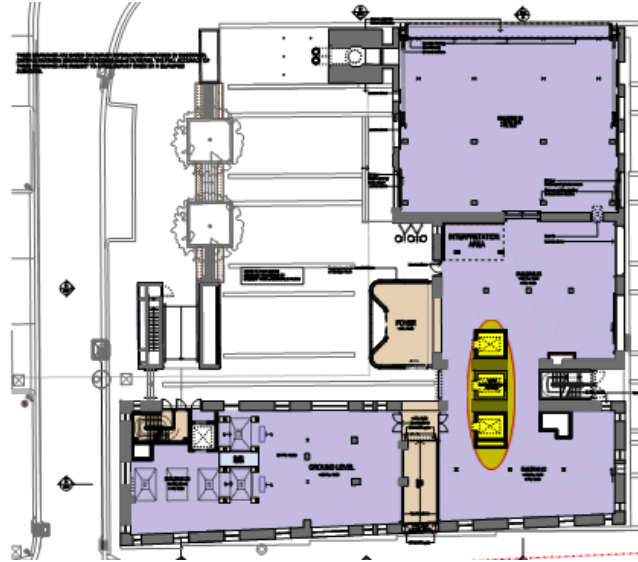
Offsetting the stair at the mid landing will allow a continuous single handrail which will not require vertical sections.





## 5.9. Lifts (D3.1, E3.6, AS1428.1 & AS1735.12)

Multiple exiting passenger lifts are provided and located centrally within the development.



Any lift travelling greater than 12m requires a minimum compartment size of 1400mm wide x 2000mm depth (requires 2000mm depth where stretcher use indicated and travelling >12m).

Any lift travelling less than 12m requires a minimum compartment size of 1100mm wide x 1400mm depth.

The fitout of the lifts shall comply with AS1735.12, providing a minimum doorway clearance of 900mm.

Fitout of lifts to include: Handrail 600mm (min) length; at height between 850-950mm, Tactile and Braille symbols on control buttons and panels, Automatic auditory information detailing lift stops. Control buttons set back from corner.

## 5.10. Internal Doorways

An accessible path of travel is required to all accessible areas within accessible buildings normally used by occupants. Doors on accessible paths of travel require the following (in accordance with AS1428.1-2009):

- Unobstructed clear opening widths to be a minimum of 850mm ( - a 920mm door leaf is required).
- Door control or “after-hours” swipe card access to be located on a level landing, in an accessible location, in accordance with Clause 13.5 of AS1428.1-2009.
- Door circulation clearances;
- All doors shall have light operational forces (less than 20 N) and shall have lever action door hardware selected and installed in accordance with AS1428.1 requirements.

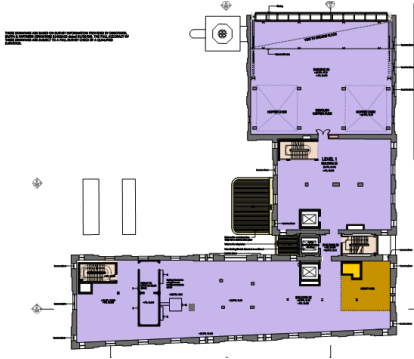
Any shopfront glazing or glazed doors shall be clearly marked with a contrasting band not less than 75mm wide for full width of the door with lowest edge at 900-1000mm FFL.

Doors on accessible paths of travel will be further reviewed as the design progresses.

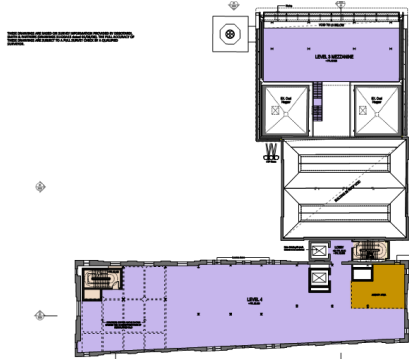
## 5.11. Sanitary Facilities

Amenities are proposed in the following locations highlighted in yellow:

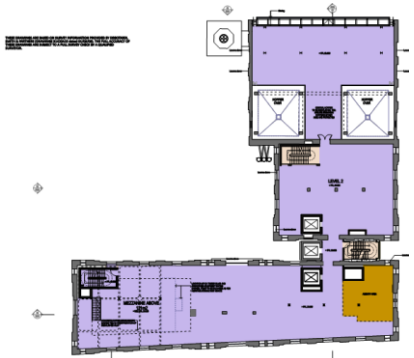
**Level-1**



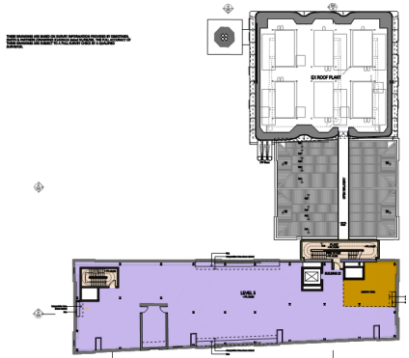
**Level-4**



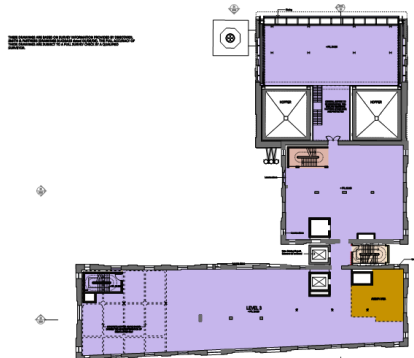
**Level-2**



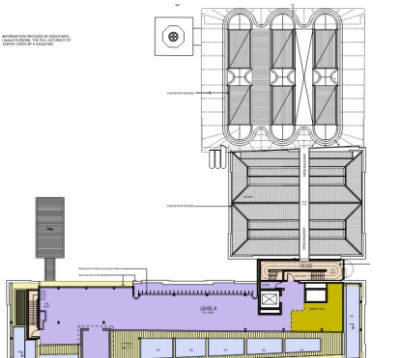
**Level-5**



**Level-3**



**Level-6**



The development is for the construction of a cold shell fitout. Provision of amenities is limited to the supply of services only. Fitout of amenities shall be carried out by others.

---

## 5.12. Signage

---

A review of the door signage is to take place when the signage package becomes available.

Accessible way finding should highlight the pathway from entrance to lifts or amenities and to the key components of the facility.

Where a pedestrian entrance is not accessible, directional signage incorporating the international symbol of access, in accordance with AS 1428.1 must be provided to direct a person to the location of the nearest accessible pedestrian entrance. This type of signage is required at the stair access points directing the visitor to the location of the ramp/walkway entrance.

Signage will be provided at exit doors on each level and at common use accessible toilets in accordance with AS 1428.1.

Signage to accessible sanitary facilities requires identification with the international symbol of access, raised tactile and Braille signage and letters RH or LH to indicate side of transfer to the WC pan.

---

## 5.13. Hearing Augmentation

---

Hearing Augmentation Listening Systems are an essential assistive device for people who use hearing aids and are mandatory at screened reception counters, lifts and areas with public announcement systems.

As the design progresses requirements for hearing augmentation will be clarified and confirmed.

---

## 5.14. Emergency Evacuation

---

The emergency evacuation strategy for the facility should address the operational solution of evacuating people with disabilities.

Fire evacuation plans should include provision of management plans to assist individuals with disabilities or access requirements. Individuals with accessible requirements should be provided with a "fire buddy" to escort them to pre-determined areas of refuge.

The current best practice is detailed in the 'AS 3745 - 2010 Planning for emergencies in facilities' and should be used as a guideline to assist in the implementation of the Emergency Plan.

## 6. Compliance Assessment - DDA (Advisory)

The following recommendations for design enhancement are provided for areas in which potential compliance risks have been identified with respect to the DDA or where improved outcomes with respect to accessibility, functionality and safety have been identified.

### 6.1. Emergency Evacuation

The emergency evacuation strategy for the facility should address the operational solution of evacuating people with disabilities and should detail the following:

- Stair refuges, or
- Fire-isolated lift lobbies and use of lifts in emergency

Fire evacuation plans should include provision of management plans to assist individuals with disabilities or access requirements. Individuals with accessible requirements should be provided with a "fire buddy" to escort them to pre-determined areas of refuge.

The current best practice is detailed in the 'AS 3745 - 2010 Planning for emergencies in facilities' and should be used as a guideline to assist in the implementation of the Emergency Plan.

### 6.2. Landscaping

The following are some design considerations for providing equitable access to the public realm; Provision of rest seating opportunities along walkways, stair landings etc.

- Lighting designs that minimise glare.
- Luminance contrast of features such as; steps, seats, bollards, bins etc.
- Landscape planting can offer tactile and olfactory clues to the environment to enhance different areas.

### 6.3. Acoustic / Lighting Design

Good acoustics creates a good environment for all users.

- Acoustic design to seek to minimise reverberation noise.
- Lighting design to confirm that minimum illumination levels achieved.
- Minimum levels of maintenance illumination to be provided; e.g. – entrances 150 lux, toilet 200 lux, counters 250 lux.

### 6.4. Rest Seating / Rest Point / Seating

Rest seating should be provided adjacent entrances, at taxi drop off points and along external pedestrian paths of travel.

- Seating should be provided along external paths, located a minimum of every 60m, to provide a resting point for users
- A range of seating to accommodate all users should be provided i.e. some with backrest, some with armrests and at various seat heights etc.
- Seating should be designed in accordance with AS1428.2 and set back 500mm from the walkway.

### 6.5. Reception Counters, Other Furniture & Fixtures

The layout of Reception / Furniture Fit-out and joinery - in accessible / common use areas, is recommended to be designed with consideration to accessibility requirements.

Future design should consider accessible requirements teapoint, parent rooms, vending machines, drinking fountains, telephones, controls etc.

- Future fitout/design of fixtures, furniture and fittings should consider accessible requirements in accordance with AS1428.2
- Items shall be a minimum of 500mm away from the path of travel.

Further review is to be undertaken in the next phase of design.

Melbourne | Sydney | Brisbane | Gold Coast | [www.mckenzie-group.com.au](http://www.mckenzie-group.com.au)

## 7. Compliance Summary

As members of the Access Consultants Association of Australia (ACAA), we have reviewed the DA documents prepared by Tzannes Architects for compliance with the current building assessment provisions, including (but not limited to) the following:

Disability Discrimination Act (DDA) 1992.

Building Code of Australia 2016 (Amendment 1) and referenced Australian Standards; and

The Disability Access to Premises (Buildings) Standard 2010

This report provides a compliance overview of the project with respect to achieving compliance with the above legislation. In the next phase of the design process it is anticipated that as additional detail is provided - particularly floor plans, dimensions and features- the accessibility of this development can be further detailed.

Subject to addressing the actions identified, McKenzie Group Consulting confirm that the project documentation provides appropriate accessibility capable of complying with the BCA & Disability (Access to Premises – Buildings) Standards 2010 and the spirit and intent of the DDA.

If you have any further queries in relation to the reports and recommendations contained please contact Augustina Lie on (07) 3834 9800

Assessed by:



**Augustina Lie**

Access Consultant

**McKenzie Group Consulting (Qld) Pty  
Ltd  
ACN 140 159 486**

Approved by:



**Senan Mescall**

Senior Associate / Access Consultant

**McKenzie Group Consulting (Qld) Pty Ltd  
ACN 140 159 486**

## 8. Appendix A – Document List

Drawing No.	Rev	Title
DA 1100	C	Basement 2 Floor Plan
DA 1101	C	Basement 1 Floor Plan
DA 1102	C	Ground Floor Plan
DA 1103	C	Level 1 Floor Plan
DA 1104	C	Level 2 Floor Plan
DA 1105	C	Level 3 Floor Plan
DA 1106	C	Level 4 Floor Plan
DA 1107	C	Level 5 Floor Plan
DA 1108	C	Level 6 Floor Plan